

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

Title: DESIGN REVIEW BOARD APPLICATION		
Drawn: BC	Checked: JVR	Date: 2020.08.31
Title: SITE PLAN SUBMITTAL		
Drawn: BC7A	Checked: JVR	Date: 2020.11.2
Title: SITE PLAN RESUBMITTAL		
Drawn: BC7A	Checked: JVR	Date: 2020.12.11
Title: SITE PLAN RESUBMITTAL		
Drawn: BC7A	Checked: JVR	Date: 2021.02.01
Title: REVISED PER CITY/CWRC COMMENTS		
Drawn: BC7A	Checked: JVR	Date: 2021.04.04
Title: REVISED PER CITY COMMENTS		
Drawn: BC	Checked: JVR	Date: 2021.04.30
Title: REVISED PER CITY COMMENTS		
Drawn: BC	Checked: JVR	Date: 2021.05.21

ATTN: JASON VAN RYM

ATTN: NITIN PATEL

— Land Planning — Landscape Architecture — Civil Engineering — Land

[illegible]

SCALE: 1 INCH = 500 FT

	REQUIRED / PERMITTED	EXISTING	PROPOSED
I) ZONING CLASSIFICATION:	D2 DOWNTOWN INTERFACE	D2 DOWNTOWN INTERFACE	D2 DOWNTOWN INTERFACE
II) LOT AREA:	NONE	300 W. HURON = 0.17 ACRES (7,193 SQ.FT.) 308 W. HURON = 0.11 ACRES (4,752 SQ.FT.) 111 N. FIRST ST. = 0.07 ACRES (3,127 SQ.FT.) TOTAL = 0.35 ACRES (15,072 SQ.FT.)	0.35 ACRES (15,072 SQ.FT.)
III) TOTAL AREA OF ALL FLOORS:			43,414 SQ.FT.
FLOOR AREA:	NONE	4,129 SQ.FT.	7,515 SQ.FT. GROUND FLOOR
FLOOR AREA RATIO:	200% (UP TO 400% WITH PREMIUMS)	44.5 %	288 % (PROPOSED LEED GOLD - MAX. 350 % FAR)
IV) OPEN SPACE & ACTIVE OPEN SPACE	MINIMUM OF 10% OF THE LOT AREA AS OPEN SPACE NO DEVELOPMENT SHALL HAVE BUILDING COVERAGE GREATER THAN 80% OF THE LOT AREA	OPEN SPACE = 5,145 SQ.FT. (34 %)	OPEN SPACE = 1,490 SQ.FT. (10 %) ACTIVE OPEN SPACE = NA
V) SETBACKS (FRONT, SIDE & REAR):	FRONT YARD: MAXIMUM IS TEN (10) FEET AT THE STREETWALL; OFF-SET AT TOP OF STREETWALL REQUIRED AVERAGE FEET IS FIVE (5) FEET SIDE YARD: ZERO (0) FEET REAR YARD: ZERO (0) FEET	FRONT YARD (EAST): 8.4 FT FRONT YARD (SOUTH): 12.8 FT REAR YARD (WEST): 5.6 FT REAR YARD (NORTH): 0 FT	FRONT YARD (EAST): 0.4 FT FRONT YARD (SOUTH): 0.2 FT REAR YARD (WEST): 0 FT REAR YARD (NORTH): 1.5 FT
VI) BUILDING HEIGHT & STORIES:	60 FT (MAXIMUM STREETWALL HEIGHT IS THREE (3) STORIES)	-25 FT	60 FT (STREETWALL HEIGHT IS TWO (2) STORIES)
VII) OFF-STREET VEHICULAR PARKING:	43,414 SF (TOTAL FLOOR AREA) - 30,144 SF (200% FAR) = 13,270 SF / 1,000 SF = <b>14 SPACES (REQUIRED)</b>		ON-SITE REGULAR CAR SPACE (9'x18') = 4 SPACES OFF-SITE REGULAR CAR SPACES (9'x18') = 6 SPACES OFF-SITE CAR-SHARING SPACE (9'x18') = 1 SPACE = 4 REGULAR CAR SPACES TOTAL: 10 REGULAR + 1 CAR-SHARING = <b>14 SPACES (PROPOSED)</b>
VIII) BICYCLE PARKING, INCLUDING CLASS:	ONE (1) BICYCLE SPACE PER 30 ROOMS = 4 SPACES		4 BICYCLE SPACES PROVIDED (95 ROOMS / 30)
IX) EV PARKING (HOTEL):	25% EV-C   50% EV-R   25% EV-I 4 SPACES PROPOSED (ON SITE): EV-C (25%) = 1 SPACES EV-R (50%) = 2 SPACES EV-I (25%) = 1 SPACES	0 SPACES	4 SPACES PROPOSED (ON SITE): EV-C = NA EV-R = NA EV-I = 4 SPACES
X) VARIANCES OR PLANNED PROJECTS:	NA	NA	NA
XI) BUILDING COVERAGE IN THE D2	80% MAX	EX. BUILDING COVERAGE = 4,129 SQ.FT. / 15,072 SQ.FT. = 0.274 x 100 = <b>27.4%</b>	PROP. BUILDING COVERAGE = 10,646 SQ.FT. (EXTERIOR WALL EXTENTS) / 15,072 SQ.FT. = 0.706 x 100 = <b>70.6%</b>
XII) MAXIMUM BUILDING MODULE LENGTH	66 FT. MAX	NA	~47 FT. (SEE BUILDING MODULE MASSING FOR DETAIL)

CIVIL PLANS	
COVER SHEET	C-100
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ARCHITECTURAL RENDERINGS	AR-02
ARCHITECTURAL RENDERINGS	AR-03
OVERALL PLAN - LEVEL 01	A1-01
OVERALL PLAN - LEVEL 02	A1-02
OVERALL PLAN - LEVEL 03	A1-03
OVERALL PLAN - LEVEL 04	A1-04
OVERALL PLAN - LEVEL 05	A1-05
BUILDING ELEVATIONS	A4-01
BUILDING ELEVATIONS	A4-02
BUILDING SECTIONS	A5-01
BUILDING MODULE MASSING DIAGRAM	

MITIGATION MEASURES & NATURAL FEATURES OVERLAY PLAN REQUIRED WITHIN SITE PLAN SET.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE  
OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE  
CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL  
UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the text "JASON L. VAN RYN", "ENGINEER", and "No. 54207". Below the seal, there are three handwritten signatures in black ink.

# C-100





Know what's below.  
CALL before you dig.

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NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "UNKNOWN" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**ZONED D2**  
Parcel #: 09-09-29-214-048  
Address: 117 N. First St.  
Owner: Phoenix West, L.C.

**ZONED D2**  
Parcel #: 09-09-29-214-016  
Address: 115 N. First St.  
Owner: KH 115 North First LLC

Parcel #: 09-09-29-214-015  
Address: 111 N. First St.  
Owner: VINOSE PROPERTIES LLC  
EXISTING BUILDING #111  
2,575 S.F.

Parcel #: 09-09-29-214-013  
Address: 308 W. Huron Street  
Owner: BOSROG LLC  
ATTN: DOUGLAS ELLMANN

Parcel #: 09-09-29-214-014  
Address: 300 W. Huron Street  
Owner: BRISTOL EILEEN F

**ZONED D2**  
Parcel #: 09-09-29-214-012  
Address: 310 W. Huron St.  
Owner: County of Washtenaw

**ZONED D1**  
Parcel #: 09-09-29-222-005  
Address: 218 W. HURON ST  
Owner: WIC 218HURON LLC

#### LEGEND

AC	Air Conditioner	SM	Stormwater Manhole
BM	Benchmark	TR	Transformer
CB-R	Catch Basin - Round	UP	Utility Pole
CB-S	Catch Basin - Square	WM	Water Manhole
DT	Deciduous Tree	WV	Water Valve
EE	Electric Manhole	UE	Underground Electric
EM	Electric Meter	G	Gas
GM	Gas Meter	OH	Overhead Utility
GA	Guy Anchor	SS	Sanitary
HY	Hydrant	ST	Storm
IS	Iron - Set	W	Watermain
IF	Iron - Found	X-X	Fence
LP	Light Pole	---	Zoning Setback
P	Post	AS	Asphalt
SB	Stop Box	CO	Concrete
SG	Sign	EX	Existing Building
SSM	Sanitary Sewer Manhole		

#### EXISTING TREE TABLE

ID	Size (In.)	Common Name	Scientific Name	Landmark (X)	Invasive (X)	Removal (X)
#1	8"	Hedge Maple	Acer campestre			X
#2	8" Twin	Crabapple	Malus spp.			X
#3	8"	Basswood	Tilia spp.			X
#4	10"	Amur Maple	Acer ginnala		X	X
#5	16"	Amur Maple	Acer ginnala		X	X
#6	12"	Spruce	Picea abies			X

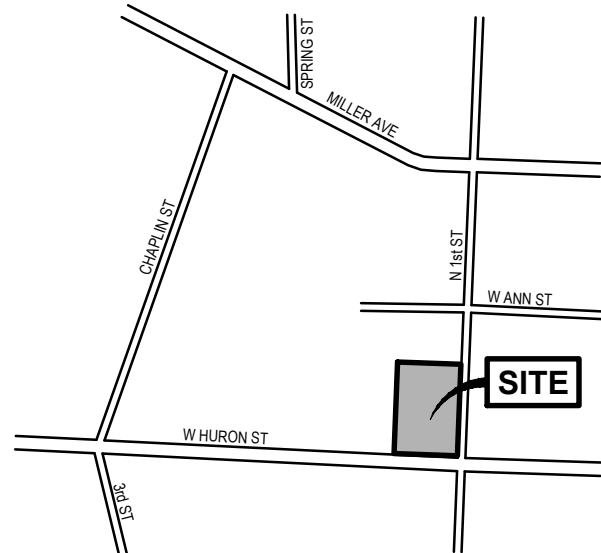
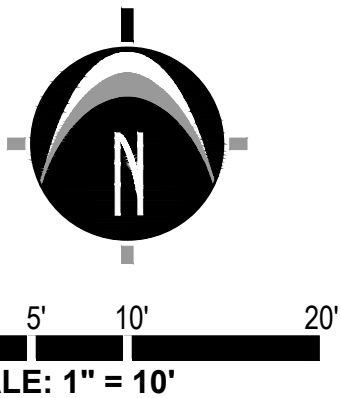
#### AS SURVEYED DESCRIPTION

PART OF BLOCK 1 NORTH, RANGE 1 EAST, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN TRANSCRIPTS, PAGES 152 AND 153, WASHTENAW COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHEAST CORNER OF SAID BLOCK 1; THENCE N88°28'02"W 114.18 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTH HURON STREET (82.50 FEET WIDE PUBLIC RIGHT-OF-WAY); THENCE N01°46'21"E 132.00 FEET, PARALLEL WITH THE WEST RIGHT-OF-WAY LINE OF NORTH FIRST STREET (66.00 FEET WIDE PUBLIC RIGHT-OF-WAY); THENCE S88°28'02"E 114.18 FEET, PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF SAID SOUTH HURON STREET; THENCE S01°46'21"W 132.00 FEET ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH FIRST STREET TO THE POINT OF BEGINNING. CONTAINS 15,072 SQUARE FEET. SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS-OF-WAY OF RECORD.

#### BENCHMARKS

**BENCHMARK #236 ELEV. = 814.07 (NAVD88)**  
R.R. SPIKE IN SOUTHWEST SIDE OF UTILITY POLE AT THE NORTHWEST CORNER OF N. FIRST STREET AND S. HURON STREET.

**BENCHMARK #389 ELEV. = 815.40 (NAVD88)**  
R.R. SPIKE IN NORTH SIDE OF UTILITY POLE ON EAST SIDE OF N. FIRST STREET 230'+/- NORTH OF S. HURON STREET.



LOCATION MAP  
NOT TO SCALE

**NEDERVELD**  
ANN ARBOR  
3037 Miles Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963

CHICAGO  
COLUMBUS  
GRAND RAPIDS  
HOLLAND  
INDIANAPOLIS  
ST. LOUIS

#### PREPARED FOR:

Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

#### REVISIONS:

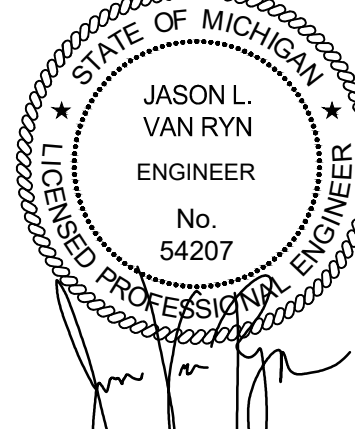
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Drawn: BC/TA			Checked: JVR		Date: 2020.11.25	
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Drawn: BC/TA			Checked: JVR		Date: 2021.02.18	
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Drawn: BC/TA			Checked: JVR		Date: 2021.04.08	
Title: REVISED PER CITY COMMENTS						
Drawn: BC			Checked: JVR		Date: 2021.04.30	

## 300 WEST HURON

### Existing Site Conditions Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, RANGE 1 EAST, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

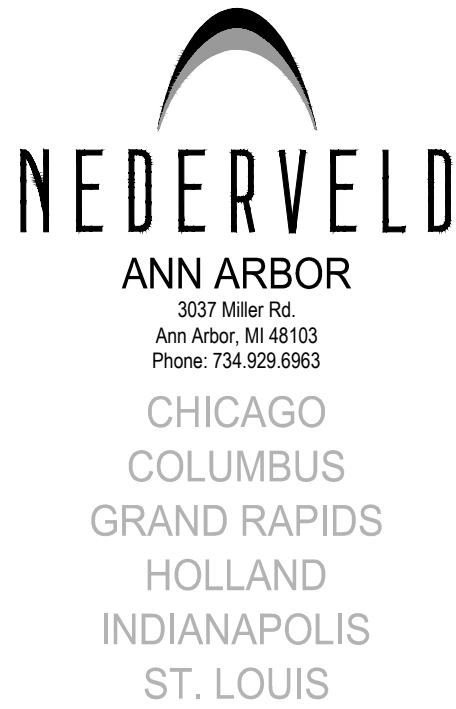
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PROJECT NO:  
19500174

SHEET NO:  
**C-201**





PREPARED FOR:

Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

REVISIONS:

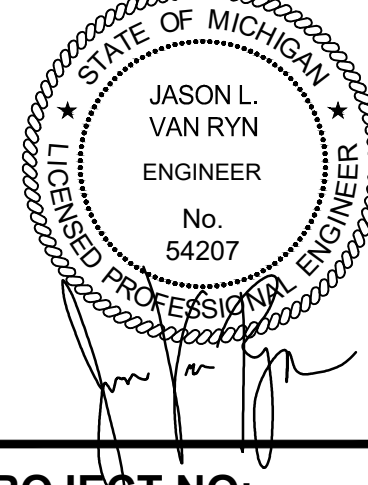
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300 WEST HURON

Existing Soils Information

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH 1/4 ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

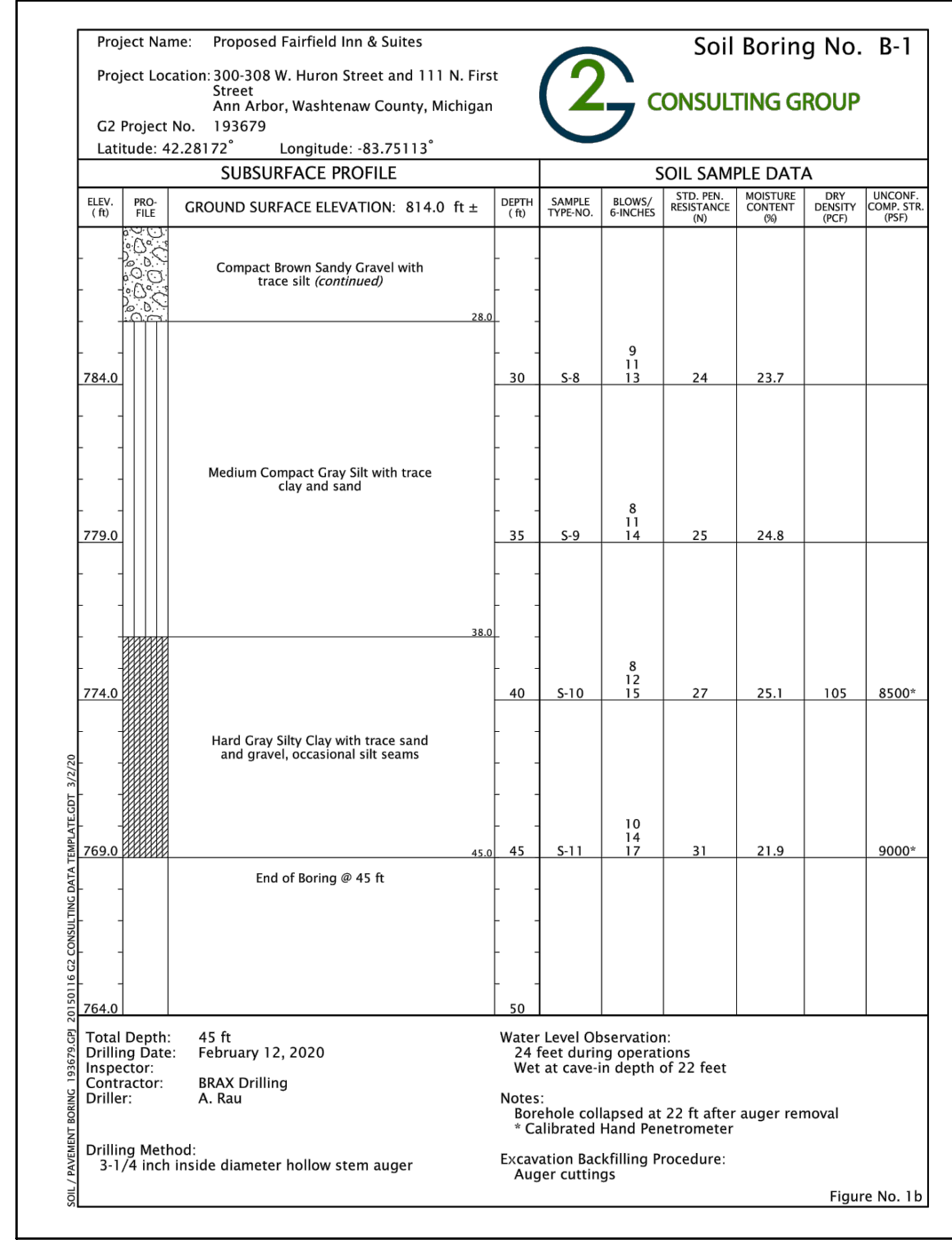
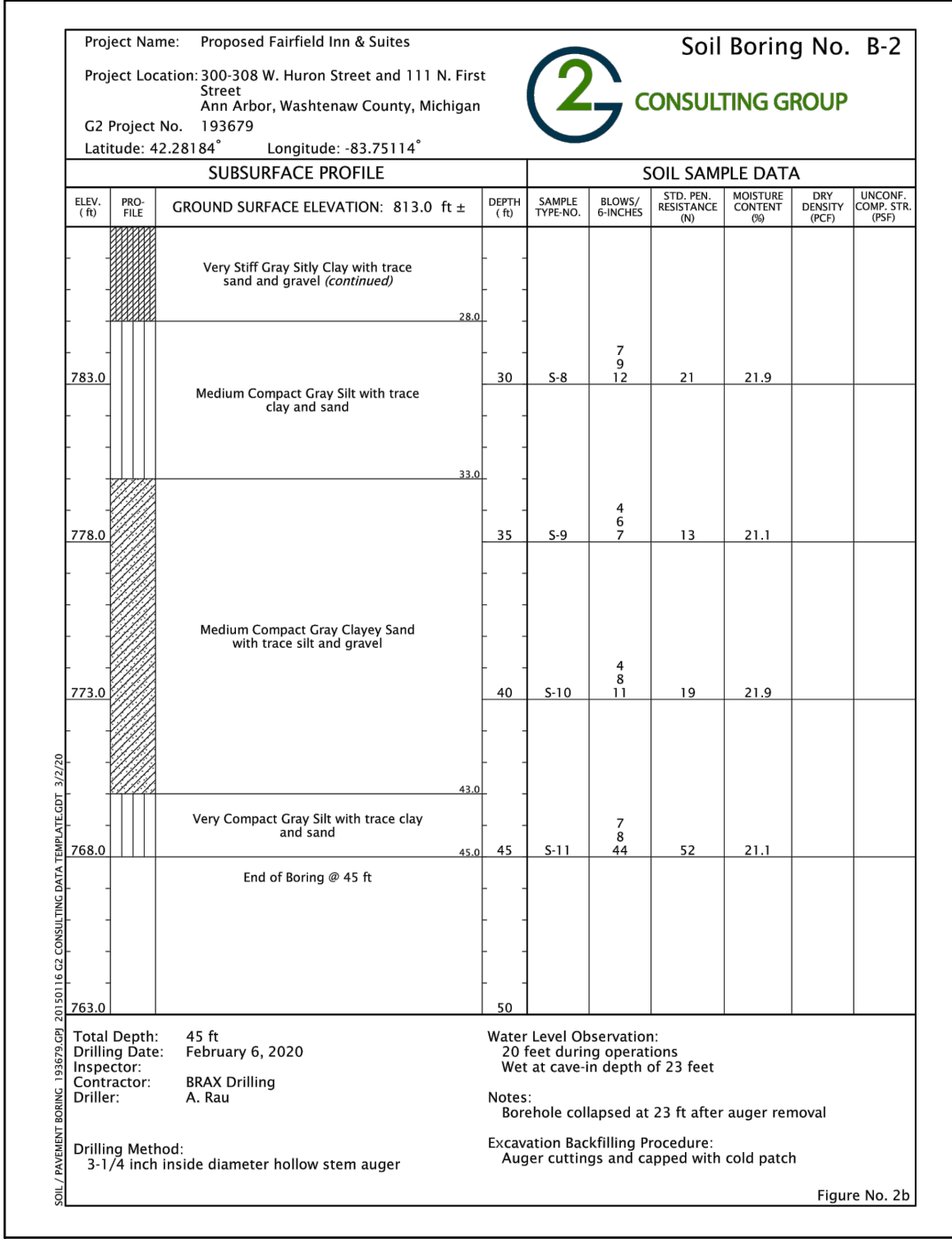
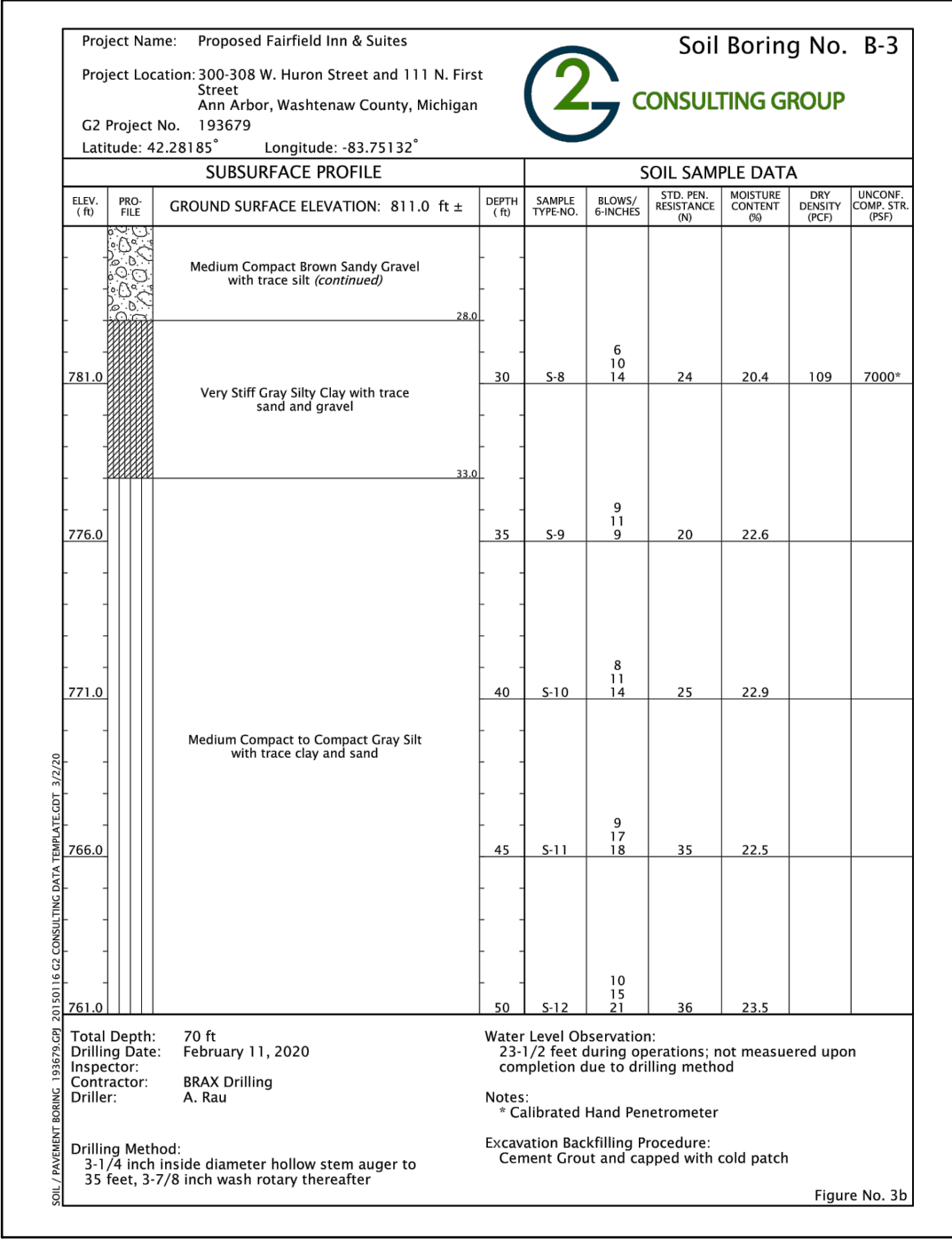
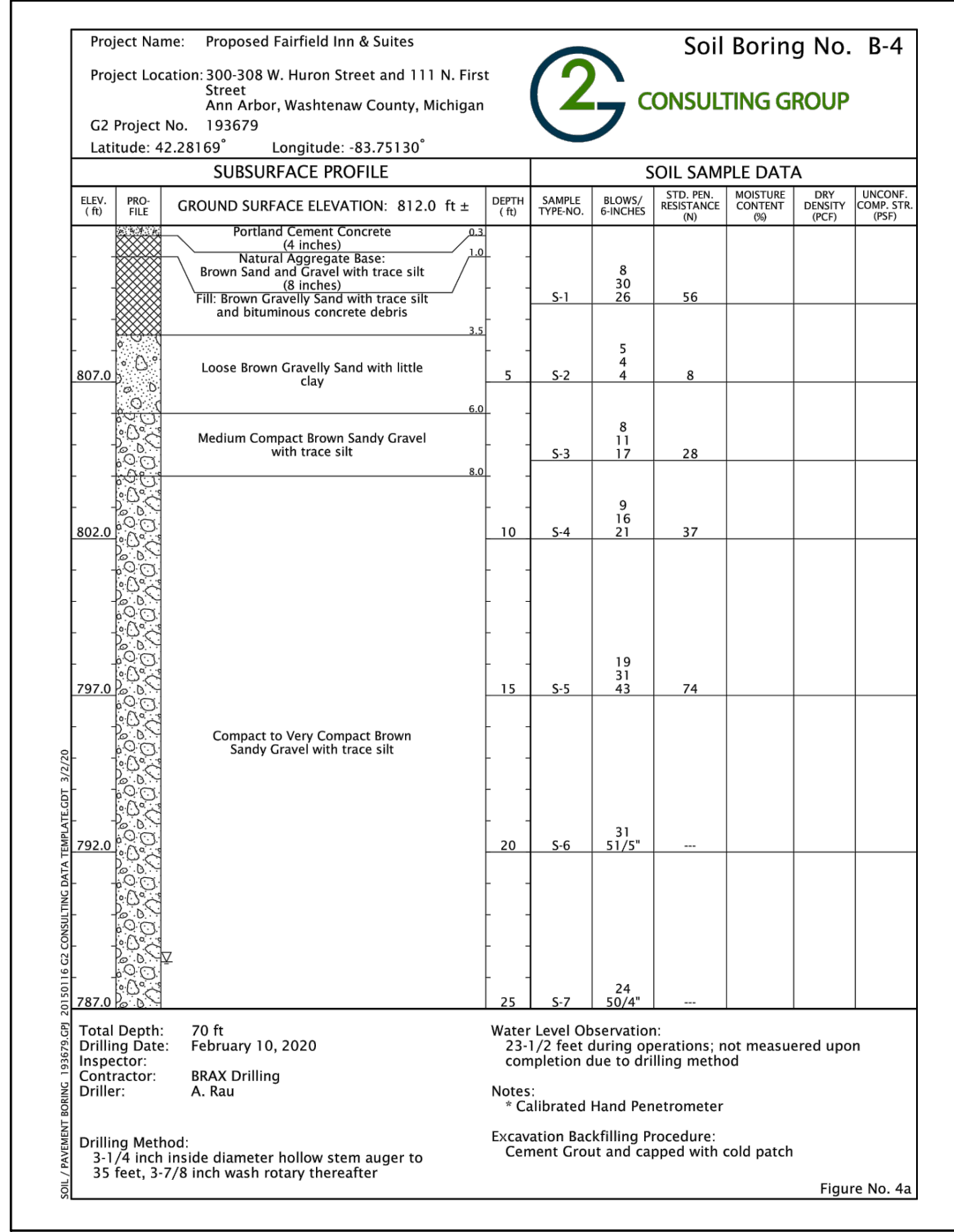
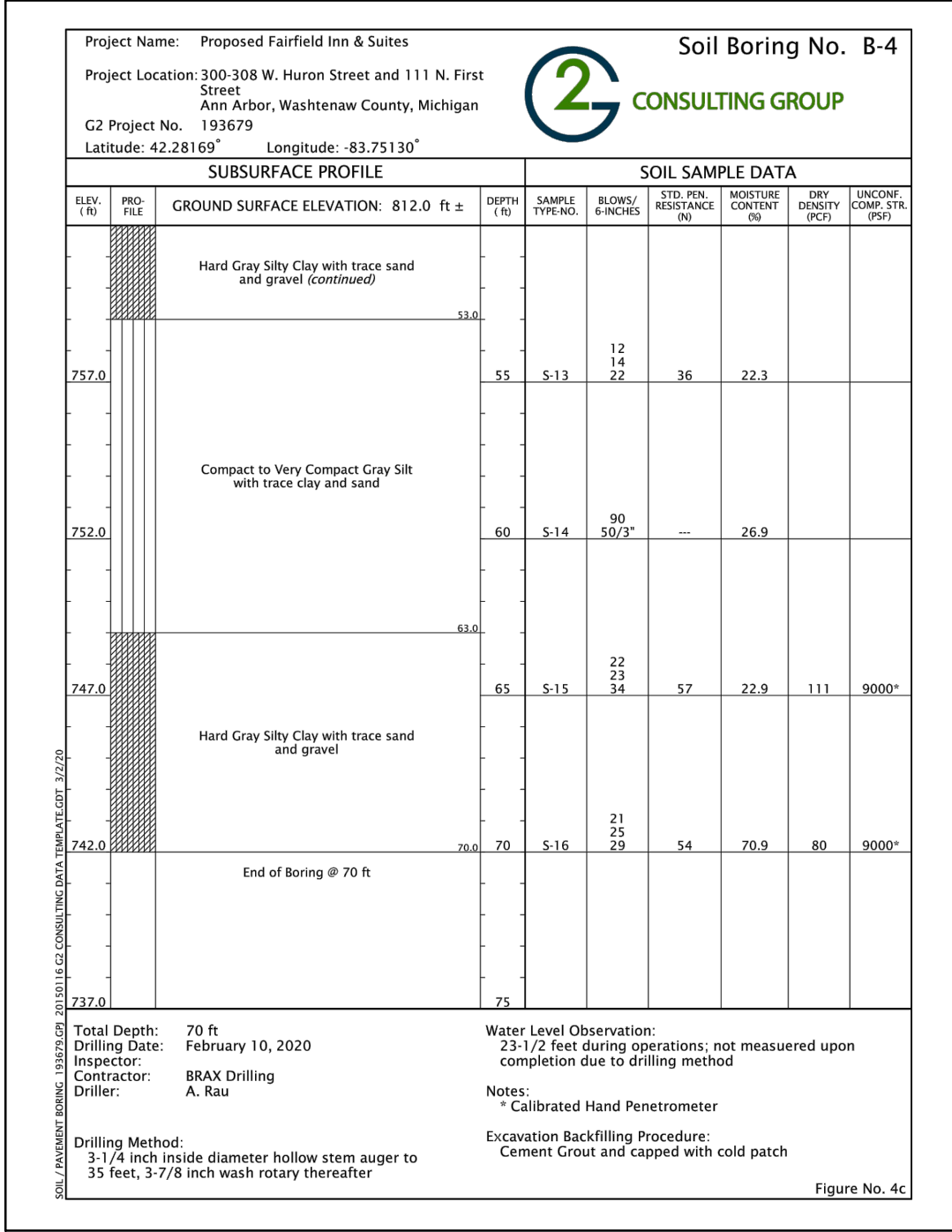
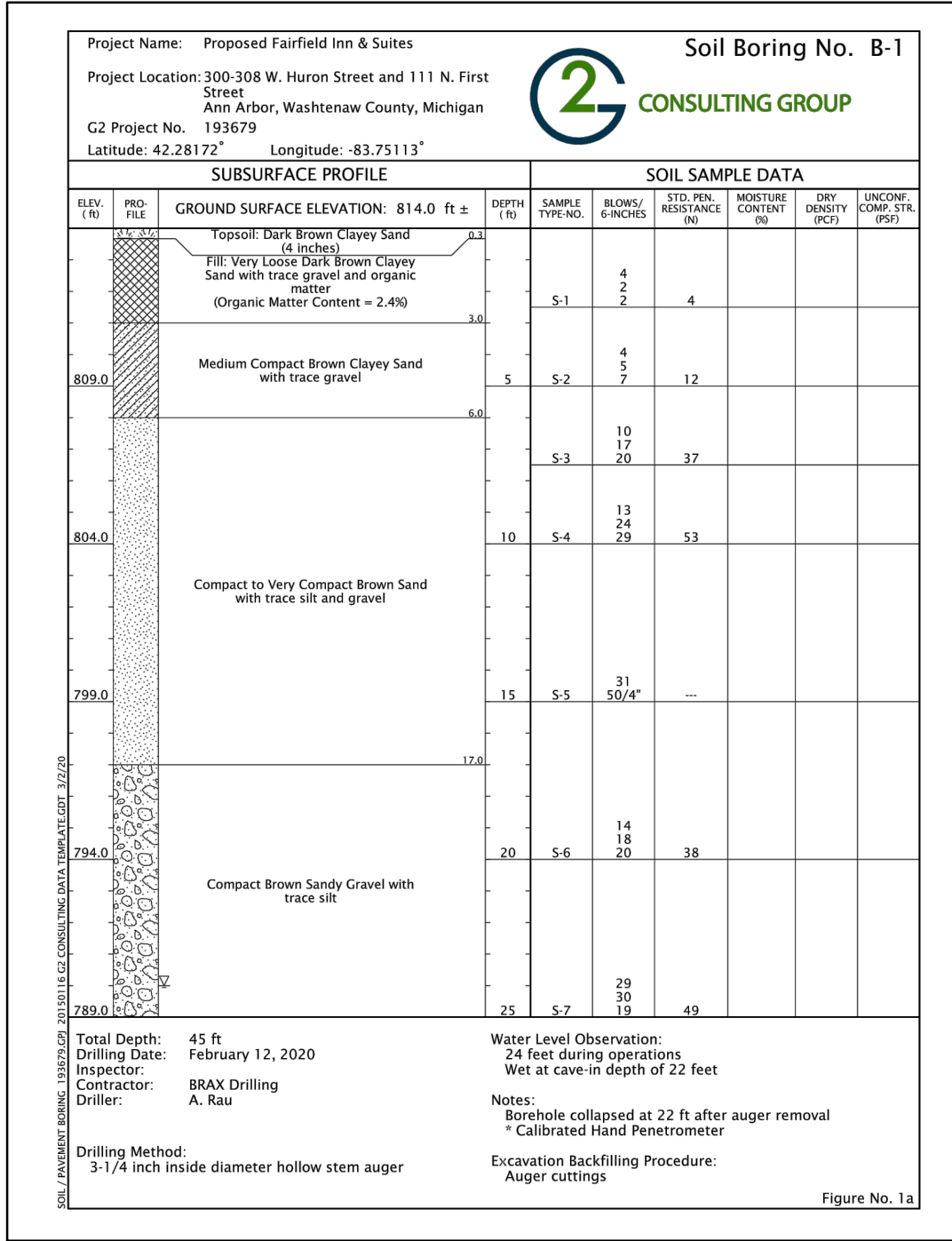
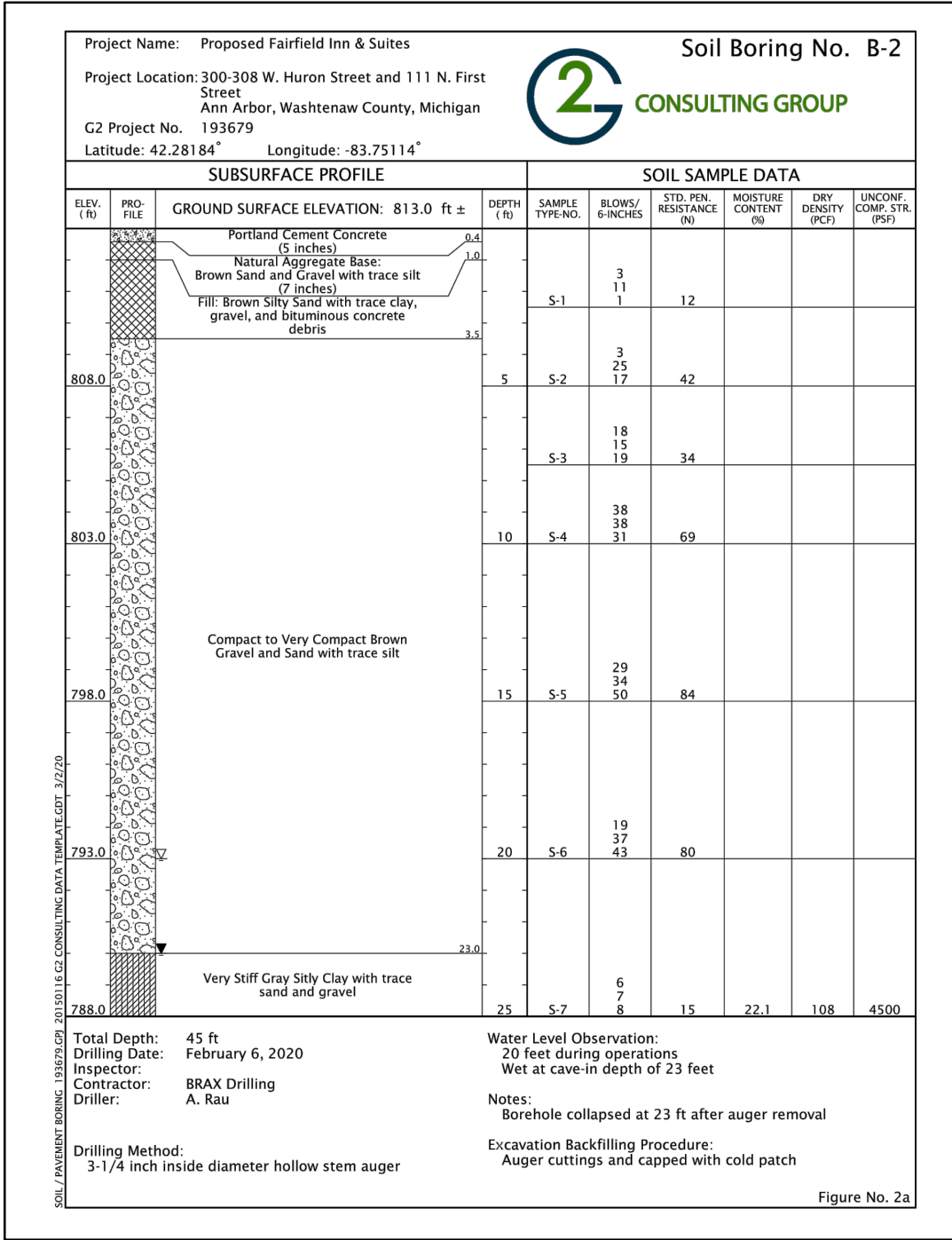
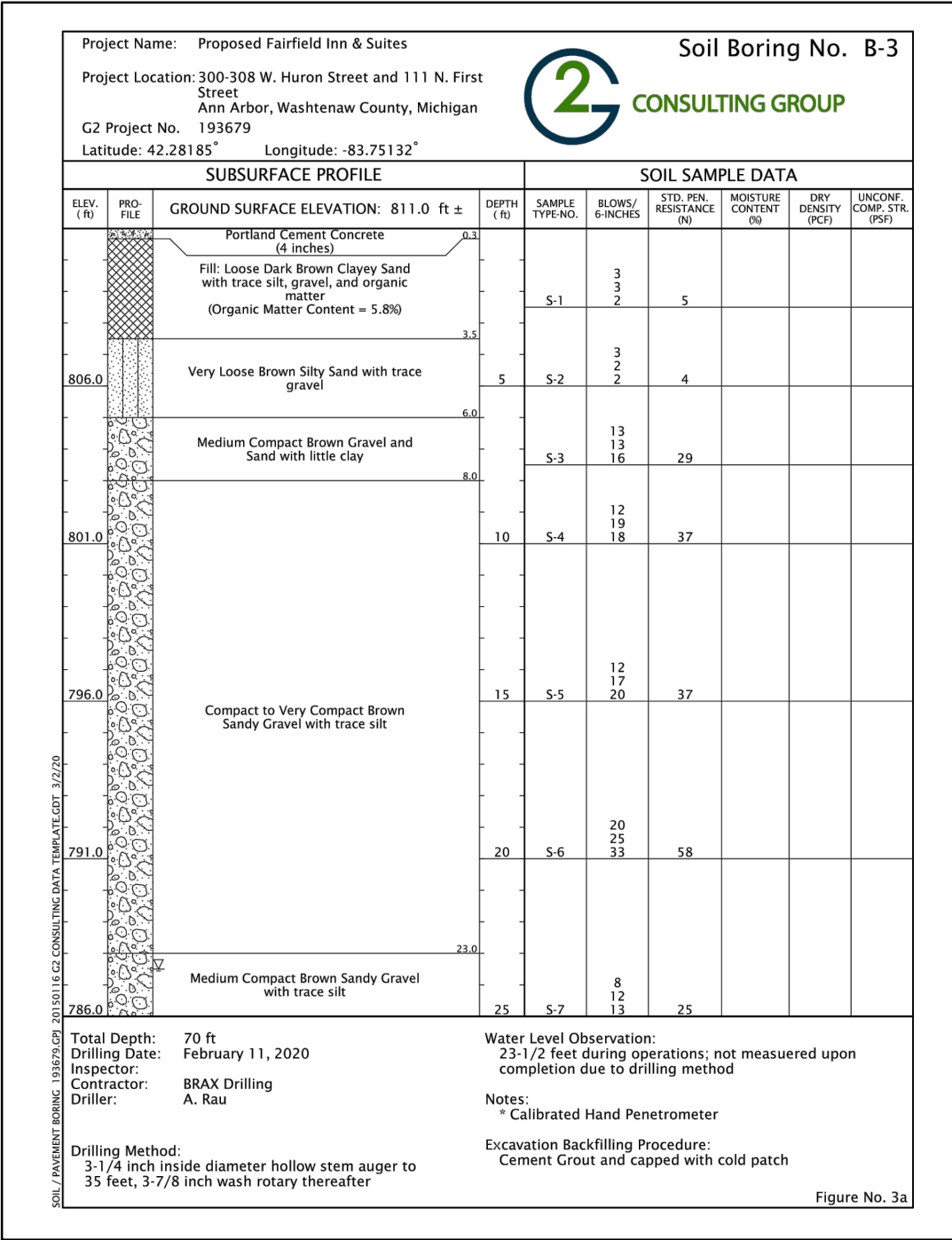
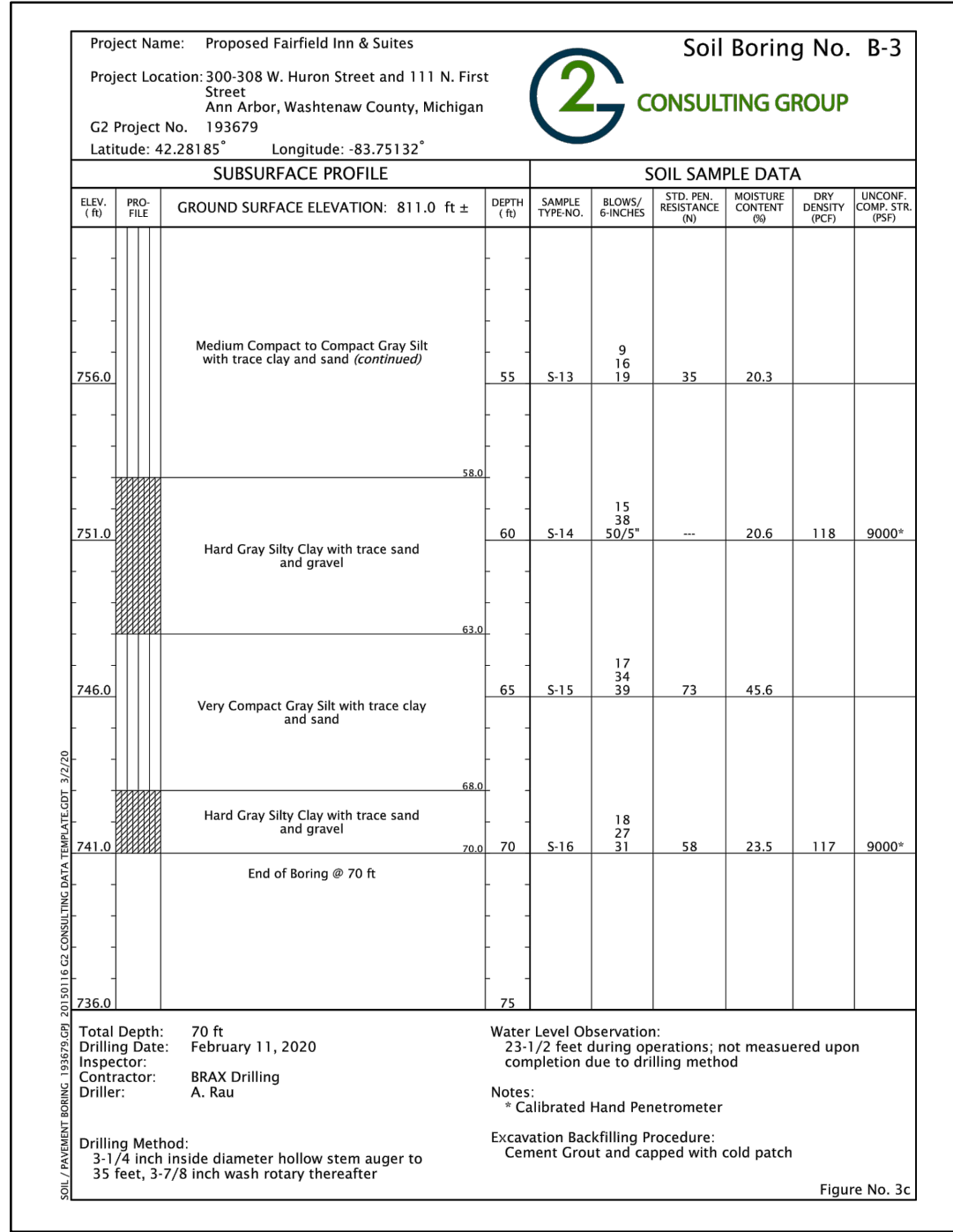
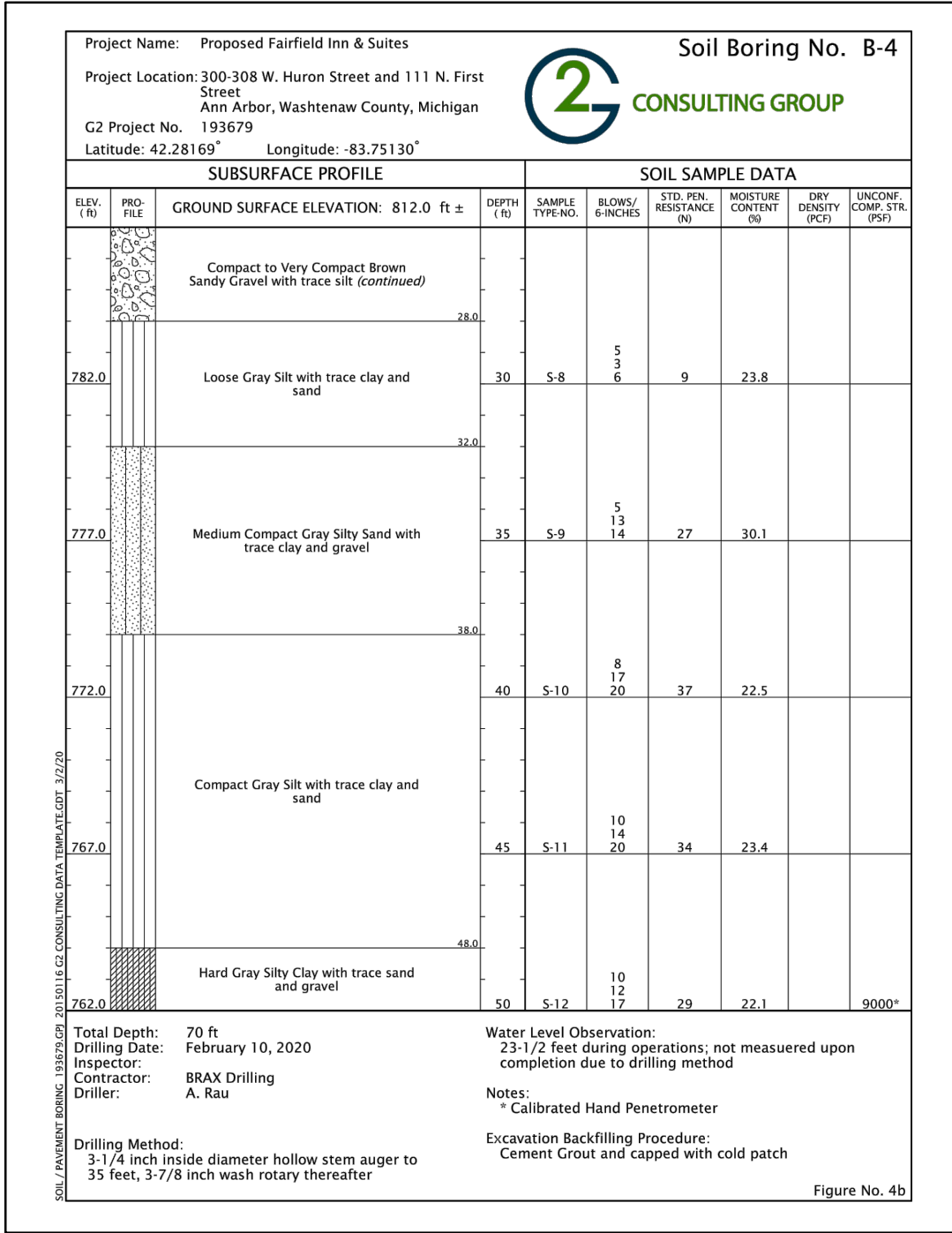
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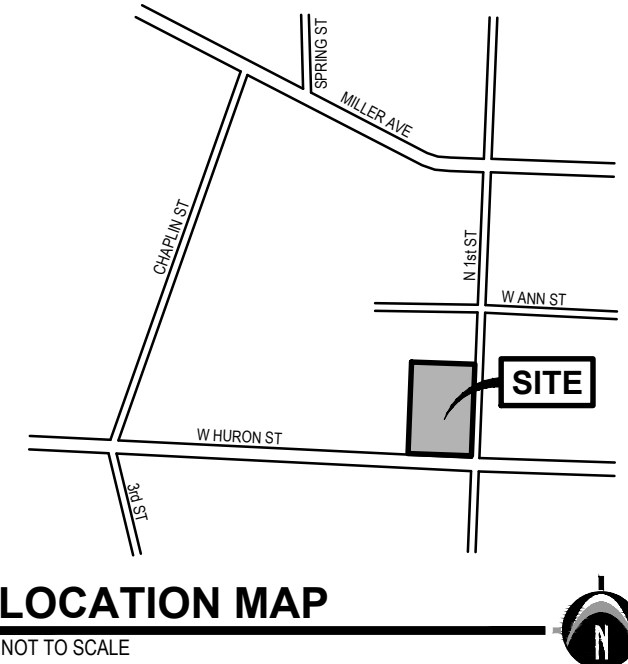
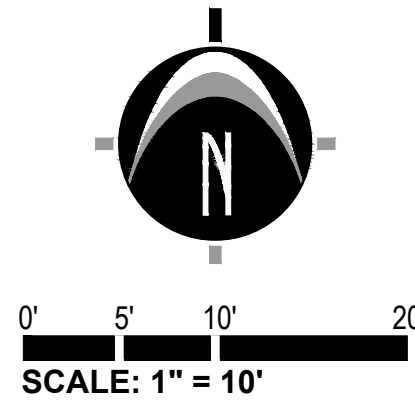




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#### REMOVAL / DEMOLITION NOTES

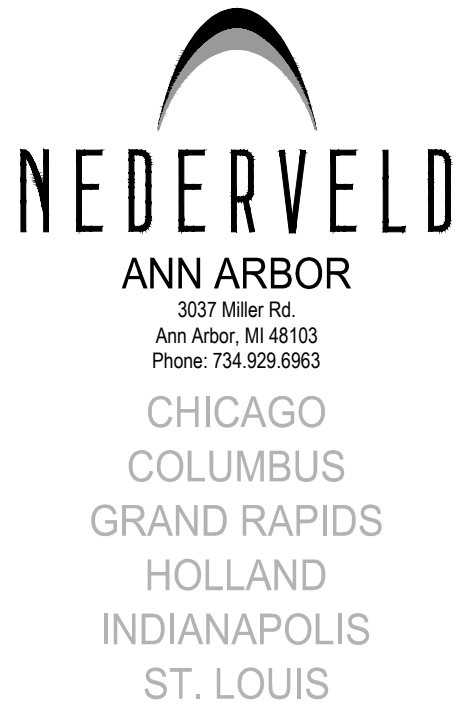
- |   |   |
|---|---|
| 1. REMOVE EXISTING CONCRETE CURB & GUTTER | 7. REMOVE OR ABANDON EXISTING UTILITY       |
| 2. REMOVE EXISTING TREE                   | 8. REMOVE EXISTING WALL                     |
| 3. REMOVE EXISTING BUILDING               | 9. SAWCUT EXISTING PAVEMENT                 |
| 4. REMOVE EXISTING CONCRETE PAVEMENT      | 10. REMOVE EXISTING UTILITY POLE & GUY-WIRE |
| 5. REMOVE EXISTING ASPHALT PAVEMENT       | 11. REMOVE & RELOCATE EXISTING LIGHT POLES  |
| 6. REMOVE EXISTING FENCE                  |   |

#### LEGEND

- |  |                             |
|--|-----------------------------|
|  | EXISTING GRADE CONTOUR      |
|  | EXISTING BITUMINOUS REMOVAL |
|  | EXISTING CONCRETE REMOVAL   |
|  | EXISTING UTILITY REMOVAL    |
|  | EXISTING TREE REMOVAL       |
|  | SAWCUT EXISTING PAVEMENT    |

#### REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) UTILITY SERVICE LEADS MARKED FOR REMOVAL SHALL BE TERMINATED AT THE UTILITY MAIN. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILES ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) FINAL PAVEMENT REMOVAL LIMITS WITHIN THE N. FIRST STREET RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY OF ANN ARBOR. FINAL PAVEMENT REMOVAL LIMITS WITHIN THE W. HURON RIGHT-OF-WAY SHALL BE DETERMINED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) CURB REMOVAL LIMITS WITHIN THE N. FIRST STREET RIGHT-OF-WAY SHALL BE AT THE CLOSEST JOINT AND SHALL BE DETERMINED BY THE CITY OF ANN ARBOR. CURB REMOVAL LIMITS WITHIN THE W. HURON RIGHT-OF-WAY SHALL BE DETERMINED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MARCH 2, 2020.
- 12) ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.



#### PREPARED FOR:

Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

#### REVISIONS:

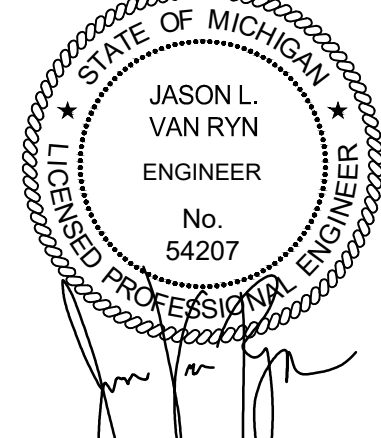
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## 300 WEST HURON

### Demolition & Removal Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

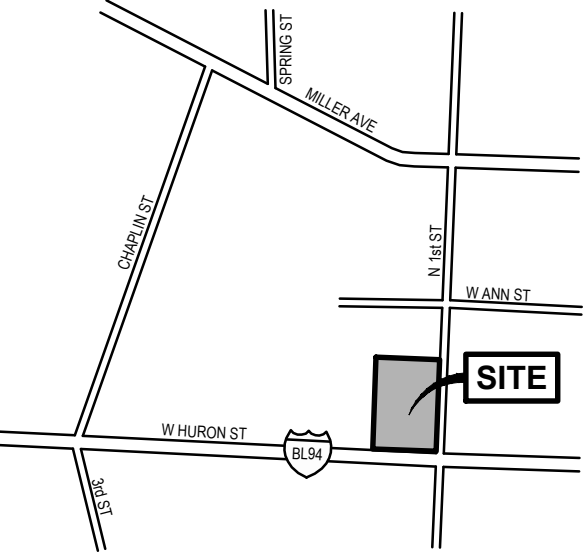
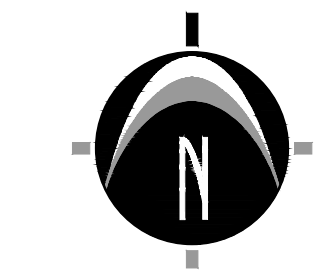
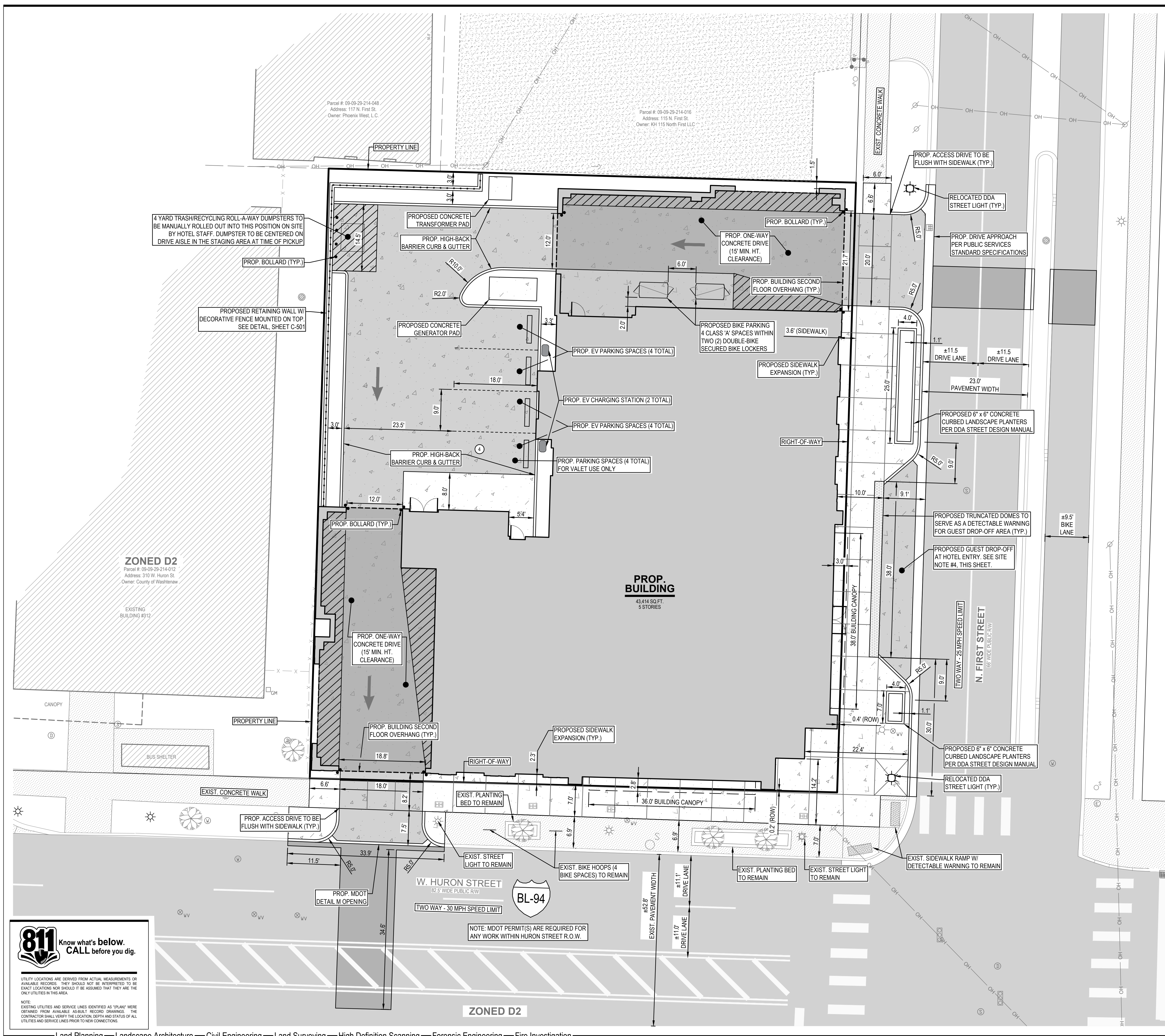
#### STAMP:



PROJECT NO:  
19500174

SHEET NO:  
**C-203**





LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)

ZONED D1

Parcel #: 09-09-29-222-005  
Address: 230 Huronview Blvd  
Owner: WIC 218Huron LLC

SITE NOTES

- ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OR BUFFER ZONES WITH THE FOLLOWING EXCEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR.
- THE MAINTENANCE OF THE DROP OFF LANE, LOCATED ALONG FIRST STREET, WILL BE THE RESPONSIBILITY OF THE OWNER, INCLUDING SNOW AND ICE REMOVAL.
- FIRST STREET IS UNDER A STREET CUT MORATORIUM UNTIL THE YEAR 2026. THEREFORE, APPROVED STREET CUTS INTO A MORITURIUM STREET WILL INVOLVE SPECIAL RESTORATION METHODS, REVIEWED AND APPROVED BY THE CITY OF ANN ARBOR, PRIOR TO CONSTRUCTION.
- FIRE DEPARTMENT REQUIREMENT: THE BUILDING SHALL BE COMPLIANT WITH 2015 IFC 510 - EMERGENCY RESPONDER RADIO COVERAGE.

ADA ACCESSIBILITY NOTES

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE. IF THE SIDEWALK IS ADJACENT TO THE STREET, THE SIDEWALK GRADE MAY BE EQUAL TO THE GRADE OF THE STREET AND NOT BE CONSIDERED A RAMP.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RIGHT OF WAY THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK. IF THE SIDEWALK IS ADJACENT TO THE STREET, THE SIDEWALK GRADE MAY BE EQUAL TO THE GRADE OF THE STREET AND NOT BE CONSIDERED A RAMP.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



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PREPARED FOR:

Hawkeye Hotels  
Samir Patel  
2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

REVISIONS:

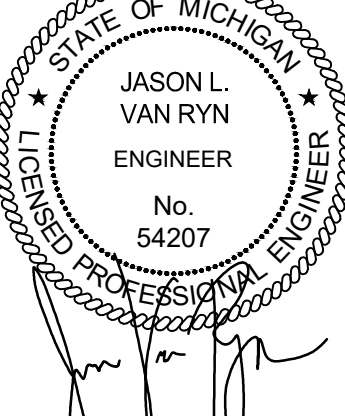
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Drawn: BC/TA	Checked: JVR Date: 2020.11.25
Title: SITE PLAN RESUBMITTAL	
Drawn: BC/TA	Checked: JVR Date: 2020.12.17
Title: SITE PLAN RESUBMITTAL	
Drawn: BC/TA	Checked: JVR Date: 2021.02.18
Title: REVISED PER CITY/MCWRG COMMENTS	
Drawn: BC/TA	Checked: JVR Date: 2021.04.08
Title: REVISED PER CITY COMMENTS	
Drawn: BC	Checked: JVR Date: 2021.04.30

300 WEST HURON

Dimensional Layout Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:  
19500174

SHEET NO:  
C-205



Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

Title: DESIGN REVIEW BOARD APPLICATION		
Drawn: BC	Checked: JVR	Date: 2020.08.3
Title: SITE PLAN SUBMITTAL		
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Title: SITE PLAN RESUBMITTAL		
Drawn: BC/TA	Checked: JVR	Date: 2020.12.1
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Drawn: BC/TA	Checked: JVR	Date: 2021.04.0
Title: REVISED PER CITY COMMENTS		
Drawn: BC	Checked: JVR	Date: 2021.04.3

# 300 WEST HURON

## Fire Protection Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103

PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

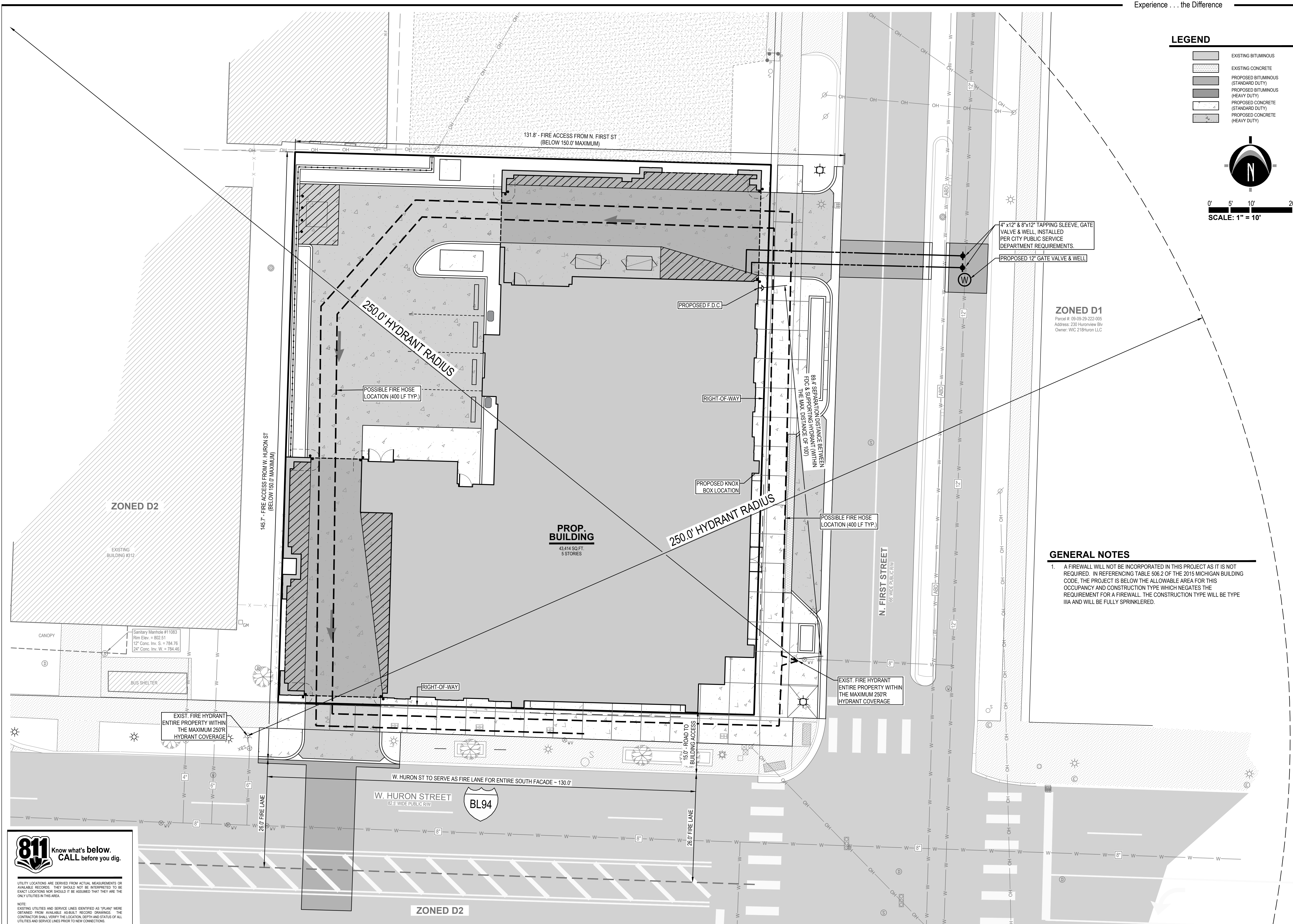
STATE OF MICHIGAN  
★  
JASON L.  
VAN RYN  
ENGINEER  
No.  
54207  
★  
LICENSED PROFESSIONAL ENGINEER

PROJECT NO:  
19500174

**SHEET NO:**

**C-206**

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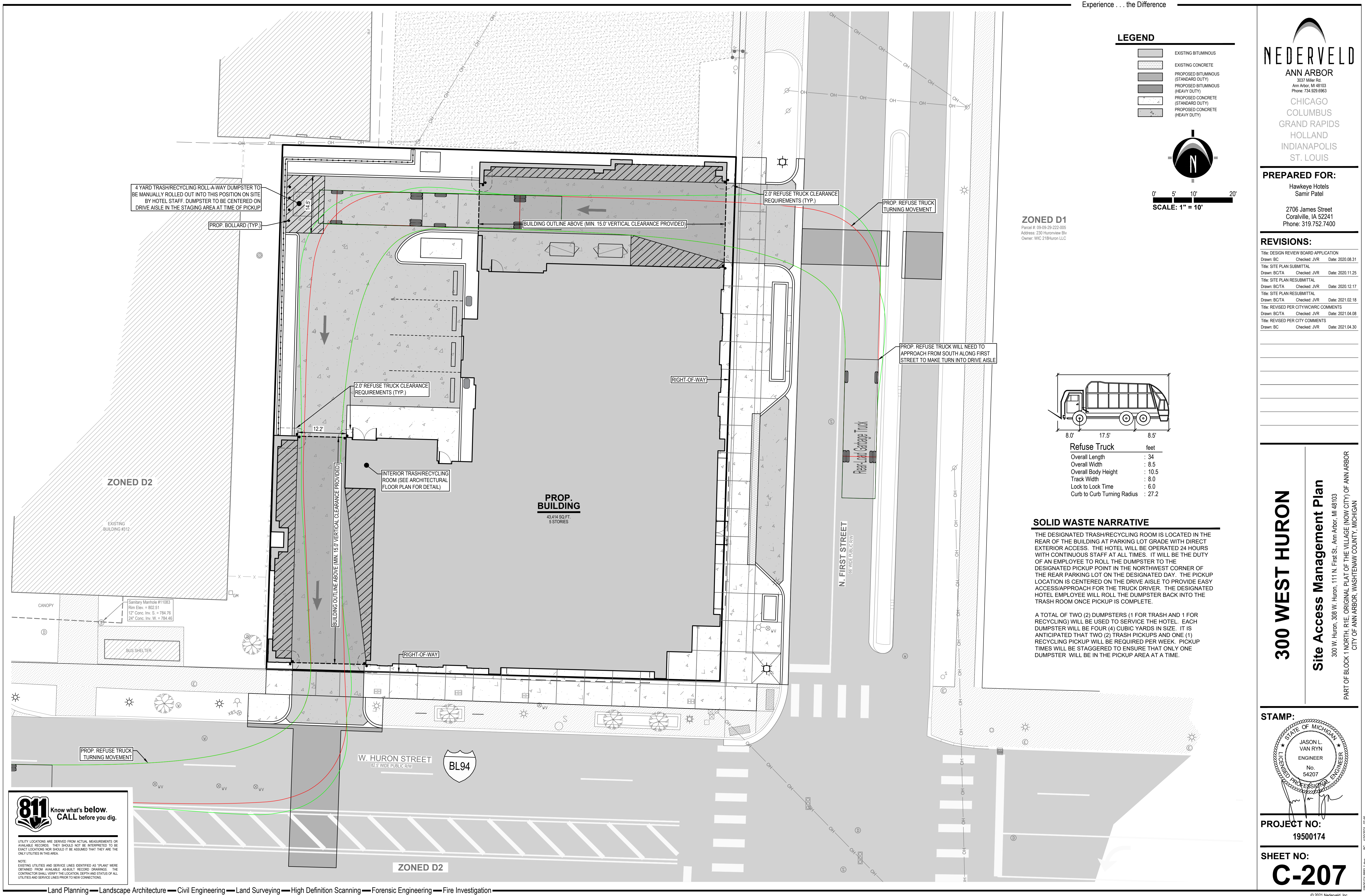


Know what's **below**.  
CALL before you dig

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HOLLAND  
INDIANAPOLIS  
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**PREPARED FOR:**  
Hawkeye Hotels  
Samir Patel  
2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

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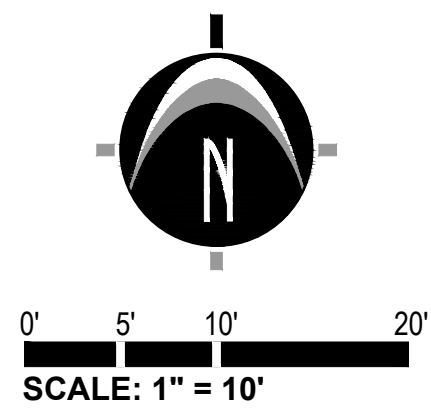
**300 WEST HURON**  
**Site Access Management Plan**  
300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
COUNTY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
JASON L. VAN RYN  
ENGINEER  
No. 54207  
LICENSED PROFESSIONAL ENGINEER

**PROJECT NO:**  
19500174

**SHEET NO:**  
**C-207**





LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)

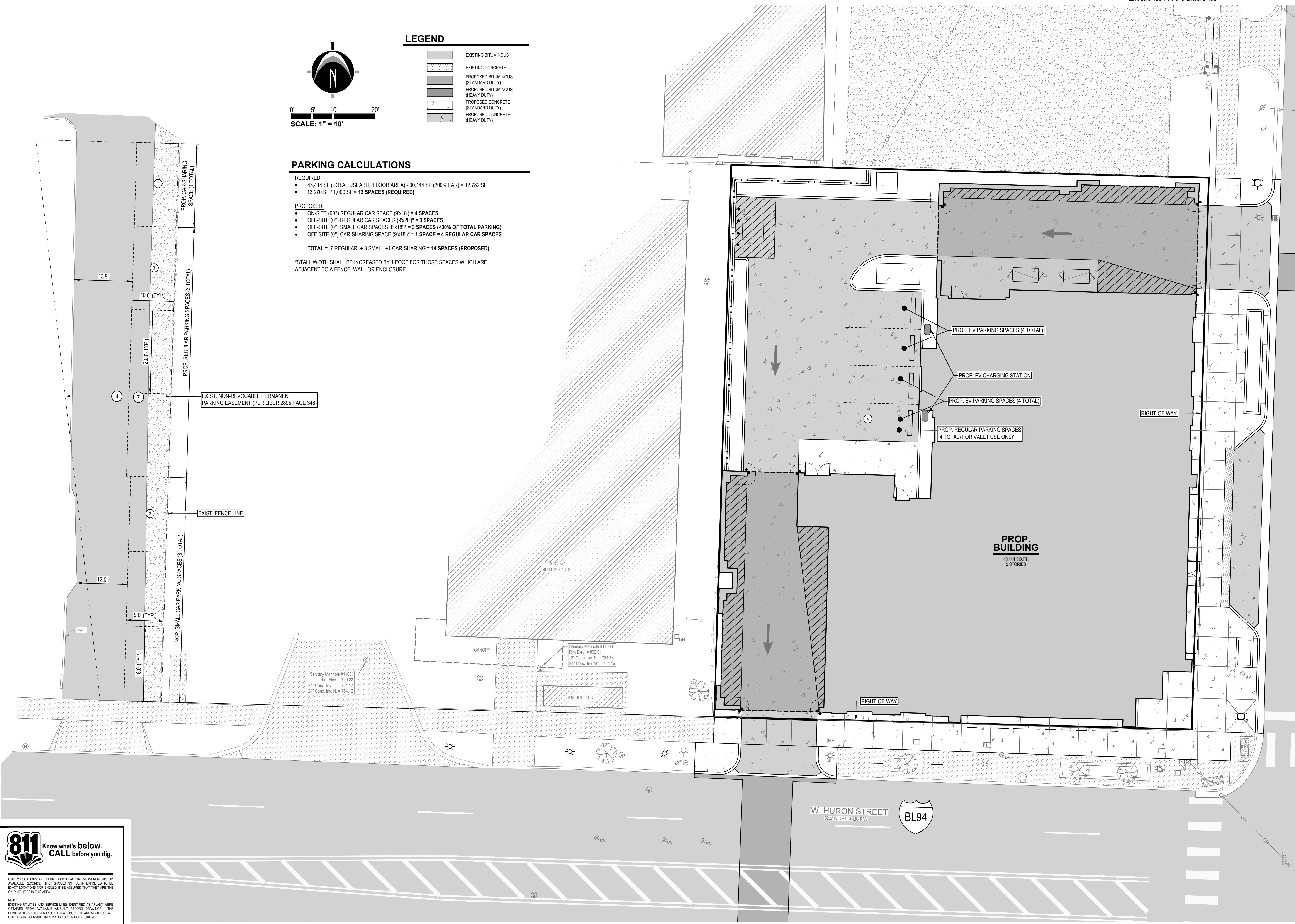
PARKING CALCULATIONS

- REQUIRED:
- 43,414 SF (TOTAL USEABLE FLOOR AREA) - 30,144 SF (200% FAR) = 12,782 SF
  - 12,782 SF / 1,000 SF = 13 SPACES (REQUIRED)

- PROPOSED:
- ON-SITE (90") REGULAR CAR SPACE (9'x18") = 4 SPACES
  - OFF-SITE (0") REGULAR CAR SPACES (9'x20") = 3 SPACES
  - OFF-SITE (0") SMALL CAR SPACES (8'x16") = 3 SPACES (<30% OF TOTAL PARKING)
  - OFF-SITE (0") CAR-SHARING SPACE (9'x18") = 1 SPACE = 4 REGULAR CAR SPACES

TOTAL = 7 REGULAR + 3 SMALL + 1 CAR-SHARING = 14 SPACES (PROPOSED)

\*STALL WIDTH SHALL BE INCREASED BY 1 FOOT FOR THOSE SPACES WHICH ARE ADJACENT TO A FENCE, WALL OR ENCLOSURE.



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3037 Miles Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963

CHICAGO  
COLUMBUS  
GRAND RAPIDS  
HOLLAND  
INDIANAPOLIS  
ST. LOUIS

**PREPARED FOR:**  
Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

**REVISIONS:**

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Title: REVISED PER CITY COMMENTS	Checked: JVR	Date: 2021.04.30
Drawn: BC	Checked: JVR	Date: 2021.04.30

**300 WEST HURON**

**Parking Plan**

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103

PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR

CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

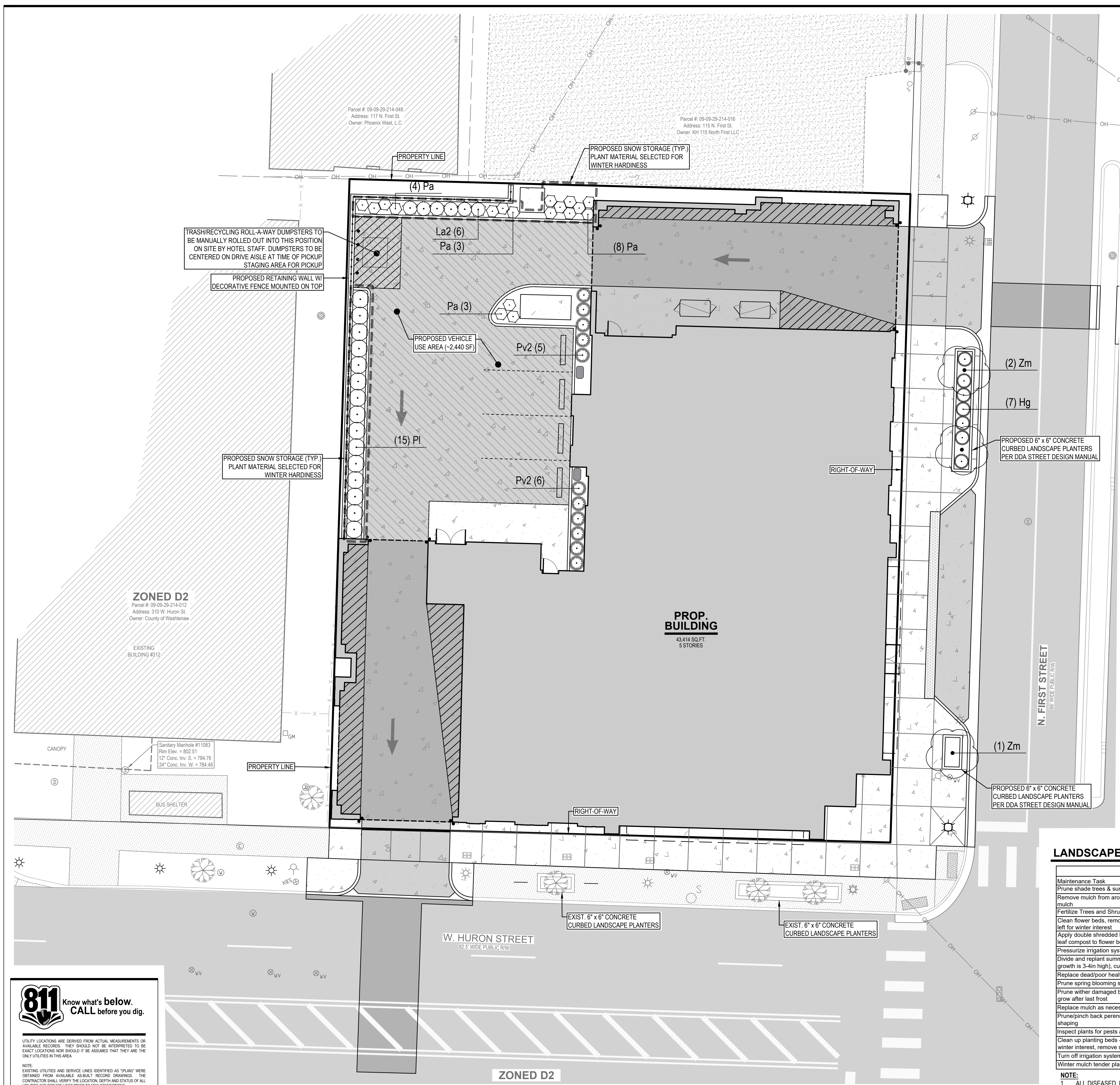
**STAMP:**

STATE OF MICHIGAN  
JASON L. VAN RYN  
ENGINEER  
No. 54207  
LICENSED PROFESSIONAL ENGINEER

**PROJECT NO:**  
19500174

**SHEET NO:**  
**C-208**





LANDSCAPE NOTES

PLANTING NOTES:

- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OR NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
- 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
- 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
- 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- 10) ALL SPECIES DEVIATION FROM THE APPROVED SITE PLAN MUST BE APPROVED PRIOR TO INSTALLATION BY THE CITY OF ANN ARBOR.
- 11) APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHORUS.

TOPSOIL AND TURF NOTES:

- 1) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.

IRRIGATION NOTES:

- 1) ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE CALCULATIONS

5.20.3 (B) INTERIOR LANDSCAPE ISLANDS:

- 1) VEHICULAR USE AREAS GREATER THAN 3,300 SQUARE FEET SHALL CONTAIN PROTECTED LANDSCAPE ISLANDS LOCATED ENTIRELY WITHIN THE PERIMETERS OF THE VEHICULAR USE AREA, FOR THE PURPOSE OF BREAKING UP THE EXPANSE OF PAVEMENT.  
REQUIRED: PROPOSED VEHICLE USE AREA = 2,440 SQ.FT. - NO INTERIOR LANDSCAPE ISLANDS REQUIRED.

5.20.10 (B) STREET TREES REQUIRED:

- 1) ONE STREET TREE OF THE MINIMUM SIZE AND SPECIES MEETING CITY STANDARDS SHALL BE PROVIDED FOR EVERY 45 LINEAR FEET OF PUBLIC STREET RIGHT-OF-WAY ABUTTING A SITE PLAN SITE. EXISTING TREES MEETING CITY STANDARDS MAY BE USED TO SATISFY ALL OR PART OF THIS REQUIREMENT.  
REQUIRED: 114 FT (HURON ST.) + 132 FT (FIRST ST.) = 246 FT OF FRONTAGE  
246 FT / 45 FT = 6 ROW TREES REQUIRED  
REQUIRED: 3 EXISTING (HURON ST.) + 3 PROPOSED (FIRST ST.) = 6 ROW TREES

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	QTY
	Zm	Zelkova serrata 'Musashino' / Musashino Columnar Zelkova 6' BRANCH HT.	B&B	3" min.	3
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE		QTY
	Pl	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal.		15
PERENNIAL/ORNAMENTAL GRASS	CODE	BOTANICAL / COMMON NAME	SIZE		QTY
	Hg	Hosta x 'Guacamole' / Guacamole Plantain Lily	1 gal.		7
	La2	Lavandula angustifolia / English Lavender Cont.	1 gal.		6
	Pv2	Panicum virgatum / Switch Grass	1 gal.		11
	Pa	Pennisetum alopecuroides / Fountain Grass	1 gal.		18

LANDSCAPE MAINTENANCE SCHEDULE

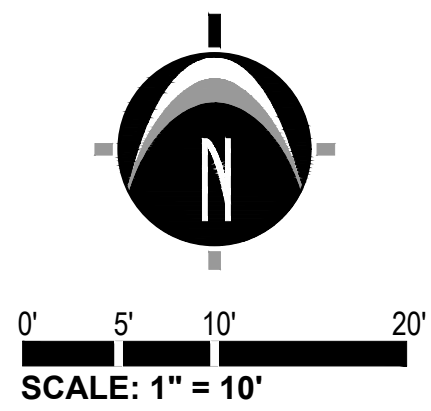
Maintenance Task	January	February	March	April	May	June	July	August	September	October	November	December
Prune shade trees & summer flowering shrubs												
Remove mulch from around crown of perennials; remove winter mulch												
Fertilize Trees and Shrubs, planting beds												
Clean flower beds, remove winter weeds and dead plant material left for winter interest												
Apply double shredded bark mulch to tree/shrub beds and ground leaf compost to flower beds												
Pressurize irrigation system and perform spring audit												
Divide and replant summer and fall blooming perennials (when growth is 3-4in high), cut back if needed												
Replace dead/poor health perennials and grasses												
Prune spring blooming shrubs immediately after flowering												
Prune winter damaged branches or plants that have not begun to grow after last frost												
Replace mulch as necessary												
Prune/pinch back perennials and grasses for height control and shaping												
Inspect plants for pests and treat as necessary												
Clean up planting beds - remove yellowing foliage not left for winter interest, remove stakes/hoops												
Turn off irrigation system and flush out												
Winter mulch tender plants once ground is frozen												

NOTE:

1. ALL DISEASED, DAMAGED OR DEAD MATERIAL BE REPLACED IN ACCORDANCE WITH CITY CODE BY THE END OF THE FOLLOWING PLANTING SEASON, AS A CONTINUING OBLIGATION FOR THE DURATION OF THE SITE PLAN.

LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)



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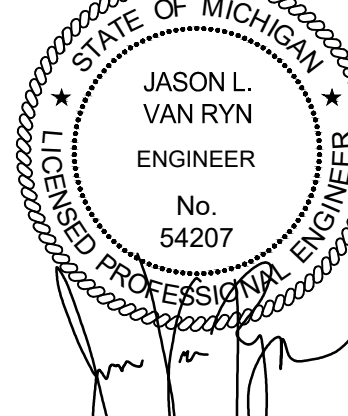
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300 WEST HURON

Landscape Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:  
19500174

SHEET NO:

L-100



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SITE CONSTRUCTION SEQUENCE & TIMING	2021/2022			
	SEP	OCT	SEP	OCT
INSTALL SOIL EROSION CONTROL MEASURES				
DEMOLITION & REMOVALS				
ROUGH GRADE SITE				
CONSTRUCT STORM WATER MANAGEMENT SYSTEM				
CONSTRUCT UTILITY LINES TO BUILDING				
CONSTRUCT BUILDING FOUNDATION AND BUILDING				
CONSTRUCT IMPROVEMENTS AROUND BUILDING				
FINISH GRADE SITE				
PAVE SITE				
RESPREAD TOPSOIL/COMPACTION				
SEED DISTURBED AREAS				
SITE RESTORATION/CLEAN UP				

### BENCHMARKS

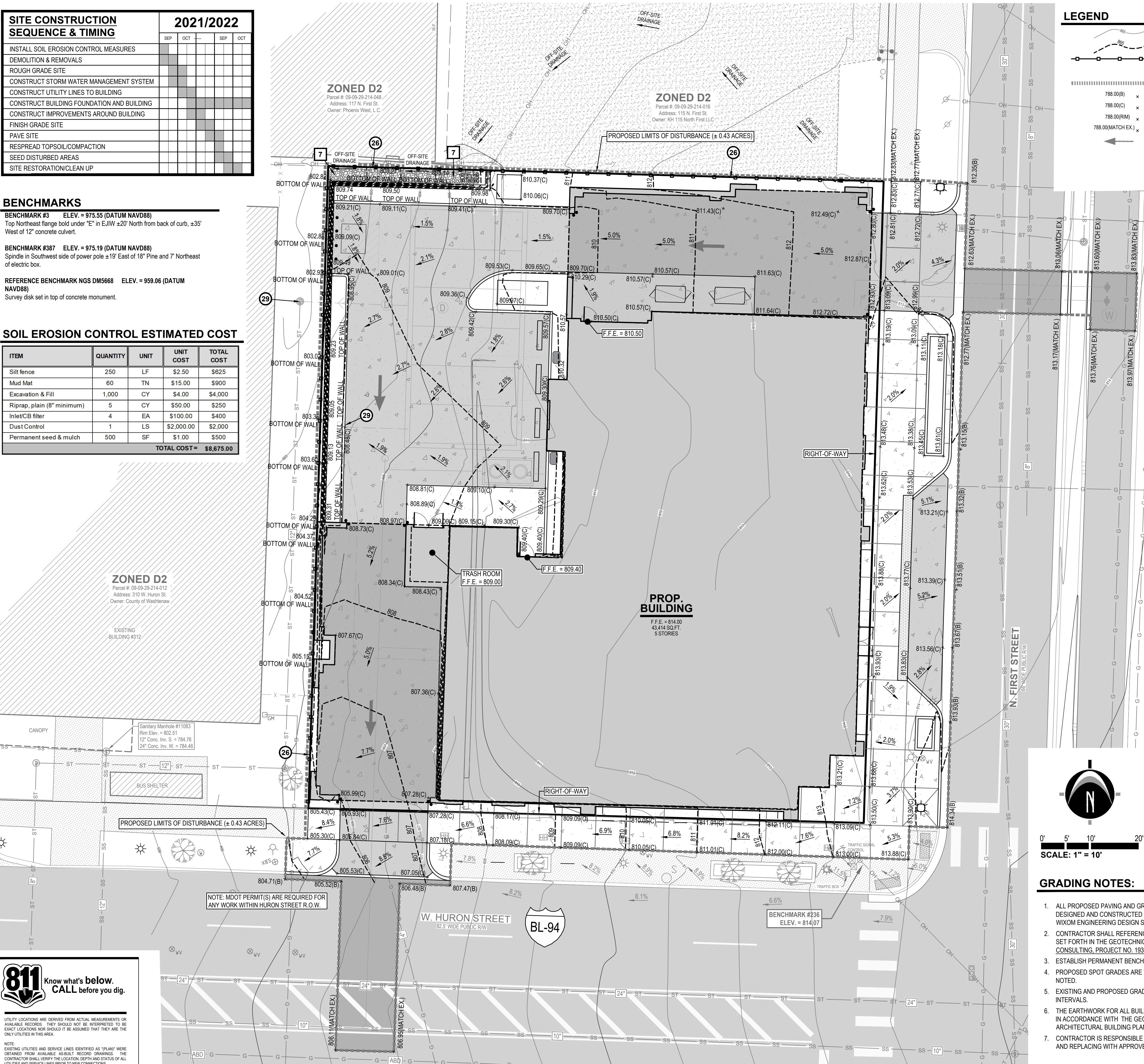
**BENCHMARK #3** ELEV. = 975.55 (DATUM NAVD88)  
Top Northeast flange bold under "E" in EJJW ±20' North from back of curb, ±35' West of 12" concrete culvert.

**BENCHMARK #387** ELEV. = 975.19 (DATUM NAVD88)  
Spindle in Southwest side of power pole ±19' East of 18" Pine and 7' Northeast of electric box.

**REFERENCE BENCHMARK NGS DM5668** ELEV. = 959.06 (DATUM NAVD88)  
Survey disk set in top of concrete monument.

### SOIL EROSION CONTROL ESTIMATED COST

ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
Silt fence	250	LF	\$2.50	\$625
Mud Mat	60	TN	\$15.00	\$900
Excavation & Fill	1,000	CY	\$4.00	\$4,000
Riprap, plain (8" minimum)	5	CY	\$50.00	\$250
Inlet/CB filter	4	EA	\$100.00	\$400
Dust Control	1	LS	\$2,000.00	\$2,000
Permanent seed & mulch	500	SF	\$1.00	\$500
TOTAL COST =			\$8,675.00	



### LEGEND

	EXISTING CONTOUR		EXIST. SANITARY SEWER
	PROP. CONTOUR		EXIST. STORM SEWER
	PROP. SILT FENCE		EXIST. WATERMAIN
	PROP. LIMITS OF DISTURBANCE		EXIST. GAS LINE
	PROP. PITCH OUT CURB		PROP. SANITARY LEAD/CLEANOUT
	PROP. GRADE ELEV. (BLACKTOP)		PROP. STORM SEWER/CATCH BASIN
	PROP. GRADE ELEV. (CONCRETE)		PROP. WATER SERVICE W/ STOP BOX
	PROP. GRADE ELEV. (RIM)		PROP. DOWNSPOUT
	MATCH EXISTING GRADE		
	EMERGENCY OVERLAND FLOW ROUTE		

### SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

	TEMPORARY MEASURE
	PERMANENT MEASURE
REFER TO MDOT STANDARD PLAN R-86-0	

### MAINTENANCE TASKS & SCHEDULE

#### DURING CONSTRUCTION

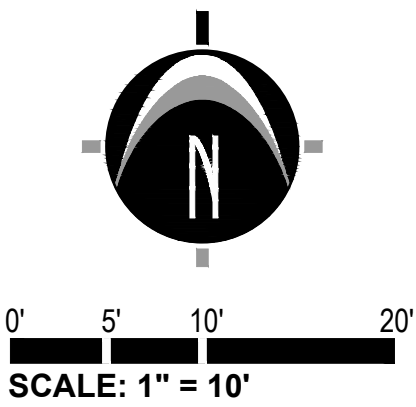
TASKS	COMPONENTS	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	PAVED AREAS	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	PAVED AREAS	AS NEEDED* AND PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS	PAVED AREAS	QUARTERLY
CLEANING FOR FLOATABLES AND DEBRIS	PAVED AREAS	QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION	PAVED AREAS	WEEKLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	PAVED AREAS	AS NEEDED* AND PRIOR TO TURNOVER
CLEAN DRIVES AND PARKING LOTS	PAVED AREAS	WEEKLY OR AS DETERMINED BY PERMITTING AGENCY
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL	PAVED AREAS	AS NEEDED
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	PAVED AREAS	ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED	PAVED AREAS	AS NEEDED

\* "AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

#### PERMANENT LONG-TERM MAINTENANCE

MAINTENANCE ACTIVITIES	SYSTEM COMPONENTS	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	PAVED AREAS	SEMI-ANNUALLY/AS NEEDED*
REMOVAL OF SEDIMENT ACCUMULATION	PAVED AREAS	ANNUALLY/AS NEEDED*
INSPECT FOR FLOATABLES AND DEBRIS	PAVED AREAS	ANNUALLY
CLEANING FOR FLOATABLES AND DEBRIS	PAVED AREAS	ANNUALLY
INSPECTION FOR EROSION	PAVED AREAS	SEMI-ANNUALLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	PAVED AREAS	AS NEEDED
CLEAN DRIVES AND PARKING LOTS	PAVED AREAS	ANNUALLY
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	PAVED AREAS	ANNUALLY
INSPECT INFILTRATION BASINS FOLLOWING RAIN EVENTS OF 1 INCH OR MORE	PAVED AREAS	AS NEEDED
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	PAVED AREAS	AS NEEDED
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER	PAVED AREAS	ANNUALLY
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO PROPERTY OWNER	PAVED AREAS	ANNUALLY
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS	PAVED AREAS	ANNUALLY
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS	PAVED AREAS	AS NEEDED

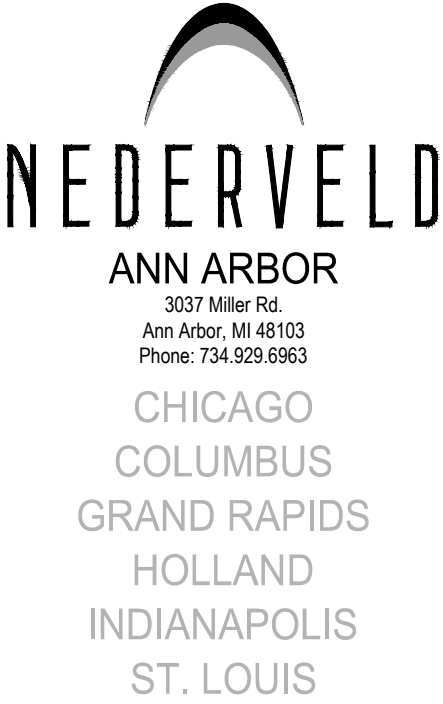
\* "AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH



### GRADING NOTES:

- ALL PROPOSED PAVING AND GRADING IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WIXOM ENGINEERING DESIGN STANDARDS.
- CONTRACTOR SHALL REFERENCE AND ABIDE BY THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL EVALUATION PREPARED BY G2 CONSULTING, PROJECT NO. 193679, DATED MARCH 2, 2020.
- ESTABLISH PERMANENT BENCH MARK ON-SITE PRIOR TO GRADING.
- PROPOSED SPOT GRADES ARE TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL. IF POOR SOIL IS ENCOUNTERED

- THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO MAKING ANY SOIL CORRECTIONS & SHALL PROVIDE UNIT COSTS IN THEIR BID FOR SUCH WORK.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- CONTRACTOR TO FIELD VERIFY ALL INVERTS PRIOR TO START OF CONSTRUCTION.



### PREPARED FOR:

Hawkeye Hotels  
Samir Patel  
2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

### REVISIONS:

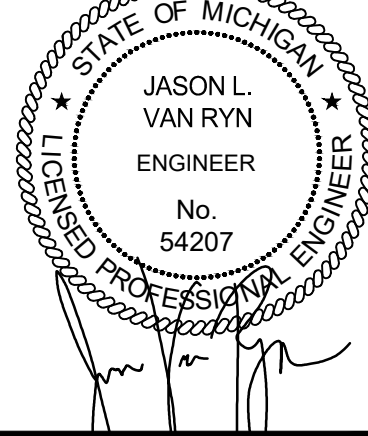
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Drawn: BC/TA	Checked: JVR	Date: 2020.12.25
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Drawn: BC/TA	Checked: JVR	Date: 2021.02.18
Title: REVISED PER CITY/CMWR COMMENTS	Checked: JVR	Date: 2021.04.08
Drawn: BC/TA	Checked: JVR	Date: 2021.04.08
Title: REVISED PER CITY COMMENTS	Checked: JVR	Date: 2021.04.30
Drawn: BC	Checked: JVR	Date: 2021.04.30

## 300 WEST HURON

### Grading & Soil Erosion Control Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

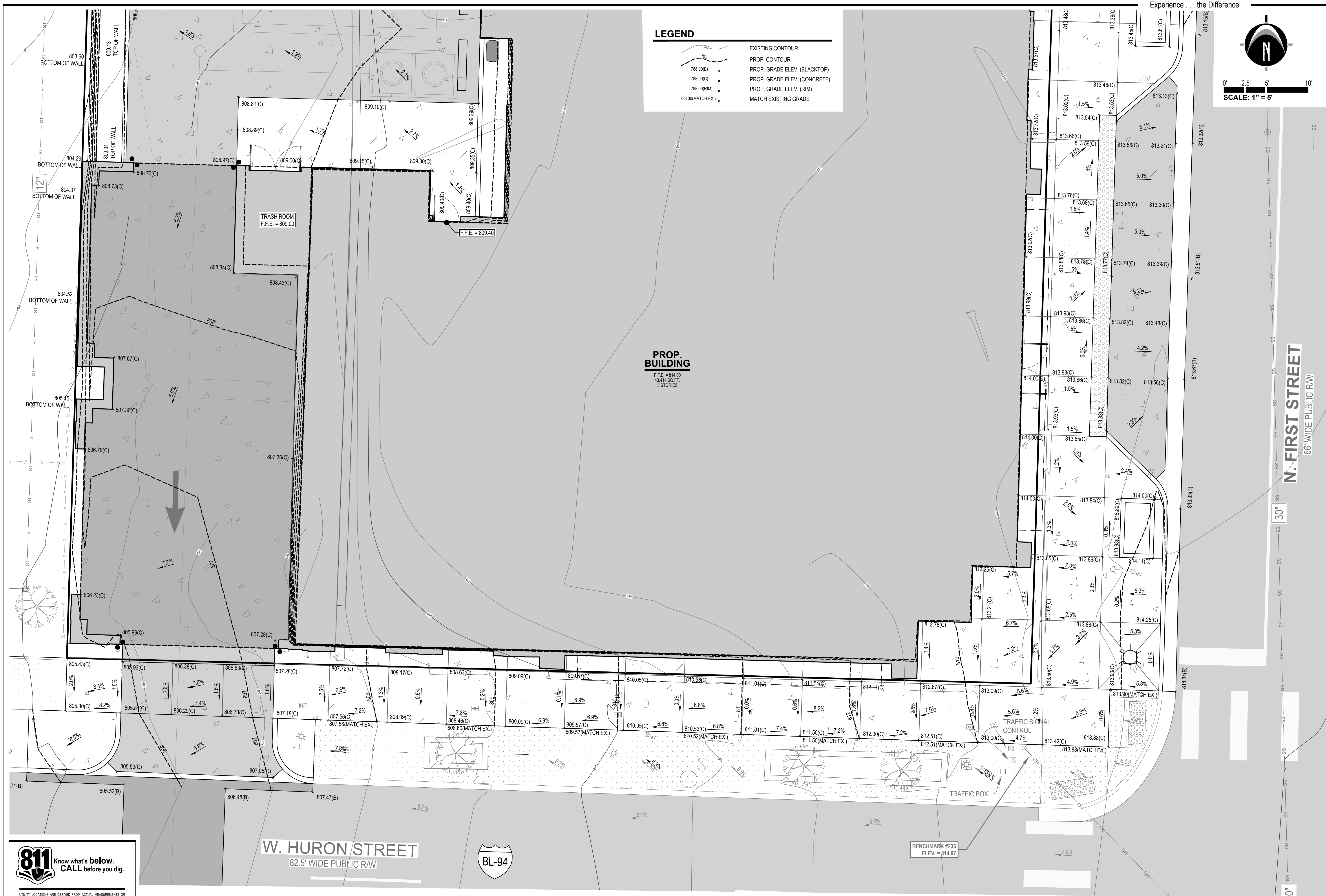
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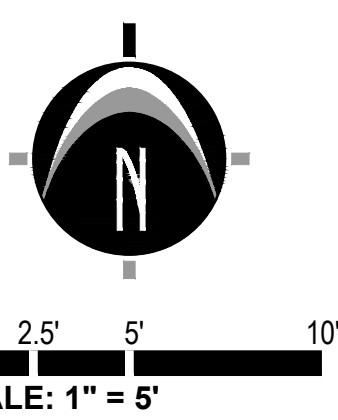
PROJECT NO:  
19500174

SHEET NO:  
**C-300**





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3037 Miles Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963

CHICAGO  
COLUMBUS  
GRAND RAPIDS  
HOLLAND  
INDIANAPOLIS  
ST. LOUIS

**PREPARED FOR:**  
Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

**REVISIONS:**

Title: DESIGN REVIEW BOARD APPLICATION	Drawn: BC	Checked: JVR	Date: 2020.08.31
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**300 WEST HURON**

**Detailed Sidewalk Grading Plan**

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103

PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**

STATE OF MICHIGAN  
JASON L. VAN RYN  
ENGINEER  
No. 54207  
LICENSED PROFESSIONAL ENGINEER

**PROJECT NO:**  
19500174

**SHEET NO:**  
**C-301**





Know what's below.  
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

#### DOMESTIC BOOSTER PUMP SCHEDULE

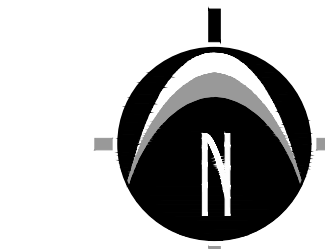
EQUIP. NO.	LOCATION	SERVICE	TYPE OF PUMP	FLOW (GPM)	HEAD (PSI/FT)	ELECTRICAL (HP)	REMARKS
BP-1/2/3	LEVEL 01 PUMP ROOM	DOMESTIC WATER	CENTRIFUGAL	100	25/57.7	3/3/3	1

#### REMARKS:

1. BASIS OF DESIGN: VC SYSTEMS TRIPLEX SYSTEM.

#### DOMESTIC BOOSTER PUMP NOTES

1. THE DOMESTIC WATER BOOSTER PUMP SYSTEM SHALL CONSIST OF A THREE-PUMP PACKAGED SYSTEM THAT IS FACTORY ASSEMBLED AND TESTED AS A SINGLE BASE MOUNTED ASSEMBLY. THE SYSTEM SHALL BE FULLY AUTOMATIC WITH AN INTEGRAL CONTROL PANEL FOR PUMP ALTERNATION AND SYSTEM MONITORING. THE SYSTEM SHALL ALSO BE EQUIPPED WITH LOCAL AND REMOTE ANNUNCIATION FOR PUMP OPERATION, LOW SUCTION PRESSURE, AND PUMP FAILURE. ALL PUMPS SHALL HAVE VRF DRIVES.
2. THE BOOSTER PUMP SYSTEM SHALL BE MOUNTED ON A INERTIA BASE FRAME WITH SPRING VIBRATION ISOLATOR AND NOISE ISOLATION PADS AND SHALL HAVE FLANGED DOUBLE SPHERE FLOATING FLANGE FLEXIBLE CONNECTOR WITH CONTROL RODS AT THE PUMP SUCTION AND DISCHARGE CONNECTIONS (METRAFLEX DOUBLE CABLE SPHERE OR EQUAL).



0' 5' 10' 20'  
SCALE: 1" = 10'

#### LEGEND

SS	SS	EXIST. SANITARY SEWER
ST	ST	EXIST. STORM SEWER
W	W	EXIST. WATERMAIN
G	G	PROP. GAS SERVICE
C.O.		PROP. SANITARY LEAD/CLEANOUT
		PROP. STORM SEWER/CATCH BASIN
DS		PROP. WATER MAIN
		PROP. DOWNSPOUT

Use the City of Ann Arbor "Table A" and "Michigan Criteria for Subsurface Sewage Disposal" Michigan Department of Public Health April 1994 & the "Ten States Standards"

		Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
					(gpd)	(gpm)
Existing Sites (Table A Designation)						
Uses:	111 N. First Street (Non-Medical Office)	4,264	sf	0.06	256	0.18
	300 W. Huron Street (Medical Office)	668	sf	0.10	67	0.05
	308 W. Huron Street (Non-Medical Office)	3,112	sf	0.06	187	0.13
Total Existing Flow					509	0.35

		Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
					(gpd)	(gpm)
Proposed Site (Table A Designation)						
Uses:	Hotel (unit less than 400 sf)	95	room	75	7,125	4.95
	Lobby (Non-Medical Office)	2,400	sf	0.06	144	0.10
	Administrative Offices (Non-Medical Office)	450	sf	0.06	27	0.02
	Fitness Room (Spa)	700	sf	0.30	210	0.15
	Dining Area (Cafeteria)	20	capita	2.5	50	0.03
	Laundry Facilities (Laundry)	2	machine	425	850	0.59
Total Proposed Flow					8,406	5.84

#### Sanitary Flow Offset Mitigation Summary

##### Proposed - Existing Flows

(95 unit Hotel x 75 gpd/unit) - (7,376 sf x 0.06 gpd/sf) - (668 sf x 0.10 gpd/sf) = 7,897 gpd

7,897 gpd x 4 (Peaking Factor) x 1.1 (System Recovery Factor) = 34,745 gpd

(34,546 gpd x 1 day / 24 hrs x 1 hr / 60 min) = 24 gpm

24 gpm Peak Flow to be mitigated

#### STORM SEWER DRAINAGE STRUCTURES

PROP.	RIM	INVERTS	DIA.	TYPE
100	808.99	12" E. INV.=798.49 12" W. INV.=798.24	4'	Outlet Control Structure
101	809.26		4'	Access Manhole
102	809.01	12" E. INV.=805.00 8" S. INV.=805.18	4'	Stormceptor 450 Water Quality Unit
781	799.23	12" E. INV.=798.15		Existing Catch Basin

#### STORM SEWER DRAINAGE PIPES

#	LENGTH	DIA.	SLOPE	MATERIAL
ST100	18'	12"	0.50%	SLCPP
ST101	4'	12"	0.50%	SLCPP
ST102	14'	12"	0.50%	SLCPP
ST103	19'	8"	0.97%	SLCPP

#### UTILITY NOTES

##### GENERAL

1. CONSTRUCTION MUST CONFORM TO THE CITY OF ANN ARBOR STANDARD SPECIFICATIONS AND STANDARD DETAILS.
2. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
3. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION.
4. UTILITY TRENCHES WITHIN A 1 ON 1 INFLUENCE OF CITY OF ANN ARBOR R.O.W. SHALL BE BACKFILLED IN ACCORDANCE WITH THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR DATA CUT SHEETS FOR PIPE MATERIALS, VALVES, CASTINGS, STEPS, AND MANHOLE STRUCTURES FOR REVIEW.
6. MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SEWERS, AND A MINIMUM OF 5' HORIZONTAL AND 12" VERTICAL SEPARATION BETWEEN WATER AND OTHER UTILITIES.

##### WATER SERVICE

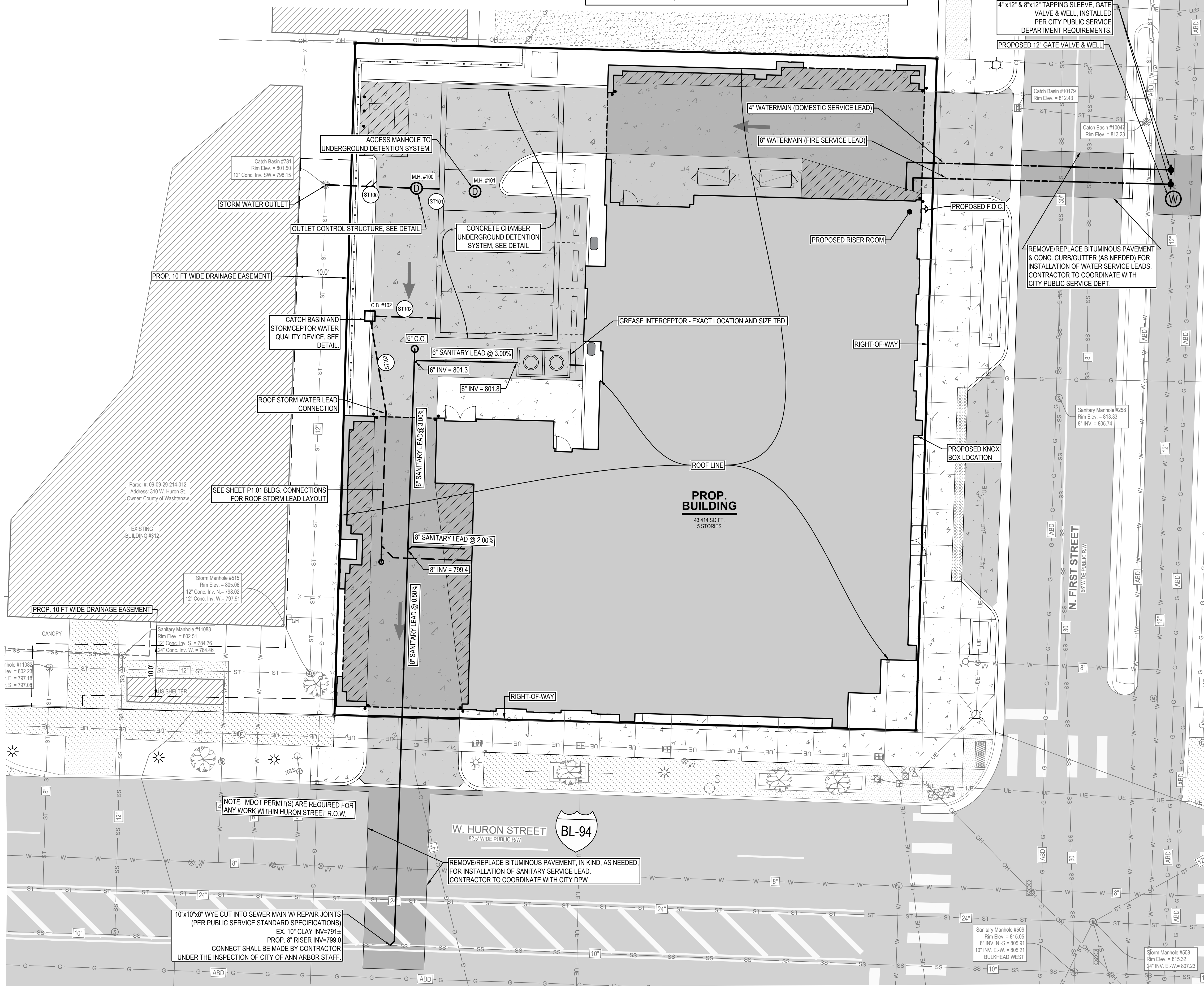
1. ALL PLAN PREPARATION AND CONSTRUCTION SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
2. ALL WATER SUPPLY IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
3. THE PROPOSED BUILDING WILL BE SERVICED BY A NEW 4" DUCTILE IRON WATER LINE AND 8" DUCTILE IRON FIRE SUPPRESSION SERVICE LINE.
4. THE 4-INCH DOMESTIC WATER SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON AND INSTALLED BY THE CONTRACTOR UNDER CITY OF ANN ARBOR INSPECTION.
5. ALL WATER SERVICE PIPES MUST BE LAID WITH A MINIMUM OF FIVE AND ONE-HALF (5.5) FEET, OF FINAL EARTH GRADE COVER, TYPICAL.

##### SANITARY SERVICE

1. ALL PLAN PREPARATION AND CONSTRUCTION SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
2. ALL SANITARY SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
3. THE PROPOSED SANITARY SEWER LEAD SHALL BE PVC SDR-23.5 OR PVC SCH 40 UNLESS OTHERWISE NOTED.
4. NO CONNECTION TO RECEIVING STORM WATER, SURFACE WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWER.
5. NO FOOTING DRAINS SHALL BE CONNECTED TO THE BUILDING SANITARY SEWER.
6. THE INSTALLATION OF SANITARY LEAD AND TAP SHALL BE INSPECTED BY CITY STAFF.

##### STORM WATER MANAGEMENT

1. ALL PLAN PREPARATION AND CONSTRUCTION SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
2. ALL STORM SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
3. AN AGREEMENT FOR OPERATION AND MAINTENANCE OF ALL DETENTION SYSTEMS MUST BE COMPLETED BY THE OWNER AND SUBMITTED TO THE CITY PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
4. STORM WATER RUNOFF GENERATED BY THE PROPOSED SITE IMPROVEMENTS WILL BE DETAINED ON-SITE, PER THE CITY OF ANN ARBOR REQUIREMENTS.
5. STORM SEWER PIPE SHALL BE SMOOTH LINED CORRUGATED POLYPROPYLENE PIPE (SLCPP) CONFORMING TO AASHTO M-330 AND ASTM F2881.
6. JOINTS SHALL BE TONGUE AND GROOVE PREMIUM JOINTS WITH RUBBER GASKETS.
7. A PRE-FABRICATED BAR SCREEN SHALL BE INSTALLED ON ALL STORM SEWERS 18 INCH IN DIAMETER AND LARGER.
8. 6" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-88 REQUIREMENTS.
9. ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTED, CONFORMING TO ASTM C-923 ARE REQUIRED FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
10. ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.



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GRAND RAPIDS  
HOLLAND  
INDIANAPOLIS  
ST. LOUIS

#### PREPARED FOR:

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Samir Patel

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Coralville, IA 52241  
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#### REVISIONS:

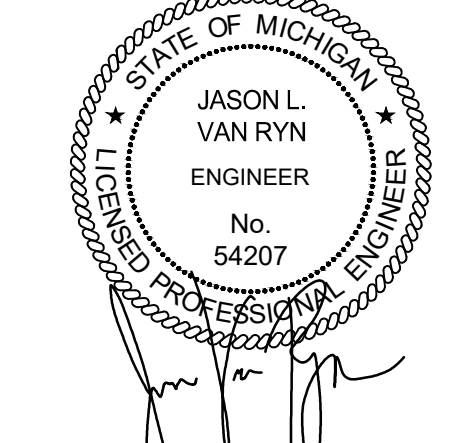
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Title: REVISED PER CITY COMMENTS  
Drawn: BC Checked: JVR Date: 2021.05.20

300 WEST HURON

Utility Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

#### STAMP:



PROJECT NO:  
19500174

SHEET NO:  
**C-400**





Design Basis: Use the Washtenaw County Water Resources Commissioner Rules and Guidelines, Revised - October 17, 2016

<b>Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients</b>					
Total Drainage Area	=	15,643	sf		
Total Drainage Area Excluding "Self-Crediting" BMPs	=	15,643	sf		
<b>Rational Method Variables</b>					
Cover Type	Slope	Soil Group	Area (sq. ft)	C factor	(C) x (Area)
Roofs	-	B	10,581	0.95	10,052
Pavement	-	B	5,052	0.95	4,799
Semi-pervious: lawns & planting beds	<4%	B	10	0.25	3
Water Surface	-	B	1	1.00	0
				Total = $\sum(C)(Area)$ =	14,854
				Area Total = $\sum sf$ =	15,643
				Weighted C = $\sum (C)(Area) / \sum sf$ =	0.95
<b>NRCS Variables (Pervious)</b>					
Cover Type	Hydrologic Condition	Soil Group	Area (sq. ft)	Curve Number	(C) x (Area)
Open Space: lawns & planting beds	Poor (grass cover < 50%)	B	79	0	0
Open Space: lawns & planting beds	Fair (grass cover 50% to 75%)	B	69	0	0
Open Space: lawns & planting beds	Good (grass cover > 75%)	B	10	610	610
				Total = $\sum(C)(Area)$ =	610
				Area Total = $\sum sf$ =	10
				Weighted C = $\sum (C)(Area) / \sum sf$ =	61
<b>NRCS Variables (Impervious)</b>					
Cover Type	Hydrologic Condition	Soil Group	Area (sq. ft)	Curve Number	(C) x (Area)
Roof & Pavement	-	B	15,633	98	1,532,034
Water Surface	-	B	0	98	0
				Total = $\sum(C)(Area)$ =	1,532,034
				Area Total = $\sum sf$ =	15,633
				Weighted C = $\sum (C)(Area) / \sum sf$ =	98

<b>First Flush Runoff Calculations (<math>V_H</math>)</b>	
Volume of 1 inch rain over total site area	
$V_H = (1") \left( \frac{1'}{12"} \right) \left( \frac{43560 \text{ ft}^2}{1 \text{ ac}} \right) \times A \times C$	= 1,238 ft <sup>3</sup>

<b>Pre-Development Bankfull Runoff Calculations (<math>V_{bf-pre}</math>)</b>	
A. 2-year / 24 hour storm event = P	= 2.35 in
B. Curve Number (CN) (Cover Description: Meadow, Good, Hydrologic Soil Group B)	= 58
C. S = 1000/CN - 10	= 7.24 in
D. Q = (P-0.2S) <sup>2</sup> /(P+0.8S)	= 0.100 in
E. Total Site Area	= 15,643 ft <sup>2</sup>
F. $V_{bf-pre} = Q(1/12)(\text{site area})$	= 130 ft <sup>3</sup>

<b>Pervious Cover Post-Development Bankfull Runoff Calculations (<math>V_{bf-per-post}</math>)</b>	
A. 2-year / 24 hour storm event = P	= 2.35 in
B. Curve Number (CN)	= 61
C. S = 1000/CN - 10	= 6.39 in
D. Q = (P-0.2S) <sup>2</sup> /(P+0.8S)	= 0.154 in
E. Pervious Cover Area	= 10 ft <sup>2</sup>
F. $V_{bf-per-post} = Q(1/12)(\text{site area})$	= 0 ft <sup>3</sup>

<b>Impervious Cover Post-Development Bankfull Runoff Calculations (<math>V_{bf-imp-post}</math>)</b>	
A. 2-year / 24 hour storm event = P	= 2.35 in
B. Curve Number (CN)	= 98
C. S = 1000/CN - 10	= 0.20 in
D. Q = (P-0.2S) <sup>2</sup> /(P+0.8S)	= 2.122 in
E. Impervious Cover Area	= 15,633 ft <sup>2</sup>
F. $V_{bf-imp-post} = Q(1/12)(\text{proposed impervious area})$	= 2,764 ft <sup>3</sup>

<b>Pervious Cover Post-Development 100-year Storm Runoff Calculations (<math>V_{100-per-post}</math>)</b>	
A. 100-year / 24 hour storm event = P	= 5.11 in
B. Curve Number (CN)	= 61
C. S = 1000/CN - 10	= 6.39 in
D. $Q_{100-per} = (P-0.2S)^2/(P+0.8S)$	= 1.436 in
E. Pervious Cover Area	= 10 ft <sup>2</sup>
F. $V_{100-per-post} = Q(1/12)(\text{proposed impervious area})$	= 1 ft <sup>3</sup>

<b>Impervious Cover Post-Development 100-year Storm Runoff Calculations (<math>V_{100-imp-post}</math>)</b>	
A. 100-year / 24 hour storm event = P	= 5.11 in
B. Curve Number (CN)	= 98
C. S = 1000/CN - 10	= 0.20 in
D. $Q_{100-post} = (P-0.2S)^2/(P+0.8S)$	= 4.873 in
E. Impervious Cover Area	= 15,633 ft <sup>2</sup>
F. $V_{100-imp-post} = Q(1/12)(\text{proposed impervious area})$	= 6,348 ft <sup>3</sup>

Determine Time of Concentration for Applicable Flow Types (T <sub>c-hrs</sub> )								
Flow Type	K	Change In Elevation	Length (L)	Slope % (S)	S <sup>0.5</sup>	T <sub>c</sub> = V = K*S <sup>0.5</sup> L/(V*3600)		
W8	Sheet Flow	0.48	5	160	3.13	1.77	0.85	0.05
	Sheet Flow	0.48	0	0	0.00	0.00	0.00	0.00
	Sheet Flow	0.48	0	0	0.00	0.00	0.00	0.00
	Waterway	1.2	0.1	1	10.00	3.16	3.79	0.00
	Small Tributary	2.1	-	-	-	-	-	0.00
Total Time of Concentration (T <sub>c-hrs</sub> )					=	0.05	hrs	

<b>Runoff Summary and Onsite Infiltration Requirement</b>	
A. Runoff Summary from Previous Worksheets	
Total Post-Development Bankfull Volume ( $V_{bf-post}$ )	= 2,764 ft <sup>3</sup>
Total 100-year Volume ( $V_{100}$ )	= 6,349 ft <sup>3</sup>
B. Determine Onsite Infiltration Requirement	
Bankfull Volume Difference ( $V_{bf-post} - V_{bf-pre}$ )	= 2,634 ft <sup>3</sup>
Onsite Infiltration Requirement = Greater of Bankfull Volume Difference and First Flush Volume = ( $V_{ff}$ )	= 2,634 ft <sup>3</sup>

<b>Detention/Retention Requirement</b>	
A. Peak of Unit Hydrograph = $Q_p = 238.6 T_c^{-0.82}$	= 2,675.90 cfs/in-mi <sup>2</sup>
B. Total Site Area (ac) excluding "Self-Crediting" BMPs	= 0.36 acres
C. $Q_{100} = Q_{100-per} + Q_{100-imp}$	= 6.31 in
D. Peak Flow (PF) = $\left( \frac{Q_p \times Q_{100} \times \text{Area (ac)}}{640} \right)$	= 9.47 ft <sup>3</sup>
E. $\Delta = PF - 0.15 \times (\text{area})$	= 9.42 ft <sup>3</sup>
F. $V_{det} = \left( \frac{\Delta}{PF} \right) \times V_{100}$	= 6,313 ft <sup>3</sup>

Determine Applicable BMPs and Associated Volume Credits							
W11	Proposed BMP	Area (ft <sup>2</sup> )	Storage Volume (ft <sup>3</sup> )		Ave. Design Infiltration Rate (in/hr)	Infiltration Volume During Storm (ft <sup>3</sup> )	Total Volume Reduction (ft <sup>3</sup> )
			Surface	Soil			
		Porous Pavement w/infiltration Bed	1056			1.25	660
	Infiltration Basin						
	Subsurface Infiltration Bed						
	Infiltration Trench						
	Rain Garden (TP-1)						
	Dry Well						
	Bioswale						
	Vegetated Filter Strip						
	Green Roof						
	TOTAL					660	660

Natural Features Inventory				
W12	Existing Natural Resources	Mapped (yes, no, n/a)	Total Area (ac)	Protected/Undisturbed Area (ac)
	Waterbodies	no		
	Floodplains	no		
	Riparian Areas	no		
	Wetlands	no		
	Woodlands	no		
	Natural Drainage Area	no		
	Steep Slopes, 15%-25%	no		
	Steep Slopes, over 25%	no		
	Special Habitat Areas	no		
TOTAL EXISTING (ac)				

<b>Site Summary of Infiltration &amp; Detention</b>	
A. Stormwater Management Summary	
Minimum Onsite Infiltration Requirement ( $V_{inf}$ )	= 2,634 ft <sup>3</sup>
Designed/Provided Infiltration & Storage Volume Credits	= 660 ft <sup>3</sup>
% Minimum Required Infiltration Provided	= 25.1 %
Total Calculated Detention Volume, $V_{det}$	= 6,313 ft <sup>3</sup>
Net Required Detention Volume ( $V_{det} - \text{Designed/Provided Infiltration Volume}$ )	= 5,653 ft <sup>3</sup>
B. Detention Volume Increase for site if required infiltration volume not achieved	
% Required Infiltration NOT provided (100% - % Minimum Required Infiltration Provided)	= 74.9 %
Net % Penalty (20% x % Required Infiltration Not Provided)	= 15.0 %
Total Required Detention Volume, including penalty	= 6,501 ft <sup>3</sup>
[(100% + Net % Penalty) x Net Required Detention Volume]	

## STORM WATER MANAGEMENT PLAN NARRATIVE

THE EXISTING DEVELOPED SITE CONTAINS 3 SEPARATE PARCELS THAT DRAINS FROM EAST TO WEST TOWARD AN EXISTING CATCH BASIN ON THE ADJACENT PARCEL TO THE WEST. THIS CATCH BASIN AND THE DOWNSTREAM STORM SEWER SYSTEM DRAINS TO THE SOUTH AND WEST TOWARD ALLEN CREEK, LOCATED WEST OF THE SITE. THIS EXISTING DRAINAGE PATTERN WILL BE MAINTAINED, AND THE EXISTING CATCH BASIN WILL BE USED AS AN OUTLET TO THE PROPOSED UNDERGROUND DETENTION SYSTEM FOR THE PROPOSED PROJECT. THE ADJACENT SITE IS OWNED BY WASHTENAW COUNTY AND AN EASEMENT FROM THIS OUTLET CATCH BASIN TO THE HURON STREET RIGHT-OF-WAY WILL BE SOUGHT FROM WASHTENAW COUNTY FOR ACCESS AND MAINTENANCE.

STORM WATER RUNOFF FROM THE SITE WILL BE COLLECTED IN STORM SEWER PIPE AND TREATED VIA A STORM WATER HYDRODYNAMIC SEPARATOR, PRIOR TO DISCHARGING INTO THE PROPOSED UNDERGROUND DETENTION SYSTEM. THE PROPOSED UNDERGROUND DETENTION BASIN WILL BE DESIGNED TO DETAIN FIRST FLUSH, BANKFULL, AND FLOOD CONTROL USING RESTRICTED OUTLET(S). THE PROPOSED UNDERGROUND DETENTION SYSTEM IS SIZED IN ACCORDANCE WITH THE WASHTENAW COUNTY WATER RESOURCE COMMISSIONER'S OFFICE RULES.

AN ESTIMATED INFILTRATION RATE OF 1.25 INCHES PER HOUR WAS USED FOR THE AREA UNDERNEATH THE UNDERGROUND DETENTION SYSTEM. THIS WAS BASED ON A INFILTRATION RATE ESTIMATE LOCATED NEAR THE PROPOSED UNDERGROUND DETENTION SYSTEM. THIS INFILTRATION RATE WAS REPORTED IN A GEOTECHNICAL REPORT FOR THE SITE, DATED MARCH 2, 2020, AS PREPARED BY G2 CONSULTING GROUP. UPON SITE DEMOLITION AND ACCESS TO THE AREA OF THE PROPOSED UNDERGROUND DETENTION SYSTEM, THE INFILTRATION RATE WILL BE VERIFIED AND/OR ADJUSTED BASED ON THE RESULTS OF AN INFILTRATION RATE TEST, PER WASHTENAW COUNTY WATER RESOURCE COMMISSIONER'S RULES. PERCOLATION HOLES WILL BE CORED INTO THE BOTTOM OF THE PROPOSED CONCRETE BOX SECTIONS TO ALLOW FOR STORMWATER TO PASS INTO THE INFILTRATION BED LOCATED BELOW THE CONCRETE BOX UNDERGROUND DETENTION SYSTEM.

## DETENTION SYSTEM DRAINAGE AREA MAP

SCALE: 1" = 50'

<b>Outlet Control Structure</b>	
<b>Orifice hole(s) sizing - "first flush" discharge</b>	
$Q_H = (V_H - H_{f-Vol}) / 24 \text{ hrs} / 3600 \text{ sec}$	$Q_H = 0.007 \text{ ft}^3/\text{s}$
$h_{we} = \frac{2}{3} h \times (X_{ff} - X_d)$	$h_{we} = 0.367 \text{ ft}$
$A = Q_H / 62 \times \text{sqrt}(2 \times 32.2 \times h_{we})$	$A = 0.0022 \text{ ft}^2$
Area of an orifice with diameter (in) = 5/8	$0.0021 \text{ ft}^2$
Number of orifice holes	= 1 holes at elev = 799.25
$Q_H \text{ design}$	= 0.006 ft <sup>3</sup> /s
Time to Discharge (greater than 24 hours)	= 25.0 hrs > 24 hrs
<b>Orifice hole(s) sizing - "Bankfull flood" discharge</b>	
Bankfull should discharge within 36 to 48 hours	
$h_{we} = \frac{2}{3} h \times (X_{bf} - X_d)$	$h_{we} = 1.439 \text{ ft}$
Release from first flush holes only	
$Q = a \times 62 \times \text{sqrt}(2 \times 32.2 \times \frac{2}{3} h_{we})$	$Q = 0.013 \text{ ft}^3/\text{s}$
$h_{we} = \frac{2}{3} h \times (X_{bf} - X_H)$	$h_{we} = 1.072 \text{ ft}$
Area of an orifice with diameter (in) = 1/2	$0.0014 \text{ ft}^2$
Number of orifice holes	= 1 holes at elev = 799.8
$Q_H \text{ design}$	= 0.007 ft <sup>3</sup> /s
$Q_{bf} + Q_H$	= 0.020 ft <sup>3</sup> /s
$T_{bf}$ with first flush holes only =	36 hrs < 39 hrs, < 48 hrs. therefore ok.
<b>Orifice hole(s) sizing - "100-yr flood" discharge</b>	
Peak Flow, $Q_p = 0.15 \text{ cfs/acre} \times \text{drainage area (A)}$	
$h_H = (X_{100} - X_d)$	$h_H = 6.09 \text{ ft}$
$h_{bf} = (X_{100} - X_H)$	$h_{bf} = 5.54 \text{ ft}$
$Q_H =$	
$a \times 0.62 \times \text{sqrt}(2 \times 32.2 \times h_H) =$	$Q_H = 0.026 \text{ ft}^3/\text{s}$
$Q_H =$	
$a \times 0.62 \times \text{sqrt}(2 \times 32.2 \times h_H) =$	$Q_H = 0.016 \text{ ft}^3/\text{s}$
$Q_{100} = Q_H(Q_H + Q_H)$	$Q_{100} = 0.012 \text{ ft}^3/\text{s}$
$A_{100} = Q_{100} / (62 \times \text{sqrt}(2 \times 32.2 \times h_{100}))$	$A_{100} = 0.0012 \text{ ft}^2$
Area of an orifice with diameter (in) = 7/16	$0.0010 \text{ ft}^2$
Number of orifice holes	= 1 holes at elev = 801.41
Confirm allowable flow rate is not exceeded	
$Q_H + Q_H + 0.62 \times \#_{or} \times A_{100} \times \text{sqrt}(2 \times g \times h_{100}) < Q_{allow}$	= 0.052 cfs < 0.054 cfs
<b>Average Discharge through 100-year Orifice(s) when other Orifice (s) are contributing</b>	
$h_{100-we} = \frac{2}{3} h \times (X_{100} - X_d)$	= 2.62 ft
$Q_{100-we-100} = 0.62 \times \#_{or} \times A_{100} \times \text{sqrt}(2 \times g \times h_{100-we})$	= 0.008 ft <sup>3</sup> /s
<b>Average Discharge through First Flush and Bank Full Orifice(s) when other Orifice (s) are contributing</b>	
$h_{1-we} = \frac{2}{3} h \times (X_{100} - X_d)$	= 6.09 ft
$Q_{100-we-ff} = 0.62 \times \#_{or} \times A_{100} \times \text{sqrt}(2 \times g \times h_{1-we})$	= 0.026 ft <sup>3</sup> /s
$h_{100-we} = \frac{2}{3} h \times (X_{100} - X_H)$	= 5.54 ft
$Q_{100-we-ff} = 0.62 \times \#_{or} \times A_{100} \times \text{sqrt}(2 \times g \times h_{100-we})$	= 0.016 ft <sup>3</sup> /s
$Q_{100-we} = Q_{100-we-ff} + Q_{100-we-ff}$	= 0.051 ft <sup>3</sup> /s
<b>Check to confirm 100-year storm volume discharge in less than 72 hours</b>	
$V_{100} = \text{Total Required Detention} - \text{BMP Volume Reduction}$	= 6,501 ft <sup>3</sup>
$V_{rem} = V_{100} - V_{det}$	= 3,737 ft <sup>3</sup>
$T_{100} = T_{det} + V_{rem} / (Q_{100-we}) <= 72 \text{ hrs}$	= 59 hrs <= 72 hrs
Design meets both the time of detention and flow rate requirements	

## Stage-Storage

Area =	width(ft)	len(ft)	
22	48	1056	sf
Bottom of storage =		798.50	

Depth(ft)	Stage	Cummulative *Volume(cf)
0.00	798.50	0
0.20	798.70	190
0.40	798.90	380
0.60	799.10	570
0.80	799.30	760
1.00	799.50	950
1.20	799.70	1140
1.40	799.90	1331
1.60	800.10	1521
1.80	800.30	1711
2.00	800.50	1901
2.20	800.70	2091
2.40	800.90	2281
2.60	801.10	2471
2.80	801.30	2661
3.00	801.50	2851
3.20	801.70	3041
3.40	801.90	3231
3.60	802.10	3421
3.80	802.30	3612
4.00	802.50	3802
4.20	802.70	3992
4.40	802.90	4182
4.60	803.10	4372
4.80	803.30	4562
5.00	803.50	4752
5.20	803.70	4942
5.40	803.90	5132
5.60	804.10	5322
5.80	804.30	5512
6.00	804.50	5702
6.20	804.70	5892
6.40	804.90	6083
6.60	805.10	6273
6.80	805.30	6463
7.00	805.50	6653
7.20	805.70	6843
7.40	805.90	7033
7.60	806.10	7223
7.80	806.30	7413
8.00	806.50	7603

\* 90% of calculated cubic volume to account for structural supports



## PREPARED FOR:

Hawkeye Hotels  
Samir Patel2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

## REVISIONS:

Title: DESIGN REVIEW BOARD APPLICATION	Drawn: BC	Checked: JVR	Date: 2020.08.31
Title: SITE PLAN SUBMITTAL	Drawn: BC/TA	Checked: JVR	Date: 2020.11.25</



**PREPARED FOR:**

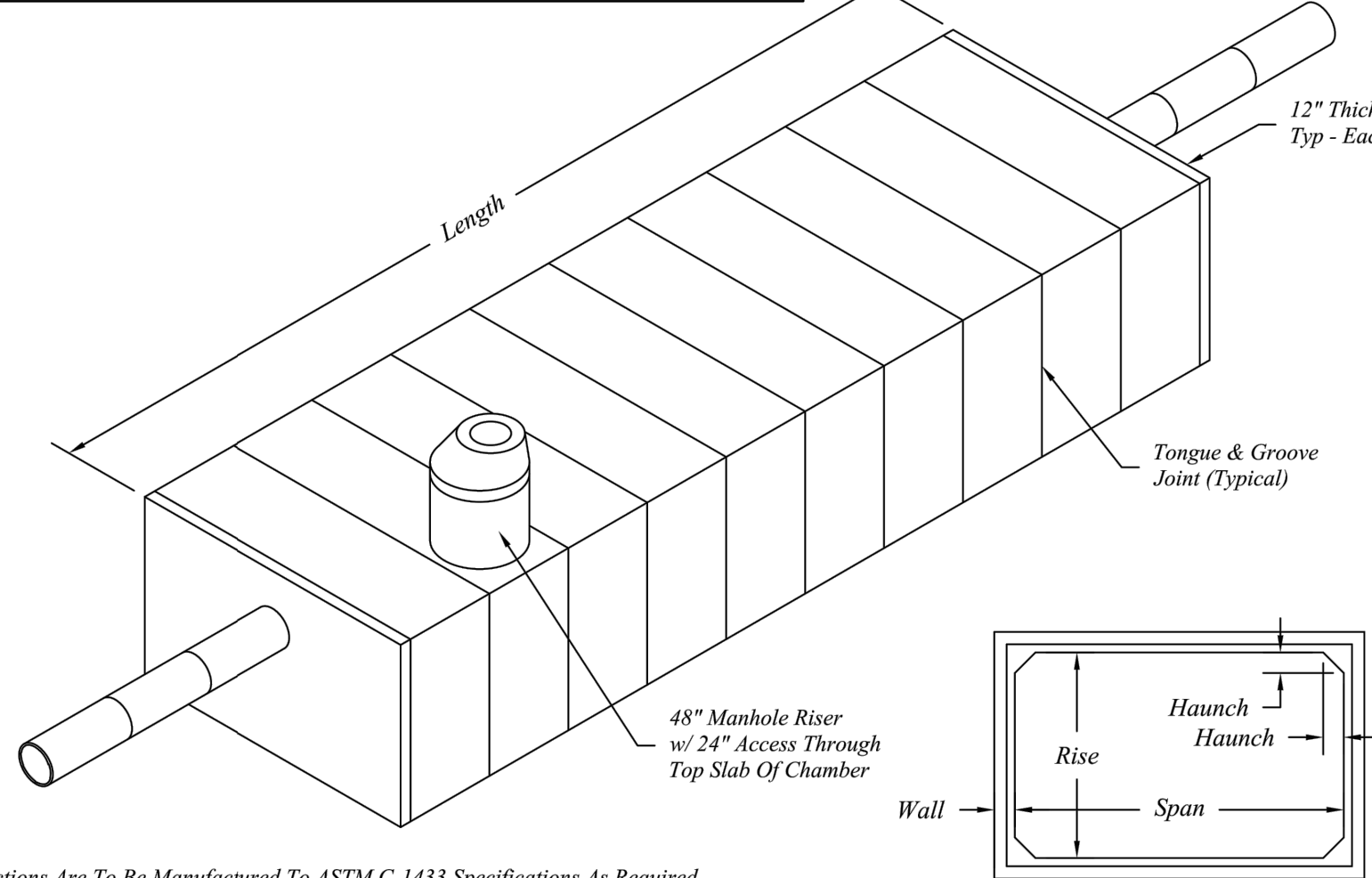
Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

**REVISIONS:**

Title: DESIGN REVIEW BOARD APPLICATION	Checked: JVR	Date: 2020.08.31
Drawn: BC	Checked: JVR	Date: 2020.08.31
Title: SITE PLAN SUBMITTAL	Checked: JVR	Date: 2020.11.25
Drawn: BC/TA	Checked: JVR	Date: 2020.11.25
Title: SITE PLAN RESUBMITTAL	Checked: JVR	Date: 2020.12.17
Drawn: BC/TA	Checked: JVR	Date: 2021.02.18
Title: REVISED PER CITY/MCWRRC COMMENTS	Checked: JVR	Date: 2021.04.08
Drawn: BC/TA	Checked: JVR	Date: 2021.04.08
Title: REVISED PER CITY COMMENTS	Checked: JVR	Date: 2021.04.30
Drawn: BC	Checked: JVR	Date: 2021.04.30

NOTE: SITE SPECIFIC DETAILS TO BE SUPPLIED AND APPROVED BY  
CITY OF ANN ARBOR PRIOR TO CONSTRUCTION



Box Culvert Sections Are To Be Manufactured To ASTM C-1433 Specifications As Required.

Joints To Be Sealed w/ Mastic And Wrapped w/ 22\"/>

Inlets And Outlets To Penetrate Through End Caps To Maintain Structural Integrity Of The Box Culvert.

Span, Rise And Length Of Retention Chamber To Be Determined By Required Capacity.



401 Kelton St Bay City, MI 48706

Typical Precast Concrete Box Retention System

5281 Lansing Rd  
Charlotte, MI 48813

2701 Chicago Dr SW  
Wyoming, MI 49319

4950 White Lake Rd  
Clarkston, MI 48346

3756 Centennial Rd  
Sylvania, OH 43560

Date: 16 May 16

Revised:

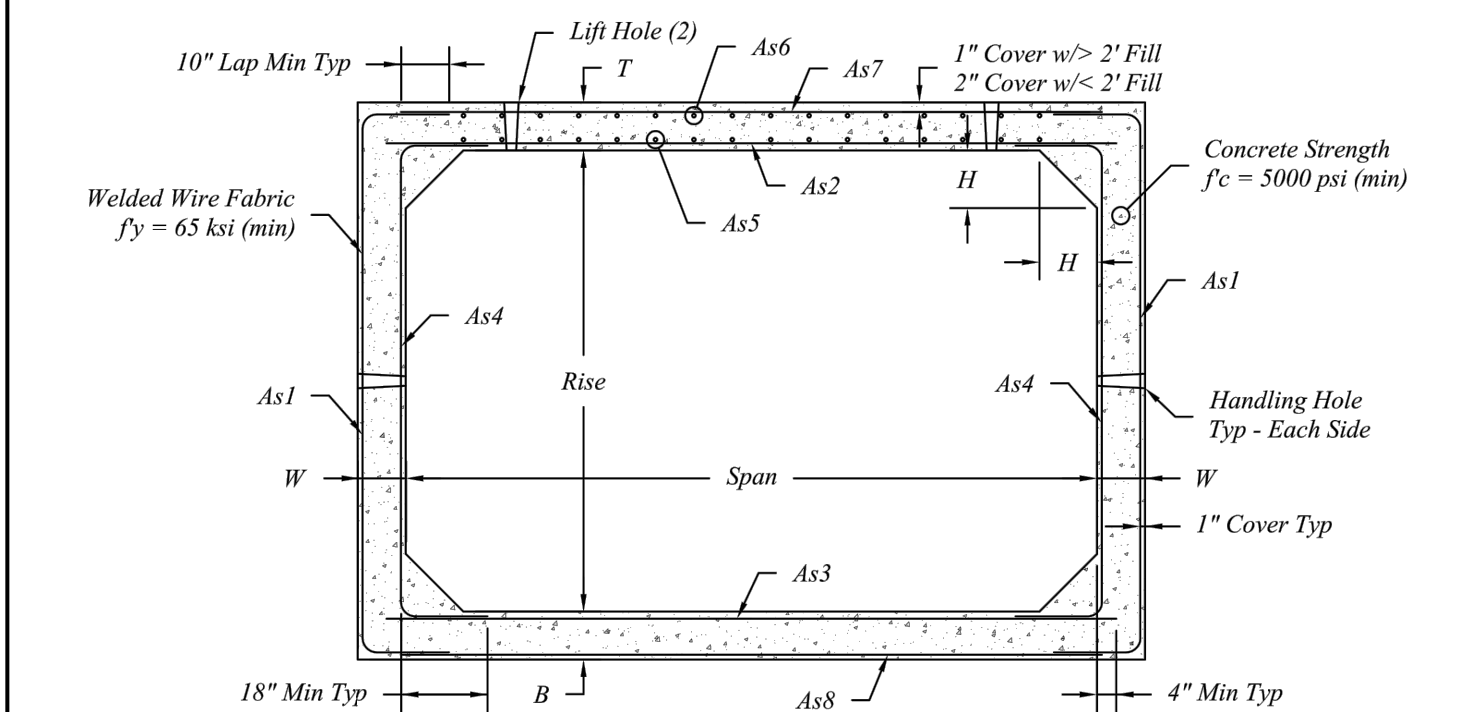
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**UNDERGROUND DETENTION SYSTEM (OR APPROVED EQUAL)**

N.T.S.



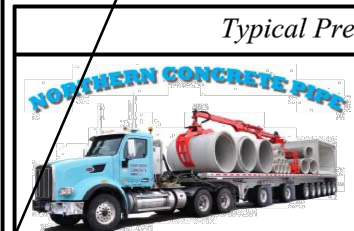
Standard Dimensions per ASTM C-1577. Actual Dimensions May Vary According To Specific Project Design.

Span	Rise												W	T	B	H
	3'	4'	5'	6'	7'	8'	9'	10'	11'	12'						
4'	1800	2000											8"	8"	8"	8"
5'	2000	2200	2400										8"	8"	8"	8"
6'	2200	2400	2600	2800									8"	8"	8"	8"
7'	2400	2600	2800	3000	3200								8"	8"	8"	8"
8'	2600	2800	3000	3200	3400	3600							8"	8"	8"	8"
9'	3206	3431	3656	3881	4106	4331	4556						9"	9"	9"	9"
10'	3875	4125	4375	4625	4875	5125	5375	5625					10"	10"	10"	10"
11'	4606	4881	5156	5431	5706	5981	6256	6531	6806				11"	11"	11"	11"
12'	5400	5700	6000	6300	6600	6900	7200	7500	7800	8100	12"	12"	12"	12"	12"	12"
13'	5700	6000	6300	6600	6900	7200	7500	7800	8100	8400	12"	12"	12"	12"	12"	12"
14'	6000	6300	6600	6900	7200	7500	7800	8100	8400	8700	12"	12"	12"	12"	12"	12"
15'	6300	6600	6900	7200	7500	7800	8100	8400	8700	9000	12"	12"	12"	12"	12"	12"
16'	6600	6900	7200	7500	7800	8100	8400	8700	9000	9300	12"	12"	12"	12"	12"	12"
17'	6900	7200	7500	7800	8100	8400	8700	9000	9300	9600	12"	12"	12"	12"	12"	12"
18'	7200	7500	7800	8100	8400	8700	9000	9300	9600	9900	12"	12"	12"	12"	12"	12"
19'	7500	7800	8100	8400	8700	9000	9300	9600	9900	10200	12"	12"	12"	12"	12"	12"
20'	7800	8100	8400	8700	9000	9300	9600	9900	10200	10500	12"	12"	12"	12"	12"	12"
21'	8100	8400	8700	9000	9300	9600	9900	10200	10500	10800	12"	12"	12"	12"	12"	12"
22'	8400	8700	9000	9300	9600	9900	10200	10500	10800	11100	12"	12"	12"	12"	12"	12"
23'	8700	9000	9300	9600	9900	10200	10500	10800	11100	11400	12"	12"	12"	12"	12"	12"
24'	9000	9300	9600	9900	10200	10500	10800	11100	11400	11700	12"	12"	12"	12"	12"	12"

Box Culverts Sections Are Manufactured To  
'ET Culvert' And/Or Applicable ASTM C-1577  
Specifications According To Specific Project  
Requirements.

Reinforcing Shown For Schematic Only.

Additional Sizes Beyond What is Shown Are  
Available.



Typical Precast Concrete Box Culvert Sections

401 Kelton St Bay City, MI 48706

5281 Lansing Rd  
Charlotte, MI 48813

2701 Chicago Dr SW  
Wyoming, MI 49319

4950 White Lake Rd  
Clarkston, MI 48346

3756 Centennial Rd  
Sylvania, OH 43560

Date: 12 May 16

Drawn By: BmG

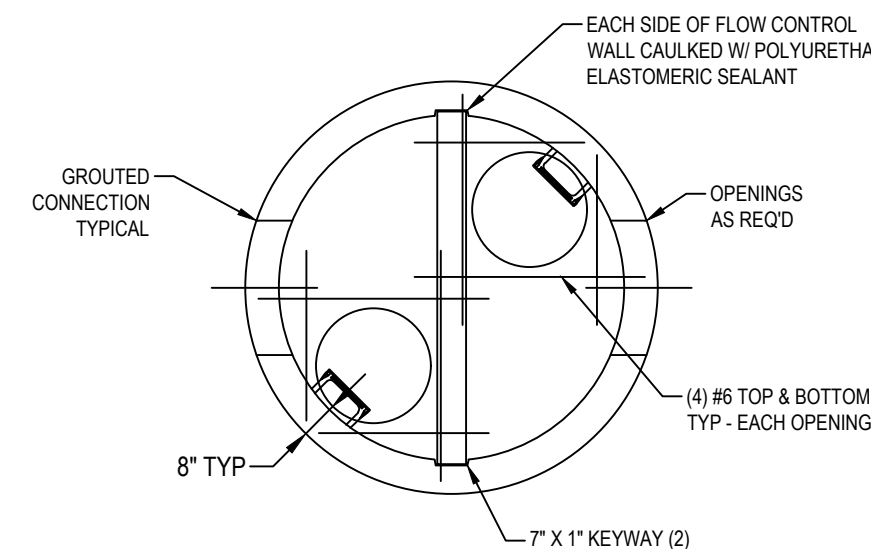
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22" W x 8" RISE (6 EA. 8' LONG)  
REQUIRED FOR PROPOSED  
VOLUME.

**UNDERGROUND DETENTION SYSTEM (OR APPROVED EQUAL)**

N.T.S.

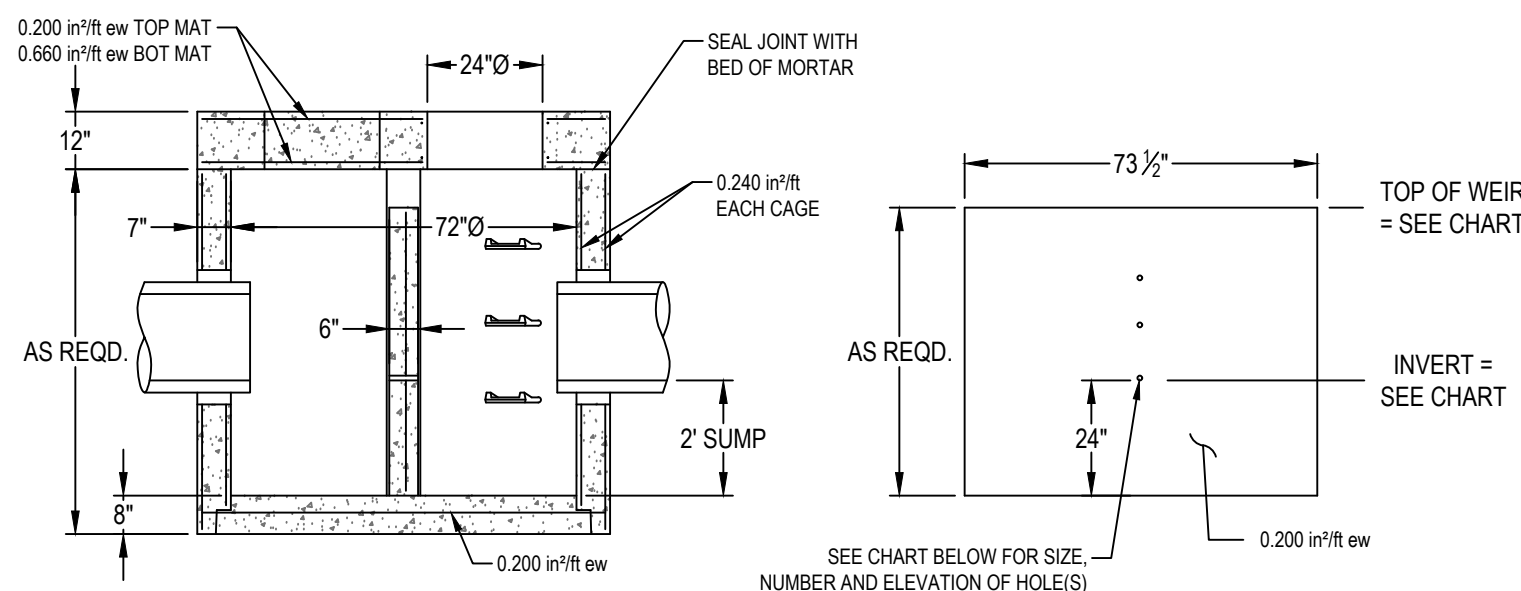


MANHOLE SECTIONS TO BE MANUFACTURED TO  
ASTM C-478 SPECIFICATIONS AND IN ACCORDANCE  
WITH NORTHERN CONCRETE PIPE, INC. (800.222.  
9918).

REINFORCING SHOWN FOR SCHEMATIC ONLY. ALL  
STEEL AREAS ARE MINIMUMS.

CONTRACTOR TO SEAL BETWEEN PRECAST WALL &  
BASE W/ BUTYL ROPE.

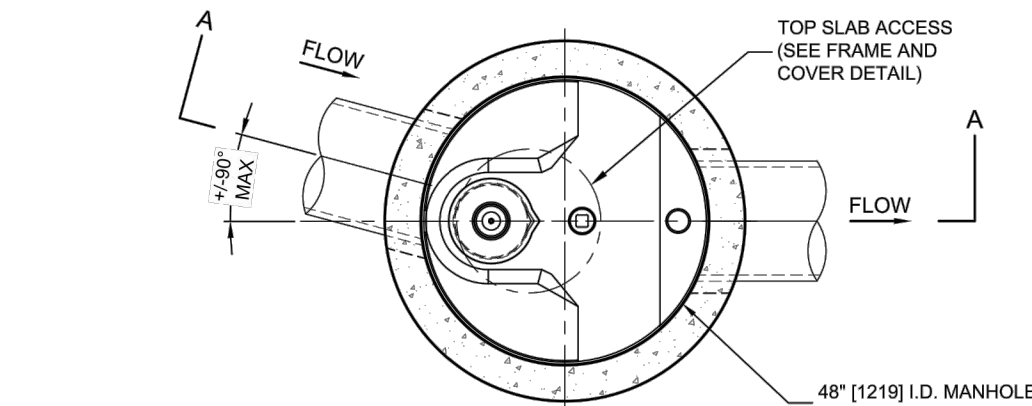
INLET & OUTLET PIPES SIZE VARIES.



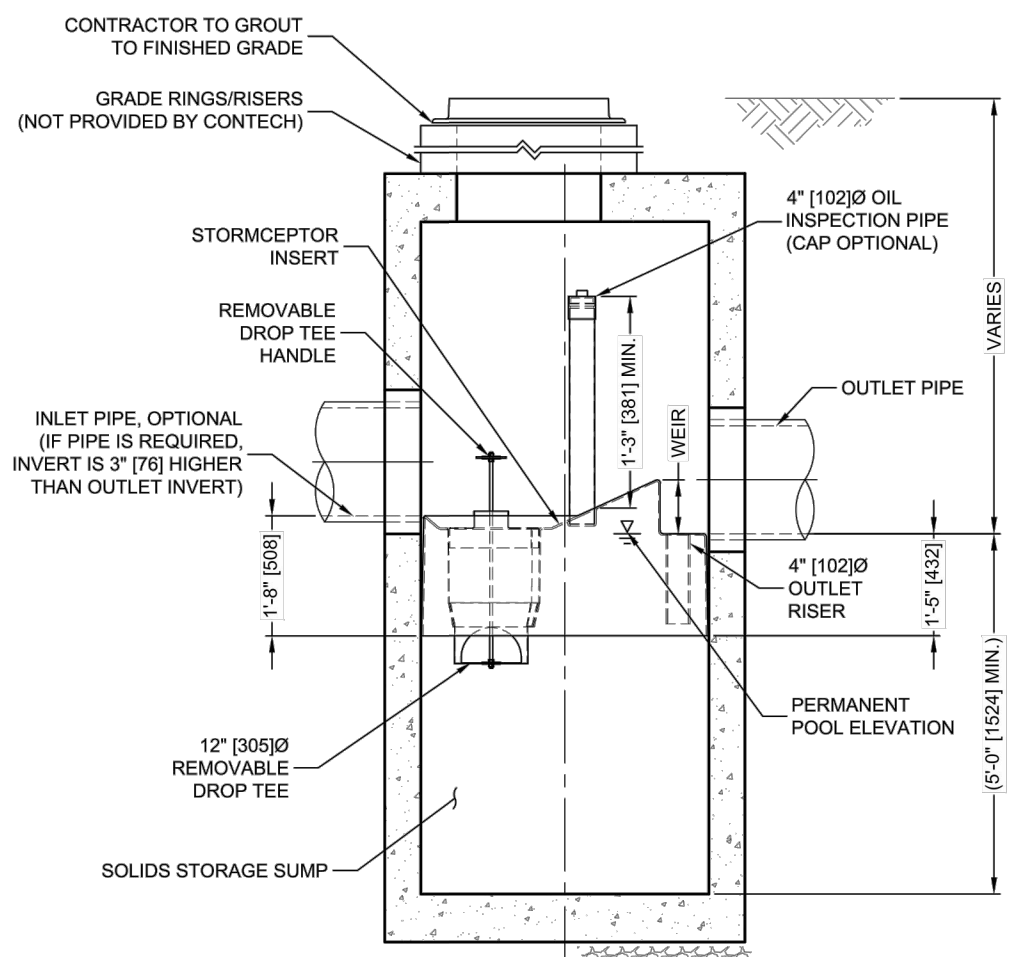
STR.	RIM	HOLE SIZE (INCHES)	NO. OF HOLES	ELEVATION OF HOLE (INVERT)	TOP OF WEIR
100	809.71	58"	1	799.25	808.50
		12"	1	799.80	
		7/16"	1	801.41	

**OUTLET CONTROL STRUCTURE DETAIL (STR#100)**

N.T.S.



PLAN VIEW  
TOP SLAB NOT SHOWN



SECTION A-A

**Stormceptor®**  
FOR FURTHER INFORMATION, GO TO [www.conteches.com](http://www.conteches.com)

**STORMCEPTOR DESIGN NOTES**

THE STANDARD STC450I CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

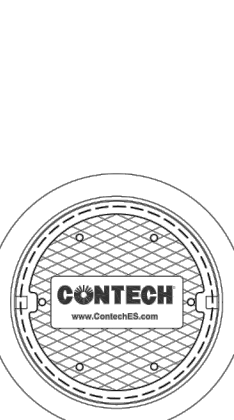
**CONFIGURATION DESCRIPTION**

GRATED INLET ONLY (NO INLET PIPE)

GRATED INLET WITH INLET PIPE OR PIPES

CURB INLET ONLY (NO INLET PIPE)

CURB INLET WITH INLET PIPE OR PIPES



**FRAME AND COVER**  
(MAY VARY)  
NOT TO SCALE

**FRAME AND GRATE**  
(MAY VARY)  
NOT TO SCALE

**GENERAL NOTES**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
  - STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STORMCEPTOR STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' @ 10', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.
  - STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
  - ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH®**  
ENGINEERED SOLUTIONS LLC  
[www.conteches.com](http://www.conteches.com)  
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45089  
800-338-1122 513-645-7000 513-645-7993 FAX

STC450I  
STORMCEPTOR  
STANDARD DETAIL



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**WATER QUALITY DEVICE DETAIL (STR#102)(OR APPROVED EQUAL)**

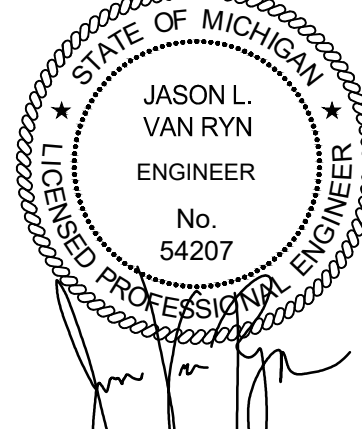
N.T.S.

**300 WEST HURON**

**Storm Water Management Details**

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
19500174

**SHEET NO:**

**C-402**

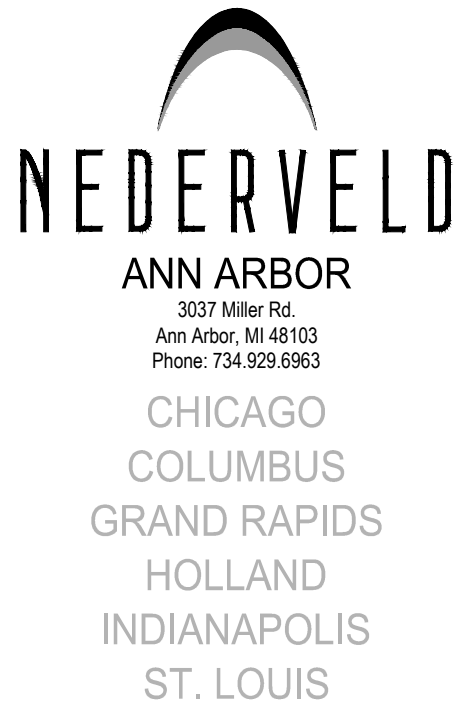




Know what's below.  
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
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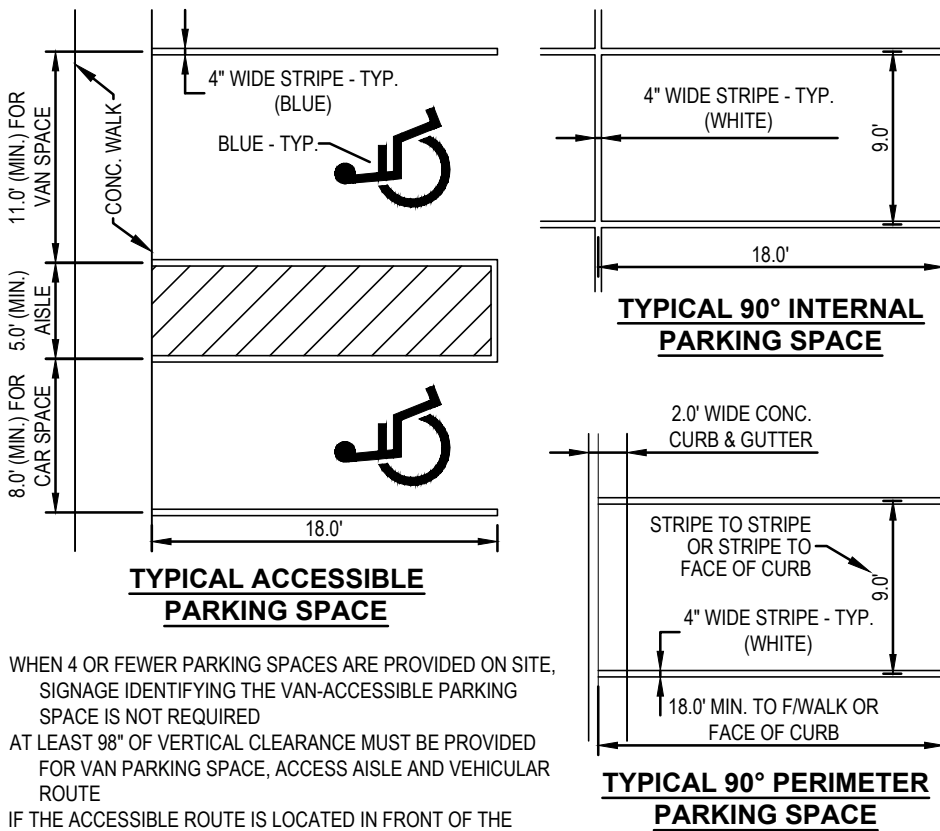
PREPARED FOR:

Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

REVISIONS:

Title: DESIGN REVIEW BOARD APPLICATION	Checked: JVR	Date: 2020.08.31
Drawn: BC	Checked: JVR	Date: 2020.08.31
Title: SITE PLAN SUBMITTAL	Checked: JVR	Date: 2020.11.25
Drawn: BC/TA	Checked: JVR	Date: 2020.11.25
Title: SITE PLAN RESUBMITTAL	Checked: JVR	Date: 2020.12.17
Drawn: BC/TA	Checked: JVR	Date: 2021.02.18
Title: SITE PLAN RESUBMITTAL	Checked: JVR	Date: 2021.02.18
Title: REVISED PER CITY/MCWRRC COMMENTS	Checked: JVR	Date: 2021.04.08
Drawn: BC/TA	Checked: JVR	Date: 2021.04.08
Title: REVISED PER CITY COMMENTS	Checked: JVR	Date: 2021.04.30
Drawn: BC	Checked: JVR	Date: 2021.04.30



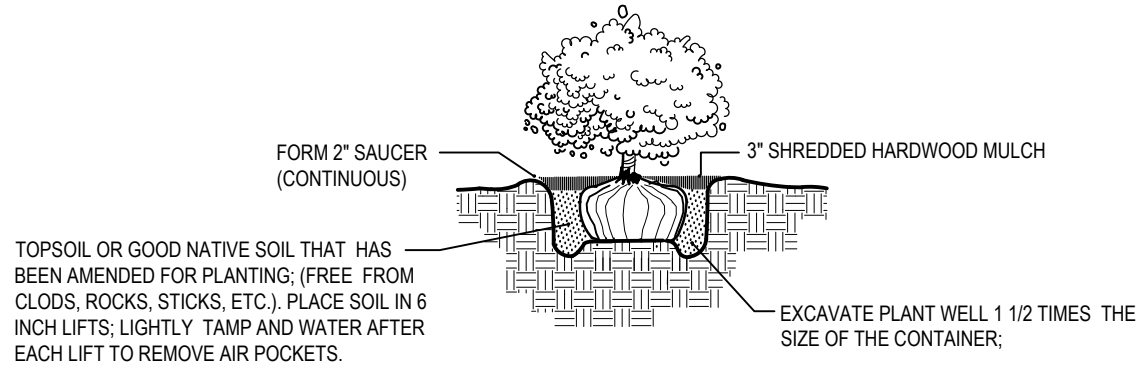
WHEN 4 OR FEWER PARKING SPACES ARE PROVIDED ON SITE, SIGNAGE IDENTIFYING THE VAN-ACCESSIBLE PARKING SPACE IS NOT REQUIRED. AT LEAST 8' OF VERTICAL CLEARANCE MUST BE PROVIDED FOR VAN PARKING SPACE, ACCESS AISLE AND VEHICULAR ROUTE.

IF THE ACCESSIBLE ROUTE IS LOCATED IN FRONT OF THE PARKING SPACE, INSTALL WHEEL STOPS TO KEEP VEHICLES FROM REDUCING THE CLEAR WIDTH OF THE ACCESSIBLE ROUTE BELOW 36" INCHES. PARKING SPACE AND AISLE TO HAVE A MAXIMUM SLOPE IN ALL DIRECTIONS <2%.

NOTE:  
APPLY TWO COATS OF VOC COMPLANT, M.D.O.T. APPROVED, UNDILUTED SOLVENT BASED, OR LATEX TRAFFIC PAINT TO ALL PAVEMENT MARKINGS. USE MANUFACTURERS RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF THINNER, WITH A MAXIMUM OF 100 SFT PER GALLON, OR MINIMUM 15 MILS WET FILM THICKNESS, AND 7.5 MILS DRY FILM THICKNESS PER COAT, WITH MINIMUM 30 DAYS BETWEEN APPLICATIONS. SECOND COAT MUST NOT BE APPLIED EARLIER THAN 7 DAYS BEFORE OCCUPANCY.

PAVEMENT MARKING DETAILS

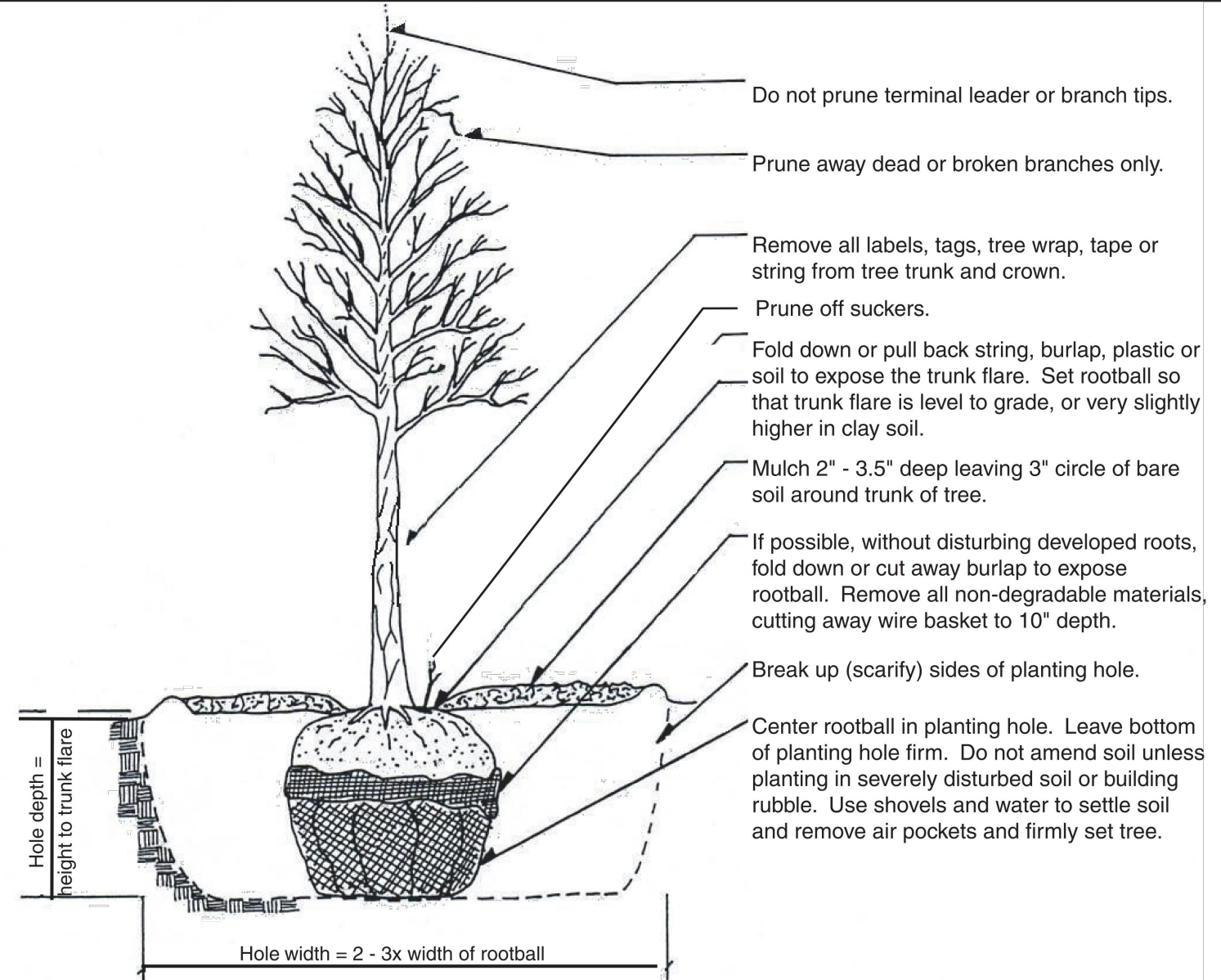
N.T.S.



TOPSOIL OR GOOD NATIVE SOIL THAT HAS BEEN AMENDED FOR PLANTING, (FREE FROM CLODS, ROCKS, STICKS, ETC.), PLACE SOIL IN 6 INCH LIFTS, LIGHTLY TAMP AND WATER AFTER EACH LIFT TO REMOVE AIR POCKETS.

TYPICAL SHRUB / PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

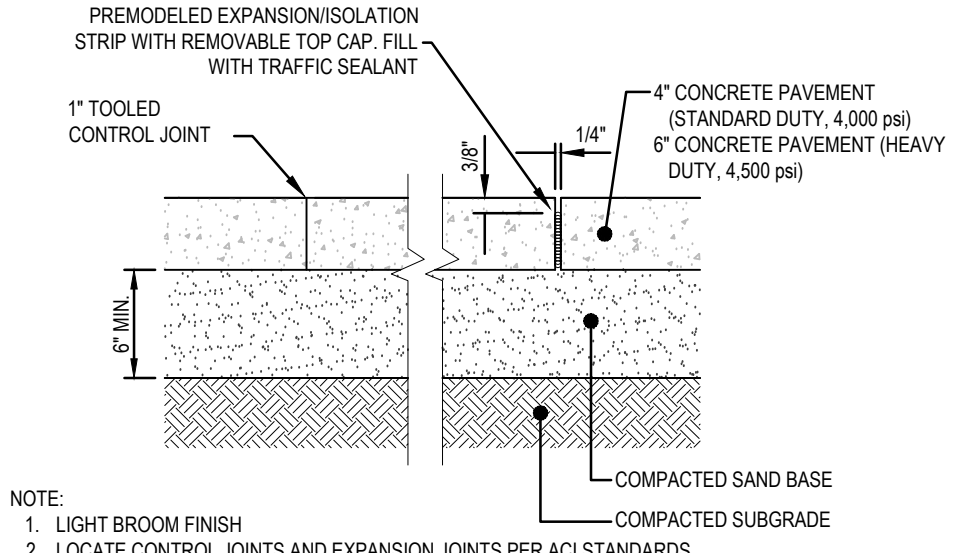


Do not stake unless in heavy clay soil, windy conditions, 3" or greater diameter tree trunk or large crown. If staking is needed due to these conditions:

- Stake with 2 x 2 hardwood stakes, or approved equal, driven 6' - 8' outside of rootball.
- Loosely stake tree trunk to allow for trunk flexing.
- Stake trees just below first branch with 2" - 3" wide belt-like, nylon or plastic straps (2 per tree on opposite sides of tree, connect from tree to stake horizontally. Do not use rope or wire through a hose.)
- Remove all staking materials after 1 year.

TREE PLANTING DETAIL

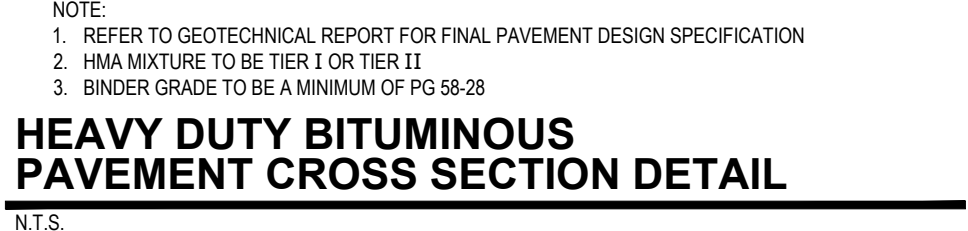
Original: Dr. Bonnie Appleton, Virginia Polytechnic Institute and State University, modified by the Michigan Department of Natural Resources, Forest Management Division, and the City of Ann Arbor.



1. LIGHT BROOM FINISH
2. LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
3. PANEL SIZE SHALL NOT EXCEED 8 FEET
4. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1.25X THE WIDTH
5. 10MIL CYD. FIBER REINFORCEMENT
6. AIR ENTRAINMENT - 6% ± 1%
7. SLUMP 4"±1"

CONCRETE PAVEMENT DETAIL

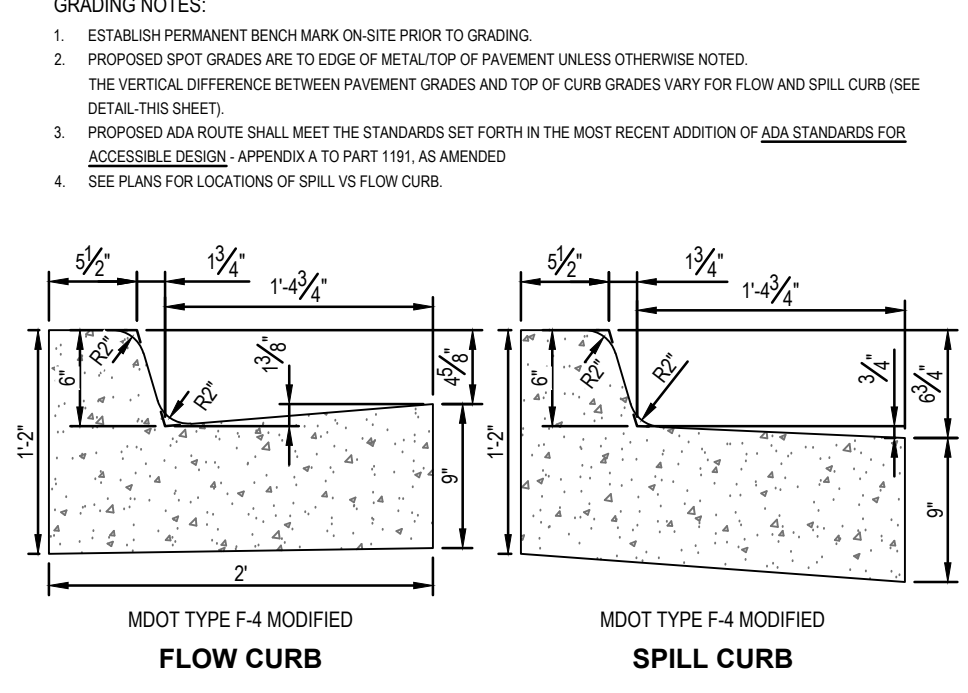
N.T.S.



1. REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
2. HMA MIXTURE TO BE TIER I OR TIER II
3. BINDER GRADE TO BE A MINIMUM OF PG 58-28

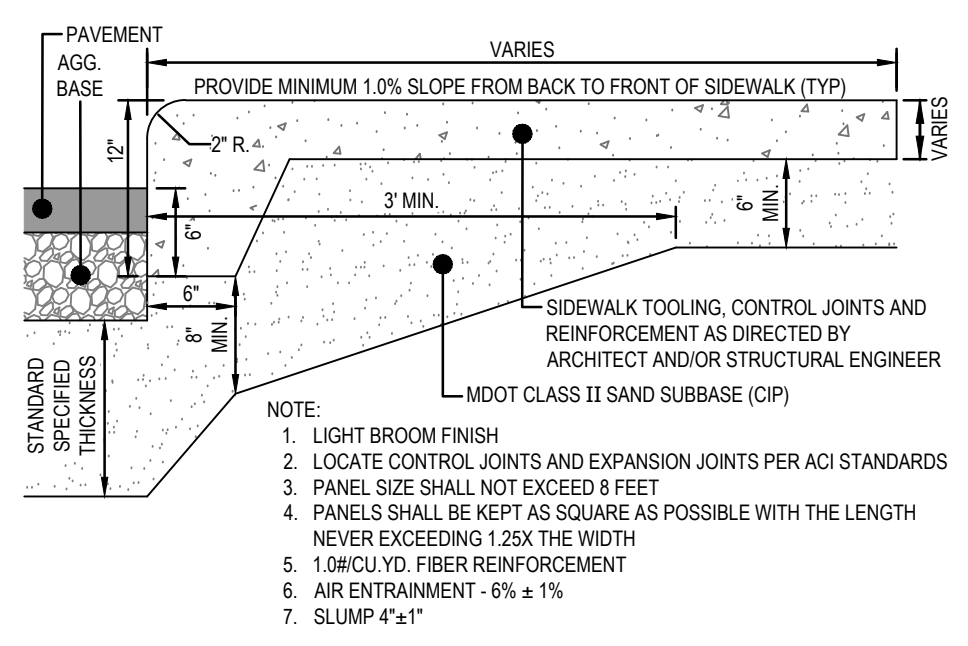
HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL

N.T.S.



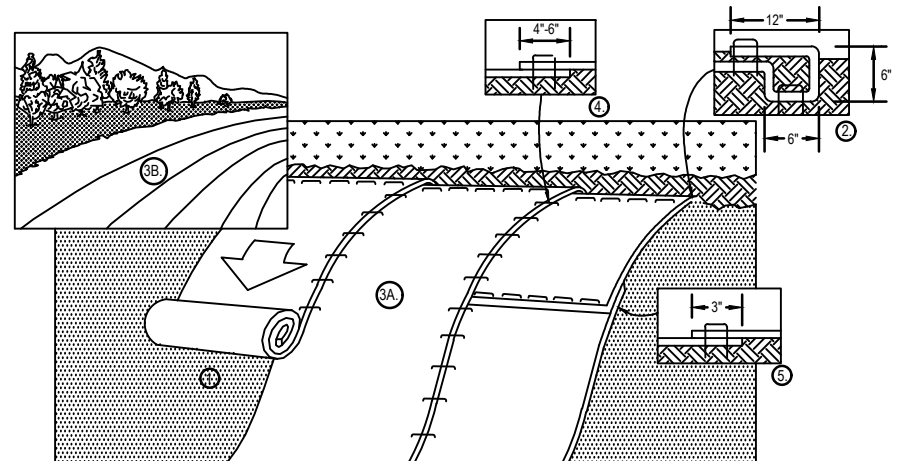
24" CONCRETE CURB AND GUTTER DETAIL

N.T.S.



INTEGRAL CURB AND WALK DETAIL

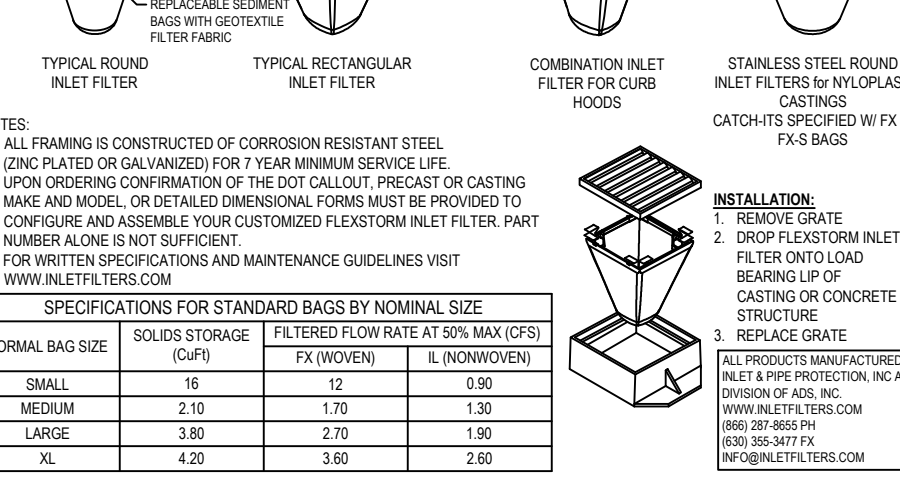
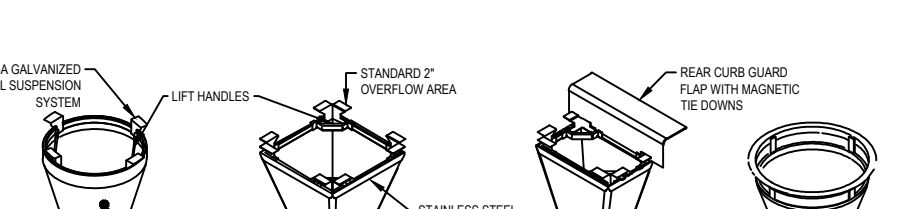
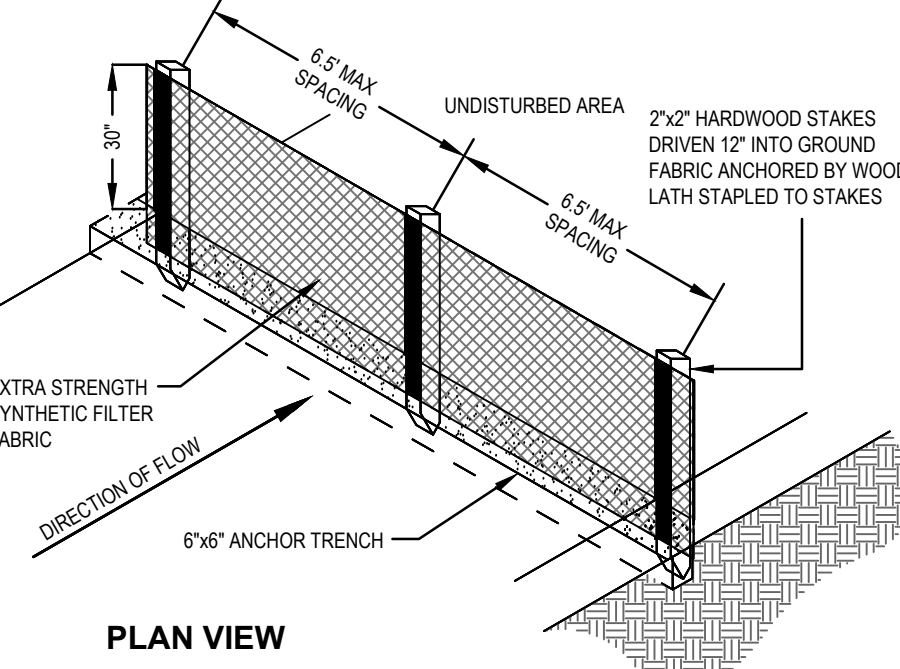
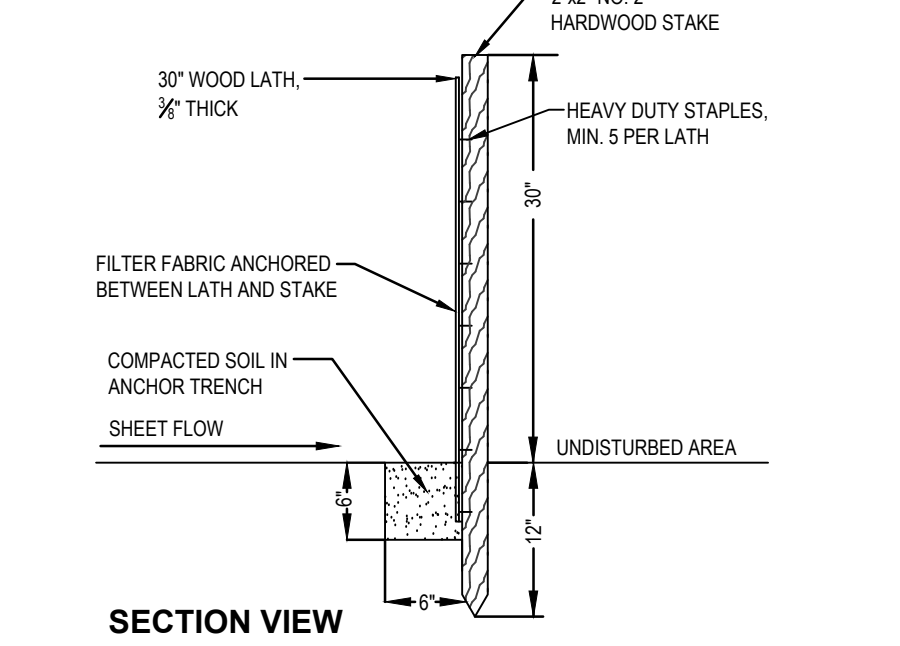
N.T.S.



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FILL REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURERS RECOMMENDATION.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 4" OF OVERLAP DEPENDING ON BLANKET TYPE TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM EDGES ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPliced DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROPRIATE OVERLAP. STAPLES THROUGH OVERLAP AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
7. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR NAILS LONGER GREATER THAN 4" IF NECESSARY TO PROPERLY SECURE THE BLANKETS.
8. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION

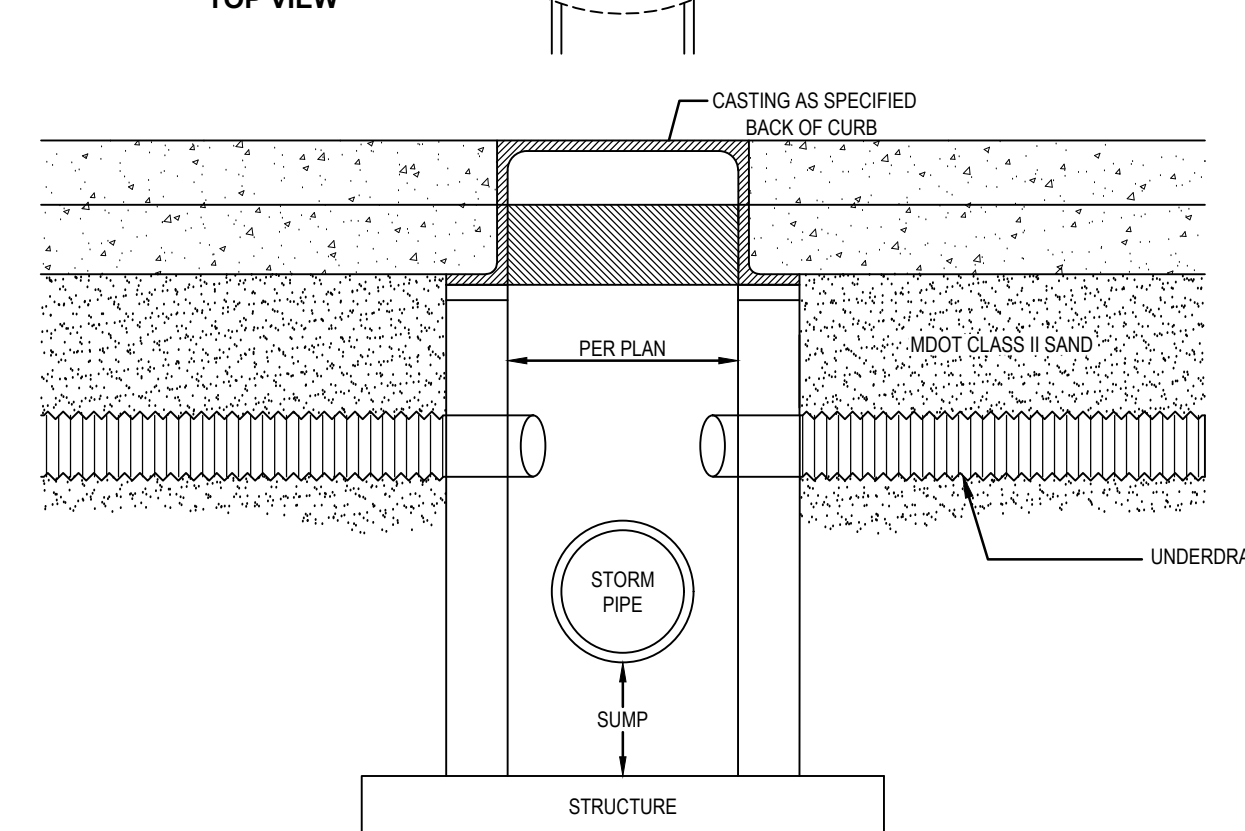
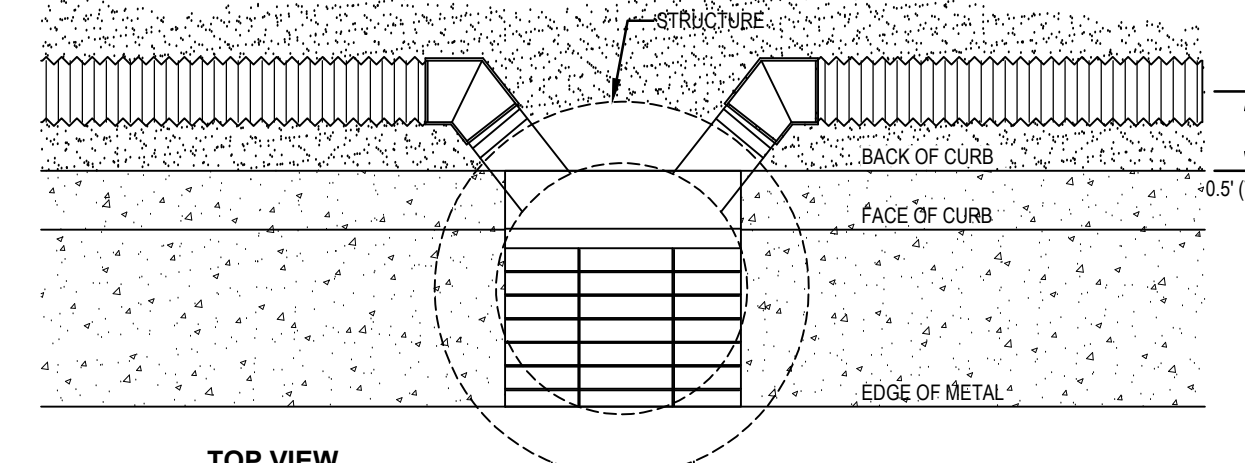
EROSION CONTROL BLANKET DETAIL

N.T.S.



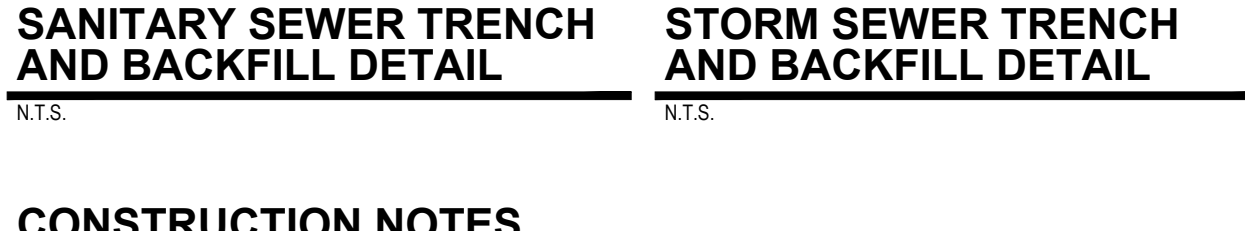
CONSTRUCTION NOTES

N.T.S.



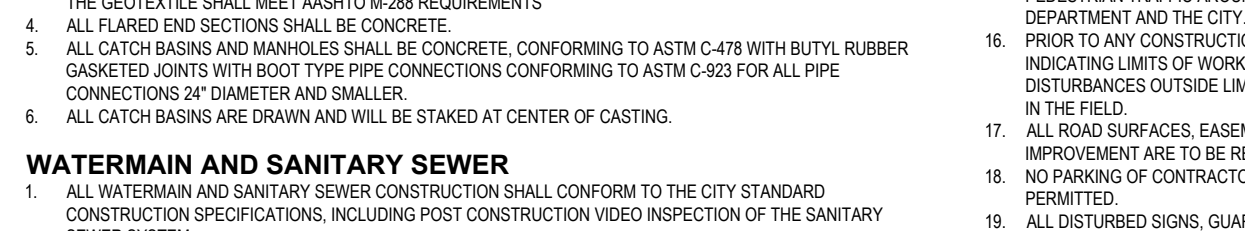
UNDER DRAIN AT CURB DETAIL

N.T.S.



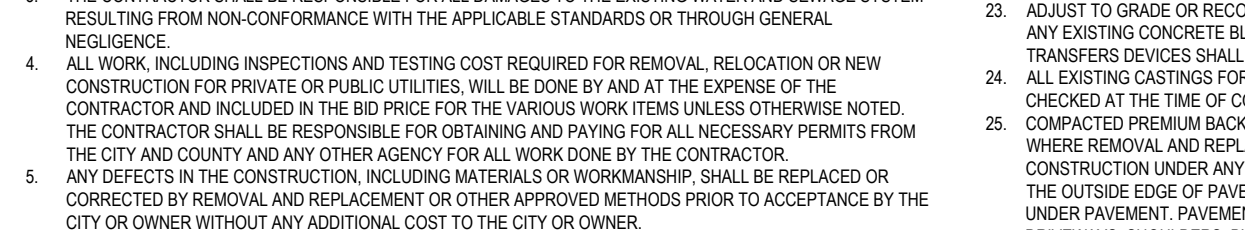
SANITARY SEWER TRENCH AND BACKFILL DETAIL

N.T.S.



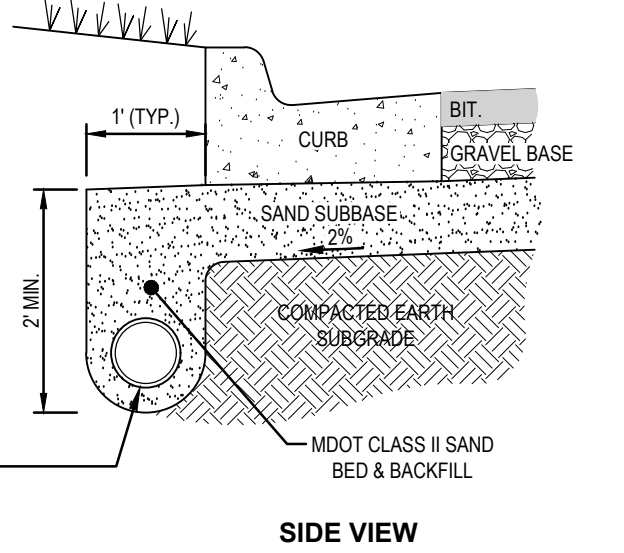
STORM SEWER TRENCH AND BACKFILL DETAIL

N.T.S.



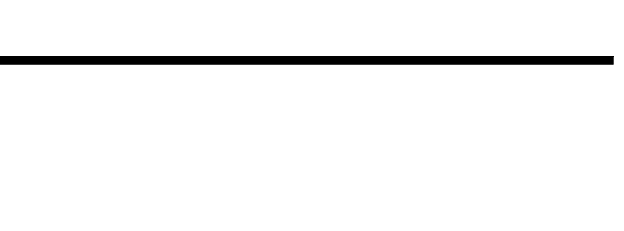
WATER MAIN TRENCH AND BACKFILL DETAIL

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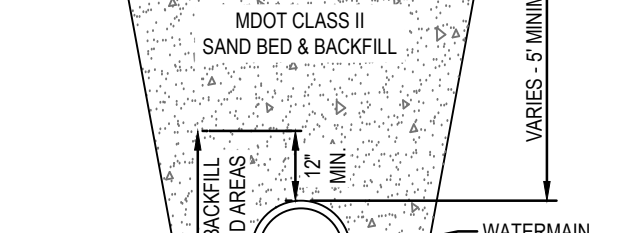
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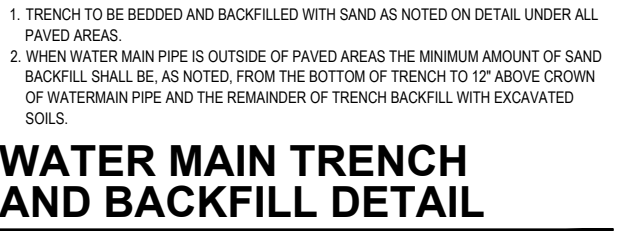
CONSTRUCTION NOTES

N.T.S.



CONSTRUCTION NOTES

N.T.S.



CONSTRUCTION NOTES

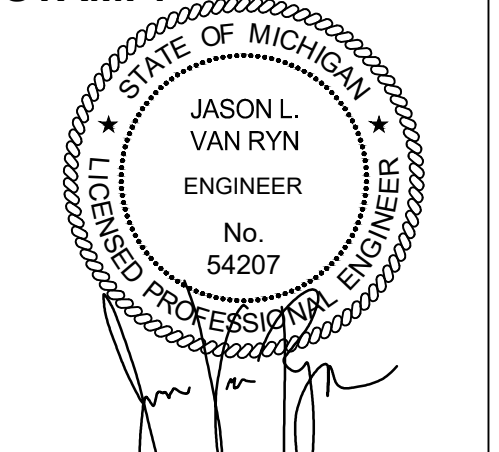
N.T.S.

300 WEST HURON

Details & Specifications

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103  
PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:

19500174

SHEET NO:

C-500



Hawkeye Hotels  
Samir Patel

2706 James Street  
Coralville, IA 52241  
Phone: 319.752.7400

Title: DESIGN REVIEW BOARD APPLICATION		
Drawn: BC	Checked: JVR	Date: 2020.08.3
Title: SITE PLAN SUBMITTAL		
Drawn: BC/TA	Checked: JVR	Date: 2020.11.2
Title: SITE PLAN RESUBMITTAL		
Drawn: BC/TA	Checked: JVR	Date: 2020.12.1
Title: SITE PLAN RESUBMITTAL		
Drawn: BC/TA	Checked: JVR	Date: 2021.02.1
Title: REVISED PER CITY/CWCRC COMMENTS		
Drawn: BC/TA	Checked: JVR	Date: 2021.04.0
Title: REVISED PER CITY COMMENTS		
Drawn: BC	Checked: JVR	Date: 2021.04.3

[illegible]

# 300 WEST HURON

## Details & Specifications

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103

PART OF BLOCK 1 NORTH, R1E, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR  
CITY OF ANN ARBOR WASHTENAW COUNTY MICHIGAN

PROJECT NO:  
19500174

# C-501



Disclaimer: This drawing has been prepared by ReCon Wall Systems, Inc. and to the best of its knowledge, accurately represents the product use in the application that it is illustrated. This drawing is intended for conceptual purposes only. Anyone making use of this drawing does so at their own risk and assumes all liability for such use. Final design for construction purposes must be completed by a Registered Professional Engineer who is familiar with the product and who has taken into account specific site conditions.

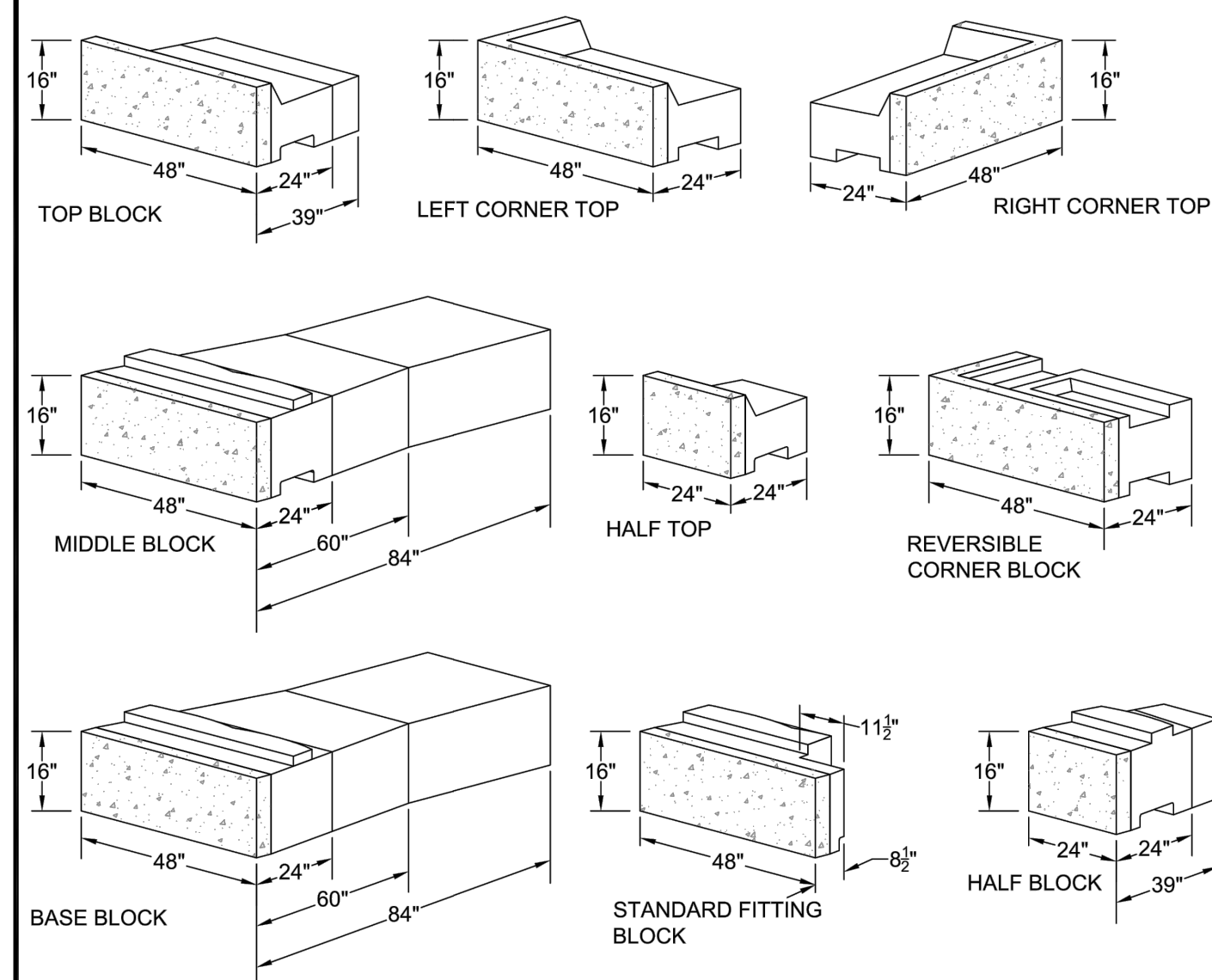


### RAILING/FENCE POST TO BLOCK CONNECTION DETAILS

RECON WALL SYSTEMS, INC.  
7600 W. 27th STREET, #229  
ST. LOUIS PARK, MN 55426  
952-922-0027

DRAWING #401

- NOTES:
1. OWNER APPROVAL IS REQUIRED REGARDING TYPE, FINISH AND COLOR OF WALL
  2. FINAL WALL SYSTEM SHALL BE DESIGNED AND CONSTRUCTED BY THE SITE CONTRACTOR
  3. CONTRACTOR TO SUBMIT WALL AND FENCE DESIGN SHOP DRAWINGS TO THE OWNER AND SITE ENGINEER FOR REVIEW



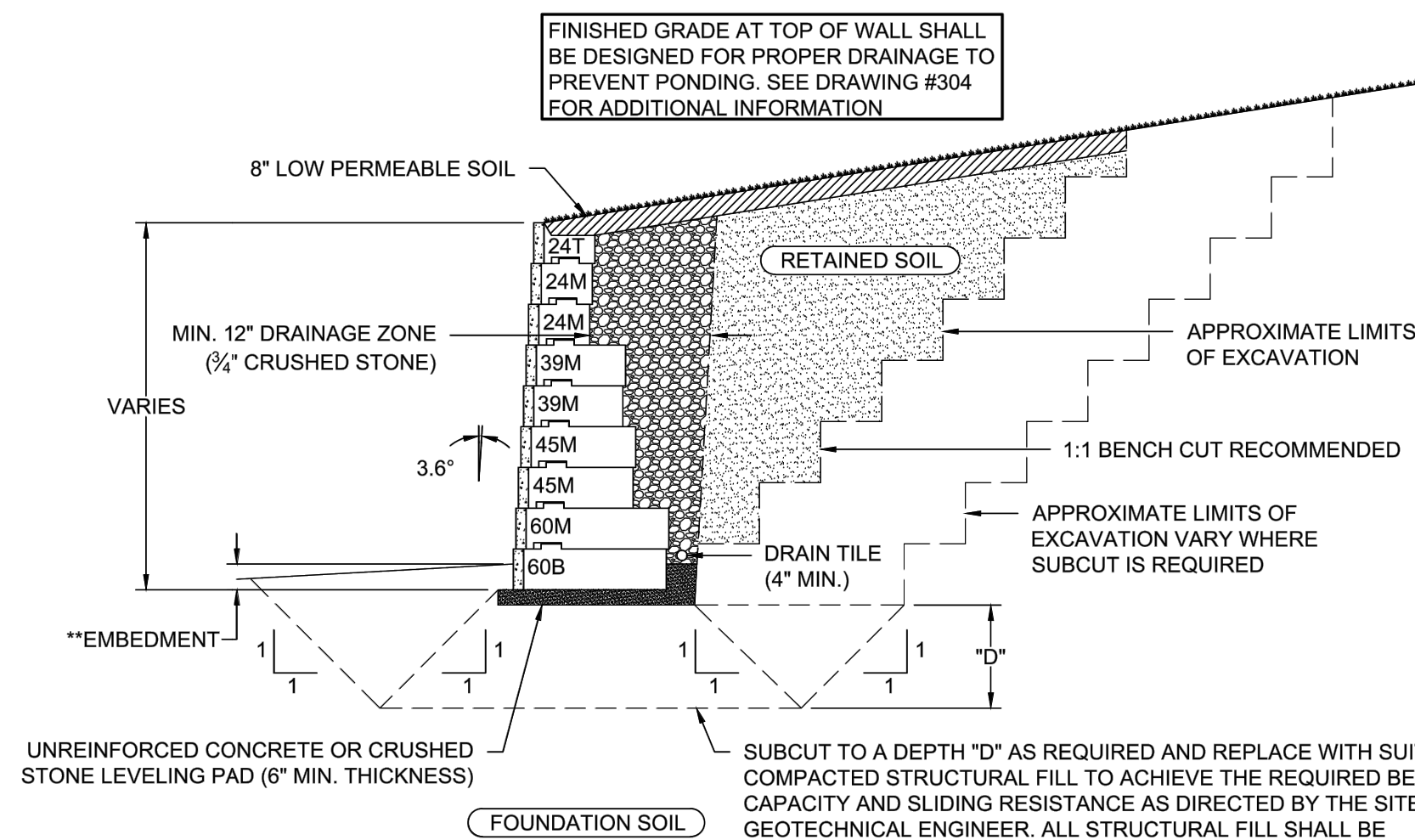
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## RECON BLOCK TYPES

**RECON WALL SYSTEMS, INC.**  
7600 W. 27th STREET, #229  
ST. LOUIS PARK, MN 55426  
952-922-0027  
[www.reconwalls.com](http://www.reconwalls.com)



\*\*\*EMBEDMENT SHOULD BE THE GREATER OF 6" OR H/20 FOR WALLS WITH LEVEL GRADE AT THE TOE. REFER TO RECON'S EMBEDMENT RECOMMENDATION DOCUMENT FOR ADDITIONAL INFORMATION FOR WALLS WITH A TOE SLOPE CONDITION.

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### TYPICAL GRAVITY WALL CROSS SECTION

**RECON WALL SYSTEMS, INC.**  
7600 W. 27th STREET, #229  
ST. LOUIS PARK, MN 55426  
952-922-0027  
[www.reconwalls.com](http://www.reconwalls.com)

## NTS.



Statistics							
Description	Symbol	Avg	Max	Max/Min	Avg/Min	Avg/Max	Min
North driveway	✖	40.0 fc	63.0 fc	4.2:1	2.7:1	0.6:1	14.9 fc
Rear Parking	✖	0.8 fc	3.1 fc	15.5:1	4.0:1	0.3:1	0.2 fc
Site	+	7.7 fc	63.0 fc	N/A	N/A	0.1:1	0.0 fc
West driveway	✖	44.0 fc	60.3 fc	2.3:1	1.7:1	0.7:1	26.0 fc

Schedule							
Symbol	Label	QTY	Catalog Number	Description	Lamp	Lumens per Lamp	Wattage
○	A	11	LIAM-120_277-CSL-S40-40K-CRI 80-2	Lumenicon Medium	LED	3545	31
○	B	1	LIAM-120_277-CSL-M80-40K-CRI 80-4 BLS	Lumenicon Medium	LED	3613	64
⏏	C	33	CLX L48 3000LM SEF FDL MVOLT GZ10 40K 80CRI	CLX LED Linear 48" 3,000 lumens, Standard Efficiency, Less louver, Flat diffuse lens, General distribution, MVOLT, 0-10V dimming, 4000 CCT, 80 CRI	LED	2813	20.32
⏏	D	22	CLX L96 6000LM SEF FDL MVOLT GZ10 40K 80CRI	CLX LED Linear 96" 6,000 lumens, Standard Efficiency, Less louver, Flat diffuse Lens, General distribution, MVOLT, 0-10V dimming, 4000 CCT, 80 CRI	LED	5535	38.15
⏏	E	23	CLX L24 1500LM SEF FDL MVOLT GZ10 40K 80CRI	CLX LED Linear 24" 1,500 lumens, Standard Efficiency, Less louver, flat diffuse lens, General distribution, MVOLT, 0-10V dimming, 4000 CCT, 80 CRI		1395	10.85

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0'-0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

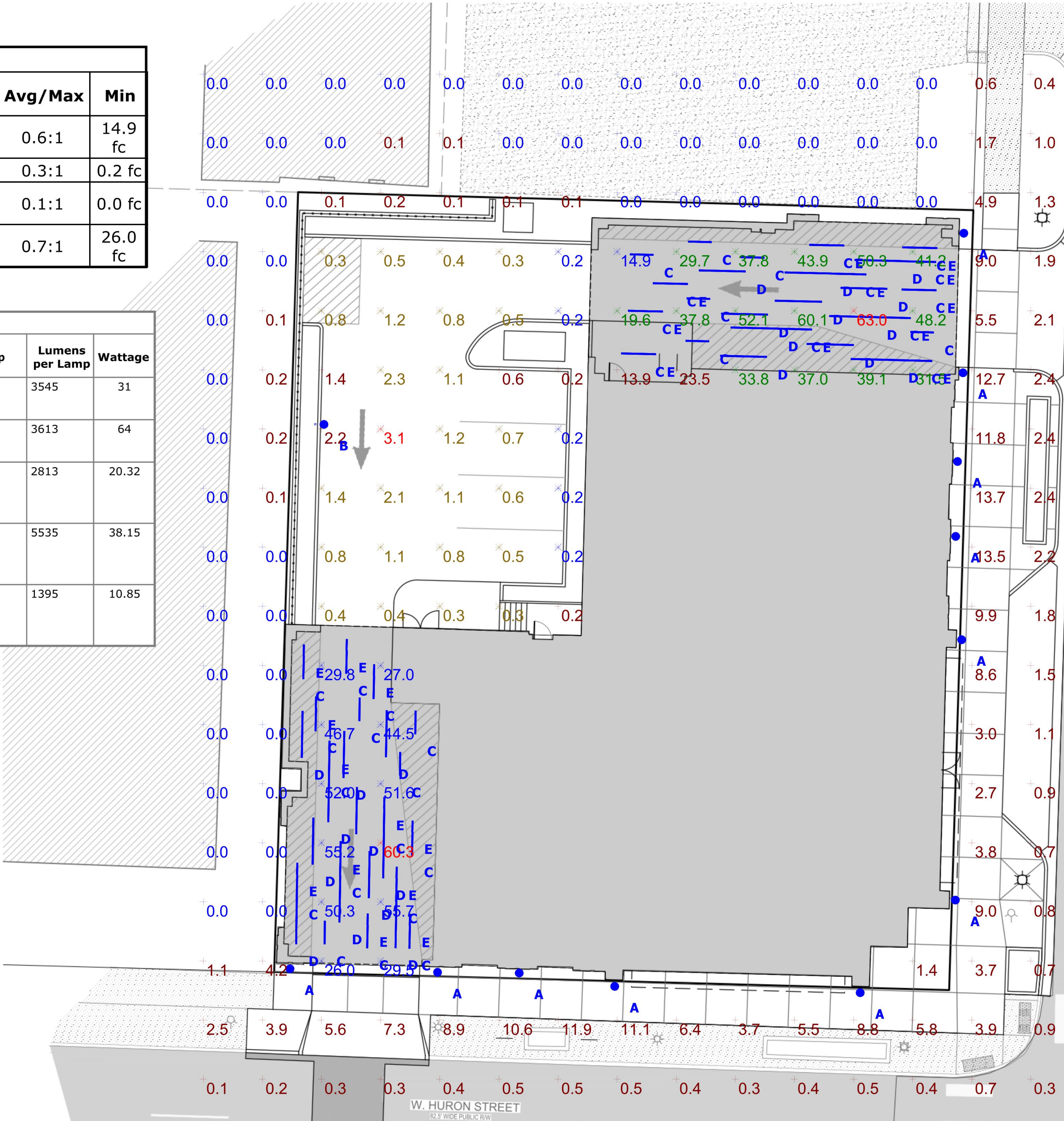
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



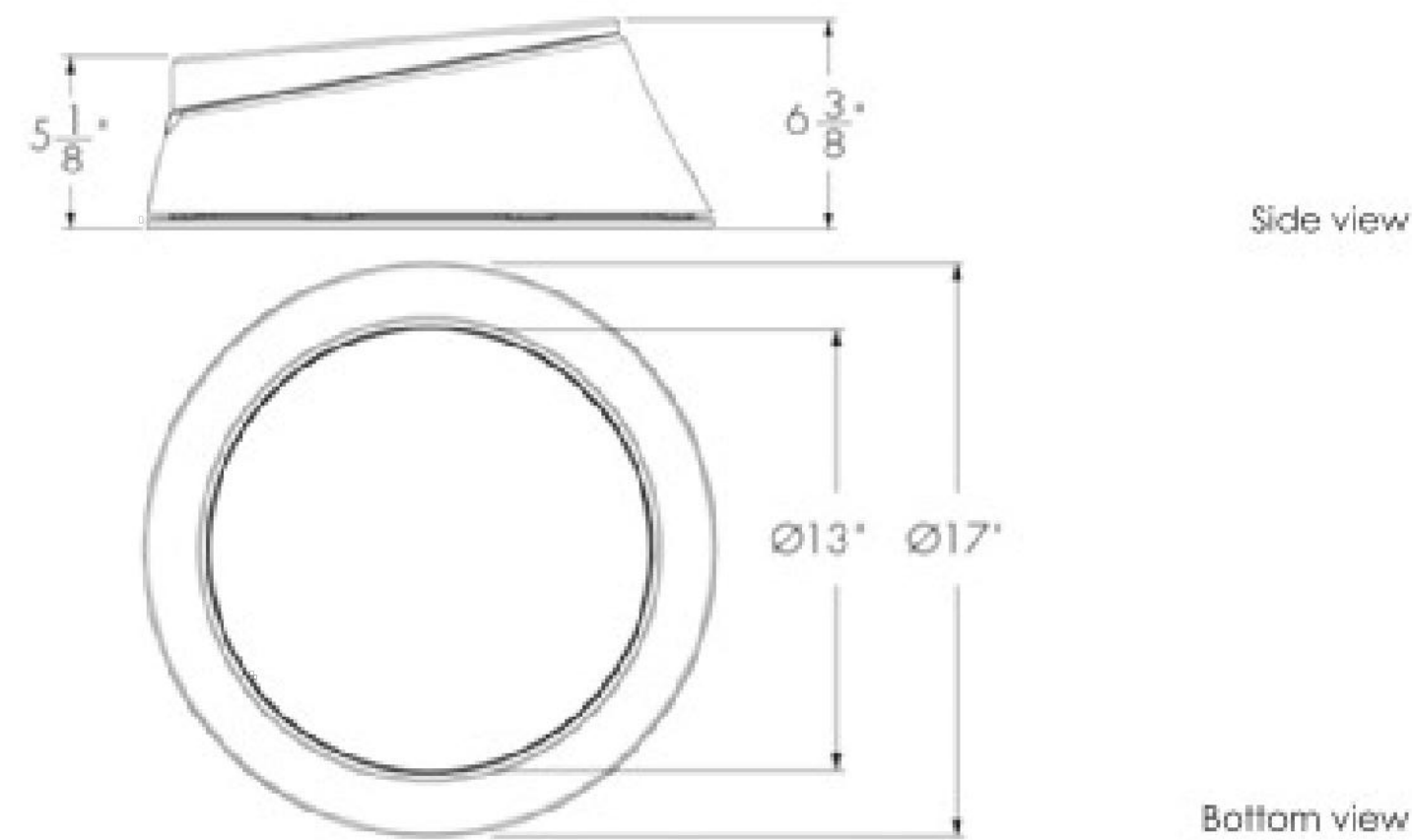


Specification Sheet

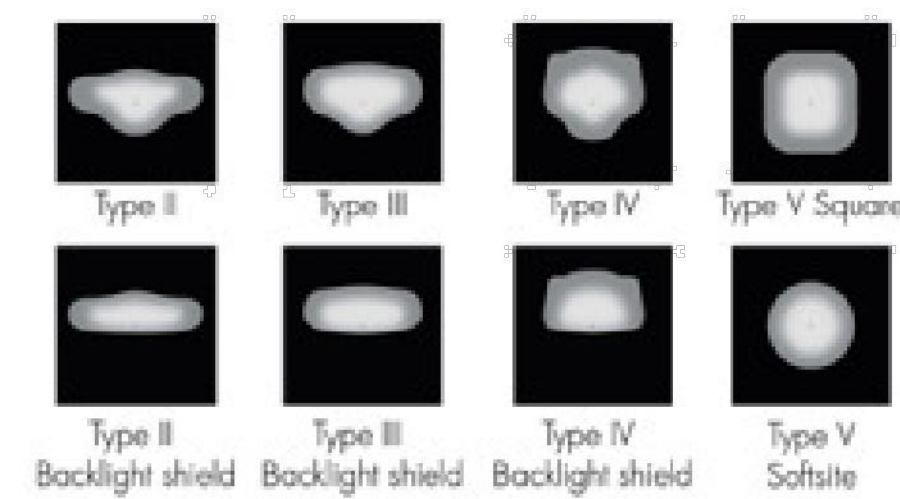
lumenicon  
Area Medium  
LIAM

Project Name \_\_\_\_\_ Qty \_\_\_\_\_

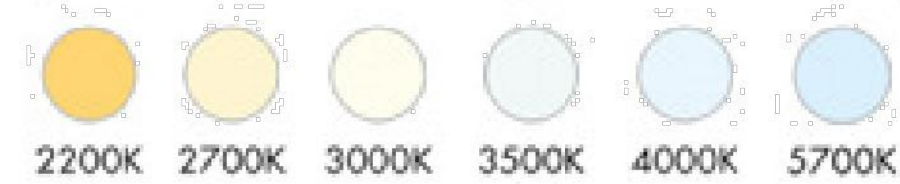
Type \_\_\_\_\_ Catalog / Part Number \_\_\_\_\_



Distributions



Colors and Color Temperatures



Control

ON/OFF 0-10V

Rating

IP66 (optical chamber)

Certifications



Description

The Lumenicon Area Medium creates a consistent aesthetic while illuminating city streets, local roads, residential streets, parking lots and laneways. An innovative, toolless opening system makes the plug-and-play components easy to access. IP66 rated with phenomenal heat dissipation; the Lumenicon Area Medium is ready to take it to the streets (or parking lots, or building sides, or onramps, or...).

Features

Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, 5700K
Distributions	Type II, Type III or Type IV (with or without backlight shield), Type 5 square and Type V Softsite
3G Vibration Rated	Meets 3G ANSI C136.31-2010 vibration standard for bridge applications
Options	Corrosion-resistant coating for hostile environments, Surge protector, 5 pins and 7 pins receptacles with and without shorting cap
Warranty	5-year limited warranty

Performance

Output (nominal lumens)	Minimum 3000lm / Maximum 20000lm
Color Rendering	3 SDCM at CRI 70+ and 2 SDCM at CRI 80+
Lumen Maintenance	TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)
Dark sky	Dark sky compliant (2200K, 2700K and 3000K color temperatures, BUG rating of U0)

Physical

Housing Material	Die cast low copper 360 aluminum alloy
Lens material	Optical tempered clear glass (Clearsite lens), Optical tempered opal glass (Softsite lens)

lumenpulse™ 1220 Marie-Victorin Blvd., Longueuil, QC J4G 2H9 CA info@lumenpulse.com www.lumenpulse.com T 514.937.3003 F 514.937.6289

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FEATURES & SPECIFICATIONS

**INTENDED USE** — The CLX is a linear lighting solution that is available in multiple lengths, lumen packages and distributions. Designed for versatility, the CLX can address virtually any indoor lighting need. The CLX is also offered in standard and high efficacy configurations and capable of being continuous row mounted or installed as a stand-alone fixture. Ideal for uplight and downlight in commercial, retail, manufacturing, warehouse, and display applications. **Certain airborne contaminants can diminish the integrity of acrylic and/or polycarbonate.** [Click here for Acrylic-Polycarbonate Compatibility table for suitable uses.](#)

**CONSTRUCTION** — Channel and cover are formed from code-gauge cold-rolled steel. Housing and lens endcaps are injection molded plastic to provide a more architectural look and feel. The endcaps come standard with a 7/8" knock out for continuous mounting but can be ordered without.

Finish: Paint options include high-gloss, baked white polyester (WH), galvanized (GALV), matte black (MB) and smoke gray (SKGY). Five-stage iron phosphate pre-treatment ensures superior paint adhesion and rust resistance.

**OPTICS** — Offered with acrylic lens and less lens configurations. Provides a choice of optical distributions including, wide, narrow, and aisle.

**ELECTRICAL** — Utilizes high-output LEDs integrated on a two-layer circuit board, ensuring cool-running operation. Optional internal pluggable wiring harness for reduced labor cost in row mounting applications. (See PLR ordering information on page 14.) Electronic LED driver is multi-volt input and 0-10V dimming standard (see Operational Data on page 12 for actual wattage consumption). This fixture is designed to withstand a maximum line surge of 2.5kV at 0.75kA combination wave for indoor locations, for applications requiring higher level of protection additional surge protection must be provided.

L70>100,000 hours at 25°C.  
LEDs provide nominal 80 CRI or 90CRI at 3000 K, 3500 K,4000 K, or 5000 K.  
Lumen output up to 2,500 lumens per foot.

**INSTALLATION** — Fixture may be ceiling or wall mounted (with or without THCLX hanger or angle mounted with CLXANGBRT), pendant or stem mounted with appropriate mounting options.

**WARNING** — Removing the lens and opening the fixture during installation exposes the LEDs, putting them at risk for damage.

If you plan to surface mount the fixture, we recommend using the THCLX. This eliminates the need to open the fixture.

If you plan to continuous row mount, we recommend using the PLR wiring harness option. This eliminates the need to open the fixture.

Damage to the LEDs caused during installation will not be covered under the warranty.

**LISTINGS** — CSA certified to US and Canadian safety standards. For use in damp locations between -4°F (-20°C) and 104°F (40°C). Optional High Ambient (HA) ranging to 122°F(50°C) available on certain lumen packages (See ambient temperature chart for additional information). DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](#) to confirm which versions are qualified.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](#)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Stock configurations are offered for shorter lead times:

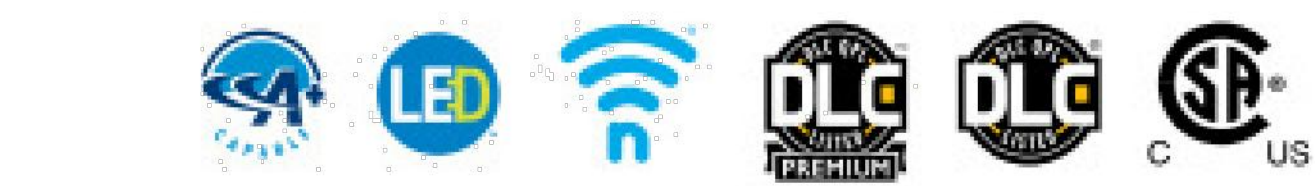
Stock Part Number	UPC	DLC QPL Product ID	DLC Premium
CLX L48 3000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525816	PJANKZR4	Yes
CLX L48 3000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525885	PKW32VKL	Yes
CLX L48 5000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525939	P771BZ20	Yes
CLX L48 5000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525908	P8A42CIH	Yes
CLX L96 6000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525861	PPFTGRBV	Yes
CLX L96 6000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525915	PW6250TE	Yes
CLX L96 10000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525922	PYKOC7EW	Yes
CLX L96 10000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525830	PKYPL3SK	Yes
CLX L48 3000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525960	PJANKZR4	Yes
CLX L48 3000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525892	PKW32VKL	Yes
CLX L48 5000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525854	P771BZ20	Yes
CLX L48 5000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525946	P8A42CIH	Yes
CLX L96 6000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525878	PPFTGRBV	Yes
CLX L96 6000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525823	PD05SIAD	Yes
CLX L96 10000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525953	PYKOC7EW	Yes
CLX L96 10000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525847	PKYPL3SK	Yes

Catalog Number
Notes
Type

LED Linear

CLX

24", 36", 48" and 96" Lengths



**A+ Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® or XPoint™ Wireless control networks marked by a shaded background\*

To learn more about A+, visit [www.acuitybrands.com/aplus](#).

\*See ordering tree for details



FAIRFIELD INN AND SUITES  
SITE PHOTOMETRIC PLAN  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM





BUILDING C, SUITE 250  
ATLANTA, GA 30328  
TELEPHONE: 678-506-8830  
DYNAMIKDESIGN.COM

SEAL:

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CORALVILLE, IA 52241

Fairfield  
BY MARRIOTT[illegible]

SHEET NUMBER:

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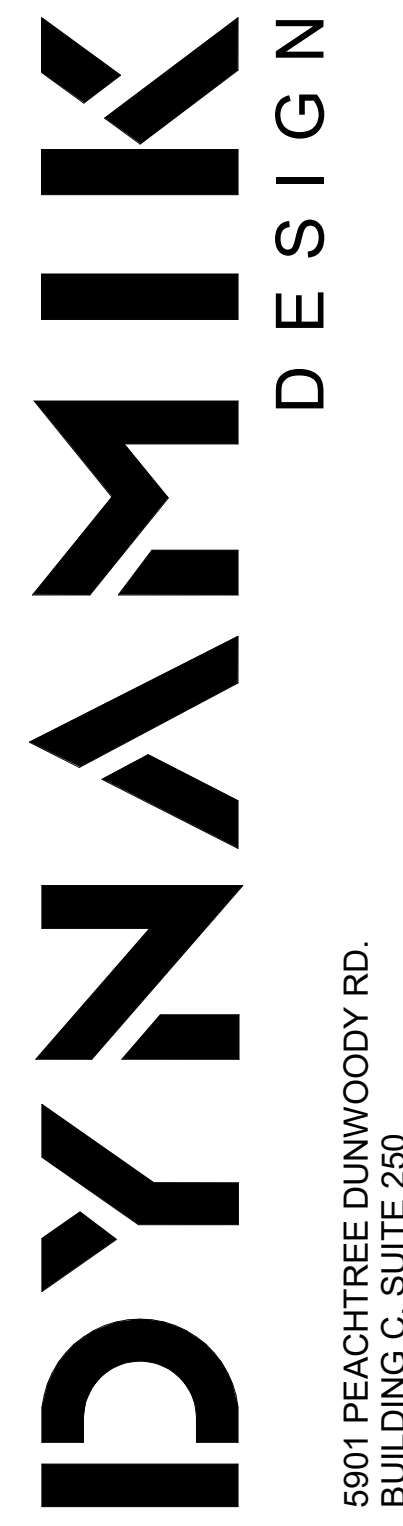
\*\* ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY





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[illegible]

**TITLE:**

## ARCHITECTURAL RENDERINGS

SHEET NUMBER:

AR-03

OVERALL CORNER VIEW AT INTERSECTION OF NORTH 1ST STREET AND WEST HURON STREET

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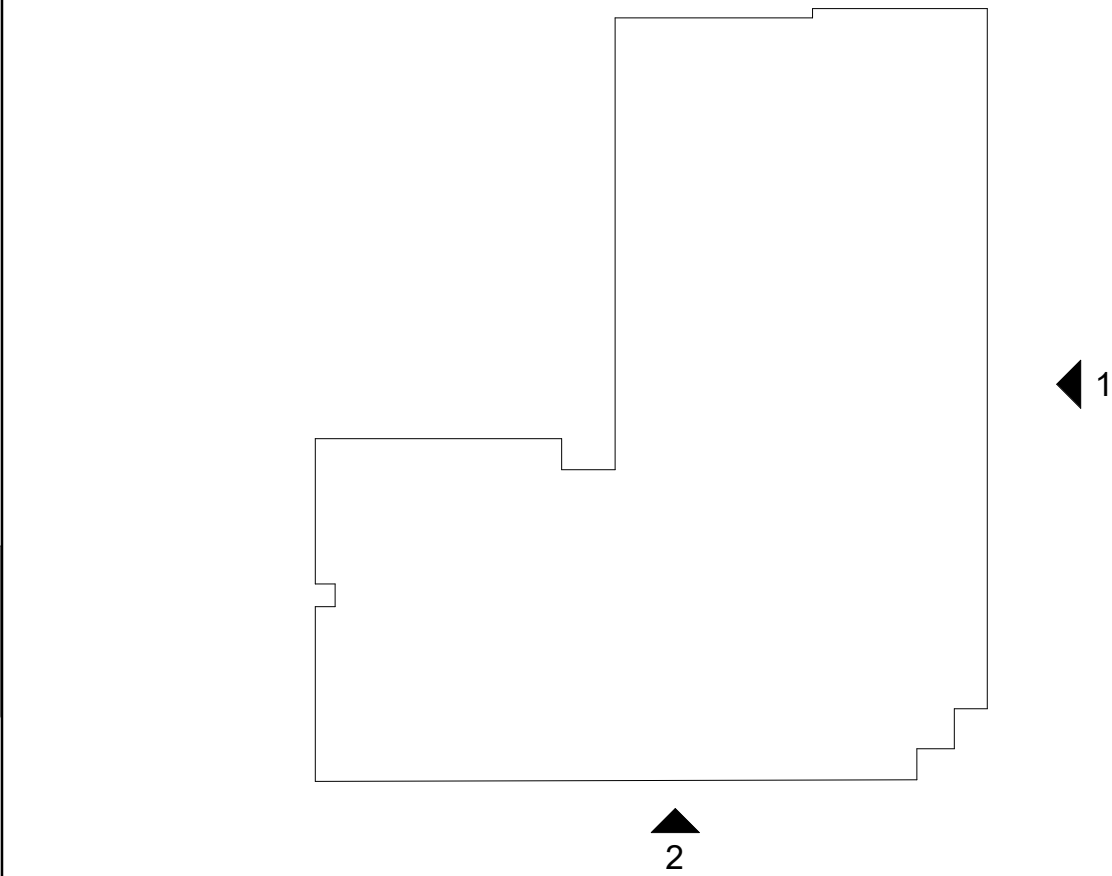






EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
DIVISION 04			
BR-1	BRICK VENEER	MEREDIAN BRICK	DOMINO IRONSPOT
BR-2	BRICK VENEER	MEREDIAN BRICK	DOMINO IRONSPOT
DIVISION 07			
CP-1	CEMENTITIOUS PANEL	ALLURA OR EQ.	SMOOTH VERTICAL PANEL/SNOW
CP-2	CEMENTITIOUS PANEL	ALLURA OR EQ.	SMOOTH VERTICAL PANEL/KNIGHTS ARMOR
MC-1	METAL COPING	SEE SPECIFICATIONS	BLACK FOX
MP-1	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	DG SILVER
MP-2	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CHARCOAL
MP-3	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CADET GREY
MP-4	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CLASSIC WHITE
DIVISION 08			
AL-1	ALUMINUM WINDOW WALL	SEE SPECIFICATIONS	KYNAR 500
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	KYNAR 500
AW-2	ALUMINUM WINDOW	SEE SPECIFICATIONS	KYNAR 500
GL-1	1" INSULATED TINTED LOW 'E' TOWER VISION GLAZING	TBD	TBD
GL-2	1" INSULATED CLEAR LOW 'E' VISION GLAZING	TBD	TBD
GL-3	1" INSULATED TINTED SPANDREL GLAZING	TBD	MATCH GL-1
GL-4	1" INSULATED CLEAR SPANDREL GLAZING	TBD	MATCH GL-3

KEY PLAN



architecture  
studio

ELEVATE

CONSULTANT:

SEAL:

PROJECT NUMBER: HWH2019-04

300 WEST HURON  
ANN ARBOR, MICHIGAN 48103

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CORALVILLE, IA 52241

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CLIENT:

DRAWING RELEASE  
DESIGN DEVELOPMENT

DATE  
11/06/2020

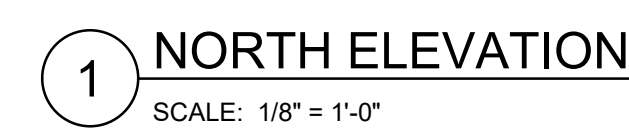
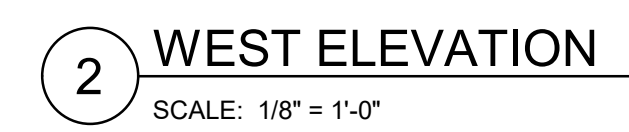
TITLE:

BUILDING  
ELEVATIONS

SHEET NUMBER:

A4-01





ELEVATE

architecture  
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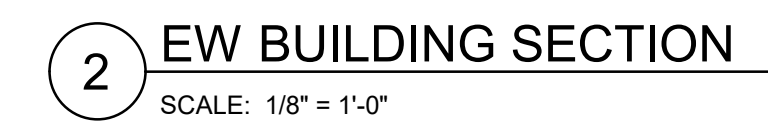
H

Hawkeye**hotels**

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CORALVILLE, IA 52241

DATE	DESCRIPTION	MARK
11/06/2020	DESIGN DEVELOPMENT	





A5-01



