

## ANN ARBOR HISTORIC DISTRICT COMMISSION

### Staff Report

**ADDRESS:** 507 Second Street, Application Number HDC21-296

**DISTRICT:** Old West Side Historic District

**REPORT DATE:** October 14, 2021

**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator

**REVIEW COMMITTEE DATE:** Tuesday, October 12, 2021

#### OWNER

**Name:** Gavin Murphy  
**Address:** 507 Second St  
 Ann Arbor, MI 48103  
**Phone:**

#### APPLICANT

Emma & Nathan Adams  
 512 Second St  
 Ann Arbor, MI 48103  
 (734) 846-4661

**BACKGROUND:** This two-and-a-half story gable-fronter features cross-gabled dormers, a nearly full-width yellow brick front porch with heavy square brick columns and a cement deck and stairs, a triple attic window in the street-facing gable, and a leaded glass transom over the center window of a first-floor triple window facing the street. It was the Roys home in 1894 when it first appears in Polk City Directories.

**LOCATION:** The house is on the east side of Second Street, one house south of West Jefferson.

**APPLICATION:** The applicant seeks HDC approval to replace window wells on the north elevation; install a French drain and trench drain; replace a terrarium window with a double-hung window; replace a 5'4" wide patio door with a 6' wide patio door; add a shed roof over the patio door, add a new window in a new opening on the second floor of the east elevation; replace the glass in a second floor window with safety glass; replace the attic window on the east elevation with a larger egress window; and remove the east chimney.

#### APPLICABLE REGULATIONS:

##### From the Secretary of the Interior's Standards for Rehabilitation:

- (1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic



materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

**Windows**

Recommended: Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Not Recommended: Introducing a new design that is incompatible with the historic character of the building.

Changing the number, location, size, or glazing pattern of windows, through cutting new openings, blocking-in windows, and installing replacement sash which does not fit the historic window opening.

Removing or radically changing windows which are important in defining the historic character of the building so that, as a result, the character is diminished.

Changing the historic appearance of windows through the use of inappropriate designs, materials, finishes, or colors which noticeably change the sash, depth of reveal, and muntin configuration; the reflectivity and color of the glazing, or the appearance of the frame.

Installing new windows, including frames, sash, and muntin configuration that are incompatible with the building's historic appearance or obscure, damage, or destroy character-defining features.

**District or Neighborhood Setting**

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

**Health and Safety**

Recommended: Identifying the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.

Complying with health and safety codes, including seismic code requirements, in such a manner that character-defining spaces, features, and finishes are preserved.



Not Recommended: Altering, damaging, or destroying character-defining spaces, features, and finishes while making modifications to a building or site to comply with safety codes.

### **From the City of Ann Arbor Design Guidelines:**

#### **Windows**

Appropriate: Retaining and maintaining windows in good condition. Normal maintenance will include cleaning, sash cord replacement, limited paint removal, re-caulking where necessary, and new paint to make windows fully operable.

Not Appropriate: Changing the number, location, and size or glazing pattern of windows by cutting new openings, blocking-in, or installing replacement sash which does not fit the historic opening.

#### **Safety Codes**

Not Appropriate: Altering, damaging or destroying character-defining spaces, features, and finishes.

### **STAFF FINDINGS:**

1. This house is in the process of being purchased by the applicant. The work items are described below, some with staff comments.
2. Replace cmu window wells: There are three of these on the north side of the house, to be replaced with split-face block window wells of the same size, with drains in each to a new backyard French drain that will also accommodate other stormwater.
3. Replace terrarium window with a double-hung window: This is appropriate.
4. Replace patio door and add shed roof: A slightly wider patio door will have no adverse impact on the rear elevation of the house. The proposed shed roof is simple and will protect the patio door opening.
5. New window in a new opening on the second floor east elevation: This window is under a second floor porch roof. Proposed is tempered frosted glass. This would not be appropriate in a historic opening, but staff believes it is acceptable in this new opening in an inconspicuous location.
6. Replace window glass with safety glass: This is appropriate since the existing sash will be used, and the glass will be clear.
7. Replace east attic window with a larger egress window: The existing window is 3'8" x 1'10" double-hung and the proposed is 4' x 2'6" casement with a false muntin that meets egress requirements. The new trim is narrower than the existing historic trim. Staff believes this is acceptable since the window faces the back and meets egress requirements.



8. Remove east chimney: This is a secondary chimney, not the character-defining one visible from the street. Removing it will have no negative effects on the historic structure.
9. The proposed work will have minimal negative effects on the historic structure and materials while improving livability, safety, and drainage. The work meets the Secretary of the Interior's Standards and staff recommends approval of the application.

**POSSIBLE MOTIONS:** (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 507 Second Street, a contributing property in the Old West Side Historic District, to replace window wells on the north elevation; install a French drain and trench drain; replace a terrarium window with a double-hung window; replace a 5'4" wide patio door with a 6' wide patio door; add a shed roof over the patio door, add a new window in a new opening on the second floor of the east elevation; replace the glass in a second floor window with safety glass; replace the attic window on the east elevation with a larger egress window; and remove the east chimney, as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets the *Ann Arbor Historic District Design Guidelines*, especially those for windows and safety codes, and the *Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 1, 2, 9 and 10 and the guidelines for windows, neighborhood setting, and health and safety.

**ATTACHMENTS:** application, photos, window information, drawings



507 Second Street (July 2019,  
©Google streetview)





# HISTORIC DISTRICT COMMISSION

## PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120

Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647

Phone: 734.794.6265 ext. 42608

[ithacher@a2gov.org](mailto:ithacher@a2gov.org)

Fax: 734.994.8460

### APPLICATION MUST BE FILLED OUT COMPLETELY

OFFICE USE ONLY	
Permit Number	HDC#
	BLDG#
DATE STAMP	

#### PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER Gavin Murphy		HISTORIC DISTRICT	
PROPERTY ADDRESS 507 Second Street		CITY ANN ARBOR	
ZIPCODE 48103	DAYTIME PHONE NUMBER ( )	EMAIL ADDRESS	
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE)		CITY	STATE, ZIP

#### PROPERTY OWNER'S SIGNATURE

SIGN HERE	PRINT NAME	DATE
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#### APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE) Emma and Nathan Adams			
ADDRESS OF APPLICANT 512 Second Street			CITY Ann Arbor
STATE MI	ZIPCODE 48103	PHONE / CELL # ( 734 ) 846-4661	FAX No ( )
EMAIL ADDRESS emmaleighadams@gmail.com			

#### APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE	PRINT NAME x Emma Adams	DATE 9/24/21
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#### BUILDING USE – CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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#### PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

Replace concrete block window wells along north wall with new, replace kitchen terrarium window with new double-hung, replace 5'-4" wide patio door with new 6'-0" wide patio door, add shed roof over patio door, add new east-facing window on second floor, replace glass in north-facing second floor window to safety glass, replace attic window with larger egress window, remove east chimney

#### DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

Concrete block window wells are damaged, terrarium window doesn't match the home's historic character, the wider patio door will provide better access to outdoors, shed roof for patio door weather protection, new 2nd floor window for new bathroom, safety glazing adjacent to bathtub, egress window for bedroom

For Further Assistance With Required Attachments, please visit [www.a2gov.org/hdc](http://www.a2gov.org/hdc) remove chimney to gain usable interior space





# HISTORIC DISTRICT COMMISSION APPLICATION

## FEE CHART

DESCRIPTION	
STAFF REVIEW FEES	FEE
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

### FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

## INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to [building@a2gov.org](mailto:building@a2gov.org).

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to “City of Ann Arbor”

HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

## APPLICATION EXPIRATION

HDC applications expire three (3) years after the date of approval.

## OFFICE USE ONLY

Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	





REPLACE WINDOW WITH A LARGER EGRESS WINDOW FOR A BEDROOM IN THE UPPER LEVEL (SEE 3/A3.1)

INSTALL NEW PATIO DOOR WITH SMALL ROOF ABOVE (SEE ELEVATION 3/A3.1)

1 BACK OF HOUSE (LOOKING NORTH)



2 SOUTH SIDE OF HOUSE (NO CHANGE)



REMOVE BRICK CHIMNEY ON BACK OF HOUSE (SEE ELEVATION 3/A3.1)

REPLACE WINDOW WITH A LARGER EGRESS WINDOW FOR A BEDROOM IN THE UPPER LEVEL (SEE 3/A3.1)

ADD NEW EAST-FACING WINDOW FOR NEW BATHROOM

3 BACK OF HOUSE (LOOKING EAST)



REPLACE CONCRETE BLOCK WINDOW-WELL SURROUND ON THE NORTH SIDE OF THE HOUSE WITH NEW SPLIT-FACE CONCRETE - SEE A1.1 FOR DIMENSIONS

4 NORTH SIDE OF HOUSE (LOOKING EAST)



5 FRONT OF HOUSE (NO CHANGE)

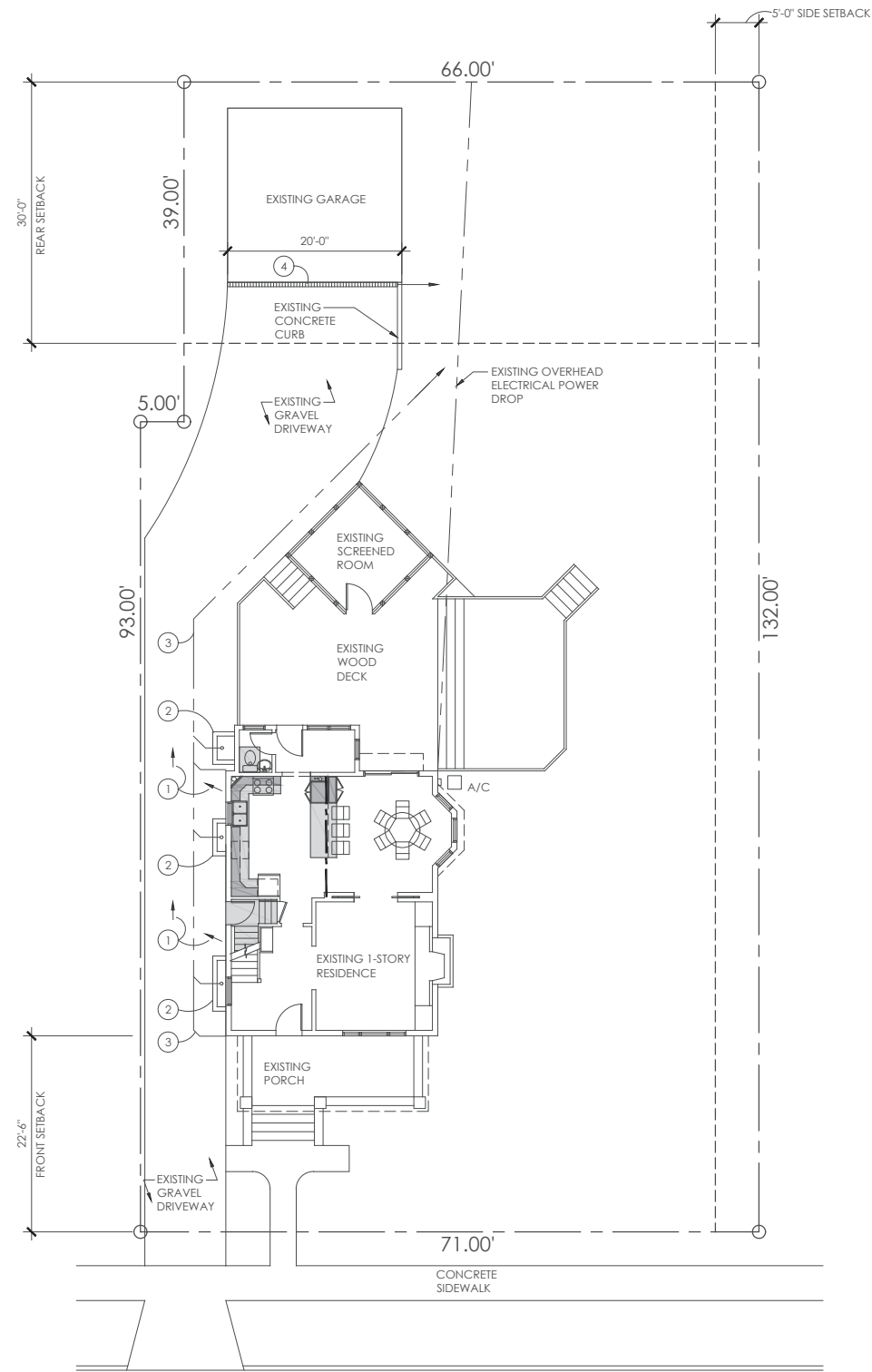


EXISTING WINDOW TO REMAIN - REPLACE GLASS ONLY WITH TEMPERED GLASS

REPLACE EXISTING TERRARIUM WINDOW WITH NEW WINDOW (SEE ELEVATION 4/A3.1)

6 NORTH SIDE OF HOUSE (LOOKING WEST)





- SITE PLAN NOTES**
- 1 RE-GRADE THE EXISTING GRAVEL DRIVEWAY TO SLOPE AWAY FROM THE HOUSE AS INDICATE BY THE ARROWS.
  - 2 REMOVE THE EXISTING CONCRETE BLOCK WINDOW WELLS TO ACCOMMODATE NEW SPILT-FACED CONCRETE BLOCK WINDOW WELLS AS SELECTED BY OWNER. PROVIDE DRAINS AND DECORATIVE STONE IN EACH WINDOW WELL. SEE NOTE #3 BELOW REGARDING DRAINS.
  - 3 INSTALL NEW FRENCH DRAIN SYSTEM UNDER THE DRIVEWAY. CONNECT (2) EXISTING DOWNSPOUTS AND (3) NEW WINDOW WELL DRAINS TO THE FRENCH DRAIN. FIELD LOCATE THE DISCHARGE LOCATION FOR THE FRENCH DRAIN IN THE BACKYARD.
  - 4 INSTALL A NEW TRENCH DRAIN ALONG THE BASE OF THE EXISTING GARAGE DOORS. THE NEW TRENCH DRAIN TO DISCHARGE IN THE BACKYARD.

**SITE PLAN**

SCALE: 1" = 10'-0" ON 22"x34"  
SCALE: 1" = 20'-0" ON 11"x17"

**SITE DATA**

ADDRESS: 507 SECOND STREET, ANN ARBOR, MI 48103  
APN#: 09-09-29-317-029  
LOT SIZE: .211 ACRES  
HOUSE SIZE: 1,880 S.F.  
ZONING: R2A

**KRATZ  
DESIGNS, LLC**  
1840 Coronada Dr.  
Ann Arbor, MI 48103  
734-219-4877

FOR HISTORIC DISTRICT  
COMMISSION REVIEW  
NOT FOR CONSTRUCTION

**House Renovation**  
507 Second Street  
Ann Arbor, MI 48103

Revisions:

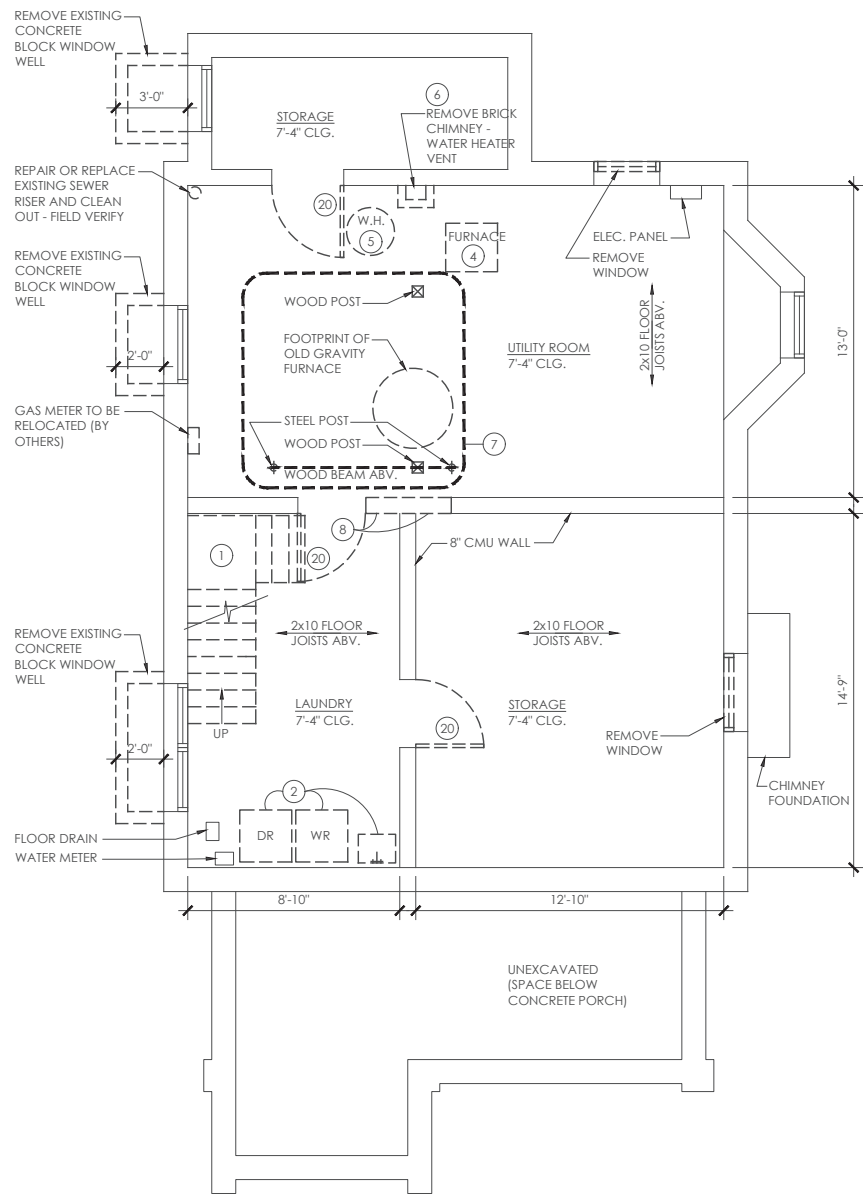
Project No. P2107

Date: 09/18/2021

**A1.1**

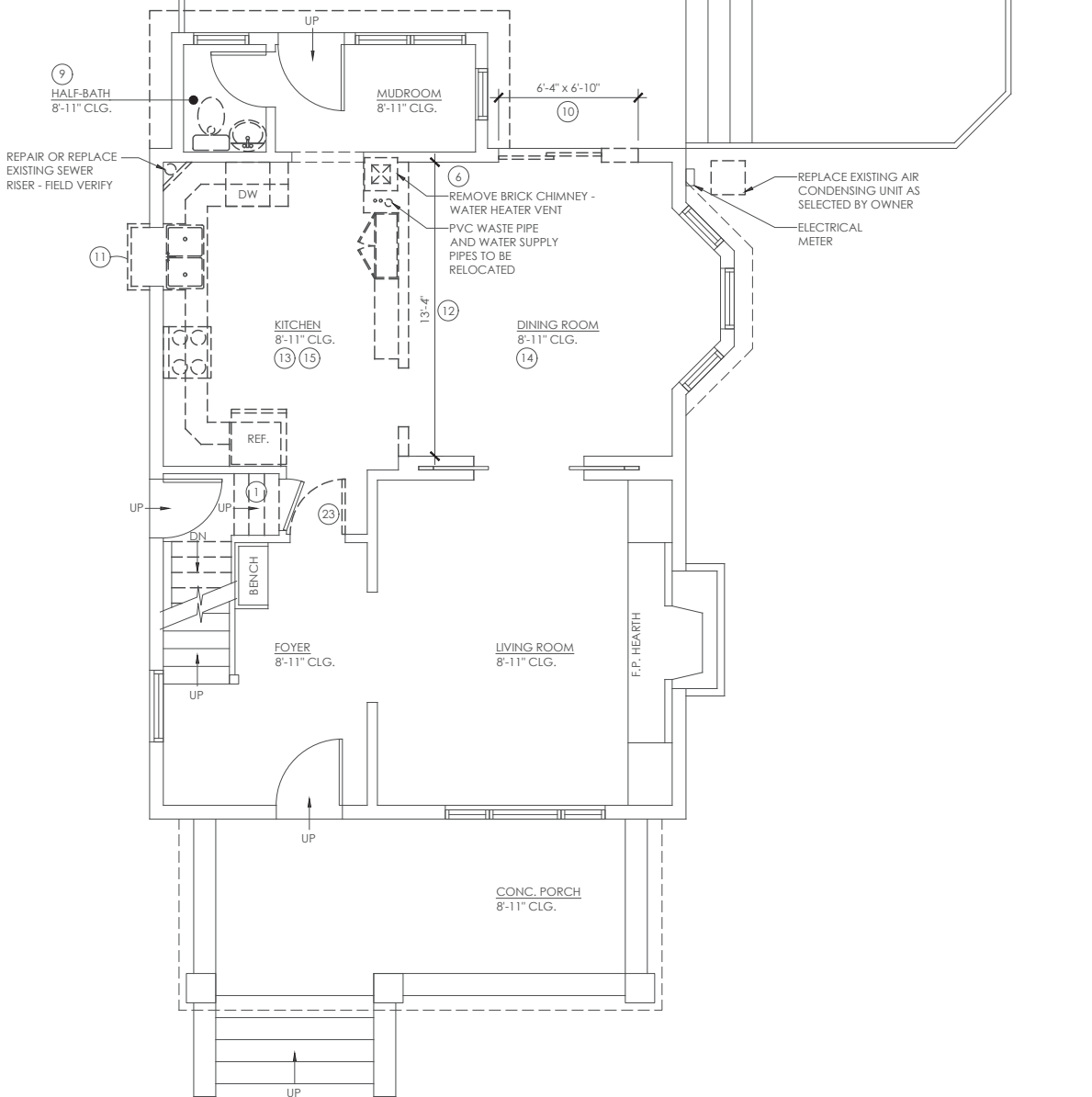
Print on:  
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EXISTING BASEMENT FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0" ON 22"x34"  
SCALE: 1/8" = 1'-0" ON 11"x17"



EXISTING FIRST FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0" ON 22"x34"  
SCALE: 1/8" = 1'-0" ON 11"x17"



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES

- REMOVE EXISTING WOOD BASEMENT STAIR TO ACCOMMODATE NEW WOOD STAIR CONSTRUCTION.
- REMOVE EXISTING WASHER, DRYER, AND SINK. CAP PLUMBING. REMOVE DRYER VENT AND GAS LINE. NEW SINK TO BE INSTALLED IN FURNACE ROOM.
- NOTE NOT USED.
- EXISTING FURNACE TO BE REPLACED AS SELECTED BY OWNER.
- EXISTING WATER HEATER TO BE REPLACE AS SELECTED BY OWNER. REMOVE VENT PIPE IN CHIMNEY (SEE NOTE #6).
- REMOVE EXISTING BRICK CHIMNEY TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE EXISTING RETROFIT SUPPORT COLUMNS AND BEAMS IN THIS AREA TO ACCOMMODATE NEW ADDITIONAL FLOOR JOISTS. ALSO SAW-CUT AND REMOVE CONCRETE SLAB TO REMOVE FOOTPRINT OF OLD GRAVITY FURNACE TO ACCOMMODATE NEW CONCRETE SLAB INFILL.
- REMOVE/REPAIR EXISTING 8" CONCRETE BLOCK WALL IN THIS AREA. NEW CONCRETE BLOCK CONSTRUCTION TO SUPPORT NEW BEAM AND FLOOR JOISTS ABOVE. SEE A2.0 FOR MORE INFORMATION.
- IN THE HALF-BATH: REMOVE EXISTING PLUMBING FIXTURES, WALL PAPER, LIGHT FIXTURE, AND WATER-DAMAGED WOOD FLOORING AT THE TOILET. ALSO REMOVE THE EXISTING TOILET WASTE PIPE TO ACCOMMODATE NEW.
- REMOVE PATIO DOOR AND EXTERIOR WALL TO ACCOMMODATE INSTALLATION OF NEW HEADER AND LARGER DOOR.
- REMOVE EXISTING TERRARIUM WINDOW. SEE A2.1 FOR NEW WINDOW.
- REMOVE LOAD-BEARING WALL TO ACCOMMODATE INSTALLATION OF NEW BEAM.
- REMOVE EXISTING KITCHEN CABINETS, COUNTERTOPS, AND APPLIANCES TO ACCOMMODATE NEW.
- REMOVE THE EXISTING TILED CEILING IN THE DINING ROOM TO ACCOMMODATE NEW GYPSUM BOARD CEILING.
- REMOVE THE EXISTING KITCHEN CEILING AS NEEDED TO INSTALL NEW BEAM, LIGHT FIXTURES, ETC.
- IN THE SECOND AND THIRD FLOOR BATHROOM: REMOVE EXISTING PLUMBING FIXTURES, CABINETS, AND FLOORING TO ACCOMMODATE NEW BATHROOM LAYOUT.
- EXISTING FLOOR VENT TO BE RELOCATED.
- REMOVE SHELVING, PATCH WALL TO MATCH EXISTING.
- REMOVE LOAD-BEARING WALL AS DIMENSIONED TO INSTALL NEW HEADER AND DOOR.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING WALL TO ACCOMMODATE NEW WALL CONSTRUCTION AT ENLARGED CLOSET AND BATHROOM.
- REMOVE EXISTING WINDOW AND EXTERIOR WALL TO ACCOMMODATE NEW (LARGER) EGRESS WINDOW.
- REMOVE EXISTING DOOR AND WOOD CASING TO ACCOMMODATE NEW GYPSUM BOARD FINISH AT OPENING JAMBS AND HEADER.
- REMOVE EXISTING CLOSET DOORS, SHELVING, WALLS, TO ACCOMMODATE NEW CLOSET LAYOUT.
- EXISTING WINDOW TO REMAIN - REMOVE GLASS ONLY TO INSTALL NEW TEMPERED SAFETY GLASS
- REMOVE EXTERIOR WALL TO INSTALL NEW BATHROOM WINDOW AND HEADER.

GENERAL DEMOLITION NOTES

- REMOVE ALL LIGHT FIXTURES THROUGHOUT ALL (4) FLOORS OF THE HOUSE TO ACCOMMODATE NEW.
- REMOVE ALL CARPETING ON THE SECOND FLOOR AND STAIRS LEADING TO THE SECOND FLOOR TO ACCOMMODATE REFINISHING OF EXISTING WOOD FLOORING.
- REMOVE EXISTING KNOB & TUBE WIRING IN THE BASEMENT.

KRATZ  
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734-219-4877

FOR HISTORIC DISTRICT  
COMMISSION REVIEW  
NOT FOR CONSTRUCTION

House Renovation  
507 Second Street  
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Revisions:

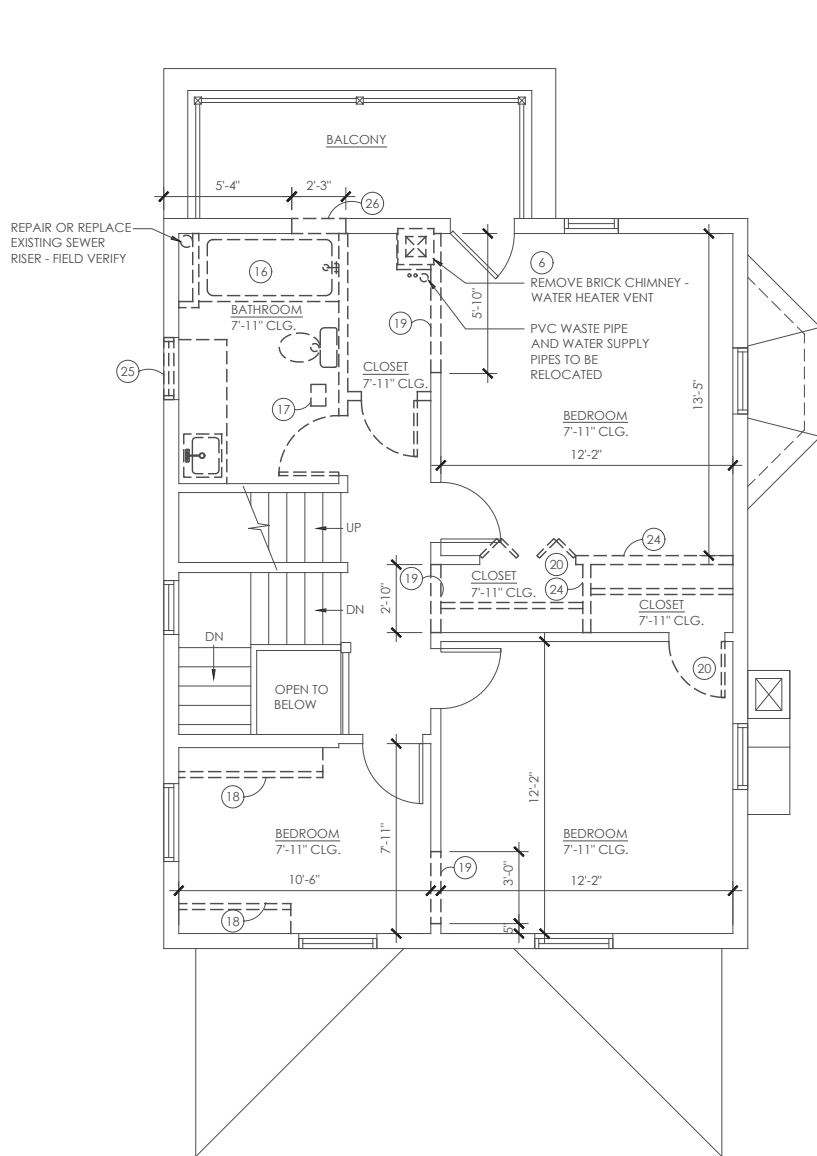
Project No. P2107

Date: 09/18/2021

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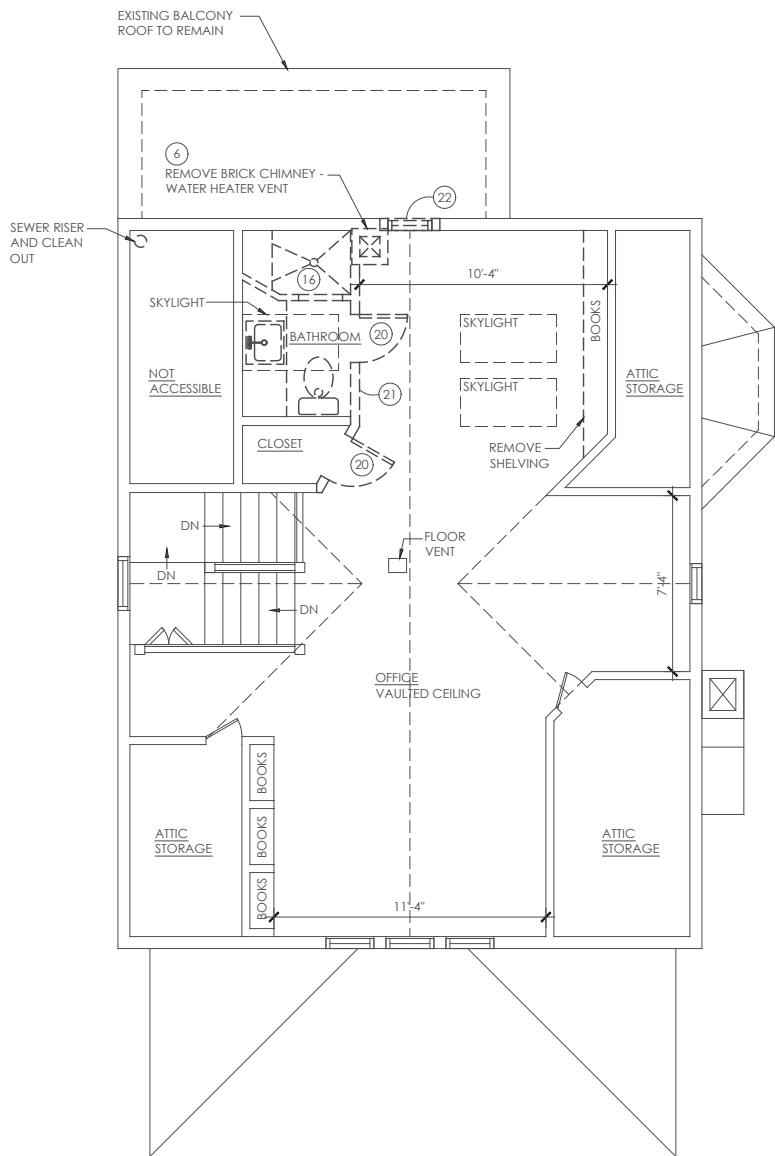
Print on:  
22"x34" paper or  
11"x17" paper (50% scale)





EXISTING SECOND FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0" ON 22"x34"  
SCALE: 1/8" = 1'-0" ON 11"x17"



EXISTING THIRD FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0" ON 22"x34"  
SCALE: 1/8" = 1'-0" ON 11"x17"



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES

- REMOVE EXISTING WOOD BASEMENT STAIR TO ACCOMMODATE NEW WOOD STAIR CONSTRUCTION.
- REMOVE EXISTING WASHER, DRYER, AND SINK. CAP PLUMBING. REMOVE DRYER VENT AND GAS LINE. NEW SINK TO BE INSTALLED IN FURNACE ROOM.
- NOTE NOT USED.
- EXISTING FURNACE TO BE REPLACED AS SELECTED BY OWNER.
- EXISTING WATER HEATER TO BE REPLACE AS SELECTED BY OWNER. REMOVE VENT PIPE IN CHIMNEY (SEE NOTE #6).
- REMOVE EXISTING BRICK CHIMNEY TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE EXISTING RETROFIT SUPPORT COLUMNS AND BEAMS IN THIS AREA TO ACCOMMODATE NEW ADDITIONAL FLOOR JOISTS. ALSO SAW-CUT AND REMOVE CONCRETE SLAB TO REMOVE FOOTPRINT OF OLD GRAVITY FURNACE TO ACCOMMODATE NEW CONCRETE SLAB INFILL.
- REMOVE/REPAIR EXISTING 8" CONCRETE BLOCK WALL IN THIS AREA. NEW CONCRETE BLOCK CONSTRUCTION TO SUPPORT NEW BEAM AND FLOOR JOISTS ABOVE. SEE A2.0 FOR MORE INFORMATION.
- IN THE HALF-BATH: REMOVE EXISTING PLUMBING FIXTURES, WALL PAPER, LIGHT FIXTURE, AND WATER-DAMAGED WOOD FLOORING AT THE TOILET. ALSO REMOVE THE EXISTING TOILET WASTE PIPE TO ACCOMMODATE NEW.
- REMOVE PATIO DOOR AND EXTERIOR WALL TO ACCOMMODATE INSTALLATION OF NEW HEADER AND LARGER DOOR.
- REMOVE EXISTING TERRARIUM WINDOW. SEE A2.1 FOR NEW WINDOW.
- REMOVE LOAD-BEARING WALL TO ACCOMMODATE INSTALLATION OF NEW BEAM.
- REMOVE EXISTING KITCHEN CABINETS, COUNTERTOPS, AND APPLIANCES TO ACCOMMODATE NEW.
- REMOVE THE EXISTING TILED CEILING IN THE DINING ROOM TO ACCOMMODATE NEW GYPSUM BOARD CEILING.
- REMOVE THE EXISTING KITCHEN CEILING AS NEEDED TO INSTALL NEW BEAM, LIGHT FIXTURES, ETC.
- IN THE SECOND AND THIRD FLOOR BATHROOM: REMOVE EXISTING PLUMBING FIXTURES, CABINETS, AND FLOORING TO ACCOMMODATE NEW BATHROOM LAYOUT.
- EXISTING FLOOR VENT TO BE RELOCATED.
- REMOVE SHELVING, PATCH WALL TO MATCH EXISTING.
- REMOVE LOAD-BEARING WALL AS DIMENSIONED TO INSTALL NEW HEADER AND DOOR.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING WALL TO ACCOMMODATE NEW WALL CONSTRUCTION AT ENLARGED CLOSET AND BATHROOM.
- REMOVE EXISTING WINDOW AND EXTERIOR WALL TO ACCOMMODATE NEW (LARGER) EGRESS WINDOW.
- REMOVE EXISTING DOOR AND WOOD CASING TO ACCOMMODATE NEW GYPSUM BOARD FINISH AT OPENING JAMBS AND HEADER.
- REMOVE EXISTING CLOSET DOORS, SHELVING, WALLS, TO ACCOMMODATE NEW CLOSET LAYOUT.
- EXISTING WINDOW TO REMAIN - REMOVE GLASS ONLY TO INSTALL NEW TEMPERED SAFETY GLASS
- REMOVE EXISTING KNOB & TUBE WIRING IN THE BASEMENT.

GENERAL DEMOLITION NOTES

- REMOVE ALL LIGHT FIXTURES THROUGHOUT ALL (4) FLOORS OF THE HOUSE TO ACCOMMODATE NEW.
- REMOVE ALL CARPETING ON THE SECOND FLOOR AND STAIRS LEADING TO THE SECOND FLOOR TO ACCOMMODATE REFINISHING OF EXISTING WOOD FLOORING.
- REMOVE EXISTING KNOB & TUBE WIRING IN THE BASEMENT.

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Revisions:

Project No. P2107

Date: 09/18/2021

D2.2

Print on:  
22"x34" paper or  
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FOR HISTORIC DISTRICT  
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# House Renovation

507 Second Street  
Ann Arbor, MI 48103

Revisions:

Project No. P2107

Date: 09/18/2021

## D3.1

Print on:  
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**LEGEND:**

— EXISTING CONSTRUCTION TO REMAIN

- - - EXISTING CONSTRUCTION TO BE REMOVED

**DEMOLITION NOTES**

1 REMOVE EXISTING CONCRETE BASEMENT WINDOW WELL AND REPLACE WITH NEW - SEE SHEET A2.1

2 REMOVE EXISTING BRICK CHIMNEY TO ACCOMMODATE NEW CONSTRUCTION.

3 REMOVE PATIO DOOR AND EXTERIOR WALL TO ACCOMMODATE INSTALLATION OF NEW HEADER AND LARGER DOOR.

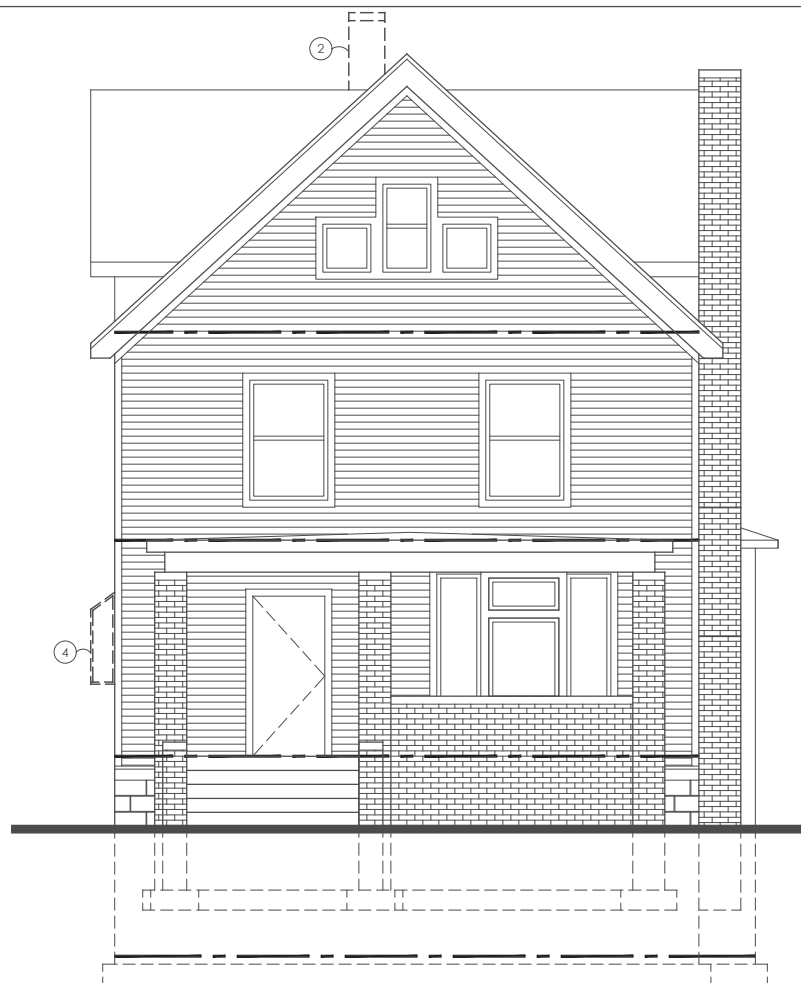
4 REMOVE EXISTING TERRARIUM WINDOW. SEE A2.1 FOR NEW WINDOW.

5 REMOVE EXISTING WINDOW AND EXTERIOR WALL TO ACCOMMODATE NEW EGRESS WINDOW.

6 EXISTING WINDOW TO REMAIN - REMOVE GLASS ONLY TO INSTALL NEW TEMPERED SAFETY GLASS

7 REMOVE EXISTING SIDING TO ACCOMMODATE NEW SHED ROOF CONSTRUCTION.

8 REMOVE EXTERIOR WALL TO INSTALL NEW BATHROOM WINDOW AND HEADER.



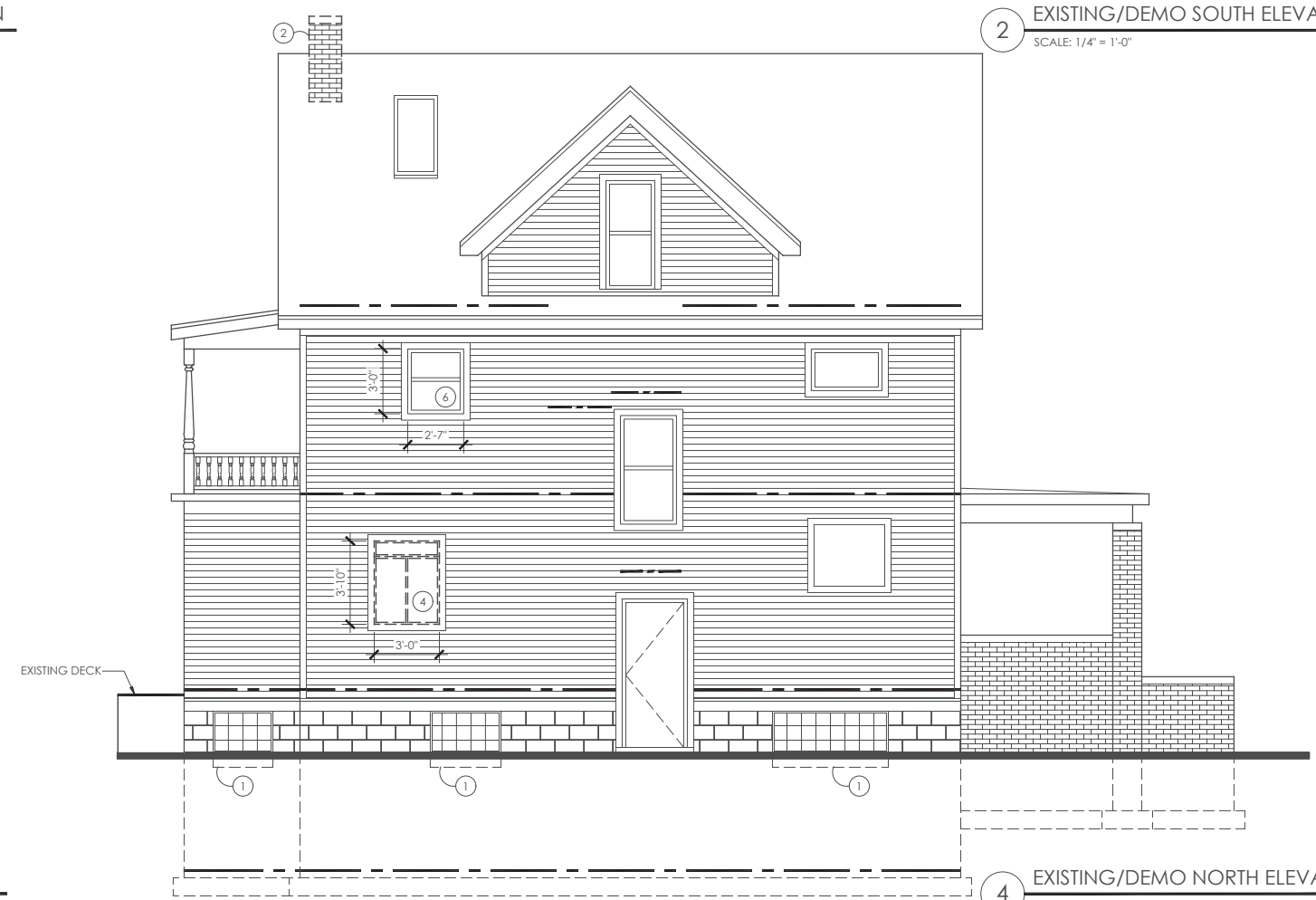
1 EXISTING/DEMO WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING/DEMO SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING/DEMO EAST ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING/DEMO NORTH ELEVATION  
SCALE: 1/4" = 1'-0"







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Print on:  
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EXISTING CONSTRUCTION TO REMAIN

NEW INTERIOR WALL CONSTRUCTION:  
1/2" GYPSUM BOARD ON BOTH SIDES OF  
2x4 STUDS @ 16" O.C.  
NOTE: PROVIDE 1/2" WATER RESISTANT GYPSUM  
BOARD OR CEMENT BOARD IN WET LOCATIONS

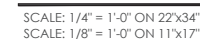
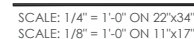
NEW 8" CONCRETE BLOCK - GROUT SOLID AT  
LOAD-BEARING CONDITION

- (1) REPAIR AND/OR INSTALL NEW 8" CONCRETE BLOCK - GROUT SOLID AT LOAD-BEARING BEAM ABOVE.
- (2) REPLACE TRIM WHERE DOOR WAS REMOVED TO MATCH EXISTING
- (3) RELOCATED WATER SUPPLY PIPING AND WASTE PIPING FROM SECOND AND THIRD FLOOR BATHROOMS.
- (4) PATCH AND INFILL FLOOR/WALLS WHERE BRICK CHIMNEY WAS REMOVED.
- (5) NEW BATHROOM FIXTURES AS SELECTED BY OWNER.
- (6) SHADED AREA INDICATES REPAIR WATER-DAMAGED WOOD FLOORING. REFINISH ENTIRE FLOOR IN HALF-BATH.
- (7) REPLACE TOILET WASTE PIPE BELOW HALF-BATH.
- (8) NEW BEAM ABOVE TO BE SIZED BY STRUCTURAL ENGINEER.
- (9) INSTALL (3-4) NEW FLOOR JOISTS ABOVE ALONGSIDE EXISTING TO PROVIDE ADDITIONAL SUPPORT FOR NEW BATHROOMS ABOVE.
- (10) INSTALL AND/OR REPAIR GYPSUM BOARD CEILING ABOVE THE KITCHEN AND DINING ROOM AS REQUIRED.
- (11) CONVERT WOOD BURNING FIREPLACE INTO A GAS FIREPLACE - COORDINATE WITH OWNER
- (12) NEW BATHROOM FIXTURES AND FLOORING AS SELECTED BY OWNER.
- (13) NOTE NOT USED
- (14) AT SECOND FLOOR BATHROOM, PROVIDE ELECTRICAL HOOKUP FOR OWNER PROVIDED BIDET.
- (15) AT THE NEW 2ND FLOOR LAUNDRY ROOM: INSTALL OWNER PROVIDED STACKABLE WASHER AND DRYER. INSTALL NEW TILE FLOORING AS SELECTED BY OWNER. PROVIDE DRYER EXHAUST VENT TO EXTERIOR WALL. VERIFY DIRECTION OF WASHER AND DRYER DOOR SWING AND COORDINATE WITH INSTALLATION OF NEW LOUVERED DOOR.
- (16) PROVIDE VERTICAL SEALANT BETWEEN THE EXISTING CHIMNEY AND HOUSE
- (17) REPAIR FLASHING AROUND (3) SKYLIGHTS TO STOP LEAKING.

- 1.) STRIP PAINT OFF THE 2ND FLOOR MASTER BEDROOM WOOD TRIM TO ACCOMMODATE NEW FINISH AS SELECTED BY OWNER (WINDOW AND DOOR CASING AND BASEBOARDS)
- 2.) REFINISH WOOD FLOORING ON THE SECOND FLOOR AND ON THE STAIRS LEADING TO THE SECOND FLOOR AFTER CARPET HAS BEEN REMOVED.
- 3.) CLEAN, PATCH, AND SEAL THE BASEMENT CONCRETE FLOOR.
- 4.) SEAL AND PAINT ALL BASEMENT CONCRETE WALLS.
- 5.) PAINT ALL GYPSUM BOARD WALLS AND CEILINGS THROUGHOUT THE HOUSE - COLOR TO BE SELECTED BY OWNER.
- 6.) PROVIDE NEW BLOW-IN CELLULOSE INSULATION IN ALL EXTERIOR WALLS AND ROOF (FIELD VERIFY EXISTING INSULATION IN ROOF).

- 1.) INSTALL ALL LIGHT FIXTURES THROUGHOUT ALL (4) FLOORS OF THE HOUSE AS SELECTED BY OWNER. EXCEPTIONS:
  - FOYER LIGHT FIXTURE TO REMAIN
  - SECOND FLOOR HALLWAY LIGHT FIXTURE TO REMAIN.
- 2.) UPDATE ALL GFCI OUTLETS AS REQUIRED.
- 3.) UPDATE ELECTRICAL SERVICE TO ACCOMMODATE FUTURE SOLAR PANELS AND ELECTRIC CAR CHARGING STATION.

- 1.) REPLACE ALL PLUMBING FIXTURES THROUGHOUT THE HOUSE AS SELECTED BY OWNER.
- 2.) REPAIR EXISTING BASEMENT COPPER AND GALVANIZED PIPING THAT ARE IN CONTACT WITH EACH OTHER.
- 3.) SCOPE AND INSPECT EXISTING STORM AND SANITARY STORM DRAINS FOR DAMAGE - RECOMMEND REPAIRS IF NEEDED.
- 4.) INSTALL BACKFLOW PREVENTERS ON (2) EXTERIOR HOSE BIBBS.





FOR HISTORIC DISTRICT  
COMMISSION REVIEW  
NOT FOR CONSTRUCTION

House Renovation  
507 Second Street  
Ann Arbor, MI 48103

Revisions:

Project No. P2107

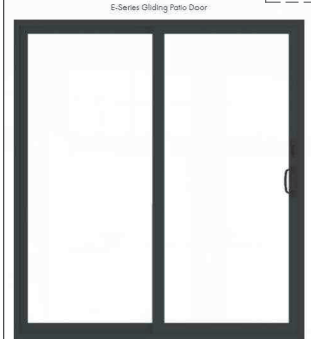
Date: 09/18/2021

A3.1

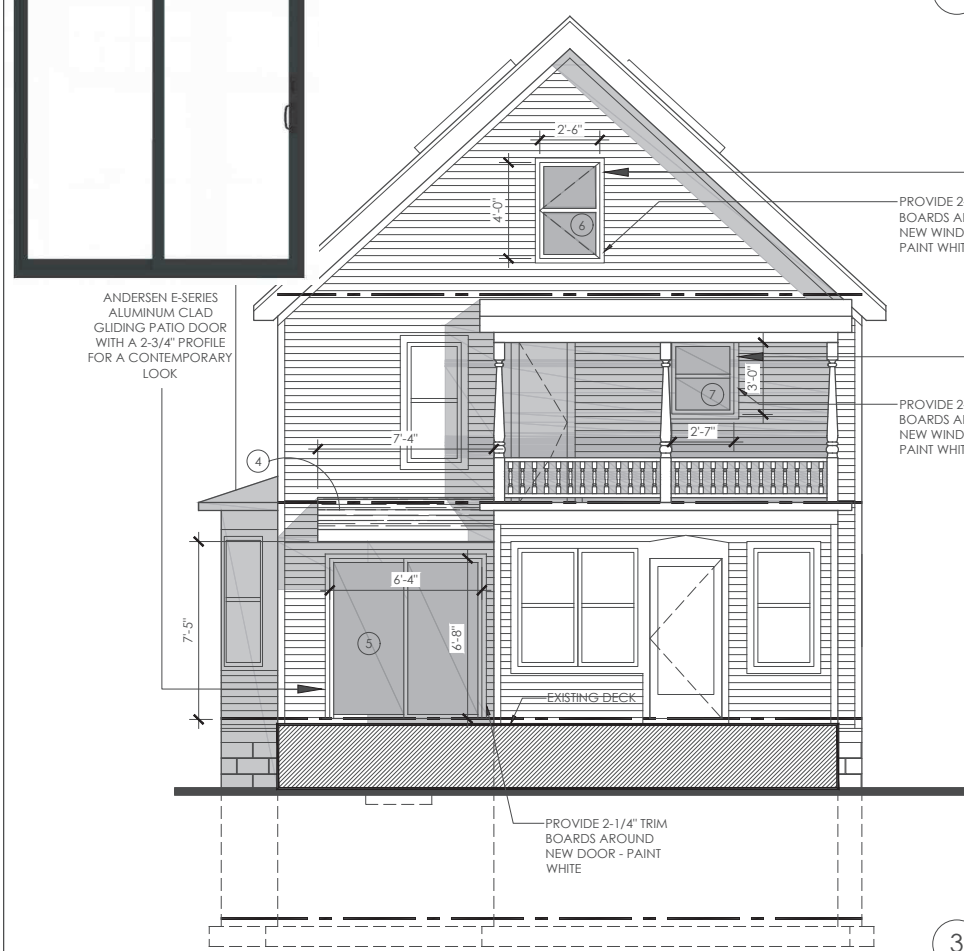
Print on:  
22"x34" paper or  
11"x17" paper (50% scale)

- NEW CONSTRUCTION NOTES
- 1 NEW EXTERIOR WALL CONSTRUCTION WITH SIDING TO MATCH EXISTING (WOOD LAP SIDING WITH 3-1/2" EXPOSURE) - PAINT AS SELECTED BY OWNER.
  - 2 NEW CONCRETE WINDOW WELL PER SITE PLAN
  - 3 PATCH/INFILL ROOF WHERE OLD CHIMNEY WAS REMOVED
  - 4 NEW SHED ROOF WITH SHINGLES, FASCIA, SOFFIT, SIDING, GUTTER AND DOWNSPOUT - ALL TO MATCH EXISTING
  - 5 NEW PATIO DOOR WITH SCREEN PER SHEET A2.1.
  - 6 NEW BEDROOM EGRESS WINDOW WITH FALSE HORIZONTAL MUNTIN - SEE WINDOW SCHEDULE ON SHEET A2.1.
  - 7 NEW WINDOW PER WINDOW SCHEDULE ON SHEET A2.1.
  - 8 EXISTING WINDOW TO REMAIN - REMOVE GLASS ONLY TO INSTALL NEW TEMPERED SAFETY GLASS

1 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



ANDERSEN E-SERIES  
ALUMINUM CLAD  
GLIDING PATIO DOOR  
WITH A 2-3/4" PROFILE  
FOR A CONTEMPORARY  
LOOK

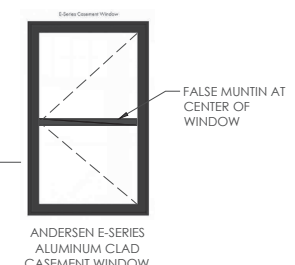


PROVIDE 2-1/4" TRIM  
BOARDS AROUND  
NEW WINDOW -  
PAINT WHITE

PROVIDE 2-1/4" TRIM  
BOARDS AROUND  
NEW WINDOW -  
PAINT WHITE

PROVIDE 2-1/4" TRIM  
BOARDS AROUND  
NEW DOOR - PAINT  
WHITE

3 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



FALSE MUNTIN AT  
CENTER OF  
WINDOW



ANDERSEN E-SERIES  
ALUMINUM CLAD  
DOUBLE-HUNG WINDOW

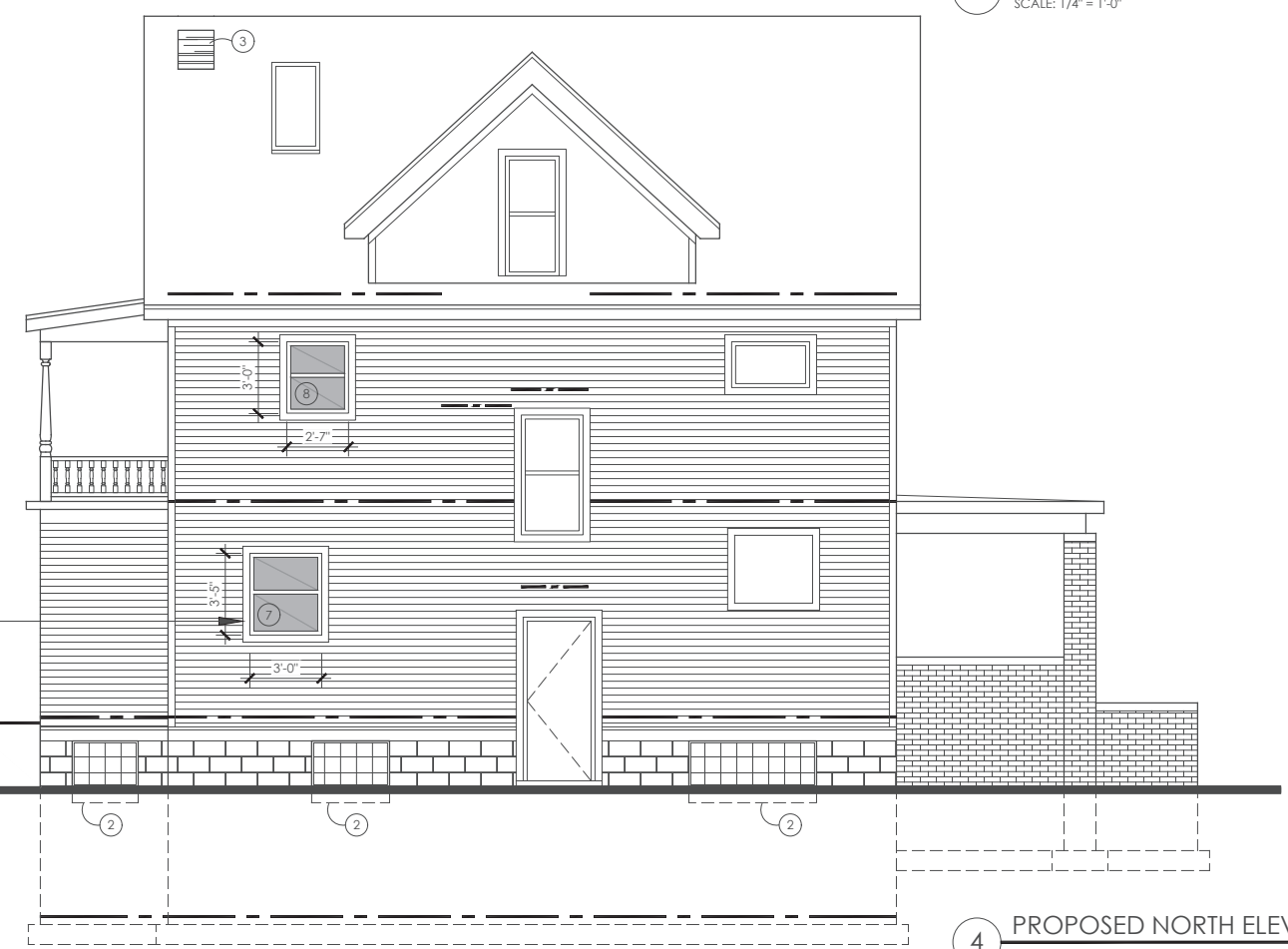


ANDERSEN E-SERIES  
ALUMINUM CLAD  
DOUBLE-HUNG WINDOW

2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING DECK



EXISTING DECK

4 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



## Casement Window Sizes

	1' 6 1/4"	1' 8 1/2"	2' 0 1/2"	2' 4 1/2"	2' 6 1/2"	2' 8 1/2"	3' 0 1/2"
	1' 5 3/4"	1' 8"	2' 0"	2' 4"	2' 6"	2' 8"	3' 0"
2' 0 1/2"							
2' 6 1/2"							
2' 8 1/2"							
3' 0 1/2"							
3' 4"							
4' 0 1/2"							
4' 6 1/2"							
5' 0 1/2"							
5' 6 1/2"							
6' 0 1/2"							

### NOTES

† These units meet or exceed the following dimensions: Clear Opening Area 5.7 sq. ft., Clear Opening Width 20", Clear Opening Height 24" and 44" maximum floor to sill height (with standard 6' 10-1/2" structural header height).

†† Units meet the stated dimensions above when optional hardware for widest clear opening is used.

\* A sash-limiting device is standard on 2856 and 3050 casement units. See your local code official for requirements in your area.

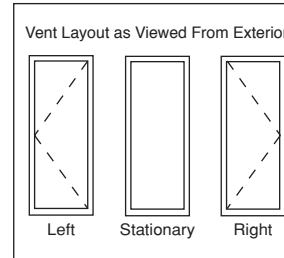
\*\* A piano hinge and sash limiting device is standard on 2860, 3056 and 3060 casement units.

If glass is positioned within 18" of the finished floor, safety/tempered glass may be required. Local codes may differ. Verify tempered glass requirements with your local building code official.

Use structural joining material when necessary or required by code.

The light patterns illustrated apply to rectangular removable interior wood grilles, Full Divided Light, Simulated Divided Light, Decorelle 100, 150 and 400 and Finelight™ Grilles-Between-the-Glass. All removable interior wood grilles will be installed in the units unless otherwise specified.

For a metric conversion in millimeters, multiply dimensions in inches by 25.4.



### FORMULA FOR COMBINATION WINDOWS

The overall frame dimension (both width and height) is equal to the sum of the individual unit frame dimensions plus joining material dimension(s).

The overall rough opening (both width and height) is equal to the overall frame dimensions plus 1/4" on all sides.

Any unit within each combination can be operating or stationary.

Joined Casement Combinations	2-Wide		3-Wide		4-Wide		5-Wide	
Single Unit Frame Width	Rough Opening Width	Frame Width	Rough Opening Width	Frame Width	Rough Opening Width	Frame Width	Rough Opening Width	Frame Width
1'-5 3/4"	3'-0"	2'-11 1/2"	4'-5 3/4"	4'-5 1/4"	5'-11 1/2"	5'-11"	7'-5 1/4"	7'-4 3/4"
1'-8"	3'-4 1/2"	3'-4"	5'-0 1/2"	5'-0"	6'-8 1/2"	6'-8"	8'-4 1/2"	8'-4"
2'-0"	4'-0 1/2"	4'-0"	6'-0 1/2"	6'-0"	8'-0 1/2"	8'-0"	10'-0 1/2"	10'-0"
2'-4"	4'-8 1/2"	4'-8"	7'-0 1/2"	7'-0"	9'-4 1/2"	9'-4"	11'-8 1/2"	11'-8"
2'-6"	5'-0 1/2"	5'-0"	7'-6 1/2"	7'-6"	10'-0 1/2"	10'-0"	12'-6 1/2"	12'-6"
2'-8"	5'-4 1/2"	5'-4"	8'-0 1/2"	8'-0"	10'-8 1/2"	10'-8"	13'-4 1/2"	13'-4"
3'-0"	6'-0 1/2"	6'-0"	9'-0 1/2"	9'-0"	12'-0 1/2"	12'-0"	15'-0 1/2"	15'-0"

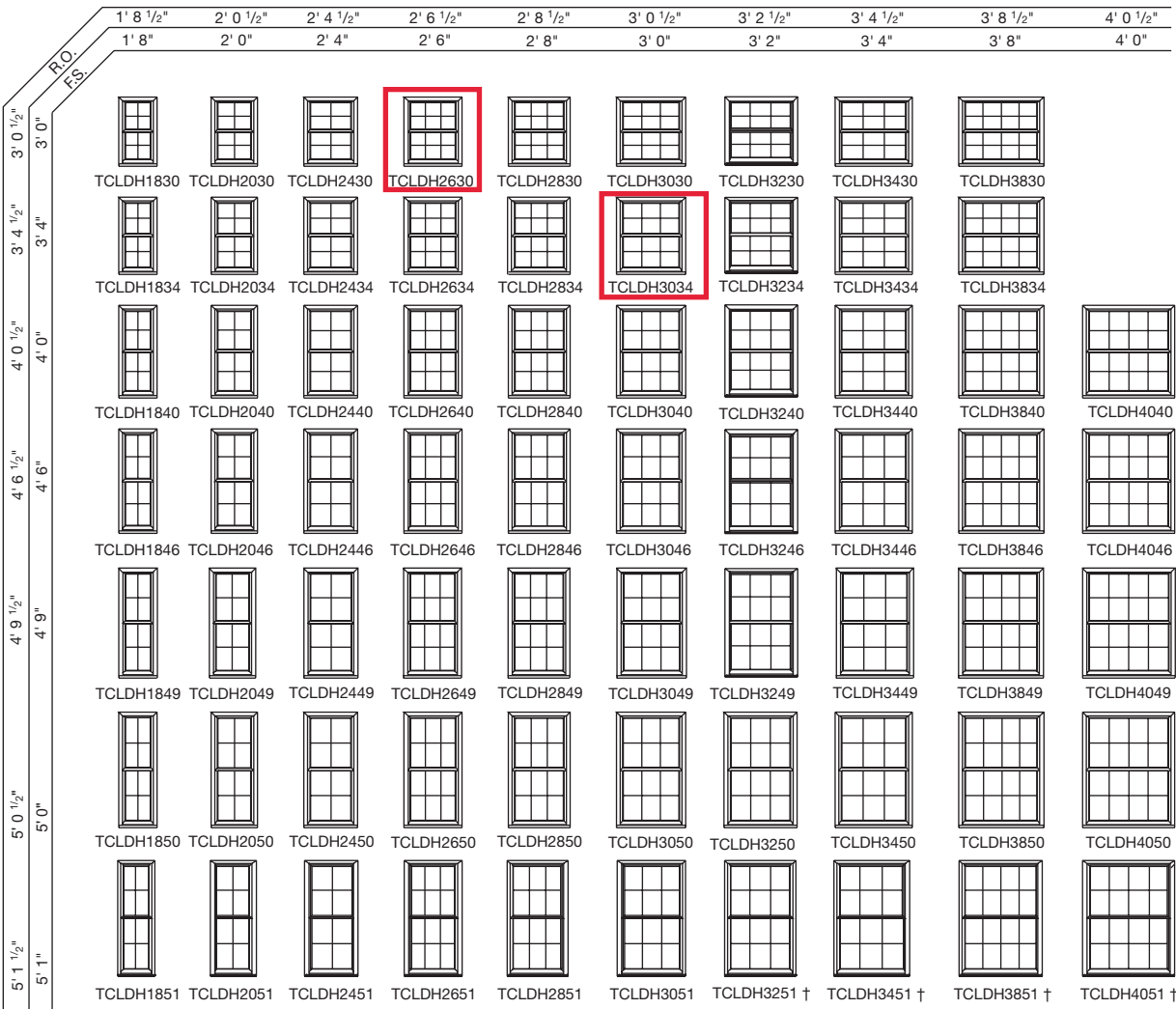
FOR WINDOWS GREATER THAN 30 SQUARE FEET OR RATED HIGHER THAN PG50, ONE OF THESE THREE INSTALLATION METHODS IS REQUIRED:  
A) THROUGH THE JAMB B) ALUMINUM INSTALLATION FLANGE OR C) INSTALLATION CLIPS.  
ADDITIONAL CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.



E-SERIES DOUBLE-HUNG & SINGLE-HUNG WINDOWS



Double-Hung Window Sizes



Joined Double-Hung Combinations					
2-Wide			3-Wide		
Single Unit Frame Width	Rough Opening Width	Frame Width	Single Unit Frame Width	Rough Opening Width	Frame Width
1'-8"	3'-4 1/2"	3'-4"	1'-8"	5'-0 1/2"	5'-0"
2'-0"	4'-0 1/2"	4'-0"	2'-0"	6'-0 1/2"	6'-0"
2'-4"	4'-8 1/2"	4'-8"	2'-4"	7'-0 1/2"	7'-0"
2'-6"	5'-0 1/2"	5'-0"	2'-6"	7'-6 1/2"	7'-6"
2'-8"	5'-4 1/2"	5'-4"	2'-8"	8'-0 1/2"	8'-0"
3'-0"	6'-0 1/2"	6'-0"	3'-0"	9'-0 1/2"	9'-0"
3'-2"	6'-4 1/2"	6'-4"	3'-2"	9'-6 1/2"	9'-6"
3'-4"	6'-8 1/2"	6'-8"	3'-4"	10'-0 1/2"	10'-0"
3'-8"	7'-4 1/2"	7'-4"	3'-8"	11'-0 1/2"	11'-0"
4'-0"	8'-0 1/2"	8'-0"	4'-0"	12'-0 1/2"	12'-0"

**NOTES**  
† These units meet or exceed the following dimensions: Clear Opening Area 5.7 sq. ft., Clear Opening Width 20", Clear Opening Height 24" and 44" maximum floor to sill height (with standard 6' 10-1/2" structural header height). See your local code official for requirements in your area.

Units may be ordered with sash lifts if desired. Units 3' 0" and wider will use two sash lifts.

If glass is positioned within 18" of the finished floor, safety/tempered glass may be required. Local codes may differ. Verify tempered glass requirements with your local building code official.

Use structural joining material when necessary or required by code.

The light patterns illustrated apply to rectangular removable interior wood grilles, Full Divided Light, Simulated Divided Light, Decorelle 100, 150 and 400 and Finelight™ Grilles-Between-the-Glass. All removable interior wood grilles will be installed in the units unless otherwise specified.

For a metric conversion in millimeters, multiply dimensions in inches by 25.4.

**FORMULA FOR COMBINATION WINDOWS**  
The overall frame dimension (both width and height) is equal to the sum of the individual unit frame dimensions plus joining material dimension(s).

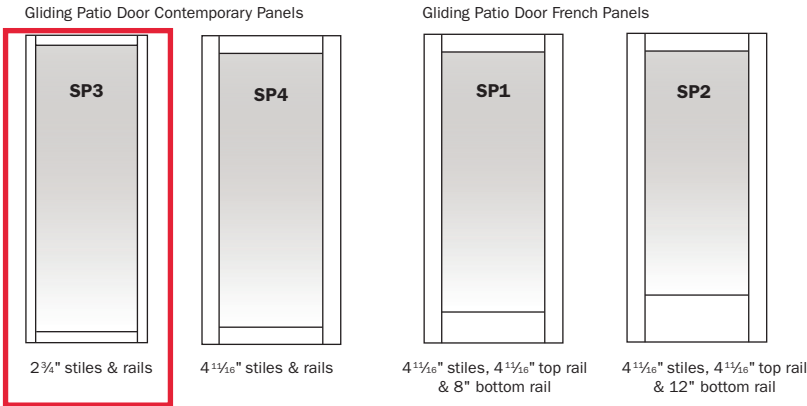
The overall rough opening (both width and height) is equal to the overall frame dimensions plus 1/4" on all sides.



# Gliding Patio Door Panel Labeling

## Door Panel Options

Andersen® E-Series offers both contemporary and French panel styles to complement traditional or modern architecture.



# Gliding Patio Door Handing

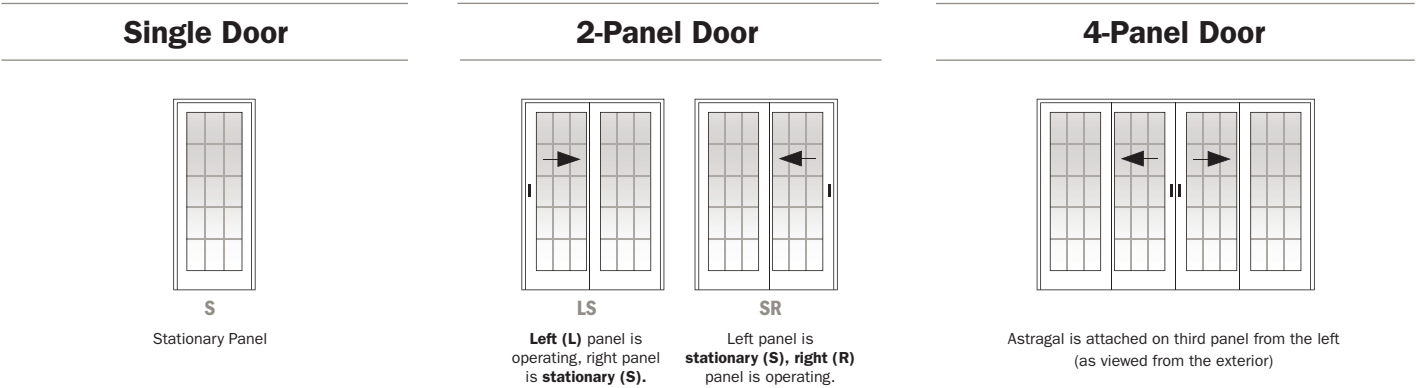
The door handing and order designation noted below is consistent with the handing of other Andersen® gliding patio doors and is used throughout the remainder of the gliding patio doors section.

## Identification

**As viewed from the exterior**, either the left or the right panel operates. The arrow designates the direction of panel operation. Stationary (S) doors can be used as an individual unit or as a sidelight.

# Gliding Patio Doors & French Gliding Patio Doors

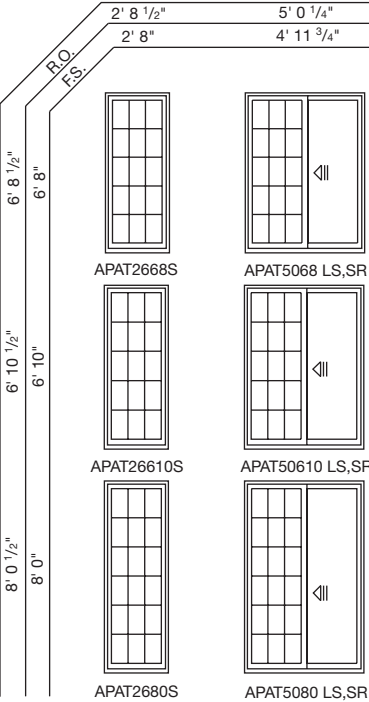
## Handing Options



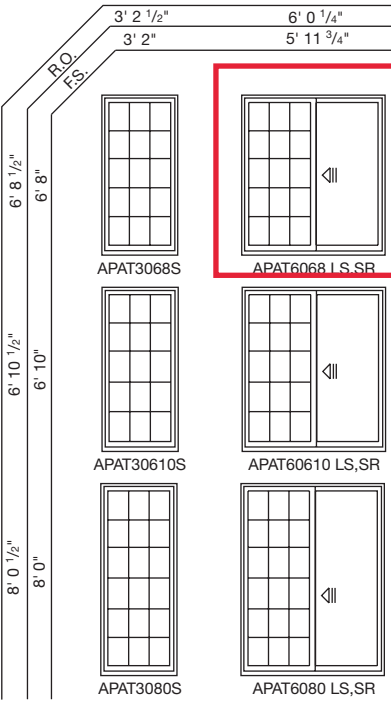
Order Designation Description	
	As Viewed From Exterior
Stationary	S
2-Panel Door	SR
	LS
4-Panel Door	—



Gliding Patio Door Sizes



Gliding Patio Door Sizes



NOTES

All doors and sidelights use safety/tempered glass.

Astragal is applied to third panel from the left (as viewed from the exterior) on a 4-panel gliding patio door.

\*\*4-panel doors are shipped knocked down and require field assembly because of size and weight.

Use structural joining material when necessary or required by code.

The light patterns illustrated apply to removable interior wood grilles, Full Divided Light, Simulated Divided Light, Decorelle 100, 150 and 400 and Finelight™ Grilles-Between-the-Glass. All removable interior wood grilles will be installed in the units unless otherwise specified.

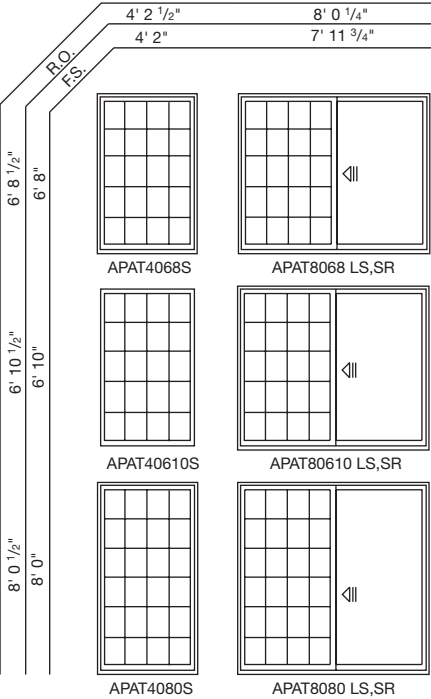
For a metric conversion in millimeters, multiply dimensions in inches by 25.4.

FORMULA FOR COMBINATION DOORS

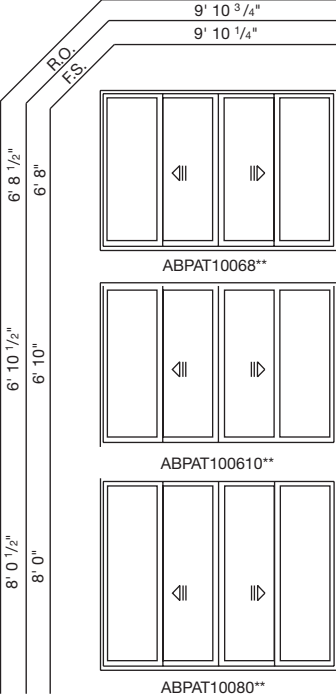
The overall frame dimension (both width and height) is equal to the sum of the individual unit frame dimensions plus joining material dimension(s).

The overall rough opening (both width and height) is equal to the overall frame dimensions plus 1/4" on all sides.

Gliding Patio Door Sizes



4-Panel Gliding Patio Door Sizes



CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.