



# City of Ann Arbor - Rental Housing

**Title (Permit #, Inspection Type, Address, Date):**

CR20-0045 - Initial Inspection - 1616 Traver - 8-17-2020

**Address**

535 S Fifth Ave  
Ann Arbor MI 48104  
United States  
(42.275072489904495, -83.74619616203358)

**Inspection Date**

8/17/20, 3:15 PM

**Inspector Name**



Brandon Boggs




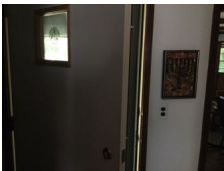
**Completed on**

8/17/20, 4:41 PM

## Failed Responses

This section lists responses that were set as "failed responses" in the template used for this audit.

| Question  | Response      | Details   |
|---|---------------|---|
| Measures must be retained to ensure there is adequate common area.  | Non-Compliant | Living room: 238 sqft<br>Kitchen: 122 sqft<br>Bath: 46 sqft<br>Study room: 8.56x7.57ft (65 sqft)<br>Bed 1: 90 sqft<br>Bed 2: 114 sqft             |
| Must have adequate insulation in the attic, this will require the owner/agent to provide a ladder on site.  | Non-Compliant | Unable to access. Was insulated a few years ago. Provide access or insulation certificate.  |
| Location: (In every sleeping area and every level, within 21 feet in the path of egress from each bedroom, must be 3 ft away from bathroom door, tip of ceiling fan blades, HVAC supply vents, and 10 feet from stove). | Non-Compliant | Kitchen smoke detector must be 10' or more from stove.  |
| Seal penetrations in walls/ceilings with equivalent rated material to maintain approved constructed assembly.   | Non-Compliant | Garage is adjoined to house. Drywall is 1/4". Obtain a building permit to separate garage wall from house. Drywall must be 1/2" and seams sealed. |
| <div>   </div> <div> Appendix 1 Appendix 2 </div>  |               |   |
| Ungrounded 3 prong outlets shall be grounded, 2 prong, or GFCI protected.   | Non-Compliant | Gfci in bath won't test with tester. If ungrounded label no equipment ground.<br>Bed 1:<br>Repair open ground outlets.                            |
| Install GFCI outlets anywhere within 6' of the edge of a sink or tub, all bath, and exterior.   | Non-Compliant | Gfci protect all outlets within 6' of laundry tub. Outlet at washer has reverse polarity.   |
| Must have ceiling/sidewall light or switched outlet in all habitable rooms, mechanical, storage, and rec rooms.   | Non-Compliant | Living room requires switch outlet or switch light fixture. Permit required.  |

| Question   | Response      | Details  |
|--|---------------|--|
| Water heaters installed within 5 years of the Rental inspection shall have City approved stickers affixed by the Building Department.  | Non-Compliant | Repair dripping T&P on water heater.                           |
| <div>   </div> <div> Appendix 3 Appendix 4 </div> |               |  |
| Wood burning fireplace must be inspected every 5 years or firebox sealed from use.   | Non-Compliant | Fire place failed. Make corrections or seal fire box from use. |
| <div>  </div> <div> Appendix 5 </div>  |               |  |
| <p>Must have a privacy lock (chain, hotel bar, etc) on all unit entry doors.</p> <p>Exception: Not required for Fraternity, Sorority, ICC Co-ops and State Licensed inspected group homes.</p>                     | Non-Compliant | <p>Add to front door.</p> <p>Add to rear door.</p>             |
| <div>  </div> <div> Appendix 6 </div>  |               |  |
| Pin locks or ventilation locks are required for double hung windows.   | Non-Compliant | All windows require vent locks.                                |



## Preliminary Questions

| Question   | Response      | Details   |
|--|---------------|---|
| Existing Layout on File?   | No            |   |
| <b>Acquire current layout and attach</b>   |               |   |
| Are there open permits less than 5 years old on record for the property?                                       | No            |   |
| First Time Rental?   | Yes           |   |
| Ensure rooms meet light and ventilation requirement of 8% and 4%   | Compliant     |   |
| The completion of the Cellar Occupancy Checklist is required for cellars with habitable space.                 | N/A           |   |
| Room measurements are required to ensure they are adequate for habitable space and to determine occupant load. | Compliant     |   |
| Ensure stairs are $\geq 27''$ wide, risers $\leq 9''$ in height, treads $\geq 9''$ in depth.                   | N/A           |   |
| Measures must be retained to ensure there is adequate common area.   | Non-Compliant | Living room: 238 sqft<br>Kitchen: 122 sqft<br>Bath: 46 sqft<br>Study room: 8.56x7.57ft (65 sqft)<br>Bed 1: 90 sqft<br>Bed 2: 114 sqft |
| Adequate egress must be determined based on the type of structure (such as egress window, stairs, etc.)        | Compliant     |   |
| Must have adequate insulation in the attic, this will require the owner/agent to provide a ladder on site.     | Non-Compliant | Unable to access. Was insulated a few years ago. Provide access or insulation certificate.  |
| Is there an active radon system?   | N/A           |   |
| Does the property have any variances?  | No            |   |
| General Property Notes   |               |   |

## Life Safety 8:527;8:509;8:504;8:503

| Question  | Response      | Details  |
|---|---------------|--|
| <b>Fire Safety 8:527;8:509;8:504;8:503</b>  |               |  |
| Smoke detectors must be in working order at the time of inspection.   | Compliant     |  |
| Location: (In every sleeping area and every level, within 21 feet in the path of egress from each bedroom, must be 3 ft away from bathroom door, tip of ceiling fan blades, HVAC supply vents, and 10 feet from stove). | Non-Compliant | Kitchen smoke detector must be 10' or more from stove. |
| A smoke detector must be installed on the ceiling at the bottom of the basement / cellar stairs.  | Compliant     |  |
| Replace outdated smoke detectors 10 year old or greater.<br>Exception: A fire alarm system that is inspected annually by a licensed fire alarm company.   | Compliant     |  |
| Remove hasp/barrel bolt from egress doors.  | N/A           |  |
| Exit signs/emergency lights must be working properly and maintained per approved installation.  | N/A           |  |
| Is there a monitored fire alarm?  | N/A           |  |
| Does the property require a group kitchen certificate?  | N/A           |  |
| Do fire extinguishers have current certification?   | N/A           |  |
| Is inhabitable space being used as bedroom?   | No            |  |
| Is property over-occupied?  | No            |  |

## Fire Chase 8:509

| Question   | Response             | Details   |
|--|----------------------|---|
| <b>Fire Chase 8:509</b>  |                      |   |
| Seal penetrations in walls/ceilings with equivalent rated material to maintain approved constructed assembly.  | <b>Non-Compliant</b> | Garage is adjoined to house. Drywall is 1/4". Obtain a building permit to separate garage wall from house. Drywall must be 1/2" and seams sealed. |
| <div style="display: flex; justify-content: space-around; align-items: flex-end;"> <div style="text-align: center;">  <p>Appendix 1</p> </div> <div style="text-align: center;">  <p>Appendix 2</p> </div> </div> |                      |   |
| Is there damaged drywall/plaster?  | <b>No</b>            |   |

## Interior Surfaces 8:509

| Question                                       | Response | Details |
|--|----------|---------|
| Do interior walls/ceilings have peeling paint? | No       |         |

## Electrical 8:505

| Question  | Response      | Details   |
|---|---------------|---|
| <b>Electrical 8:505</b>   |               |   |
| <b>GFCI</b>   |               |   |
| Ungrounded 3 prong outlets shall be grounded, 2 prong, or GFCI protected.                                       | Non-Compliant | Gfci in bath won't test with tester. If ungrounded label no equipment ground. Bed 1:<br>Repair open ground outlets. |
| Limit extension cord usage to one properly rated cord per appliance, max 6' in length.                          | Compliant     |   |
| Install GFCI outlets anywhere within 6' of the edge of a sink or tub, all bath, and exterior.                   | Non-Compliant | Gfci protect all outlets within 6' of laundry tub. Outlet at washer has reverse polarity.                           |
| <b>Outlets / Switches</b>   |               |   |
| Repair/replace missing or damaged outlets/ switches/covers.   | Compliant     |   |
| Ensure outlets are properly wired. (check for reverse polarity and open ground)                                 | Compliant     |   |
| Washers and dryers shall plug directly into an outlet.  | Compliant     |   |
| <b>Lighting</b>   |               |   |
| Must have ceiling/sidewall light or switched outlet in all habitable rooms, mechanical, storage, and rec rooms. | Non-Compliant | Living room requires switch outlet or switch light fixture. Permit required.  |
| Lights must be in operable condition.   | Compliant     |   |
| Globe/safety shield must be on light fixtures where required.   | Compliant     |   |
| Ensure 3 way switches are properly wired.   | Compliant     |   |
| <b>Electrical Panel</b>   |               |   |
| Ensure fuses are properly sized and S rated.  |               |   |
| Install approved dead front (inside cover) panel.   |               |   |



| Question  | Response  | Details |
|---|-----------|---------|
| Unused but missing breaker knock-outs shall be properly covered with a breaker blank. |           |         |
| Provide a minimum 3 foot clearance in front and side of panel.                        |           |         |
| <b>Wiring</b>   |           |         |
| All electrical wiring is properly secured with no deterioration.                      | Compliant |         |
| <b>Misc Electrical</b>  |           |         |
| Garbage disposal must be working and electrical strain relief clamp in place.         | Compliant |         |
| Ensure there are no open junction boxes.  | Compliant |         |


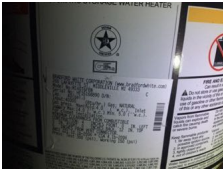
## Basic Winterization 8:528,8:502,8:509

| Question   | Response  | Details |
|--|-----------|---------|
| <b>Basic Winterization 8:528,8:502,8:509</b>   |           |         |
| There shall be no broken or cracked glass present at the time of inspection.           | Compliant |         |
| Windows must be weather tight and free of leaks.                                       | Compliant |         |
| Windows must be easily opened and have the ability to stay open without props.         | Compliant |         |
| Screens must be free of holes and tears and be installed between May 1 – September 30. | Compliant |         |


## Exits 8:504

| Question  | Response  | Details |
|---|-----------|---------|
| <b>Exits 8:504</b>  |           |         |
| Existing stairs must be kept in good repair and capable of supporting a live load of 100 lbs/sqft.  | N/A       |         |
| Existing handrails must be 26" to 38" above stair nosing and in good repair.  | N/A       |         |
| Guardrail and intermediate guard or balusters on open sides must be in good repair.   | N/A       |         |
| An emergency escape window must be in each bedroom (20" x 20" or min 14" w or 16" h with 500 sq in, clear window openings cannot be more than 54" above the floor). | Compliant |         |
| Multifamily only - Doors in the means of egress must self-close and latch.  | N/A       |         |
| Fire escape is structurally sound.  | N/A       |         |

## Plumbing 8:507

| Question   | Response      | Details                              |
|--|---------------|--------------------------------------|
| <b>Plumbing 8:507</b>  |               |                                      |
| Water heaters installed within 5 years of the Rental inspection shall have City approved stickers affixed by the Building Department.  | Non-Compliant | Repair dripping T&P on water heater. |
| <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>Appendix 3</p> </div> <div style="text-align: center;">  <p>Appendix 4</p> </div> </div> |               |                                      |
| Plumbing fixtures, drains and systems must be free from leaks, obstructions and defects and operating properly.  | Compliant     |                                      |
| Ensure adequate water pressure is maintained to allow fixtures to operate properly.  | Compliant     |                                      |
| Ensure both hot and cold water are operable (Hot water capable of a minimum 110 degrees).  | Compliant     |                                      |
| Vacuum breakers are required on all faucets capable of having a hose attached.   | Compliant     |                                      |
| Toilets must be secured to wall/floor.   | Compliant     |                                      |
| Maintain caulk around tub/shower, toilet, backsplash, sinks.   | Compliant     |                                      |
| Provide recent copy of sewer cleaning of basement with bedrooms.   | N/A           |                                      |

## Mechanical 8:506

| Question  | Response      | Details  |
|---|---------------|--|
| <b>Mechanical 8:506</b>   |               |  |
| Must provide furnace/boiler clean and check every 5 years. State certified boilers must have current State certificate. New boilers/furnaces with approved permits within 5 years are acceptable. | Compliant     |  |
| Wood burning fireplace must be inspected every 5 years or firebox sealed from use.  | Non-Compliant | Fire place failed. Make corrections or seal fire box from use. |
|  <p>Appendix 5</p>  |               |  |
| Ensure gas lines are secured and shutoff valve is accessible.   | Compliant     |  |
| Clothes dryer duct must be hard pipe metal and vented to the exterior with a damper (no screens). Some exceptions may apply, previously approved UL Listed materials installed are acceptable.    | Compliant     |  |
| Bath and Toilet rooms must have natural or mechanical ventilation.  | Compliant     |  |

### Storage 8:509,8:504

| Question   | Response  | Details |
|--|-----------|---------|
| <b>Storage 8:509,8:504</b>   |           |         |
| No storage within 5' of fuel fired furnace/boiler/water heater.              | Compliant |         |
| No storage on/under common area means of egress stairs in multifamily.       | N/A       |         |
| No storage within 2' of ceiling.   | Compliant |         |
| Storage in multifamily units must be 1 hour fire-rated rooms or sprinklered. | N/A       |         |
| Must maintain 27" aisles throughout dwelling.                                | Compliant |         |

## Sanitation 8:508

| Question  | Response  | Details |
|---|-----------|---------|
| <b>Sanitation 8:508</b>   |           |         |
| Dwellings must be kept in a clean and sanitary condition.           | Compliant |         |
| Bathrooms, kitchens and toilet rooms must have impervious flooring. | Compliant |         |
| Sink and tub coatings must be free of rust and chips.               | Compliant |         |

## Security 8:503

| Question   | Response      | Details  |
|--|---------------|--|
| <b>Security 8:503</b>  |               |  |
| <p>Must have a privacy lock (chain, hotel bar, etc) on all unit entry doors.</p> <p>Exception: Not required for Fraternity, Sorority, ICC Co-ops and State Licensed inspected group homes.</p> | Non-Compliant | <p>Add to front door.</p> <p>Add to rear door.</p> |
| <div data-bbox="90 609 316 779" data-label="Image"> </div> <p>Appendix 6</p>   |               |  |
| Must have deadbolts (1" throw) on all unit entry doors.  | Compliant     |  |
| Must have peephole on main unit entry door unless door has window or sidelight.  | Compliant     |  |
| Dowel rods (5/8") are required for all sliding windows/doors.  | Compliant     |  |
| Pin locks or ventilation locks are required for double hung windows.   | Non-Compliant | All windows require vent locks.                    |
| Window sash locks must be installed and operate properly.  | Compliant     |  |



## Exterior 8:509

| Question  | Response  | Details |
|---|-----------|---------|
| <b>Exterior 8:509</b>   |           |         |
| Walkways/driveways/parking lots must be free from trip hazards, holes and projections.                                | Compliant |         |
| Roof must be weather tight and free from leaks.   | Compliant |         |
| Exterior veneer must be weather tight, free of missing or loose brick and cracked mortar joints.                      | Compliant |         |
| Chimney cap, brick, flashing must be in good condition.   | Compliant |         |
| Exterior surface must be in good condition, free of rot, holes and no more than 15% of surface peeling/chipping/bare. | Compliant |         |

## Work Completed Without Permit

| Question  | Response | Details |
|---|----------|---------|
| Has any work been performed without required Permits? | No       |         |

## Media



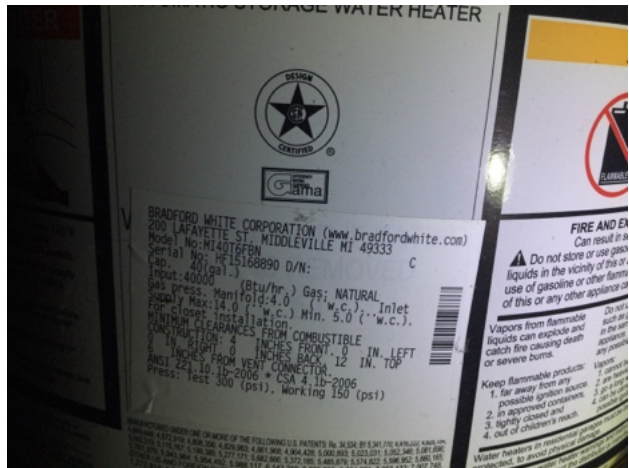
Appendix 1



Appendix 2



Appendix 3



Appendix 4



Appendix 5



Appendix 6