ANN ARBOR BUILDING BOARD OF APPEALS

STAFF REPORT

Meeting Date: June 17, 2021

Type of Request: Appeal

Building Board of Appeals Request **BBA**21-003 at 603 E. Liberty Ann Arbor, MI

(Parcel Identification Number: 09-09-29-108-039)

DESCRIPTION AND DISCUSSION

Property Owners Name and Address:

603 E. Liberty
Owner - Michigan Theater
603 E. Liberty

212 S. State and W. Washington
Owner - Landmark Properties
212 S. State and E. Washington

BACKGROUND

The Michigan Theatre at 603 E. Liberty, 212 S. State Street (To be Built), and 616 Washington Street (To be Built) buildings are proposing to have opening protectives at the property lines to match the rating requirements of the newly constructed and existing buildings. They propose the fire shutters and fire rated doors will protect each individual building on both sides of the property line from fire as though there were no openings. They further propose that the fire rated door or shutters are tied to the fire alarm of the buildings, as well as installation of a water curtain or “deluge” sprinkler head between the two opposing opening protectives. They also propose an egress door leaving the bathroom with a 45 minute rating entering the alley that would hold a no build easement with the Theatre property owner and that they cannot build and block the restroom door and they would allow egress to Liberty Street.

Desired relief:

Relief is requested from section 705, and table 705.8 allowing an opening in the fire rated wall in four different new and existing building locations (603 E. Liberty, 212 S. State, 616 Washington). The code requirements do not allow openings within 3 feet of the property line. However, the proposal and belief that the fire rated doors, fire shutters with the deluge system would allow the necessary interconnectivity between the buildings on the first floor and be equivalent to or greater than the code.

Standards for Approval:

1. *The true intent of the code or the rules governing construction have been incorrectly interpreted;*

2. *The Provisions of the code do not apply; or*

3. *An equal or better form of construction is proposed.*

STAFF RECOMMENDATION

Staff does not support or oppose the appeal. Staff believes that the drawings as submitted showing the fire rated doors, fire shutters with the deluge system could be equivalent to or greater than the code.

PROPOSED MOTION

APPEAL GRANTED

That in Case BBA21-003, **the appeal of the Building Official's decision** that the work to be performed at **603 E. Liberty** is **GRANTED** relief from section 705.8.1, and table 705.8 and the Building Board of Appeals **REVERSES** the Building Official's decision for the reason(s) that *[state reason in motion*:

□ (1) The true intent of the 2015 Michigan Building Code and section 705.8.1, and table 705.8 governing the construction at 603 E. Liberty have been incorrectly interpreted by the Building Official;

□ (2) The provisions of 2015 Michigan Building Code section 705.8.1, and table 705.8 do not apply to the construction at 603 E Liberty;

□ (3) The applicant has proposed an equal or better form of construction.

Stipulations – If Applicable:

[Chairman to check box(es) following vote]

OR

APPEAL DENIED

That in Case BBA21-003 **the appeal of the Building Official's decision** that the work to be performed at **603 E. Liberty** is **DENIED** and the Building Board of Appeals **AFFIRMS** the Building Official's decision for the reason(s) that *[state reason in motion]*:

□ (1) The true intent of the 2015 Michigan Building Code and section 705.8.1, and table 705.8 governing the construction at 603 E. Liberty have been correctly interpreted by the Building Official;

□ (2) The provisions of 2015 Michigan Building Code section 705.8.1, and table 705.8 apply to the construction at 603 E. Liberty;

□ (3) The applicant has not proposed an equal or better form of construction;

Stipulations – if Applicable:

[Chairman to check applicable box(es) following vote]

Yeas:

Nays:

_____ _____Date

Paul Darling, Chairperson

Building Board of Appeals

CITY OF ANN ARBOR, MICHIGAN
Community Services Area
Planning & Development Services Unit
301 East Huron St., P.O. Box 8647,
Ann Arbor, Michigan 48107-8647
Phone: (734) 794-6267
Fax: (734) 994-8460
www.a2gov.org

Plan Review
DENIED

Date: 6/3/2021
Permit Number: BLDG21-1059
Site Address: 603 E Liberty
Property Owner: MICHIGAN THEATER FOUNDATION INC
Applicant: Thomas Partin
Architect: Scott Bowers
Use Group: A-1
Type of Construction: IIB
Project Square Foot: NA
Occupant load: NA
Fire Suppression: Yes Type: NFPA 13
Fire alarm: Yes
Plan Reviewer: Chris MacFarland Contact Info: CMacFarland@a2gov.org

Applicable code:
2015 Michigan Building Code (MBC)
2015 Michigan Rehabilitation Code for Existing Buildings
2015 Michigan Plumbing Code (MPC)
2015 Michigan Mechanical Code (MMC)
2017 National Electric Code with Michigan part 8 amendments
2015 Michigan Energy Code Including ASHRAE 90.1 – 2013
2009 ICC A117.1 Standard for Accessible Buildings and Facilities

Scope of work:
ADDITION OF FIRE SHUTTER TO EXIST. BUILDING CORRIDOR

General Items:
1. All permits, approved plans, and this plan review document shall be present at the construction site and made available to the inspector if requested.
2. Building shall be provided with approved address identification that is visible from the street.
3. Mechanical, Electrical and Plumbing require separate permits and inspections.
4. All work is subject to field inspection.
5. Approval of this permit does not relieve the contractor or owner compliance with applicable codes and ordinances.

Reasons for denial:

Openings are not permitted in exterior walls within 3 feet of lot lines. MBC 705.8.1

705.8 Openings. Openings in *exterior walls* shall comply with Sections 705.8.1 through 705.8.6.

705.8.1 Allowable area of openings. The maximum area of unprotected and protected openings permitted in an *exterior wall* in any *story* of a building shall not exceed the percentages specified in Table 705.8.

Exceptions:

1. In other than Group H occupancies, unlimited unprotected openings are permitted in the first *story* above grade plane either:
   1.1. Where the wall faces a street and has a *fire separation distance* of more than 15 feet (4572 mm); or
   1.2. Where the wall faces an unoccupied space. The unoccupied space shall be on the same lot or dedicated for public use, shall be not less than 30 feet (9144 mm) in width and shall have access from a street by a posted fire lane in accordance with the *International Fire Code*.
2. Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA[a]
0 to less than 3[b, c, k]	Unprotected, Nonsprinklered (UP, NS)	Not Permitted[k]
	Unprotected, Sprinklered (UP, S)[i]	Not Permitted[k]
	Protected (P)	Not Permitted[k]

The following inspections are required - Please check with the City of Ann Arbor Building Department if you have questions about whether a listed inspection applies to the specific project or scope of work listed above:

Footing
Foundation / rebar
Backfill
Compaction

Concrete slab and under-floor inspection
Lowest floor elevation inspection (in flood hazard areas, prior to vertical construction)
Rough framing inspection (scheduled after mechanical, electrical and plumbing have passed rough inspection).
Insulation (if applicable).
Fire and smoke-resistant penetrations (prior to concealment)
Drywall screw (required for any rated assemblies).
Above ceiling (scheduled after mechanical electrical and plumbing have passed inspection).
Final inspection (scheduled after mechanical, electrical and plumbing have passed final inspection).

**Inspections are to be scheduled through eTrakit at www.a2gov.org/Permits. Please contact our office at 734.794.6263 Ext. 0 or by email at building@a2gov.org for assistance.*

Where a new building is to be erected on the same lot as an existing building, the location of the assumed imaginary line with relation to the existing building shall be such that the *exterior wall* and opening protection of the existing building meet the criteria as set forth in Sections 705.5 and 705.8.

Exceptions:

1. Two or more buildings on the same lot shall be either regulated as separate buildings or shall be considered as portions of one building if the aggregate area of such buildings is within the limits specified in Chapter 5 for a single building. Where the buildings contain different occupancy groups or are of different types of construction, the area shall be that allowed for the most restrictive occupancy or construction.
2. Where an S-2 parking garage of Construction Type I or IIA is erected on the same lot as a Group R-2 building, and there is no *fire separation distance* between these buildings, then the adjoining *exterior walls* between the buildings are permitted to have occupant use openings in accordance with Section 706.8. However, opening protectives in such openings shall only be required in the exterior wall of the S-2 parking garage, not in the exterior wall openings in the R-2 building, and these opening protectives in the exterior wall of the S-2 parking garage shall be not less than $1^1/_2$-hour *fire protection rating*.

705.4 Materials. *Exterior walls* shall be of materials permitted by the building type of construction.

705.5 Fire-resistance ratings. *Exterior walls* shall be fire-resistance rated in accordance with Tables 601 and 602 and this section. The required *fire-resistance rating* of *exterior walls* with a *fire separation distance* of greater than 10 feet (3048 mm) shall be rated for exposure to fire from the inside. The required *fire-resistance rating* of *exterior walls* with a *fire separation distance* of less than or equal to 10 feet (3048 mm) shall be rated for exposure to fire from both sides.

705.6 Structural stability. *Exterior walls* shall extend to the height required by Section 705.11. Interior structural elements that brace the exterior wall but that are not located within the plane of the exterior wall shall have the minimum *fire-resistance rating* required in Table 601 for that structural element. Structural elements that brace the exterior wall but are located outside of the exterior wall or within the plane of the exterior wall shall have the minimum *fire-resistance rating* required in Tables 601 and 602 for the exterior wall.

705.7 Unexposed surface temperature. Where protected openings are not limited by Section 705.8, the limitation on the rise of temperature on the unexposed surface of *exterior walls* as required by ASTM E119 or UL 263 shall not apply. Where protected openings are limited by Section 705.8, the limitation on the rise of temperature on the unexposed surface of *exterior walls* as required by ASTM E119 or UL 263 shall not apply provided that a correction is made for radiation from the unexposed *exterior wall* surface in accordance with the following formula:

$$A_e = A + (A_f \times F_{ev}) \qquad \textbf{(Equation 7-1)}$$

where:

A_e = Equivalent area of protected openings.

A = Actual area of protected openings.

A_f = Area of *exterior wall* surface in the *story* under consideration exclusive of openings, on which the temperature limitations of ASTM E119 or UL 263 for walls are exceeded.

F_{ev} = An "equivalent opening factor" derived from Figure 705.7 based on the average temperature of the unexposed wall surface and the *fire-resistance rating* of the wall.

705.8 Openings. Openings in *exterior walls* shall comply with Sections 705.8.1 through 705.8.6.

705.8.1 Allowable area of openings. The maximum area of unprotected and protected openings permitted in an *exterior wall* in any *story* of a building shall not exceed the percentages specified in Table 705.8.

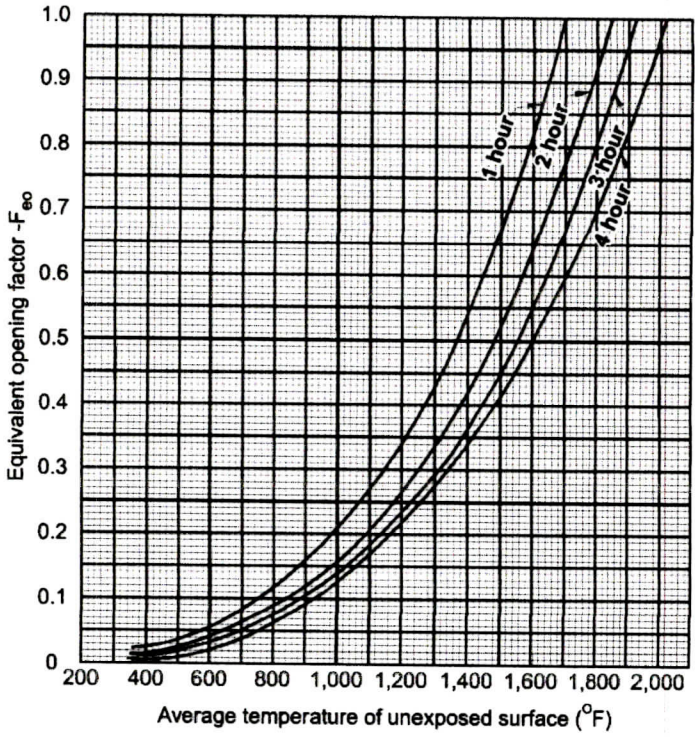
Exceptions:

1. In other than Group H occupancies, unlimited unprotected openings are permitted in the first *story* above grade plane either:
   1.1. Where the wall faces a street and has a *fire separation distance* of more than 15 feet (4572 mm); or
   1.2. Where the wall faces an unoccupied space. The unoccupied space shall be on the same lot or dedicated for public use, shall be not less than 30 feet (9144 mm) in width and shall have access from a street by a posted fire lane in accordance with the *International Fire Code*.
2. Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

705.8.2 Protected openings. Where openings are required to be protected, *fire doors* and fire shutters shall comply with Section 716.5 and *fire window assemblies* shall comply with Section 716.6.

Exception: Opening protectives are not required where the building is equipped throughout with an *automatic sprinkler system* in accordance with Section 903.3.1.1 and the exterior openings are protected by a water curtain using automatic sprinklers *approved* for that use.

705.8.3 Unprotected openings. Where unprotected openings are permitted, windows and doors shall be constructed of any *approved* materials. Glazing shall conform to the requirements of Chapters 24 and 26.



For SI: °C = [(°F) - 32] / 1.8.

FIGURE 705.7
EQUIVALENT OPENING FACTOR

705.8.4 Mixed openings. Where both unprotected and protected openings are located in the *exterior wall* in any *story* of a building, the total area of openings shall be determined in accordance with the following:

$$(A_p/a_p) + (A_u/a_u) \leq 1 \qquad \textbf{(Equation 7-2)}$$

where:

A_p = Actual area of protected openings, or the equivalent area of protected openings, A_e (see Section 705.7).

a_p = Allowable area of protected openings.

A_u = Actual area of unprotected openings.

a_u = Allowable area of unprotected openings.

705.8.5 Vertical separation of openings. Openings in *exterior walls* in adjacent *stories* shall be separated vertically to protect against fire spread on the exterior of the buildings where the openings are within 5 feet (1524 mm) of each other horizontally and the opening in the lower *story* is not a protected opening with a *fire protection rating* of not less than $^3/_4$ hour. Such openings shall be separated vertically not less than 3 feet (914 mm) by spandrel girders, *exterior walls* or other similar assemblies that have a *fire-resistance rating* of not less than 1 hour, rated for exposure to fire from both sides, or by flame barriers that extend horizontally not less than 30 inches (762 mm) beyond the *exterior wall*. Flame barriers shall have a *fire-resistance rating* of not less than 1 hour. The unexposed surface temperature limitations specified in ASTM E119 or UL 263 shall not apply to the flame barriers or vertical separation unless otherwise required by the provisions of this code.

Exceptions:

1. This section shall not apply to buildings that are three *stories* or less above *grade plane*.
2. This section shall not apply to buildings equipped throughout with an *automatic sprinkler system* in accordance with Section 903.3.1.1 or 903.3.1.2.
3. Open parking garages.

TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA[a]
0 to less than 3[b, c, k]	Unprotected, Nonsprinklered (UP, NS)	Not Permitted[k]
	Unprotected, Sprinklered (UP, S)[i]	Not Permitted[k]
	Protected (P)	Not Permitted[k]
3 to less than 5[d, e]	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S)[i]	15%
	Protected (P)	15%
5 to less than 10[e, f, j]	Unprotected, Nonsprinklered (UP, NS)	10%[h]
	Unprotected, Sprinklered (UP, S)[i]	25%
	Protected (P)	25%
10 to less than 15[e, f, g, j]	Unprotected, Nonsprinklered (UP, NS)	15%[h]
	Unprotected, Sprinklered (UP, S)[i]	45%
	Protected (P)	45%
15 to less than 20[f, g, j]	Unprotected, Nonsprinklered (UP, NS)	25%
	Unprotected, Sprinklered (UP, S)[i]	75%
	Protected (P)	75%
20 to less than 25[f, g, j]	Unprotected, Nonsprinklered (UP, NS)	45%
	Unprotected, Sprinklered (UP, S)[i]	No Limit
	Protected (P)	No Limit
25 to less than 30[f, g, j]	Unprotected, Nonsprinklered (UP, NS)	70%
	Unprotected, Sprinklered (UP, S)[i]	No Limit
	Protected (P)	No Limit
30 or greater	Unprotected, Nonsprinklered (UP, NS)	No Limit
	Unprotected, Sprinklered (UP, S)[i]	No Limit
	Protected (P)	No Limit

For SI: 1 foot = 304.8 mm.

UP, NS = Unprotected openings in buildings not equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

UP, S = Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

P = Openings protected with an opening protective assembly in accordance with Section 705.8.2.

a. Values indicated are the percentage of the area of the exterior wall, per story.

b. For the requirements for fire walls of buildings with differing heights, see Section 706.6.1.

c. For openings in a fire wall for buildings on the same lot, see Section 706.8.

d. The maximum percentage of unprotected and protected openings shall be 25 percent for Group R-3 occupancies.

e. Unprotected openings shall not be permitted for openings with a fire separation distance of less than 15 feet for Group H-2 and H-3 occupancies.

f. The area of unprotected and protected openings shall not be limited for Group R-3 occupancies, with a fire separation distance of 5 feet or greater.

g. The area of openings in an open parking structure with a fire separation distance of 10 feet or greater shall not be limited.

h. Includes buildings accessory to Group R-3.

i. Not applicable to Group H-1, H-2 and H-3 occupancies.

j. The area of openings in a building containing only a Group U occupancy private garage or carport with a fire separation distance of 5 feet (1523 mm) or greater shall not be limited.

k. For openings between S-2 parking garage and Group R-2 building, see Section 705.3, Exception 2.

705.8.6 Vertical exposure. For buildings on the same lot, opening protectives having a *fire protection rating* of not less than $^3/_4$ hour shall be provided in every opening that is less than 15 feet (4572 mm) vertically above the roof of an adjacent building or structure based on assuming an imaginary line between them. The opening protectives are required where the *fire separation distance* between the imaginary line and the adjacent building or structure is less than 15 feet (4572 mm).

Exceptions:

1. Opening protectives are not required where the roof assembly of the adjacent building or structure has a *fire-resistance rating* of not less than 1 hour for a minimum distance of 10 feet (3048 mm) from the *exterior wall* facing the imaginary line and the entire length and span of the supporting elements for the fire-resistance-rated roof assembly has a *fire-resistance rating* of not less than 1 hour.
2. Buildings on the same lot and considered as portions of one building in accordance with Section 705.3 are not required to comply with Section 705.8.6.

City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES
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Ann Arbor, Michigan 48107-8647
p. 734.794.6263 | f. 734.994.8460 | building@a2gov.org

APPLICATION FOR BUILDING/CONSTRUCTION CODE APPEAL

Facility Information

Facility Name		County	
Michigan Theater		Washtenaw	
Facility Street Address		City	Zip
603 E. Liberty Street		Ann Arbor	48104
Permit Number			
BLDG21-1059			

Building Data

New Building ☑	Addition ☐	Alteration ☑	Repair ☐

Classification Per Building Code / Building Use	No. Of Floors	Construction Type	Area/Floor	No. Of Occupants
R2- Residential/ A-1 Assembly	5/1	Type VA over Type 1A	Approx 2700 GSF	Upper floors= 12/floor Level 1 bathrooms= 47

Permit Holder

Name (Company or Individual)		Contact Name	
Michigan Theater/Landmark Urban Construction MI, LLC		Thomas Partin	
Street Address	City	State	Zip
603/E. LIberty ST/ 501 South Main Street	Ann Arbor	MI	48104
Phone	Fax	Email	
512-413-1597		tpartin1976@gmail.com	

Building Owner

Name (Company or Individual)		Contact Name	
Michigan Theater/ Landmark Properties		Donna Hagerott	
Street Address	City	State	Zip
603 E. Liberty Street/212 S. State Street/616 E. Washington	Ann Arbor	MI	48104
Phone	Fax	Email	
706-715-6811		donna.hagerott@landmarkproperties.com	

Summary Of Appeal

CODE SECTION(s)	*Provide copies of the following as appropriate:*
705.8.1 and Table 705.8: MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION	Statement of Facts and Reasoning The code does not allow openings in exterior walls within 0-3' of a property line (to prevent the spread of fire and smoke between properties.) ☐

DESIRED RELIEF (State Briefly)

See attached document under Desired Relief: Openings in exterior walls on property line.

BASIS OF APPEAL (State Briefly)	Supporting Material
See attached document under Basis of Appeal.	Refer to attached code plans, building plans, elevations and sections as well as the cut sheets for the fire rated shutters. ☐

Applicant (all correspondence will be sent to this address)			
Name (company or individual) ESG Architecture and Design/Bowers + Associates, Inc.		Applicant Name Maria Ambrose/Scott Bowers	
Street Address 500 Washington Ave South/2400 S. Huron Pkwy	City Minneapolis/Ann Arbor	State MN/MI	Zip 55415/48104
Phone 612-373-4608/734-645-9175	Fax	Email maria.ambrose@esgarch.com/scottb@bowersarch.com	

Application Fee (applicant is responsible for paying fee)

Residential $250.00 ☐ Commercial $500.00 ☑

Note: *You have the right to appeal the City of Ann Arbor's Building Boards of Appeals decision to the State of Michigan. If you choose to appeal this decision, then application must be made within 10 days of the decision to the address listed below, in accordance with Section 16 of 1972 PA 230. Michigan Department of Labor & Economic Growth, Bureau of Construction Codes, P.O. Box 30255, Lansing, MI 48909 517-241-9303, www.michigan.gov/bcc*

Note *: Reasons for Appeal (Per MRC, Section R112.2, MBC, Section 113.2) include:*

1. *The true intent of the code or the rules governing construction have been incorrectly interpreted.*

2. *The provisions of the code do not apply.*

3. *An equal or better form of construction is proposed.*

Applicant Signature  Date 6-14-2021

esg

June 4, 2021

Re: Ann Arbor - Landmark Properties 616 Washington and 212 State Street Buildings| Project No: 219505

Statement of facts and reasoning: The Michigan Theater is an historic building in Ann Arbor. The building is located at 603 E Liberty Street. The building has an existing internal connection with the adjacent screening room across the northern property line to utilize the screening room and accessible restrooms for the Theater. When the properties are completely replatted, the screening room will be located on the 616 Washington site. The new 212 State Street building with the new theater restrooms is located on Sava's property.

Building Construction Types:

- The existing Michigan Theater is Type 2C from the National Building Code and is fully sprinklered.
- The existing Theater Screening room is a Type IIIB building, fully sprinklered. The existing Screening room will be on the 616 property.
- 616 Washington is a proposed Type IA building, fully sprinklered.
- 212 State Street is a proposed Type IA at Level 1 podium building with VA above, fully sprinklered.

Desired Relief: We are requesting the openings listed below, to be permitted in 4 exterior rated walls that are less than 3' from the property as shown on the included drawings to allow for the use of the screening room and restrooms from the Michigan Theater.

Openings in Exterior walls on property lines:

1- **Opening Theater to Screening Room Corridor**- 90 minute swing door on existing Theater, 3-hour shutter in newly constructed Fire wall on 616 property, screening room
   - Existing property line separating the existing Theater and Screening room. Per previous discussions, the design team will construct a new 3-hour Fire Wall between the two buildings. A 3-hour fire shutter will be installed in this opening and will deploy when the fire alarm system is activated. The fire shutter would deploy after a minimum 10 second delay and the delay timing can be programmed for up to a 60 second delay, should that be desirable. A fire deluge/ water curtain sprinkler head will also be installed on the Theater side. The Theater side will install a 90 minute rated swing door in the existing wall.
   - *Code exception*: Opening on a property line in a Fire Wall per 706, not a means of egress.
2- **Opening 616 Corridor to 212 Restrooms-** 2 fire shutters, 3-hour and 90 minute
   - New buildings with property line separating the 212 and 616 building with a 3-hour bearing wall on the 212 building and a 2-hour fire barrier separation wall on the 616 building. Each wall would have their own fire shutter, 3 hour and 90 minute rated, respectively. Each would be on a 10 second delay with 60 seconds possible to close, if the fire alarm were activated on the 212 Building or the 616 Building. A fire deluge/water curtain sprinkler head will be installed on the between the two fire shutters.
   - *Code exception:* Opening on a property line in exterior abutting walls.
3- **Opening Theater to 212 Restrooms-** 90 minute swing door on existing Theater, 3-hour fire shutter on 212 restroom.
   - New 212 Building exterior bearing wall at the west exterior property line, is a zero lot line construction and would have a 3-hour rating per table 601 and will have a 3-hour fire shutter opening that allows for a10

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ARCHITECTURE & DESIGN
500 Washington Avenue South Suite 1080
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www.esgarchitects.com

second delay with 60 seconds possible, if the fire alarm were activated on the 212 building or the existing Theater. The Theater opening would have a 90 minute door that will be on a closer and have a mag hold open that would close with upon activation of the fire alarm on the 212 building or the existing Theater. A fire deluge/ water curtain sprinkler head will be installed on the between the two openings.

- *Code exception:* Opening on a property line in exterior abutting walls.

4- Opening 212 Restrooms Egress Door- Egress door, 45 minute rating

- Exit provided at south side of Theater restrooms within the 212 building. This 3-hour bearing wall, has an egress door with a 45 minute rating and would hold a no build easement with the Theater property owner that they cannot building and block the restroom exit door. The egress would continue down to Liberty Street utilizing the Theater alley egress easement.
- *Code exception:* Opening in an exterior wall on a property line as a required means of egress onto a another property and private alley egress easement. Door swings across property line.

TABLE 601
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
	A	B	A	B	A	B	HT	A	B
Primary structural frame[f] (see Section 202)	3[a]	2[a]	1	0	1	0	HT	1	0
Bearing walls Exterior[e,f] Interior	3 3[a]	2 2[a]	1 1	0 0	2 1	2 0	2 1/HT	1 1	0 0
Nonbearing walls and partitions Exterior	See Table 602								
Nonbearing walls and partitions Interior[d]	0	0	0	0	0	0	See Section 602.4.6	0	0
Floor construction and associated secondary members (see Section 202)	2	2	1	0	1	0	HT	1	0
Roof construction and associated secondary members (see Section 202)	1 1/2[b]	1[b,c]	1[b,c]	0[c]	1[b,c]	0	HT	1[b,c]	0

For SI: 1 foot = 304.8 mm.

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.

b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.

c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.

d. Not less than the fire-resistance rating required by other sections of this code.

e. Not less than the fire-resistance rating based on fire separation distance (see Table 602).

f. Not less than the fire-resistance rating as referenced in Section 704.10.

TABLE 602
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE[a, d, g]

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H[e]	OCCUPANCY GROUP F-1, M, S-1[f]	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2, U[h]
X < 5[b]	All	3	2	1
5 ≤ X < 10	IA Others	3 2	2 1	1 1
10 ≤ X < 30	IA, IB IIB, VB Others	2 1 1	1 0 1	1[c] 0 1[c]
X ≥ 30	All	0	0	0

For SI: 1 foot = 304.8 mm.

a. Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.
b. See Section 706.1.1 for party walls.
c. Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.
d. The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.
e. For special requirements for Group H occupancies, see Section 415.6.
f. For special requirements for Group S aircraft hangars, see Section 412.4.1.
g. Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.
h. For a building containing only a Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater.

TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA[a]
0 to less than 3[b, c, k]	Unprotected, Nonsprinklered (UP, NS)	Not Permitted[k]
	Unprotected, Sprinklered (UP, S)[i]	Not Permitted[k]
	Protected (P)	Not Permitted[k]
3 to less than 5[d, e]	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S)[i]	15%
	Protected (P)	15%
	Unprotected, Nonsprinklered (UP, NS)	10%[h]

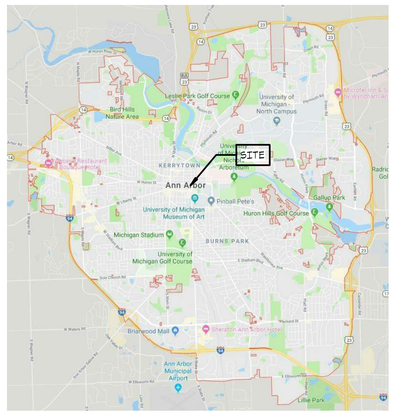
Fire Shutters
Overhead door- Rated service door 630 https://www.overheaddoor.com/fire-rated-service-doors-630

Basis Of Appeal: The only way to comply with the approved site plans for the adjacent properties is to permit the contemplated interconnectivity. We are proposing opening protectives that match the rating requirements of the existing and newly constructed adjacent buildings thus offering the same measure of separation contemplated by the code. The fire shutters and fire rated doors prosed will protect each individual building on both sides of the property line from fire, as though there were no openings. Further we are proposing that the fire rated door or shutters are tied to the fire alarm of both buildings, as well as installation of a water curtain or “deluge” sprinkler head between the two opposing opening protectives. We believe the proposed arrangement offers a level of protection equal or greater than that contemplated by the code. The 212 State Street Level 1 bathrooms are being constructed to replace the existing bathrooms being demolished, and access is required between the buildings for their use.

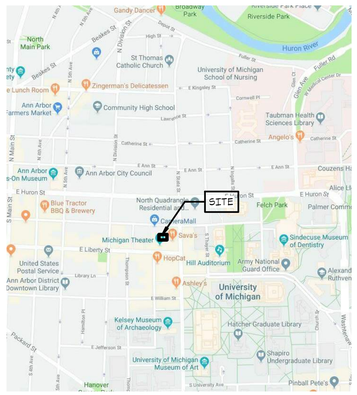
212 ANN ARBOR APARTMENTS

212 S STATE STREET
ANN ARBOR, MI 48104

PROJECT LOCATION



Vicinity



Site Location

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DRAWING INDEX

●: SHEETS ISSUED FOR CONSTRUCTION
R: SHEETS ISSUE FOR REFERENCE ONLY

DRAWING INDEX

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T1.2	ARCHITECTURAL ABBREVIATIONS	
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UG-E1-0	FOUNDATION ELECTRICAL PLAN	

212 STATE

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KEY PLAN

212 STATE

TITLE SHEET

T1.1

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Ann Arbor - 6B Parcel (212 State Street)
Type 1 & 5
6B Parcel

Level	Unit Type	S1	S2	A1	B1	C1	Level	TOTAL	Units/Floor	Beds/Floor	Bath/Floor
	Beds/Unit	1	1	1	2	3					
	Baths/Unit	1	1	1	2	3					
	GSF/Unit	390	428	439	804	1160					
ROOF							ROOF				
5		1	1	1	1		5	2,061	4	5	5
4		1	1	1	1		4	2,061	4	5	5
3		1	1	1	1		3	2,061	4	5	5
2		1	1	1	1		2	2,061	4	5	5
1							1	-	0	0	0
P1							P1	-	0	0	0
	Total Units/Type	4	4	4	4	0		8,244	16	20	20
	Total Beds/Type	4	4	4	8	0					
	Total Bath/Type	4	4	4	8	0					
	Total SF/Type	1,560	1,712	1,756	3,216	-					
	% of total beds	20.00%	20.00%	20.00%	40.00%	0.00%					
	Goal % =										
	% of total units	25.00%	25.00%	25.00%	25.00%	0.00%					

Ann Arbor - 6B Parcel (212 State Street)
Type 1 & 5
6B Parcel
ESG
ME
5/14/2021

USE	LEVEL	Total GSF	RESIDENTIAL AREA	AMENITY AREA (*1)	COMMON AREA (*2)	SERVICE AREA (*3)	RETAIL AREA (MT RESTROOMS)	PARKING AREA	VERTICAL CIRCULATION (*4)	SHAFTS	EXTERIOR AREA (*5)	PARKING COUNTS: Standard Parking Spaces	ADA Parking Spaces	Compact Parking Spaces	Electrical	Motorcycle	Bicycle
RESID.	ROOF	188			-	-	-	-	188								
RESID.	5	2,651	2,035		206	-	-	-	375	35							
RESID.	4	2,677	2,061		206	-	-	-	375	35							
RESID.	3	2,677	2,061		206	-	-	-	375	35							
RESID.	2	2,677	2,061		206	-	-	-	375	35							
LOBBY/OTHER	1	2,981	-	413	-	397	1,767	-	404	-	647						
OTHER	P1	1,217			277	701	-	-	239	-							
	TOTAL	15068	8218	413	1101	1098	1767	0	2331	140	647	0	0	0	0	0	0

*1 Amenity area is comprised of all main lobbies, leasing offices, public restrooms, indoor fitness, club, study, game rooms, etc.
*2 Common Area: comprised of all corridors, elevator lobbies (excluding main lobby), and stairwells
*3 Service Area: Comprised of all back of house closets, service rooms, trash rooms, equipment rooms, etc.
*4 **Vertical Circulation: stairwells and elevator shafts (does not contribute to GSF calculation)**
*5 **Exterior area does not contribute to GSF calculation**

0	Parking Spaces
15068	Total GSF
16	Units
20	Beds
0.00	Parking Ratio

Vertical Circulation GSF (excluded from FAR)	2,471
Total Applicable FAR GSF for Parcels 6A & 6C	13,656
Total Applicable FAR GSF for Parcel 6B	12,597
Total Applicable FAR GSF for All Parcels	26,253
Total Site Area (SF) (Parcels 6A, 6B, & 6C)	8,854
Allowable FAR	35,416
FAR	2.97

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212 STATE

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KEY PLAN

212 STATE

PROJECT METRICS

T1.3

BUILDING CODE ANALYSIS

Project Summary:
The project is a new 5 story residential apartment building at 212 S State Street in Ann Arbor, MI. The first floor will be cmu and steel construction with 4 levels of wood construction above. The apartment building lobby will be on the ground level. The building will have access to a neighboring property for amenity space and parking. No parking or amenity spaces will be provided within this building. As indicated above, the ground level (level 1) is assumed to be the Code-defined first story above grade plane. Level 2 is the first story occupied by apartments. The entire building shall have an automatic sprinkler system compliant with NFPA 13.

This summary is intended to illustrate highlights of requirements to be met and is not intended to illustrate all requirements to be met.

Applicable codes and regulations:

- 2015 Michigan Building Code (references the 2015 IBC)
- 2009 ICC/ANSI A117.1 & Michigan Barrier Free Design Law - of Public Act I of 1966 as amended
- 2015 International Energy Conservation Code - part 10 with ANSI/ASHRE/IESNA Standard 90.1 - 2013
- 2015 International Fire Code
- 2015 Michigan Plumbing Code
- 2015 Michigan Mechanical Code
- 2017 Michigan Electrical Code based on the 2017 National Electrical Code with part 8 State Amendments
- 2015 Michigan Elevator Code
- 2015 International Fuel & Gas Code
- 2010 NFPA 13
- 2013 NFPA 72 Fire Alarm Code

Federal Fair Housing Act Safe Harbor:

- HUD Fair Housing Act Design Manual

Energy Performance Requirements:

Table 5.5-5 Building Envelope Requirements for Climate Zone 5 (A,B,C)*

	Nonresidential	
Opaque Elements	**Assembly Maximum**	**Insulation Min. R-Value**
Roofs		
Insulation Entirely above Deck	U-0.032	R-30 c.i.
Metal Building[a]	U-0.037	R-19 + R-11 Ls or R-25 + R-8 Ls
Attic and Other	U-0.021	R-49
Walls, above Grade		
Mass	U-0.090	R-11.4 c.i.
Metal Building	U-0.050	R-0 + R-19 c.i.
Steel Framed	U-0.055	R-13 + R-10 c.i.
Wood Framed and Other	U-0.051	R-13 + R-7.5 c.i. or R-19 + R-5 c.i.
Wall, below Grade		
Below Grade Wall	C-0.119	R-7.5 c.i.
Floors		
Mass	U-0.057	R-14.6 c.i.
Steel Joist	U-0.038	R-30
Wood Framed and Other	U-0.033	R-30
Slab-on-Grade Floors		
Unheated	F-0.520	R-15 for 24 in
Heated	F-0.688	R-20 for 48 in.
Opaque Doors		
Swinging	U-0.500	
Nonswinging	U-0.500	

Fenestration	**Assembly Max. U**	**Assembly Max. SHGC**	**Assembly Min. VT/SHGC**	**Assembly Max. U**	**Assembly Max. SHGC**	**Assembly Min. VT/SHGC**	**Assembly Max. U**	**Assembly Max. SHGC**	**Assembly Min. VT/SHGC**
Vertical Fenestration, 0%–40% of Wall		(for all frame types)			(for all frame types)			(for all frame types)	
Nonmetal framing, all	U-0.32			U-0.32			U-0.45		
Metal framing, fixed	U-0.42			U-0.42			U-0.62		
Metal framing, operable	U-0.50	SHGC-0.40	1.10	U-0.50	SHGC-0.40	1.10	U-0.70	NR	NR
Metal framing, entrance door	U-0.77			U-0.68			U-0.77		
Skylight, 0%–3% of Roof									
All types	U-0.50	SHGC-0.40	NR	U-0.50	SHGC-0.40	NR	U-0.98	NR	NR

* The following definitions apply: c.i. = continuous insulation (see Section 3.2), FC = filled cavity (see Section A2.3.2.5), Ls = liner system (see Section A2.3.2.4), NR = no (insulation) requirement.
a. When using the R-value compliance method for metal building roofs, a thermal spacer block is required (see Section A2.3.2).

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Building Classification:

Occupancy Classification (Chapter 3):
Dwelling units and related spaces: R-2 (i.e. primary occupancy class)

Construction Type:

Type I-A construction below second floor for lower building (Accessory Occupancies)
Type V-A construction second floor and above for upper building (R-2 occupancy)

Special Provisions:

Section 510.2 - Horizontal Building Separation allowance is followed

Height and Area:
Lower Building: Construction Type I-A, B Occupancy
- Allowable Height: Unlimited
  - Actual Height: 1 story, 11'-6"
- Area Per Story:
  - Allowable Area: Unlimited
  - Actual Area: Approximately 2,981 sf (ok)
- Total Building Area:
  - Allowable Area: Unlimited
  - Actual Area: 2,981 sf (ok)

Upper Building: Construction Type V-A, Occupancy Class R-2
- Basic Allowable Height: 4 stories and 70' in height
  - Actual Height: 5 stories, 62'-1" (73'-7" Total building height from grade plane)
- Area Per Story:
  - Allowable Area: 36,000 sf/ 4 stories = 9,000 sf per floor
  - Actual Area: Approximately 2,667 sf (ok)
- Total Building Area: (Per table 506.2 - Type III-B, R-2)
  - Allowable Area: 36,000 sf
  - Actual Area: 10,860 sf (ok)

Construction Type Fire Resistive Ratings:
(IBC Tables 601 & 602)

Construction Type I-A	
Structural Frame	3* hr (note a: roof supports: reduced by 1 hr when supporting roof only)
Exterior Bearing Walls	3 hr
Interior Bearing Walls	3 hr
Exterior Non-bearing Walls	per Table 602
Interior Non-bearing Walls	0*, except not less than required by other Code sections
Floor Construction	2 hr
Roof Construction	1 1/2 hr
Construction Type V-A	
Structural Frame	1 hr
Exterior Bearing Walls	1 hr
Interior Bearing Walls	1 hr
Interior Non-bearing Walls	0*, except not less than required by other Code sections
Floor Construction	1 hr
Roof Construction	1 hr

* Interior walls separating dwelling units shall have a minimum 1/2 hour fire resistive rating.

Shafts:
- Connecting less than 4 stories: 1 hour fire resistive rating
- Connecting 4 or more stories: 2 hour fire resistive rating

Fire Marshal Special Requirements:

The building will be applying for a variance with Building Board of Appeals to not require aerial fire apparatus access for the property within the strict limitations of the Fire Code. A fire apparatus access road is provided off E Washington Street along the east side of the 616 E Washington project and both building stairwells provide direct roof access.

Emergency Responder Radio Coverage must meet the requirements in IFC Section 510.

Signage
Address should be clearly visible. Signage will be provided near adjacent building on S State Street, E Washington Street and E Liberty Street to help locate the building. Main entrance to the building shall be visible from S State Street.

Dwelling Unit Separation Requirements (420.2, 708, and 711):

Construction Type V-A
- Demising and Corridor Walls 1/2 hour, per 420.2 and 708.3
- Floors 1/2 hour, per 420.2 and 711.2

Maximum Area of Exterior Wall Openings
(Table 705.8)

	0' to 3'	3' to < 5'	5' to < 10'	10' to < 15'	15' to < 20'	20'
Unprotected Sprinklered:	Not Permitted	15%	25%	45%	75%	No Limit

Distance to property line at east side is greater than 10 feet, openings do not exceed 45%.
Distance to property line at south side is less than 3 feet, openings are not permitted and less than 10 feet, openings do not exceed 25%.
Distance to property line at west side is less than 3 feet, openings are not permitted and less than 15 feet, openings do not exceed 45%.
Distance to property line at north side is less than 3 feet, openings are not permitted and less than 20 feet, openings do not exceed 75%.

Opening Protective Fire Protection Ratings
(Table 716.5)

Type of Assembly	*Req'd. Assembly Rating*	*Min. Opening Protection*
Fire Wall and Fire Barriers having a required fire-resistive rating greater than 1 hr	4	3
	3	3
	2	1 ½
	1 ½	1 ½
Shafts, Exit Enclosure and Exit passageway walls	2	1 ½
Fire Barriers having a required fire-resistance rating of 1 hr: Enclosures for shafts, exit access stairways, exit access ramps, interior exit ramps and exit passageway walls	1	1
Other Fire Barriers	1	3/4
Fire Partitions:	1	1/3
Corridor Walls	0.5	1/3
Other Fire Partitions	1	3/4
	0.5	1/3
Exterior Walls	3	1 ½
	2	1 ½
	1	3/4
Smoke Barriers	1	1/3

713.14.1 - Enclosed Elevator Lobby
An enclosed elevator lobby shall be provided at each floor where an elevator shaft enclosure connects more than three stories. The lobby shall separate the elevator shaft enclosure doors from each floor by fire partitions equal to the fire-resistance rating of the corridor and the required opening protection. Elevator lobbies shall have at least one means of egress complying with Chapter 10 and other provisions within this code.
Exception 4: Enclosed elevator lobbies are not required where the building is protected by an automatic sprinkler system installed in accordance with Section 902.2.1.1 or 903.3.1.2.
The building will install smoke curtain at the elevator opening at each resident floor (levels 2-6) except at the level of discharge. Enclosed elevator lobby is not required at lower level per Section 713.14. Exception 4. (Lower level has S-2 occupancy only)

1009.4 Elevators.
In order to be considered part of an accessible means of egress, an elevator shall comply with the emergency operation and signaling device requirements of the Michigan elevator code, R 408.7001 to R 408.8695. Standby power shall be provided in accordance with Chapter 27. The elevator shall be accessed from either an area of refuge complying with Section 1009.6 or a horizontal exit.

Interior Finishes (Chapter 8)
Flame Spread Classification - Table 803.1.1

Class	Flame Spread Index	Smoke-Developed Index
A	0-25	0-450
B	26-75	0-450
C	76-200	0-450

Interior Finish Requirements based on group - Table 803.11

Occupancy Group	Exit Enclosures and Passageways	Corridors and enclosure for exit acces	Rooms and Enclosed Spaces
R-2	C	C	C
S	C	C	C
A-3	B	B	C
B	B	C	C

Note: Requirements based on fully sprinklered building.

Fire Protection Systems (Chapter 9)

Group "R" (903.2.8): An approved automatic sprinkler system shall be provided throughout all buildings with a group "R" fire area.

Other areas where automatic sprinkler systems are required: (903.2.10.1.3, 903.2.10.2 and 903.2.10.3)
- Stories and basements without openings
- Trash Chutes
- Buildings with an occupancy load of 30 or more that is over 30' in height (above lowest level of fire department vehicle access).
- Unlimited area buildings (507).
- As required by IFC 903.2.13.

Installation Requirements: In accordance with NFPA 13 (903.3)

Standpipe Systems: Class I standpipes required per 905.3.1 Exception 1. Comply with Local requirements- including main landing location in lieu of intermediate

907.2.9 - Fire Alarm and Detection Systems: Required as per Michigan Building Code 907 and NFPA 72
"R-2" Occupancy (907.2.9): Multi-family residential occupancies.

907.2.10 - Single- and multiple-station smoke alarms. Listed single- and multiple-station smoke alarms shall be installed in accordance with the provisions of this code and the household fire-warning equipment provisions of NFPA 72.

907.2.11 - Where required. Single- or multiple-station smoke alarms shall be installed in the locations described in Section 907.2.11.2.

907.2.11.2 - R-2 Occupancies: Single or multiple station smoke alarms required in "R" occupancy in the following locations: Single or multiple-station alarms shall be located on the ceiling or wall in the immediate vicinity of bedrooms, in each room for sleeping purposes, and in each story within a dwelling unit.

907.2.11.4 - Installation near bathrooms. Smoke alarms shall be installed not less than 3 feet horizontal from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by Section 907.2.11.1 or 907.2.11.2.

907.2.11.6 - Power source. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection.

NFPA 9.2.1.6

9.2.1.6 - Allowable Sprinkler Omission Locations - Concealed spaces formed by ceilings attached to composite wood joist construction either directly or onto metal channels not exceeding 1" in depth provided the joist channels as measured from top of the batt insulation are separated into volumes not exceeding 160 cubic feet using materials equivalent to the web construction and at least 3 1/2" of batt insulation is installed at the bottom of the joist channels when the ceiling is attached utilizing metal channels, shall not require sprinkler protection. (Also reference NFPA 13 Annex A)

Means of Egress and Occupant Load (Chapter 10)

Occupant Load (Table 1004.1.2)
- Assembly (unconcentrated) 15 sf net per person
- Residential 200 sf gross per person
- Accessory Storage, mechanical 300 sf gross per person

1005.3.1 and 1005.3.2 - Egress Width:
- Stairway width .3 inches / occupant
- Other egress components .2 inches / occupant

Note that the indicated widths do not require Emergency voice/ alarm communication systems per 907.5.2.2. See code / exiting plans for additional information.

1006 number of exits and exit access doorways
Section 1006.2.1 & Table 1006.2.1: R2 occupancy, two exits required from levels 2-6, two exits are provided.
Table 1006.2.1: S occupancy, maximum occupant load is 29 people for spaces with one exit thus one exit is allowed from lower level (occupan tload is 5 people).

1008.2 Illumination required - the means of egress serving a room or space shall be illuminated at all times that the room or space is occupied.
Exception 3: dwelling unit and sleeping units is Groups R-1, R-2 and R-3.

1009.3 Stairways
Exception 2: Areas of refuge are not required at stairways in buildings equipped throughout by an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2.
Exception 8: The areas of refuge are not required in Group R-2 occupancies.

1009.8 Two-way communication. A two-way communication system shall be provided at the elevator landing on each accessible floor that is one or more stories above or below the story of exit discharge. Provide all required signage.

1011.2 Stair Width and Capacity
The required capacity of stairways shall be determined as specified in Section 1005.1, but the minimum width shall be not less than 44 inches
Exception 1: Stairways serving an occupant load of less than 50 shall have a width of not less than 36 inches
Thus both exit stair width is 38" based on occupancy less than 50

Table 1017.2 Exit Access Travel Distance

Occupancy	With Sprinkler System
A-3, R-2	250'

1020.4 Dead ends
Exception 2. In occupancies in Groups B, E, F, I-1, M, R-1, R-2, R-4, S, and U, where the building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1, the length of the dead-end corridors shall not exceed 50'.

Accessibility:
Michigan Barrier Free Design Law
2015 Michigan Building Code Chapter 11
2010 ADA Standards
Fair Housing Act Design Manual
ICC/ANSI A 117.1

Public/Common Spaces: Fully accessible as defined by the Michigan Barrier Free Design Law.

Dwelling Units (2015 MBC 1107.6.2):
Type A: 2 percent of the total (1) dwelling unit (502 with a 3'X'3 transfer shower)
Type B: all remaining dwelling units

Accessible Routes
2015 Michigan Building Code 1104.1: At least one accessible route shall be provided from public transportation stops, accessible parking spaces, accessible passenger loading zone, public streets or sidewalks, etc. to an accessible building entrance.
2015 Michigan Building Code 1104.4 - At least one accessible route shall connect each level in multi-level buildings.
2015 Michigan Building Code 1105.1 - Public entrances - In addition to accessible entrances required'd. by 1105.1.1 through 1105.1.7, at least 60% of all public entrances shall be accessible.
2015 Michigan Building Code 1105.2 - Dwelling Unit and Sleeping Unit entrances - At least one accessible entrance shall be provided to each dwelling unit and sleeping unit in a facility.

Accessible Parking Spaces
2015 Michigan Building Code 1106.2 - Groups 1-1, R-1, R-2, R-3 and R-4: In group R-2 occupancies that are required to have accessible, Type A or Type B dwelling units, at least 2 percent, but not less that one, of each type of parking space provided shall be accessible.
No parking is required for this building.

Interior Environment
(Chapter 12)

Ventilation and Lighting (1203, 1204 and 1205)
Buildings shall be provided with lighting, temperature control or ventilation, either natural or mechanical.

Roof Assemblies and Rooftop Structures
(Chapter 15)
Class "B" required per Table 1505.1

Penthouses and roof structures shall not exceed 1/3 the area of the supporting roof per 2015 Michigan Building Code 1510.2.

Casement egress window provided from dwelling units # 203 & #202 onto enclosed (on all four sides) roof top for fire fighters.

Elevators
(Chapter 30)

Openings protected as per Chapter 7. (3002)
Approved signage shall be posted adjacent to each elevator's call station on each floor.
At least one elevator cab shall accommodate a 24" x 84" ambulance stretcher. (3002.4)

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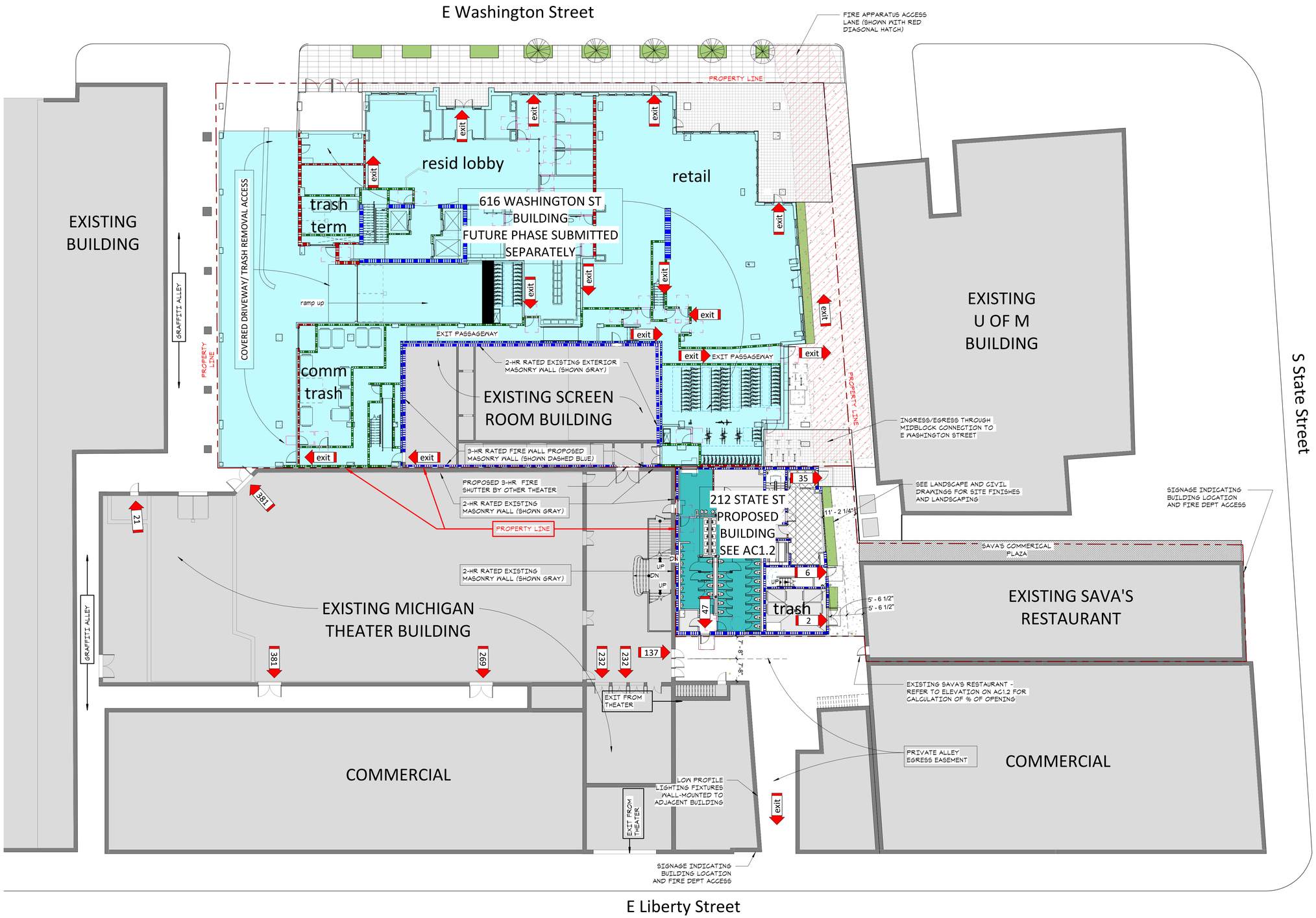
BUILDING CODE AND ZONING REVIEW

AC1.1



1 AC1.1a **LEVEL 1 CODE PLAN - CONTEXT DIAGRAM**

1/16" = 1'-0"

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PLAN NORTH
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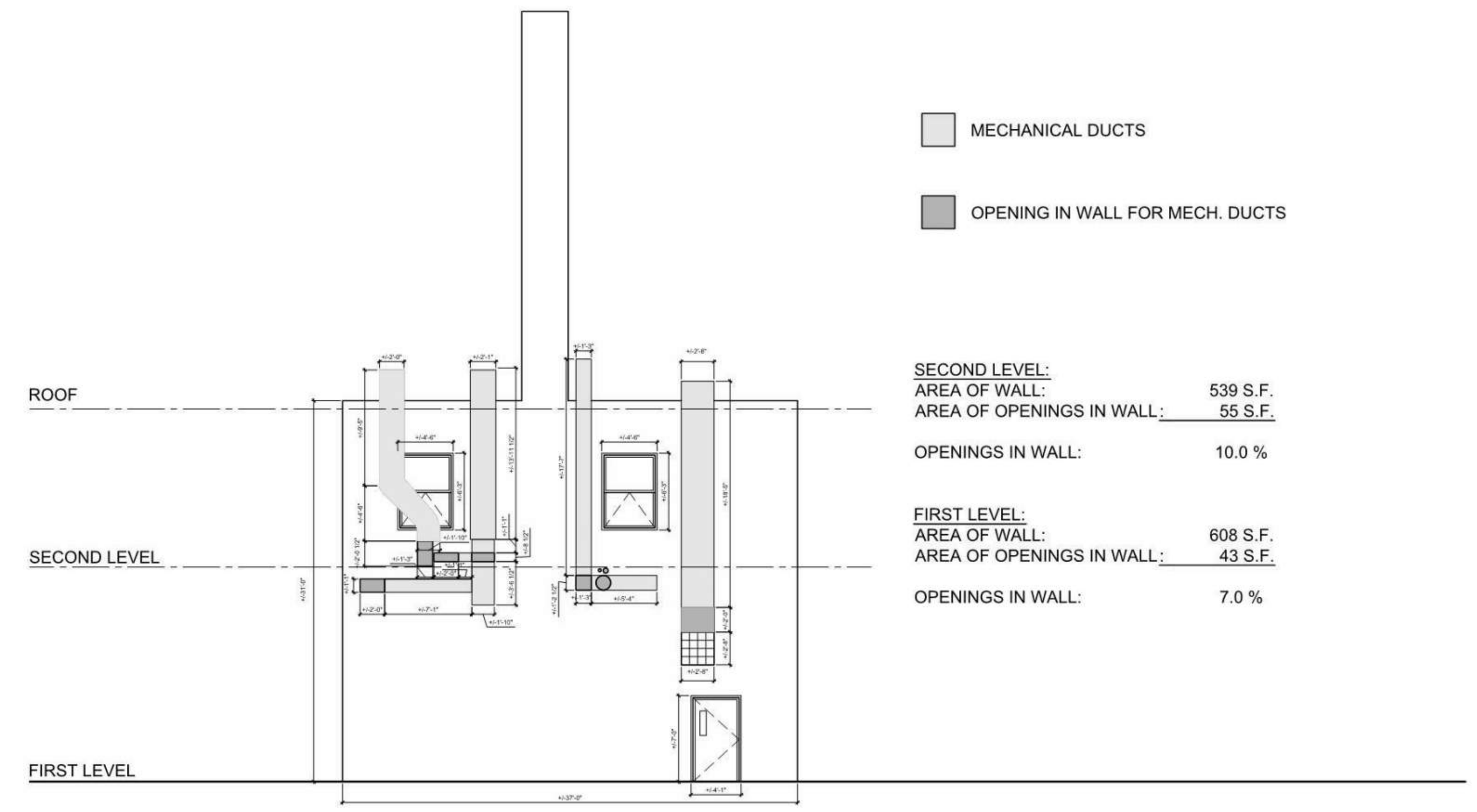
LEVEL 1 CODE PLAN - CONTEXT DIAGRAM

AC1.1a



REAR EXTERIOR ELEVATION OF SAVA'S
SCALE: 1/8" = 1'-0"

CODE TAG AND PATTERN LEGEND

CODE DOOR & STAIR TAG

- EXIT CAPACITY (# OF OCCUPANTS)
- EXIT WIDTH PROVIDED (INCHES)
- EXIT WIDTH REQUIRED (INCHES)
- EXIT WIDTH USED (# OF OCCUPANTS)

EGRESS WIDTH CALCULATED PER IBC SECTION 1005 FOR SPRINKLERED BUILDING:

- 0.3 @ STAIRS
- 0.2 @ OTHER EGRESS COMPONENTS

NOTE: DOOR WIDTHS REDUCED TO ACCOMMODATE DOORS IN OPEN POSITION:

- SINGLE DOORS REDUCED BY 3"
- PAIRS OF DOORS (WITHOUT CENTER MULLION) REDUCED BY 4"
- PAIRS OF DOORS (WITH CENTER MULLION) REDUCED BY 6 1/2"

CODE ROOM TAG

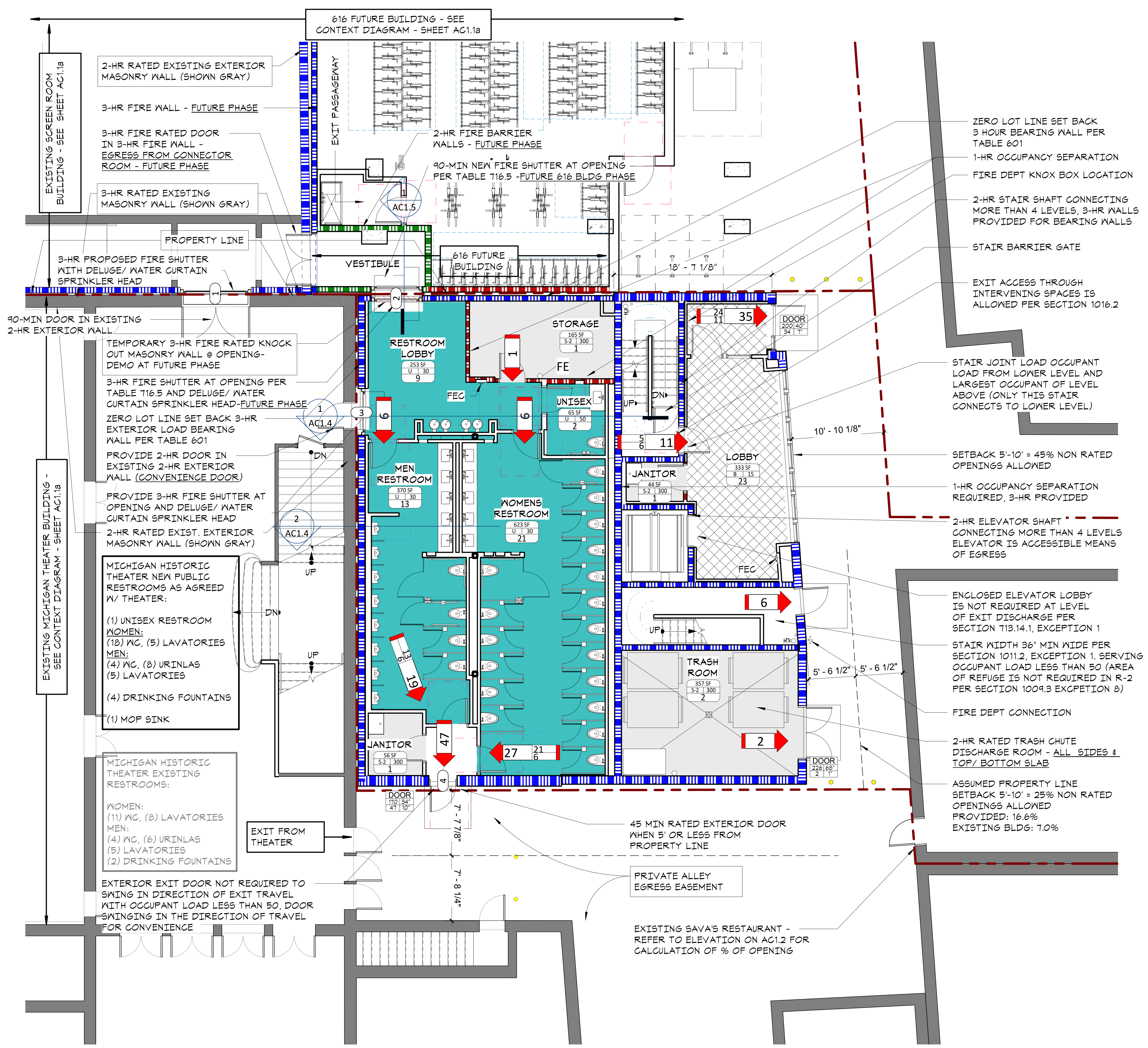
OCCUPANCY GROUP — AREA — OCCUPANT LOAD FACTOR — OCCUPANT LOAD

CODE WALL RATING PATTERNS

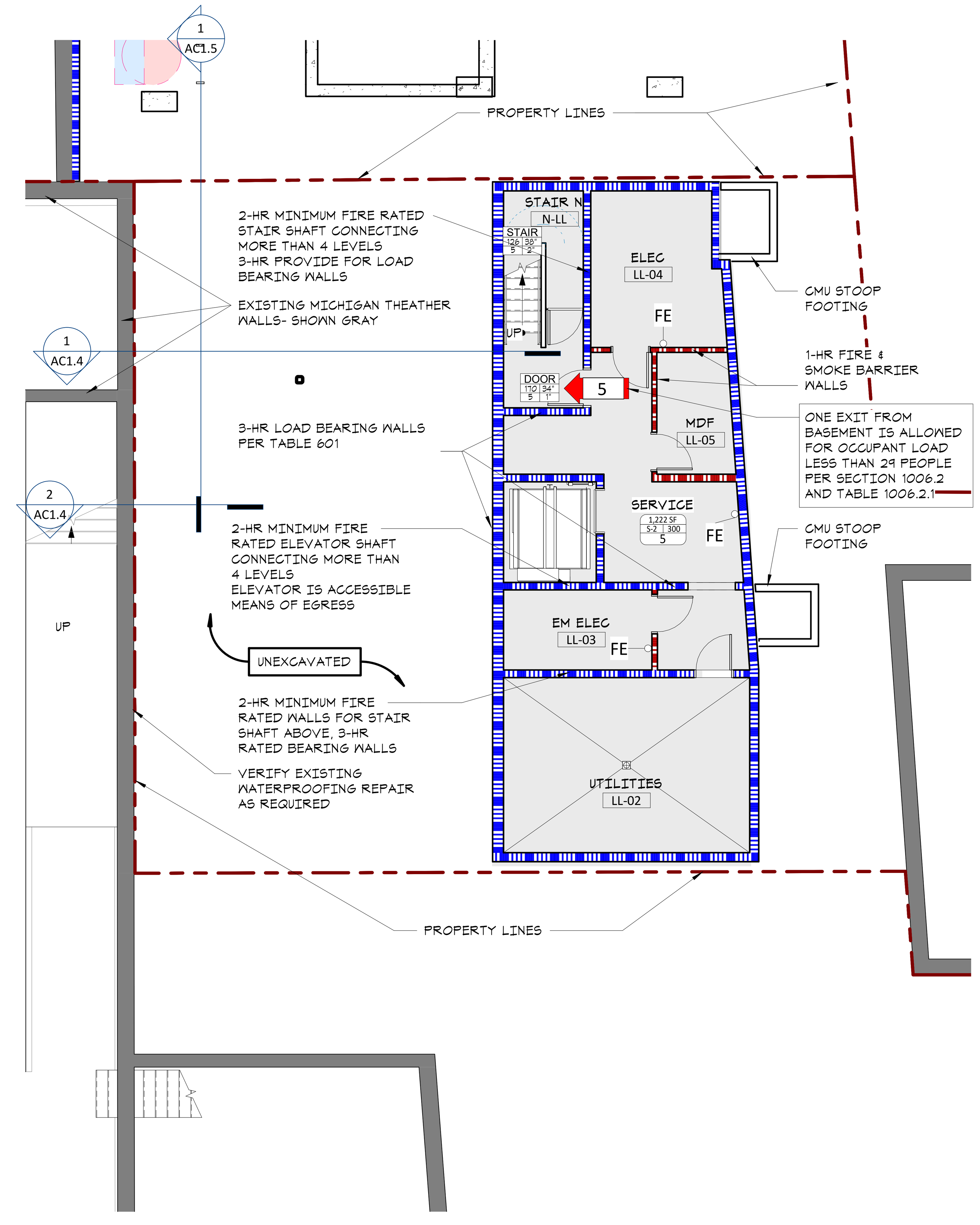
- 1 HOUR
- 2 HOUR
- 3 HOUR
- SMOKE

OCCUPANCY LOAD

NAME	OCCUPANCY TYPE	AREA	LOAD FACTOR	OCCUPANT LOAD
212 LOWER LEVEL				
SERVICE	S-2	1,222 SF	300	5
				5
212 LEVEL 1				
JANITOR	S-2	44 SF	300	1
JANITOR	S-2	56 SF	300	1
LOBBY	B	333 SF	15	23
MEN RESTROOM	U	370 SF	30	13
RESTROOM LOBBY	U	253 SF	30	9
STORAGE	S-2	165 SF	300	1
TRASH ROOM	S-2	357 SF	300	2
UNISEX	U	65 SF	50	2
WOMENS RESTROOM	U	623 SF	30	21
				73
212 LEVEL 2				
RESIDENTIAL	R-2	2,351 SF	200	12
				12
212 LEVEL 3				
RESIDENTIAL	R-2	2,594 SF	200	13
				13
212 LEVEL 4				
RESIDENTIAL	R-2	2,594 SF	200	13
				13
212 LEVEL 5				
RESIDENTIAL	R-2	2,343 SF	200	12
				12



2 LEVEL 1 CODE PLAN
AC1.2 1/8" = 1'-0"



1 LOWER LEVEL CODE PLAN
AC1.2 1/8" = 1'-0"

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ARCHITECTURAL CODE PLANS

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CODE TAG AND PATTERN LEGEND

CODE DOOR & STAIR TAG

DOOR 220 33" 159 24"
- EXIT CAPACITY (# OF OCCUPANTS)
- EXIT WIDTH PROVIDED (INCHES)
- EXIT WIDTH REQUIRED (INCHES)
- EXIT WIDTH USED (# OF OCCUPANTS)

EGRESS WIDTH CALCULATED PER IBC SECTION 1005 FOR SPRINKLERED BUILDING:
- 0.3 @ STAIRS
- 0.2 @ OTHER EGRESS COMPONENTS

NOTE: DOOR WIDTHS REDUCED TO ACCOMMODATE DOORS IN OPEN POSITION:
- SINGLE DOORS REDUCED BY 3"
- PAIRS OF DOORS (WITHOUT CENTER MULLION) REDUCED BY 4"
- PAIRS OF DOORS (WITH CENTER MULLION) REDUCED BY 6 1/2"

CODE ROOM TAG

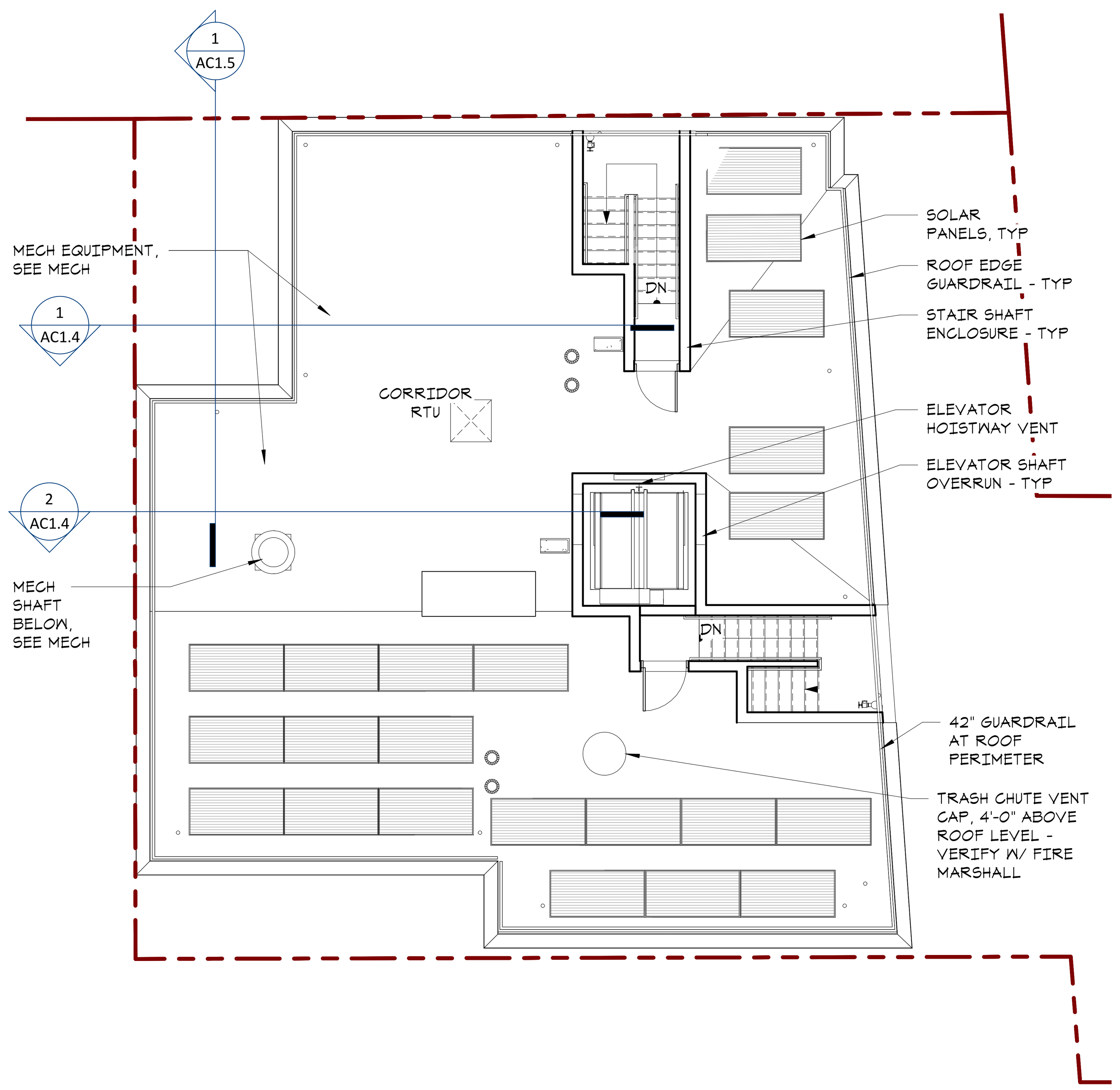
OCCUPANCY GROUP — 1,000 SF R-1 50 20 — AREA / OCCUPANT LOAD FACTOR / OCCUPANT LOAD

CODE WALL RATING PATTERNS

- 1 HOUR
- 2 HOUR
- 3 HOUR
- SMOKE

OCCUPANCY LOAD

NAME	OCCUPANCY TYPE	AREA	LOAD FACTOR	OCCUPANT LOAD
212 LOWER LEVEL				
SERVICE	S-2	1,222 SF	300	5
				5
212 LEVEL 1				
JANITOR	S-2	44 SF	300	1
JANITOR	S-2	56 SF	300	1
LOBBY	B	333 SF	15	23
MEN RESTROOM	U	370 SF	30	13
RESTROOM LOBBY	U	253 SF	30	9
STORAGE	S-2	165 SF	300	1
TRASH ROOM	S-2	357 SF	300	2
UNISEX	U	65 SF	50	2
WOMENS RESTROOM	U	623 SF	30	21
				73
212 LEVEL 2				
RESIDENTIAL	R-2	2,351 SF	200	12
				12
212 LEVEL 3				
RESIDENTIAL	R-2	2,594 SF	200	13
				13
212 LEVEL 4				
RESIDENTIAL	R-2	2,594 SF	200	13
				13
212 LEVEL 5				
RESIDENTIAL	R-2	2,343 SF	200	12
				12



3 AC1.3 **ROOF LEVEL CODE PLAN**
1/8" = 1'-0"

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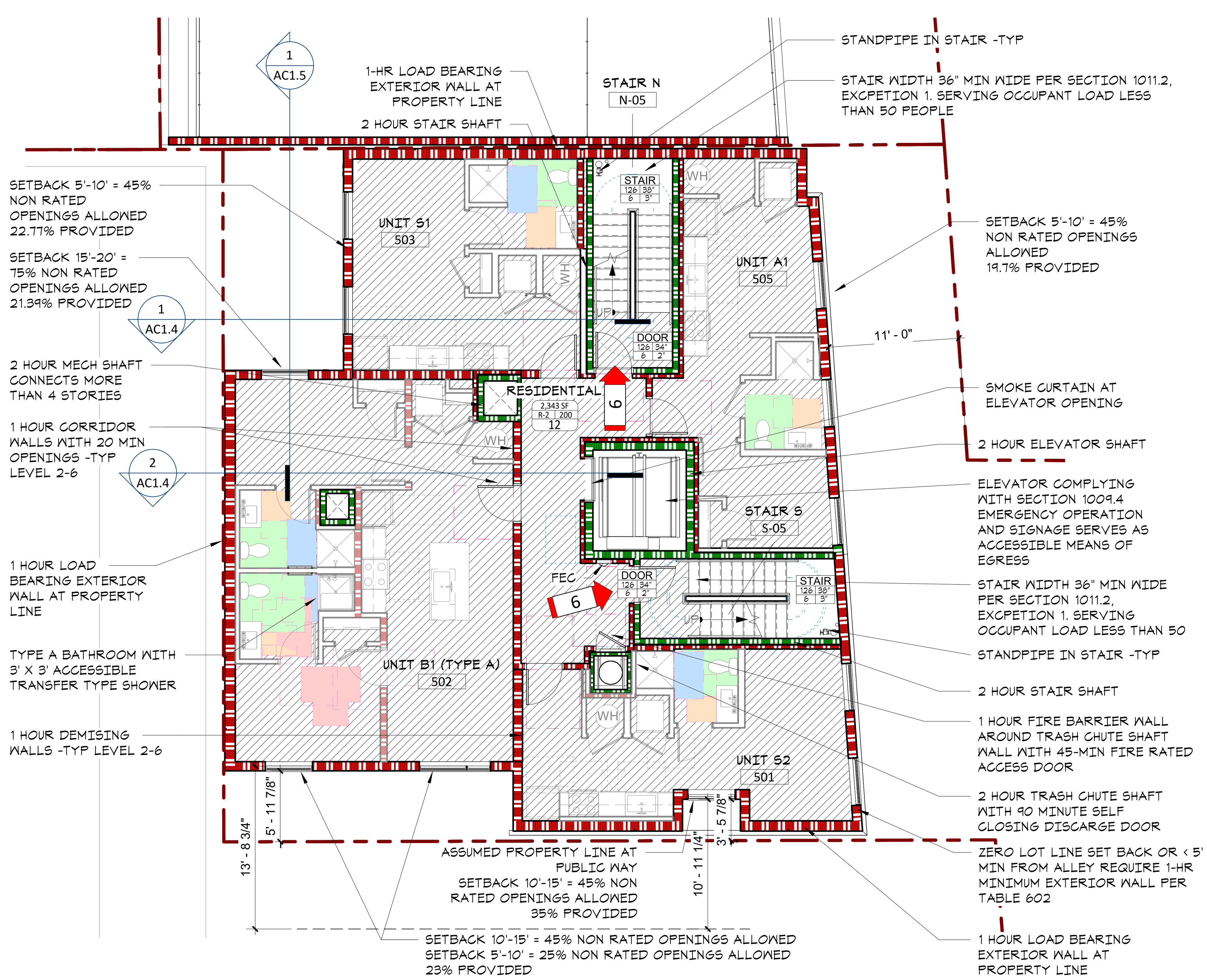
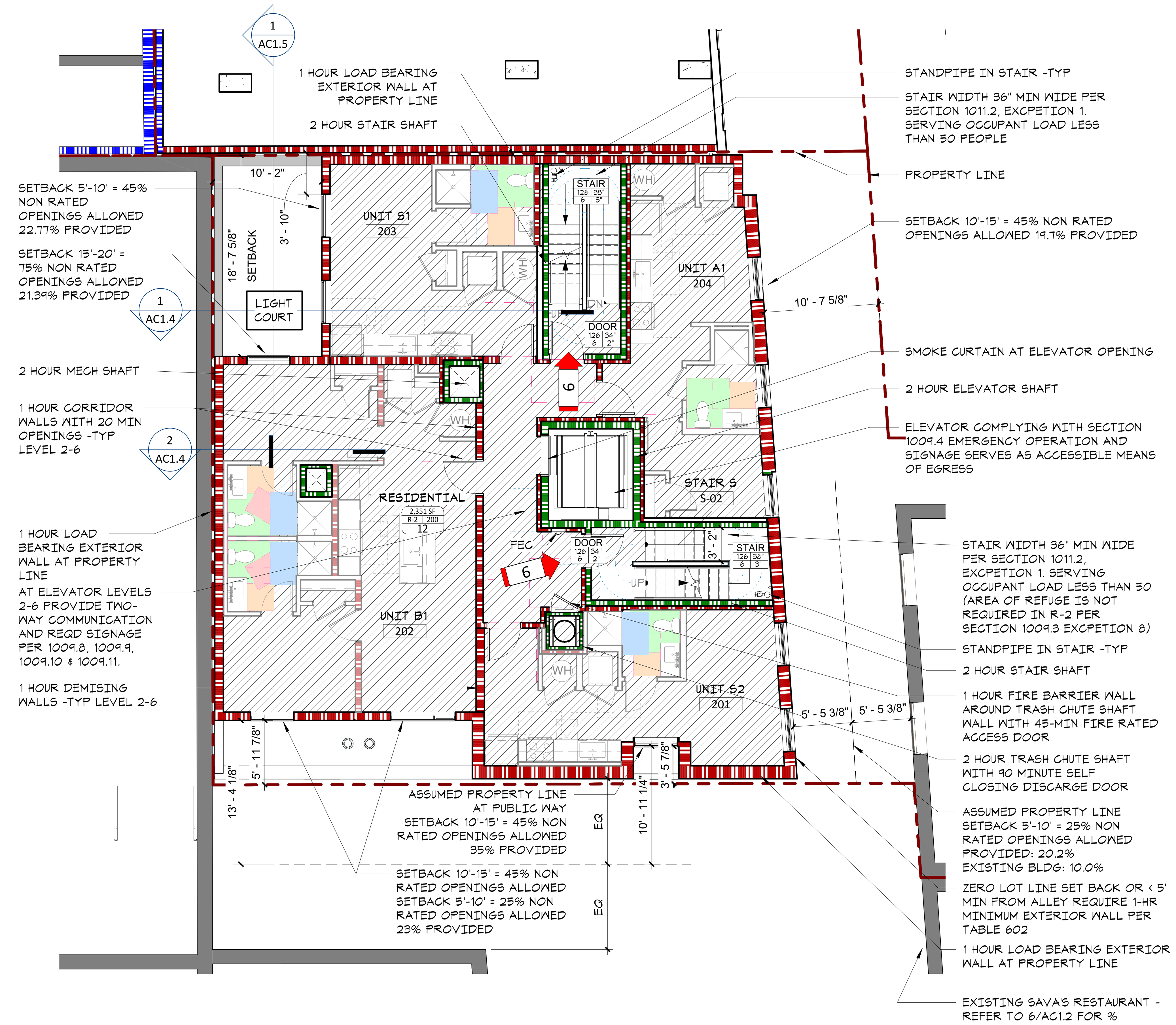


2 AC1.3 **LEVEL 5 CODE PLAN**
1/8" = 1'-0"



1 AC1.3 **TYPICAL RESIDENTIAL LEVEL 2 (3-4 SIM) CODE PLAN**
1/8" = 1'-0"

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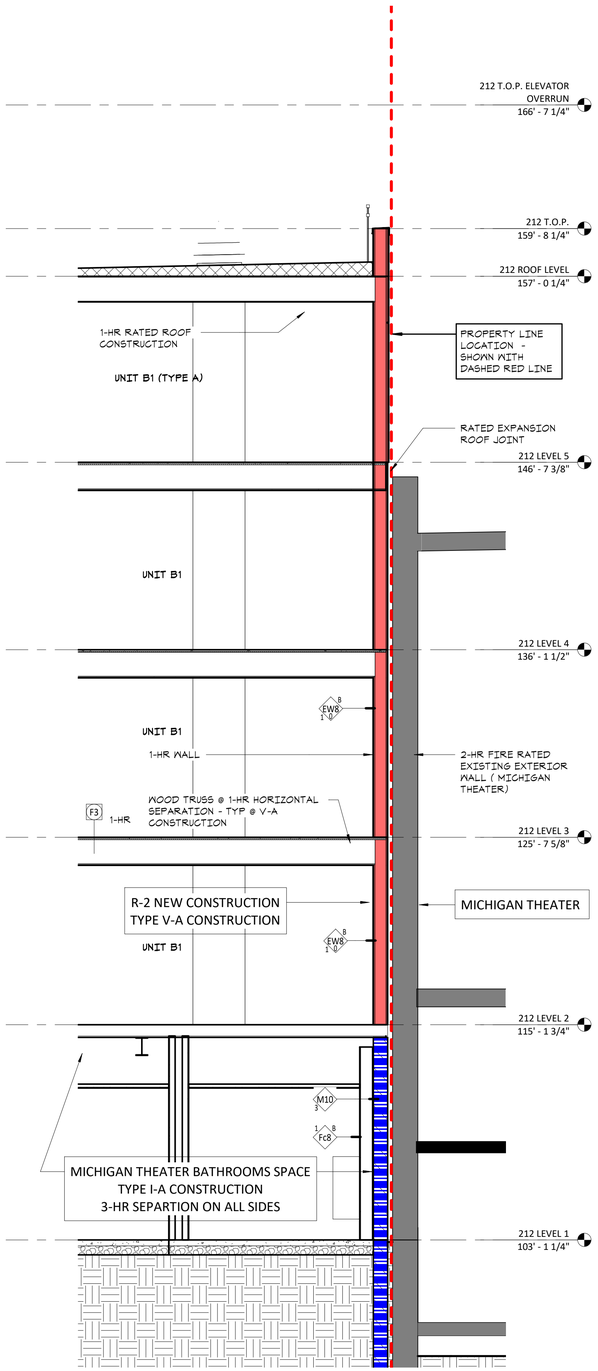
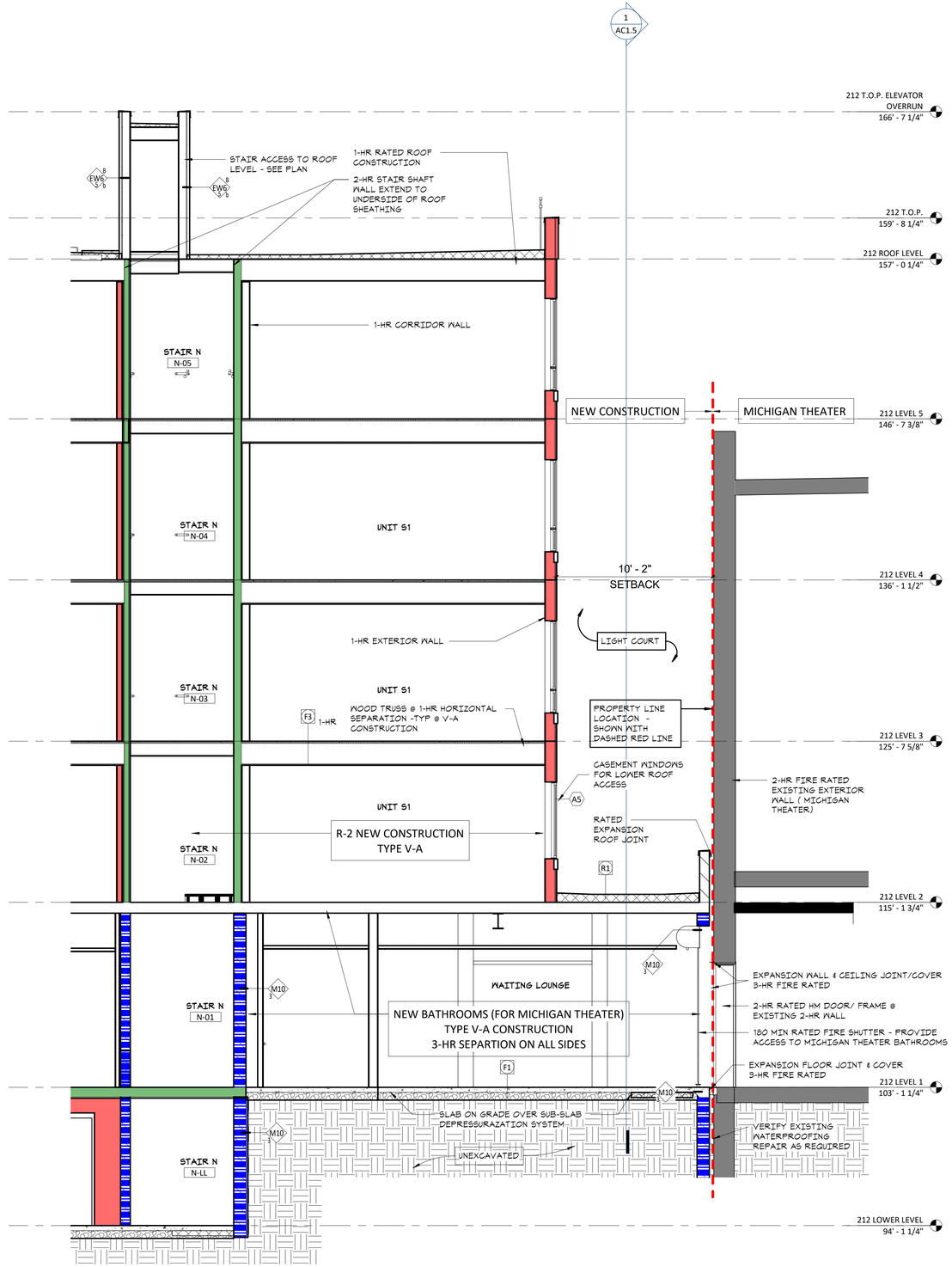


2 AC1.4 WALL SECTION AT EXISTING MICHIGAN THEATER & NEW 6-STORY RESIDENTAIL

1/4" = 1'-0"



1 AC1.4 WALL SECTION AT OPENING TO MICHIGAN THEATER

1/4" = 1'-0"

CODE TAG AND PATTERN LEGEND

CODE DOOR & STAIR TAG

DOOR 220 | 24" | 150 | 24"

- EXIT CAPACITY (# OF OCCUPANTS)
- EXIT WIDTH PROVIDED (INCHES)
- EXIT WIDTH REQUIRED (INCHES)
- EXIT WIDTH USED (# OF OCCUPANTS)

EGRESS WIDTH CALCULATED PER IBC SECTION 1005 FOR SPRINKLERED BUILDING:
- 0.3 @ STAIRS
- 0.2 @ OTHER EGRESS COMPONENTS

NOTE: DOOR WIDTHS REDUCED TO ACCOMMODATE DOORS IN OPEN POSITION:
- SINGLE DOORS REDUCED BY 3"
- PAIRS OF DOORS (WITHOUT CENTER MULLION) REDUCED BY 4"
- PAIRS OF DOORS (WITH CENTER MULLION) REDUCED BY 6 1/2"

CODE ROOM TAG

OCCUPANCY GROUP — 1,000 SF | R-1 | 50 | 20

- AREA
- OCCUPANT LOAD FACTOR
- OCCUPANT LOAD

CODE WALL RATING PATTERNS

- 1 HOUR
- 2 HOUR
- 3 HOUR
- SMOKE

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ARCHITECTURAL CODE SECTIONS

AC1.4

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CODE TAG AND PATTERN LEGEND

CODE DOOR & STAIR TAG

DOOR
220 | 48
150 | 24

- EXIT CAPACITY (# OF OCCUPANTS)
- EXIT WIDTH PROVIDED (INCHES)
- EXIT WIDTH REQUIRED (INCHES)
- EXIT WIDTH USED (# OF OCCUPANTS)

EGRESS WIDTH CALCULATED PER IBC SECTION 1005 FOR SPRINKLERED BUILDING:

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- 0.2 @ OTHER EGRESS COMPONENTS

NOTE: DOOR WIDTHS REDUCED TO ACCOMMODATE DOORS IN OPEN POSITION:

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- PAIRS OF DOORS (WITHOUT CENTER MULLION) REDUCED BY 4"
- PAIRS OF DOORS (WITH CENTER MULLION) REDUCED BY 6 1/2"

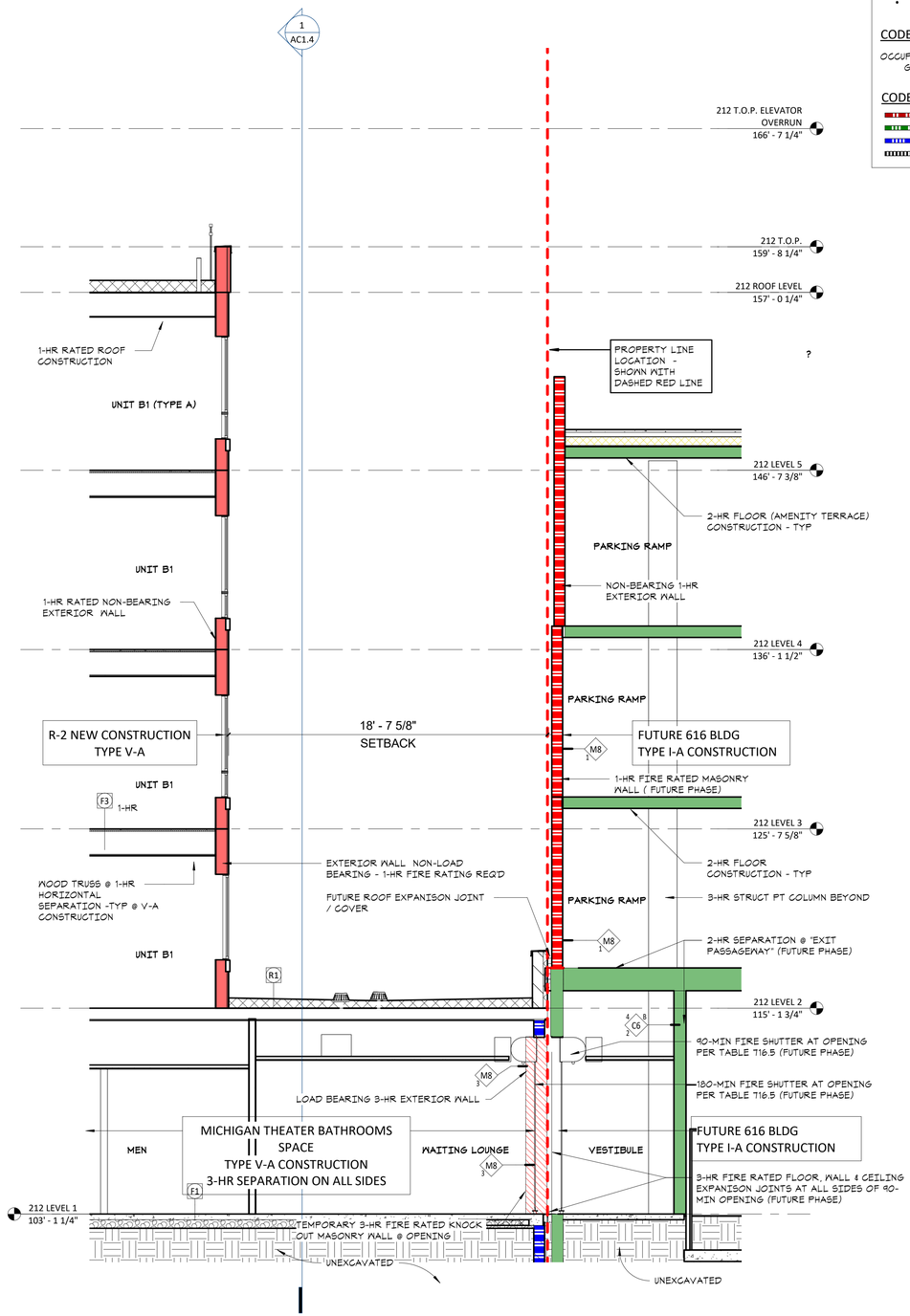
CODE ROOM TAG

OCCUPANCY GROUP — 1,000 SF / B 3 | S1 30 / 20

- AREA
- OCCUPANT LOAD FACTOR
- OCCUPANT LOAD

CODE WALL RATING PATTERNS

- 1 HOUR
- 2 HOUR
- 3 HOUR
- SMOKE



1 AC1.5 **WALL SECTION AT OPENING TO FUTURE 616 BUILDING PHASE**

1/4" = 1'-0"

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ARCHITECTURAL CODE SECTIONS

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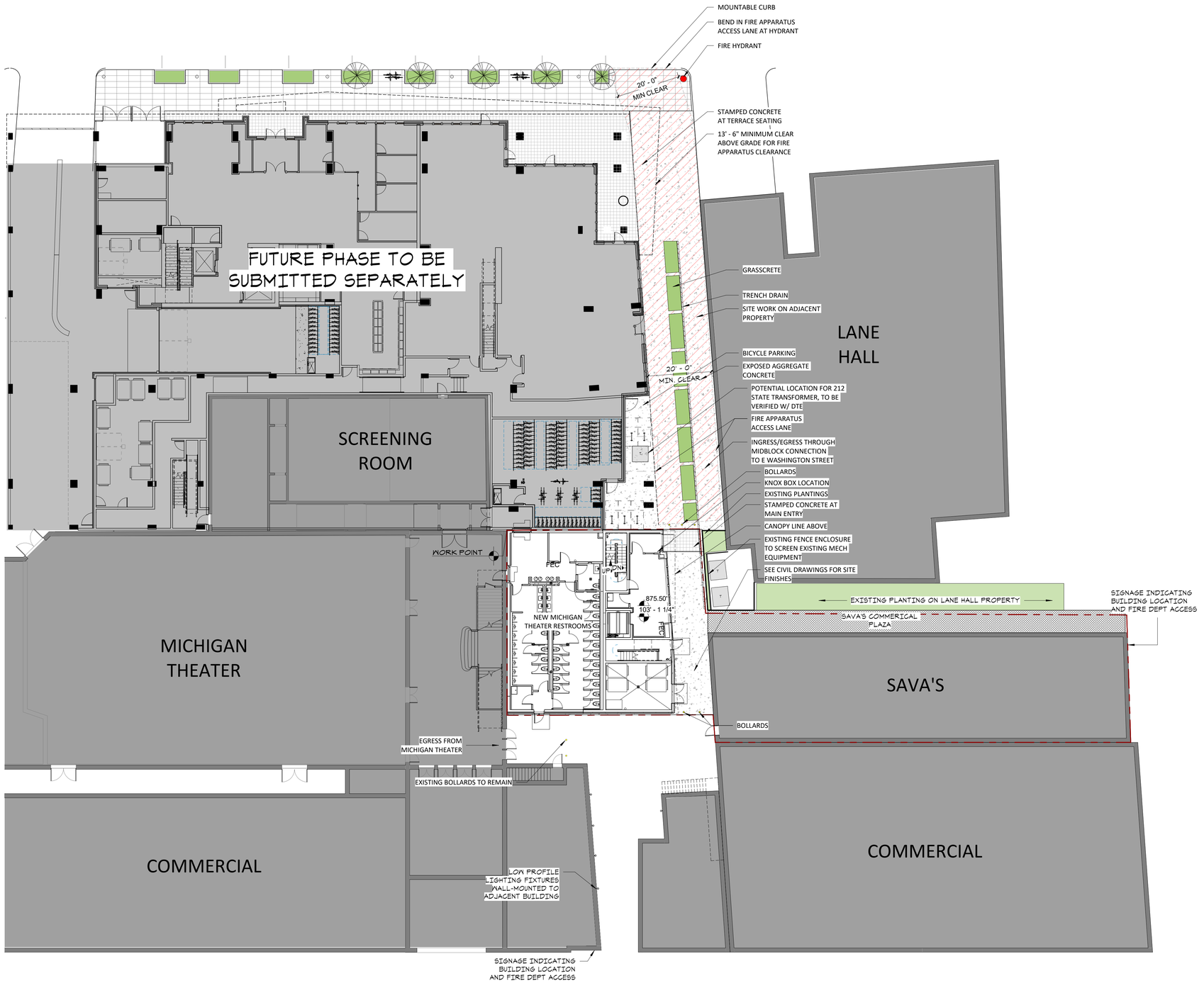

1 A0.1 **212 OVERALL SITE PLAN**
1/16" = 1'-0"

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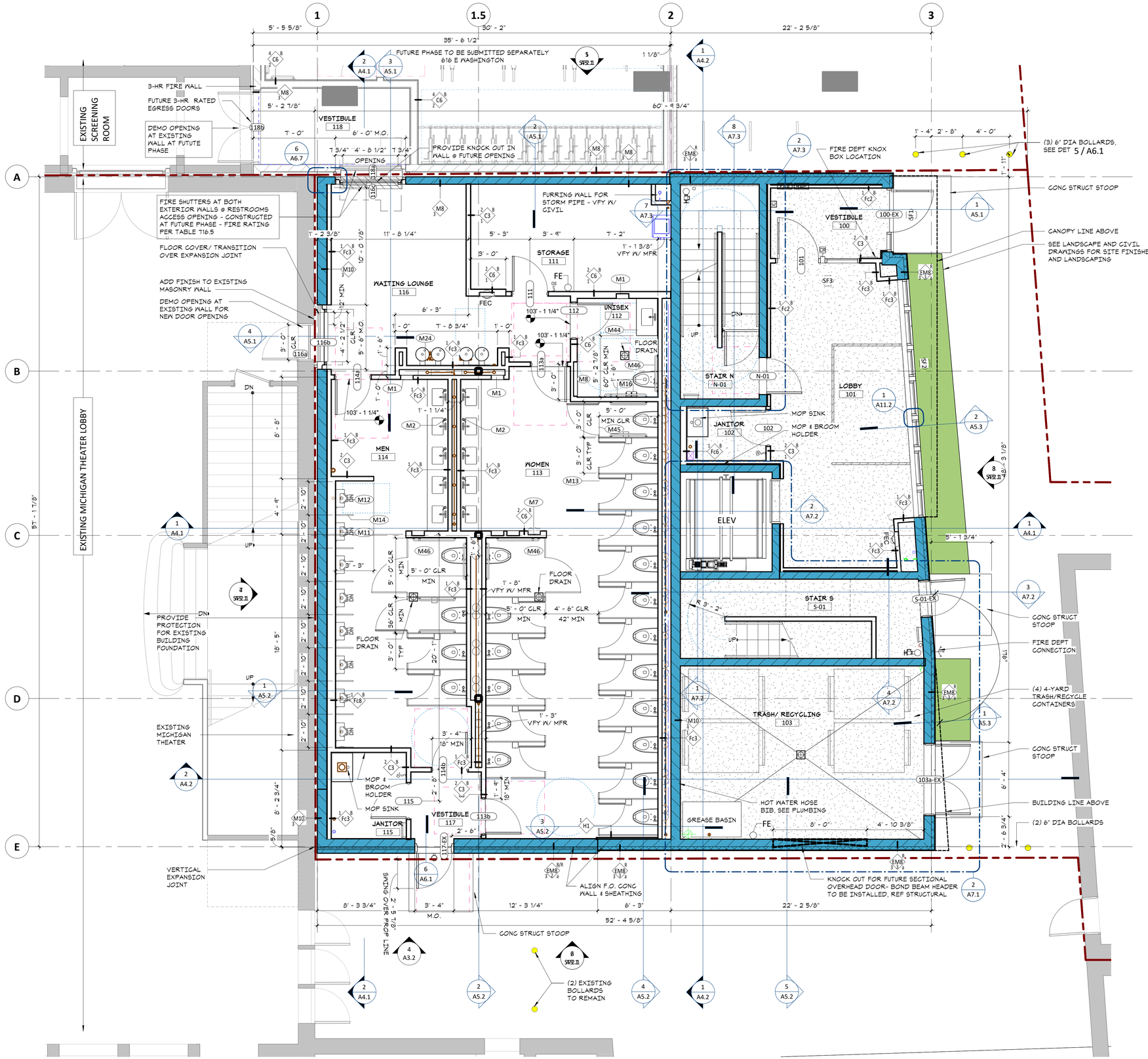
ARCHITECTURAL SITE PLAN

A0.1



1 FLOOR PLAN - LEVEL 01 (A1.2)
1/4" = 1'-0"

DIMENSIONING STANDARDS

1. AT MASONRY AND MASONRY VENEER WALLS, DIMENSIONS ARE TO FACE OF MASONRY
2. AT NON-MASONRY OR NON-MASONRY VENEER EXTERIOR WALLS (i.e.: METAL PANEL / FIBER CEMENT), WALL DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING
3. SHAFT WALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD
4. AT INTERIOR SINGLE STUD WALLS, DIMENSIONS ARE TO CENTERLINE OF STUD
5. AT DOUBLE STUD WALLS, DIMENSIONS ARE TO CENTERLINE OF STRUCTURAL CORE. (SEE WALL TYPES FOR DIAGRAM OF WALL CORE)

* ALL DIMENSIONS FOLLOW THESE STANDARDS UNLESS NOTED OTHERWISE.

FLOOR PLAN GENERAL NOTES

1. FINISHED FLOOR ELEVATION 103'-1.25" = 875.5'
2. PROVIDE PERFORATED DRAIN TILE IN GRAVEL FILL AND FILTER AT OVERALL BUILDING PERIMETER - BOTH SIDES OF FOOTING - SEE MECH/ PLUMBING DRAWINGS FOR DETAILS - COORDINATE WITH SSD ENVIRONMENTAL DRAWINGS.
3. PROVIDE PERIMETER GYPSUM SOFFITS ALONG ALL EXTERIOR WALLS AND DROPPED GYPSUM CEILINGS WHERE REQD IN RESIDENTIAL UNITS TO COMPLETELY CONCEAL ALL DUCTWORK, SEE UNIT PLANS.
4. PIPING CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED SPACES WHETHER SHOWN ON DRAWINGS OR NOT, UNO.
5. EXTERIOR WALL TAGS ON PLANS SHOWN FOR CORE CONSTRUCTION ASSEMBLY AND EXTERIOR FINISHES, SEE EXTERIOR ELEVATIONS FOR ADDIOTNAL KEYNOTES.
6. ALL RESIDENTIAL UNITS ARE TYPE B, EXCEPT (1) UNIT WHICH IS TYPE A (#502).
7. PROVIDE FIRE EXTINGUISHERS IN CABINETS AT ALL LEVELS, TO BE WITHIN 75' OF ALL OCCUPIABLE AREAS. FEC - SEMI-RECESSED FIRE EXTINGUISHER CABINET. PROVIDE FE - WALL MOUNT FIRE EXTINGUISHER AT BACK OF THE HOUSE SPACE PER FIRE CODE.
8. SHADED (BLUE COLOR) WALLS INDICATE STRUCTURAL BEARING LOCATIONS. VERIFY W/ STRUCTURAL LOAD - BEARING LOCATIONS AND REFER TO CODE SHEETS FOR FIRE RATING REQUIREMENTS.
9. SHADED (GRAY COLOR) WALLS INDICATE EXISTING WALLS.
10. FOR TYPICAL WALL TYPES, REFER TO A10.1 & A10.2. TYPICAL FLOOR / CEILING AND ROOF /CEILING ASSEMBLY REFER TO A10.3
11. SEE SHEETS A8.1, A8.2 & A8.3 FOR 1/4" UNIT PLANS.
12. SEE SHEET A11.1 FOR OPENING SCHEDULE AND DOOR/ FRAME TYPES.
13. SEE INTERIOR DRAWINGS/ DOCUMENTS FOR INTERIOR FINISHES, FFE, LIGHTING FIXTURES, MILLWORK, WINDOW TREATMENTS AND CEILING FINISHES & SCHEDULES
14. SEE SHEET A11.2 FOR WINDOW & STOREFRONT TYPES.
15. REFER TO A10.5 FOR FIRE-STOP DETAILS.
16. SEE SHEET A9.1 & A9.2 FOR STANDARD MOUNTING HEIGHT DIAGRAM AND ACCESSIBILITY DIAGRAMS.
17. AT WALLS ABUTTING SHOWERS OR BATH TUBS AN ADDITIONAL LAYER OF 5/8" TYPE 'X' WATER RESISTANT GYP. BD. SHALL BE INSTALLED.
18. INSTALL FIREBLOCKS AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS @ 10'-0" OC MAX.
19. ALL PLUMBING PIPES IN WALLS AND CEILINGS TO BE FULLY ENCLOSED WITH GLASS FIBER BATTS.
20. PROVIDE TWO-WAY COMMUNICATION AT ALL LANDINGS SERVED BY THE ELEVATOR. 80X48 INCH CLEAR SPACE SHOWN ON PLANS. INCLUDE REQUIRED SIGNAGE PER 1009.8, 1009.9, 1009.10 & 1009.11.
21. FALL ARREST ANCHOR LAYOUT TO BE DESIGN BUILD. LOCATIONS AND QUANTITIES ARE SHOWN FOR REFERENCE ONLY. GC TO COORDINATE WITH MANUFACTURER'S ENGINEERED SUBMITTAL FOR FINAL DESIGN AND DETAILS.
22. REFER TO ROOF LEVEL PLAN FOR NOTES PERTAINING TO ROOF AREAS.

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LEVEL 1 PLAN

A1.2

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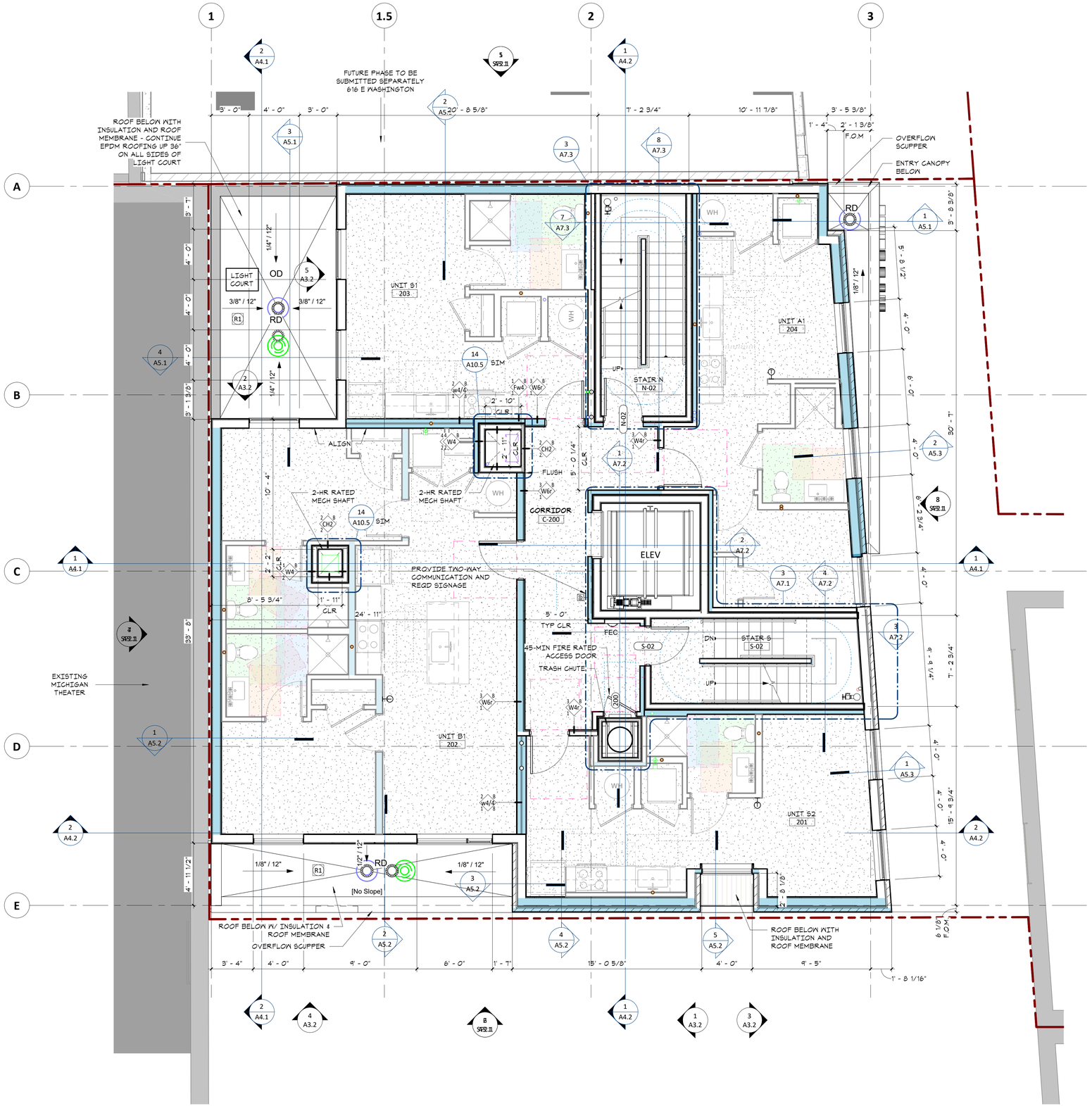

1 A1.3 **FLOOR PLAN - LEVEL 02**

1/4" = 1'-0"

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DIMENSIONING STANDARDS

1. AT MASONRY AND MASONRY VENEER WALLS, DIMENSIONS ARE TO FACE OF MASONRY
2. AT NON-MASONRY OR NON-MASONRY VENEER EXTERIOR WALLS (i.e.: METAL PANEL / FIBER CEMENT), WALL DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING
3. SHAFT WALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD
4. AT INTERIOR SINGLE STUD WALLS, DIMENSIONS ARE TO CENTERLINE OF STUD
5. AT DOUBLE STUD WALLS, DIMENSIONS ARE TO CENTERLINE OF STRUCTURAL CORE. (SEE WALL TYPES FOR DIAGRAM OF WALL CORE)

* ALL DIMENSIONS FOLLOW THESE STANDARDS UNLESS NOTED OTHERWISE.

FLOOR PLAN GENERAL NOTES

1. FINISHED FLOOR ELEVATION 103'-1.25" = 875.5'
2. PROVIDE PERFORATED DRAIN TILE IN GRAVEL FILL AND FILTER AT OVERALL BUILDING PERIMETER - BOTH SIDES OF FOOTING - SEE MECH/ PLUMBING DRAWINGS FOR DETAILS - COORDINATE WITH SSD ENVIRONMENTAL DRAWINGS.
3. PROVIDE PERIMETER GYPSUM SOFFITS ALONG ALL EXTERIOR WALLS AND DROPPED GYPSUM CEILINGS WHERE REQD IN RESIDENTIAL UNITS TO COMPLETELY CONCEAL ALL DUCTWORK, SEE UNIT PLANS.
4. PIPING CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED SPACES WHETHER SHOWN ON DRAWINGS OR NOT, UNO.
5. EXTERIOR WALL TAGS ON PLANS SHOWN FOR CORE CONSTRUCTION ASSEMBLY AND EXTERIOR FINISHES, SEE EXTERIOR ELEVATIONS FOR ADDIOTNAL KEYNOTES.
6. ALL RESIDENTIAL UNITS ARE TYPE B, EXCEPT (1) UNIT WHICH IS TYPE A (#502).
7. PROVIDE FIRE EXTINGUISHERS IN CABINETS AT ALL LEVELS, TO BE WITHIN 75' OF ALL OCCUPIABLE AREAS. FEC - SEMI-RECESSED FIRE EXTINGUISHER CABINET. PROVIDE FE - WALL MOUNT FIRE EXTINGUISHER AT BACK OF THE HOUSE SPACE PER FIRE CODE.
8. SHADED (BLUE COLOR) WALLS INDICATE STRUCTURAL BEARING LOCATIONS. VERIFY W/ STRUCTURAL LOAD - BEARING LOCATIONS AND REFER TO CODE SHEETS FOR FIRE RATING REQUIREMENTS.
9. SHADED (GRAY COLOR) WALLS INDICATE EXISTING WALLS.
10. FOR TYPICAL WALL TYPES, REFER TO A10.1 & A10.2. TYPICAL FLOOR / CEILING AND ROOF /CEILING ASSEMBLY REFER TO A10.3
11. SEE SHEETS A8.1, A8.2 & A8.3 FOR 1/4" UNIT PLANS.
12. SEE SHEET A11.1 FOR OPENING SCHEDULE AND DOOR/ FRAME TYPES.
13. SEE INTERIOR DRAWINGS/ DOCUMENTS FOR INTERIOR FINISHES, FFE, LIGHTING FIXTURES, MILLNORK, WINDOW TREATMENTS AND CEILING FINISHES & SCHEDULES
14. SEE SHEET A11.2 FOR WINDOW & STOREFRONT TYPES.
15. REFER TO A10.5 FOR FIRE-STOP DETAILS.
16. SEE SHEET A9.1 & A9.2 FOR STANDARD MOUNTING HEIGHT DIAGRAM AND ACCESSIBILITY DIAGRAMS.
17. AT WALLS ABUTTING SHOWERS OR BATH TUBS AN ADDITIONAL LAYER OF 5/8" TYPE 'X' WATER RESISTANT GYP. BD. SHALL BE INSTALLED.
18. INSTALL FIREBLOCKS AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS @ 10'-0" OC MAX.
19. ALL PLUMBING PIPES IN WALLS AND CEILINGS TO BE FULLY ENCLOSED WITH GLASS FIBER BATTS.
20. PROVIDE TWO-WAY COMMUNICATION AT ALL LANDINGS SERVED BY THE ELEVATOR. 30X48 INCH CLEAR SPACE SHOWN ON PLANS. INCLUDE REQUIRED SIGNAGE PER 1009.8, 1009.9, 1009.10 & 1009.11.
21. FALL ARREST ANCHOR LAYOUT TO BE DESIGN BUILD. LOCATIONS AND QUANTITIES ARE SHOWN FOR REFERENCE ONLY. GC TO COORDINATE WITH MANUFACTURER'S ENGINEERED SUBMITTAL FOR FINAL DESIGN AND DETAILS.
22. REFER TO ROOF LEVEL PLAN FOR NOTES PERTAINING TO ROOF AREAS.

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KEY PLAN

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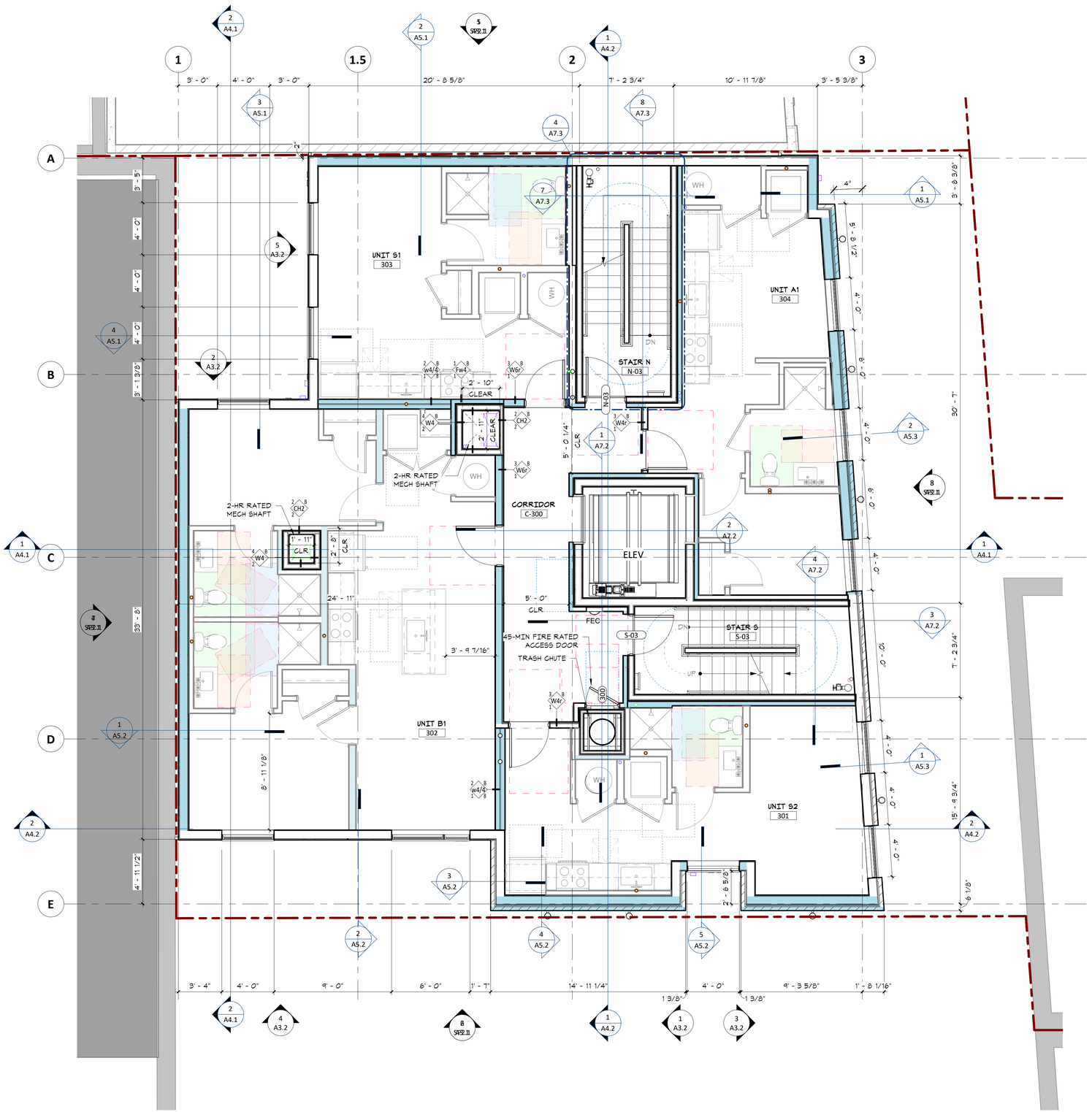
LEVEL 2 PLAN

A1.3



1 A1.4 **FLOOR PLAN - LEVEL 03 (LEVEL 4 - SIM)**

1/4" = 1'-0"

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DIMENSIONING STANDARDS

1. AT MASONRY AND MASONRY VENEER WALLS, DIMENSIONS ARE TO FACE OF MASONRY
2. AT NON-MASONRY OR NON-MASONRY VENEER EXTERIOR WALLS (i.e.: METAL PANEL / FIBER CEMENT), WALL DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING
3. SHAFT WALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD
4. AT INTERIOR SINGLE STUD WALLS, DIMENSIONS ARE TO CENTERLINE OF STUD
5. AT DOUBLE STUD WALLS, DIMENSIONS ARE TO CENTERLINE OF STRUCTURAL CORE. (SEE WALL TYPES FOR DIAGRAM OF WALL CORE)

* ALL DIMENSIONS FOLLOW THESE STANDARDS UNLESS NOTED OTHERWISE.

FLOOR PLAN GENERAL NOTES

1. FINISHED FLOOR ELEVATION 103'-1.25" = 875.5'
2. PROVIDE PERFORATED DRAIN TILE IN GRAVEL FILL AND FILTER AT OVERALL BUILDING PERIMETER - BOTH SIDES OF FOOTING - SEE MECH/ PLUMBING DRAWINGS FOR DETAILS - COORDINATE WITH SSD ENVIRONMENTAL DRAWINGS.
3. PROVIDE PERIMETER GYPSUM SOFFITS ALONG ALL EXTERIOR WALLS AND DROPPED GYPSUM CEILINGS WHERE REQD IN RESIDENTIAL UNITS TO COMPLETELY CONCEAL ALL DUCTWORK, SEE UNIT PLANS.
4. PIPING CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED SPACES WHETHER SHOWN ON DRAWINGS OR NOT, UNO.
5. EXTERIOR WALL TAGS ON PLANS SHOWN FOR CORE CONSTRUCTION ASSEMBLY AND EXTERIOR FINISHES, SEE EXTERIOR ELEVATIONS FOR ADDIOTNAL KEYNOTES.
6. ALL RESIDENTIAL UNITS ARE TYPE B, EXCEPT (1) UNIT WHIGH IS TYPE A (9502).
7. PROVIDE FIRE EXTINGUISHERS IN CABINETS AT ALL LEVELS, TO BE WITHIN 75' OF ALL OCCUPIABLE AREAS. FEC - SEMI-RECESSED FIRE EXTINGUISHER CABINET. PROVIDE FE - WALL MOUNT FIRE EXTINGUISHER AT BACK OF THE HOUSE SPACE PER FIRE CODE.
8. SHADED (BLUE COLOR) WALLS INDICATE STRUCTURAL BEARING LOCATIONS. VERIFY W/ STRUCTURAL LOAD - BEARING LOCATIONS AND REFER TO CODE SHEETS FOR FIRE RATING REQUIREMENTS.
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11. SEE SHEETS A8.1, A8.2 & A8.3 FOR 1/4" UNIT PLANS.
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14. SEE SHEET A11.2 FOR WINDOW & STOREFRONT TYPES.
15. REFER TO A10.5 FOR FIRE-STOP DETAILS.
16. SEE SHEET A9.1 & A9.2 FOR STANDARD MOUNTING HEIGHT DIAGRAM AND ACCESSIBILITY DIAGRAMS.
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21. FALL ARREST ANCHOR LAYOUT TO BE DESIGN BUILD. LOCATIONS AND QUANTITIES ARE SHOWN FOR REFERENCE ONLY. GC TO COORDINATE WITH MANUFACTURER'S ENGINEERED SUBMITTAL FOR FINAL DESIGN AND DETAILS.
22. REFER TO ROOF LEVEL PLAN FOR NOTES PERTAINING TO ROOF AREAS.

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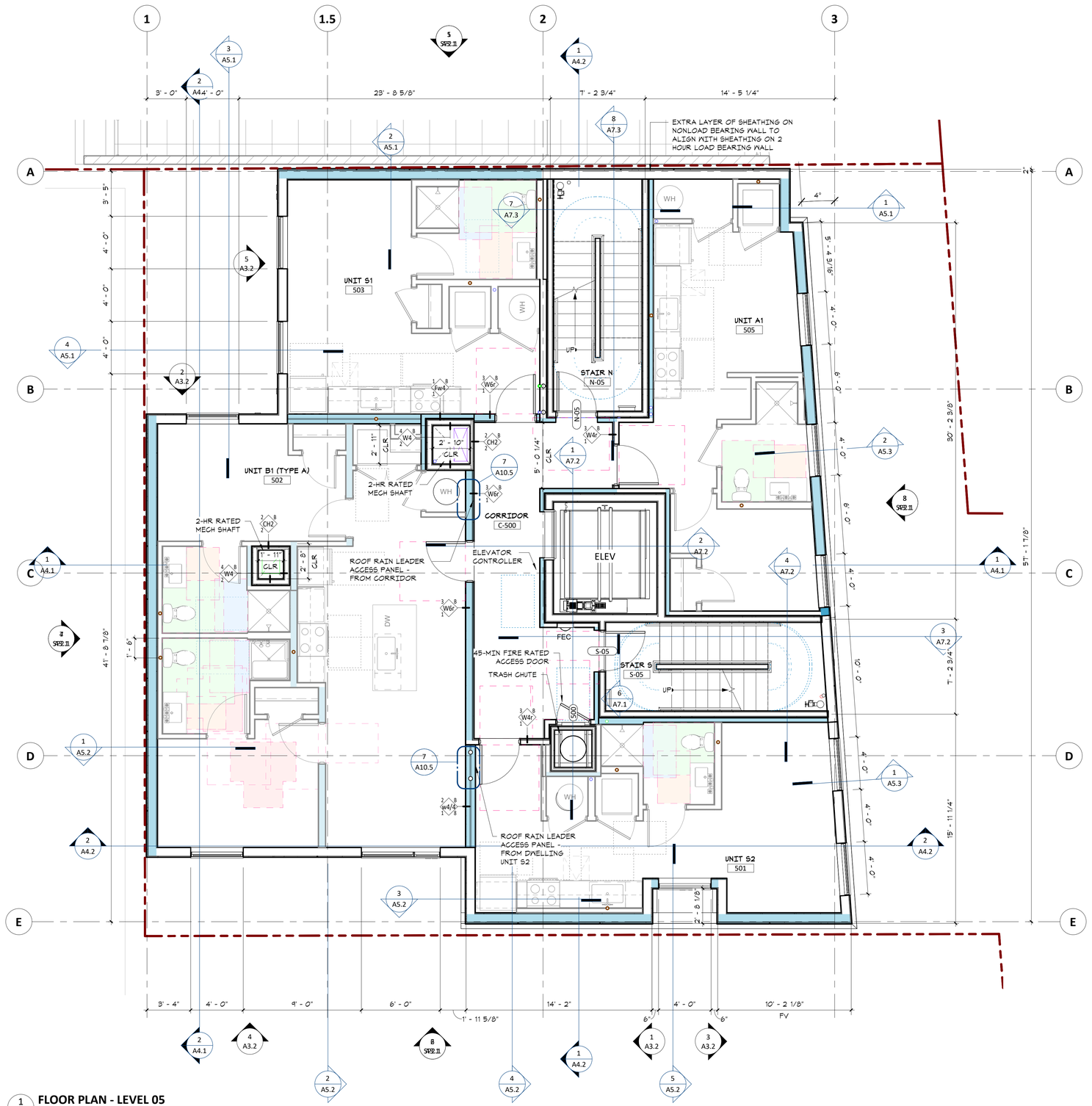
TYPICAL LEVEL PLAN

A1.4



1 FLOOR PLAN - LEVEL 05
1/4" = 1'-0"

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DIMENSIONING STANDARDS

1. AT MASONRY AND MASONRY VENEER WALLS, DIMENSIONS ARE TO FACE OF MASONRY
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FLOOR PLAN GENERAL NOTES

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13. SEE INTERIOR DRAWINGS/ DOCUMENTS FOR INTERIOR FINISHES, FFE, LIGHTING FIXTURES, MILLWORK, WINDOW TREATMENTS AND CEILING FINISHES & SCHEDULES
14. SEE SHEET A11.2 FOR WINDOW & STOREFRONT TYPES.
15. REFER TO A10.5 FOR FIRE-STOP DETAILS.
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20. PROVIDE TWO-WAY COMMUNICATION AT ALL LANDINGS SERVED BY THE ELEVATOR. 32X48 INCH CLEAR SPACE SHOWN ON PLANS. INCLUDE REQUIRED SIGNAGE PER 1009.8, 1009.9, 1009.10 & 1009.11.
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22. REFER TO ROOF LEVEL PLAN FOR NOTES PERTAINING TO ROOF AREAS.

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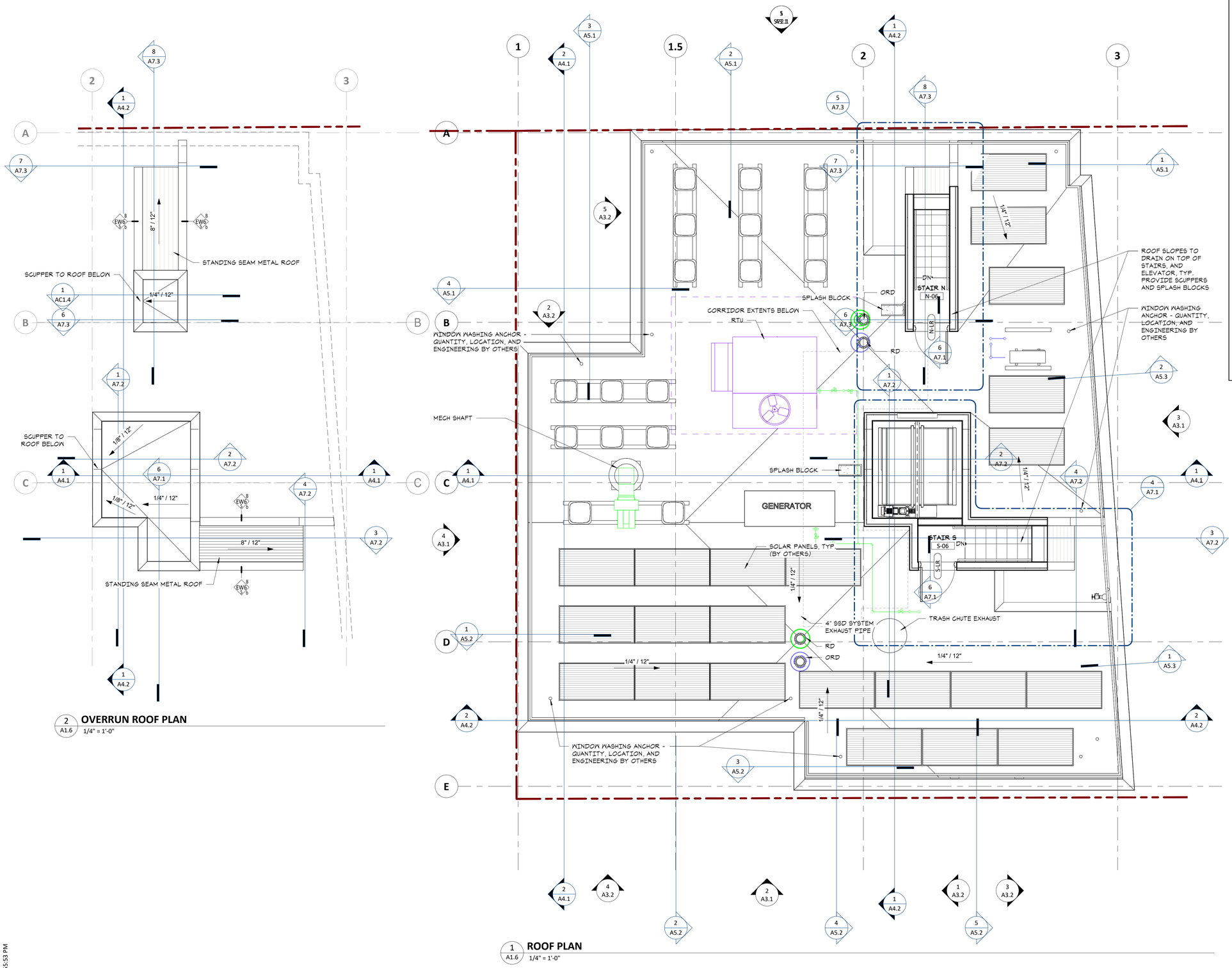
LEVEL 5 PLAN

A1.5

ROOF PLAN GENERAL NOTES

1. ROOF ASSEMBLY - SEE DESCRIPTIONS ON A10.3 SHEET
2. ROOF TO SLOPE 1/4" PER FOOT MIN, EXCEPT WHERE NOTED
3. PLUMBING PENETRATIONS NOT SHOWN. COORDINATE WITH MECHANICAL DOCUMENTS
4. PLUMBING PENETRATIONS TO BE GROUPED INTO SHEET METAL "DOG HOUSES"
5. PROVIDE R-30 AVERAGE INSULATION
6. PROVIDE CURBS FOR ROOFTOP MECHANICAL EQUIPMENT
7. PROVIDE CONTINUOUS REINFORCED WALKWAY BETWEEN ROOF ACCESS HATCH, SOLAR PANELS AND MECHANICAL EQUIPMENT.
8. PROVIDE 42" TALL GUARDRAIL AT ROOF EDGE PERIMETER - SEE PLAN AND DETAIL 13 / A6.6
9. ROOF DRAINS ARE SHOWN IN LOCATIONS THAT ALLOW THEM TO DRAIN STRAIGHT DOWN. PROVIDE EXPANSION CONNECTION AT LEVEL 6
10. ARROWS INDICATE DIRECTION OF SLOPE DOWN TOWARDS DRAIN
11. OVERFLOW DRAINS TO BE PIPED THROUGH BUILDING AND DAYLIGHT AT LAMBS TONGUE AT GRADE OR THRU WALL SCUPPER AT LOWER ROOFS AT LEVEL 2, U.N.O.
12. ALL EQUIPMENT LOCATED WITHIN 10'-0" OF ROOF EDGE REQUIRES A 42" TALL GUARDRAIL
13. ROOF-TOP SOLAR/ PHOTOVOLTAIC PANELS NEED TO BE INSTALLDE IN ACCORDNACE WITH 2015 MICHIGAN BUILDING CODE SECTIONS 1510.7 & 1512.1
14. PROVIDE WINDOW CLEANING FALL ARREST ANCHORS AS SPECIFIED - SEE STRUC. COORDINATE ANCHOR HEIGHTS WITH ROOF INSULATION THICKNESSES.



2 A1.6 **OVERRUN ROOF PLAN**
1/4" = 1'-0"

1 A1.6 **ROOF PLAN**
1/4" = 1'-0"

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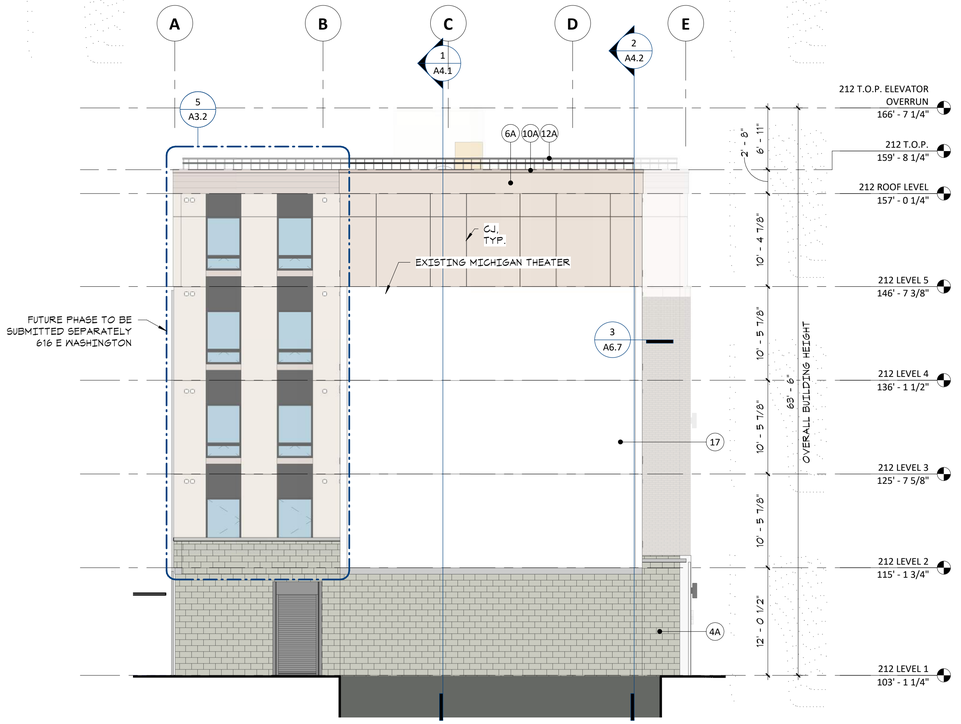
ROOF PLAN

A1.6

EXTERIOR MATERIAL KEYNOTES

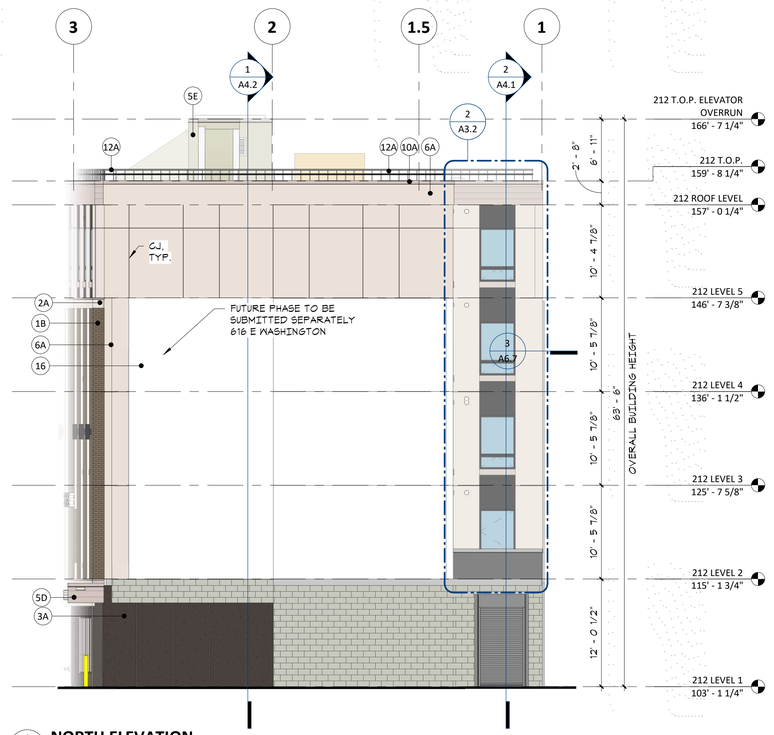
1B	BRICK MASONRY COLOR #2 - RED/BROWN
2A	CAST STONE CONCRETE
3A	PREFINISHED PRECAST PANEL
4A	CMU
4B	CMU VENEER - SCORED
5D	HORIZONTAL METAL PANEL - CHAMPAGNE
5E	STANDING SEAM METAL PANEL - CHARCOAL
6A	CEMENT FIBERBOARD - CHAMPAGNE
6B	CEMENT FIBERBOARD - DARK BRONZE
8A	FIBERGLASS WINDOW - DARK BRONZE
8C	PREFINISHED ALUMINUM STOREFRONT - DARK BRONZE
10A	PREFINISHED METAL CORNICE & CAP FLASHING - CHAMPAGNE
11A	THRU-WALL MECH EXHAUST VENT - DARK BRONZE
11B	THRU-WALL MECH EXHAUST VENT - CHAMPAGNE
12A	PREFINISHED METAL RAILING
12D	PREFINISHED METAL SILL - DARK BRONZE
13A	DECORATIVE WALL-MOUNTED LIGHT FIXTURE
16	NO FINISH - TEMPORARILY EXPOSED UNTIL ADJACENT PHASE COMPLETED
17	NO FINISH ADJACENT TO MICHIGAN THEATER EXTERIOR WALL
18	SIGNAGE



4 A3.1 **WEST ELEVATION**
1/8" = 1'-0"

2 A3.1 **SOUTH ELEVATION**
1/8" = 1'-0"

3 A3.1 **EAST ELEVATION**
1/8" = 1'-0"



1 A3.1 **NORTH ELEVATION**
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A3.1

EXTERIOR MATERIAL KEYNOTES

1B	BRICK MASONRY COLOR #2 - RED/BROWN
2A	CAST STONE CONCRETE
3A	PREFINISHED PRECAST PANEL
4A	CMU
4B	CMU VENEER - SCORED
5D	HORIZONTAL METAL PANEL - CHAMPAGNE
5E	STANDING SEAM METAL PANEL - CHARCOAL
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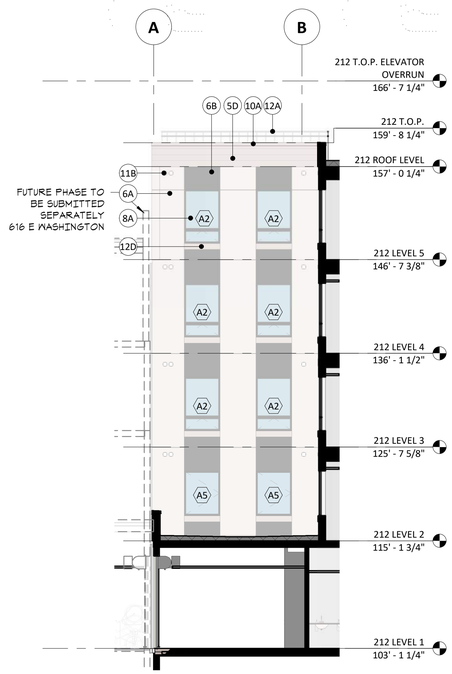
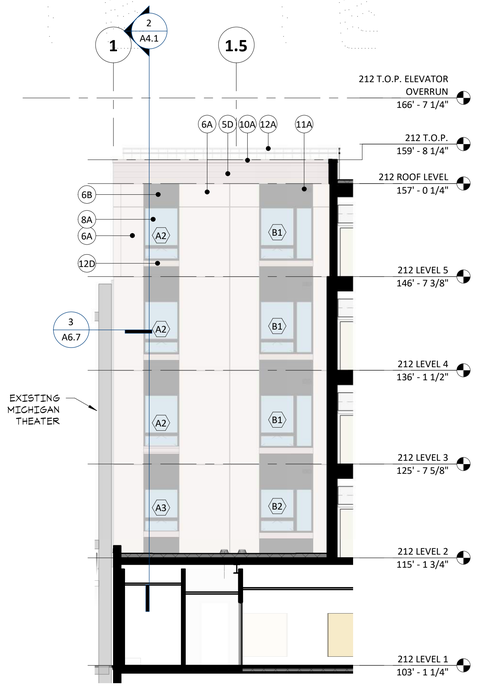
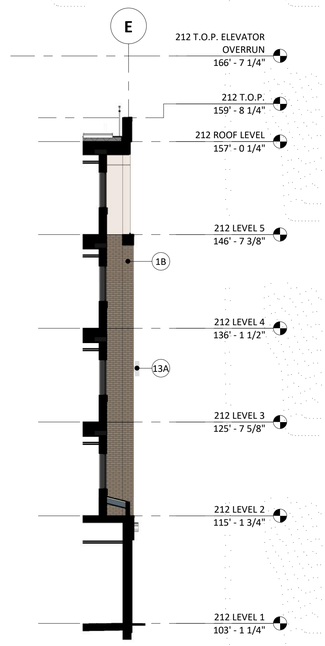


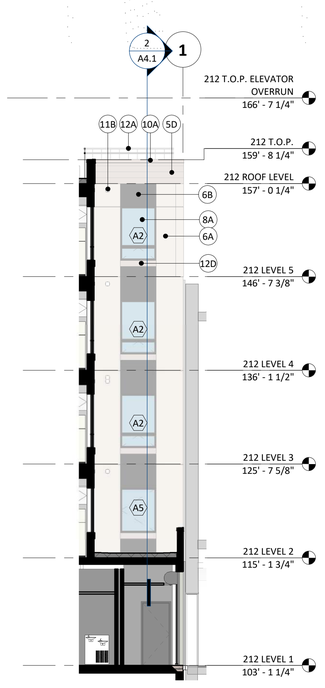
5 A3.2 **WEST ELEVATION - BEYOND PARAPET**
1/8" = 1'-0"



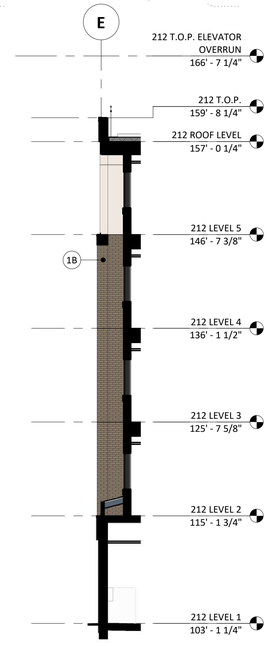
4 A3.2 **SOUTH ELEVATION - BEYOND PARAPET**
1/8" = 1'-0"



3 A3.2 **WINDOW RECESS - WEST ELEVATION**
1/8" = 1'-0"



2 A3.2 **NORTH ELEVATION - BEYOND PARAPET**
1/8" = 1'-0"



1 A3.2 **WINDOW RECESS - EAST ELEVATION**
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A3.2