BROADWAY PARK IS A PROPOSED MIXED-USE DEVELOPMENT THAT WILL RE-USE AN UNDERUTILIZED AND ENVIRONMENTALLY CONTAMINATED SITE TO CREATE A PEDESTRIAN ORIENTED NEIGHBORHOOD AND PUBLIC TO THE VIBRANT NEIGHBORS ON THE NORTH SIDE OF THE CITY, THIS PROJECT FEATURES A PUBLICLY ACCESSIBLE OPEN SPACE WITH AMENITIES SUCH AS: A CONNECTED RIVERFRONT TRAIL, A PADDLE CRAF

, AND A 2-STORY STRUCTURED DECK ATTACHED TO THE CONDOMINIUMS. BUILDING HEIGHT,

AREA, DENSITY AND PARKING ARE PROVIDED IN THE COMPARISON TABLE (SEE COVER SHEET).

	DESCRIPTION	GROSS SF / GROUND FLR	HEIGHT
Residential Building	6 Floors of Residential Units 104 Units	156,506 / 11,964	6
Parking Deck	2 Floors of Structured Parking connected to residential building	98,271 / 53,135	1
COMMERCIAL			
Hospitality	9 Floors, 132 Keys	75,000 / 7,200	9
Food and Beverage	2 Floors	10,000 / 5,000	3
Commercial Buildings 1 & 2	1 Floor	7,700 / 7,700	1
Commercial 3, 4, 5 & 6	1 Floor, Located in base of Residential Building	3,200 / 3,200	1
PUBLIC AMENITY			
Pavilion & Concessions	1 Floor	7,800 / 7,800	3
TOTAL		358,477 SF / 95,999 SF	

NOTE: BUILDING HEIGHT MEASURED FROM GRADE TO ROOF DECK. OR MID POINT OF PITCH WHERE APPLICABLE.

2. PRELIMINARY PHASING AND PROBABLE PROJECT COST

IT IS ANTICIPATED THAT THIS PROJECT WILL BE CONSTRUCTED IN PHASES. THE FIRST WILL BE THE CONSTRUCTION OF THE RESIDENTIAL CONDOMINIUMS AND THE PUBLIC OPEN SPACE. ADDITIONAL PHASES WILL INCLUDE THE BUILD OUT OF THE COMMERCIAL AND HOSPITALITY ELEMENTS. REQUIRED INFRASTRUCTURE (ROADS, PARKING, UTILITIES ETC.) WILL BE PROVIDED AS NEEDED TO SUPPORT EACH PHASE. THE PHASING DIAGRAM BELOW ILLUSTRATES THE PRELIMINARY APPROACH TO PHASING.

THE ANTICIPATED PROJECT COST IS \$ 75,000,000

PARCEL AND THE SURROUNDING USES:

3. COMMUNITY ANALYSIS

IS SEPARATED BY THE HURON RIVER AND BY BROADWAY STREET. THE PROPOSED DEVELOPMENT WITH ITS INTENDED USES, WILL SIGNIFICANTLY IMPROVE THE RELATIONSHIP AND CONNECTIVITY BETWEEN THIS VACANT

• PUBLIC OPEN SPACE - THE CULTURAL AND RECREATIONAL OPPORTUNITIES THAT THIS OPEN SPACE WILL PROVIDE WILL ATTRACT RESIDENTS IN ADJACENT NEIGHBORHOODS, CITY-WIDE RESIDENTS, EMPLOYEES AND

• RESIDENTIAL CONDOMINIUMS - NEW HOUSING WILL INCREASE THE 24/7 VIBRANCY OF THIS AREA, THAT SOME

- HAVE CALLED "A FORGOTTEN ISLAND"
- COMMERCIAL USES LOWERTOWN AREA HAS AN EXISTING DEFICIT OF COMMERCIAL/RETAIL ACTIVITY. PROPOSED COMMERCIAL ON THE SITE IS SCALED TO SERVE NEIGHBORHOOD NEEDS AND IS LOCATED ADJACENT
- TO BROADWAY SO THAT THERE ARE CONVENIENT/WALKABLE OPTIONS FOR AREA RESIDENTS. HOSPITALITY - THE PROPOSED HOTEL IS ANTICIPATED TO SUPPORT THE COMMUNITY IN TWO WAYS. 1) PROVIDE. ADDITIONAL LODGING OPPORTUNITIES IN CLOSE PROXIMITY (WALKING DISTANCE) FOR DOWNTOWN BUSINESS AND THE UNIVERSITY OF MICHIGAN AND 2) PROVIDE A LODGING OPTION FOR RESIDENTS OF NEIGHBORING AREAS WHO ARE LOOKING FOR ROOMS FOR OUT OF TOWN GUESTS AND 3.) A VENUE FOR EVENTS.

IMPACT ON ADJACENT USES ON THE PROPOSED DEVELOPMENT:

THE ADJACENT USES ARE ALL VERY SUPPORTIVE OF THE PROPOSED DEVELOPMENT. IT IS EXPECTED THAT NEARBY RESIDENTS WILL COME TO RIVER STREET TO ENJOY THE COMMERCIAL AND RESTAURANT OFFERINGS, TO ATTEND EVENTS, VISIT WITH FRIENDS IN THE OPEN SPACE OR TAKE A STROLL DOWN THE NEW TRAIL THAT CONNECTS TO THE BORDER TO BORDER TRAIL. EMPLOYEES WHO WORK ON THE SOUTH SIDE OF THE TRACKS WILL BE ABLE TO USE THE OPEN SPACE AND DINE OUT DURING THEIR LUNCH OR AFTER WORK, BY USING THE SOON TO BE COMPLETED PEDESTRIAN OPENING UNDER THE RAILROAD TRACKS. AND WITH THE ADDITION OF THE PEDESTRIAN BRIDGE OVER THE HURON RIVER, RECREATION OPPORTUNITIES - KAYAKING, TUBING ETC. CAN BE COORDINATED WITH THE ONGOING ACTIVITIES AT ARGO CASCADES.

IMPACT OF PROPOSED DEVELOPMENT ON THE AIR / WATER QUALITY AND ON EXISTING NATURAL FEATURES

OF THE SITE AND NEIGHBORING SITES AIR QUALITY - A MINIMAL LOCAL IMPACT ON AIR QUALITY MAY ARISE FROM INCREASED TRAFFIC TO THE PROJECT HOWEVER, THIS IS LIKELY TO BE COUNTERBALANCED DUE TO SHORTED COMMUTE TIMES, PUBLIC TRANSPORTATION USE, AND PEDESTRIAN TRAVEL OF RESIDENTS WHO CAN WALK TO WORK. IN ADDITION, THE NEW OPEN SPACE WILL CREATE NEW NATURAL HABITAT AND EXTENSIVE TREE PLANTINGS THAT WILL

SEQUESTER CARBON AND RETURN OXYGEN BACK INTO THE AIR. WATER QUALITY - WATER QUALITY AND FLOW RATES WILL BE TREATED AND CONTROLLED IN ACCORDANCE WITH THE 2014 WASHTENAW COUNTY WATER RESOURCES COMMISSIONER REQUIREMENTS: THE FIRST FLUSH (RUNOFF f. PAYMENT OF AN AFFORDABLE HOUSING CONTRIBUTION IN LIEU OF UNITS CONSISTENT WITH THE FORMULA FROM 1" STORM) WILL BE TREATED FOR QUALITY, THE 100-YEAR 24 HR STORM PLUS 20% WILL BE DETAINED, AND THE FLOW RATE OF UP TO 100-YEAR STORMS WILL BE RESTRICTED TO LESS THAN 0.15 CFS/ACRE

NATURAL FEATURES - WITH THE EXCEPTION OF THE HURON RIVER, THE PAST INDUSTRIAL USE HAS LEFT THE SITE

LARGELY DEVOID OF NATURAL FEATURES. BRUSH AND TREES ARE LOCATED ALONG THE WEST EDGE OF THE RIVER AND ON THE SOUTH PROPERTY LINE. WITHIN THESE AREAS, THERE ARE PIONEER SPECIES OF LANDMARK TREES SUCH AS SILVER MAPLE, BLACK WALNUT, AND BUR OAK. THERE ARE NO WETLANDS OR ENDANGERED SPECIES HABITAT. THERE IS A SMALL AREA OF STEEP SLOPES THAT WERE CREATED WHEN THE BROADWAY BRIDGE WAS BUILT OVER THE RIVER. THERE IS A 100-YEAR FLOODPLAIN AND FLOODWAY. THE APPLICANT IS CURRENTLY GOING THROUGH A LETTER OF MAP REVISION (LOMR) PROCESS W/ FEMA. THE PROPOSED DEVELOPMENT WILL HAVE A DRAMATIC POSITIVE IMPACT ON THE NATURAL ENVIRONMENT ON THE SITE. IT WILL SIGNIFICANTLY INCREASE RIPARIAN AND UPLAND HABITAT ON THE SITE. CARE WILL BE TAKEN TO PROTECT EXISTING LANDMARK TREES WHEN POSSIBLE. THE STEEP SLOPE ALONG THE BRIDGE WILL BE IMPACTED BY THE THE OVERALL INTENT OF THE CITY'S FUTURE LAND USE GOALS AS RESIDENTIAL WILL HELP CREATE A VIBRANT 24/7 PROPOSED HOSPITALITY USE, WHERE BANK STABILIZATION WILL BE USED TO PREVENT SOIL EROSION AND TO PROTECT WATER RESOURCES.

• SEE THIS SHEET FOR BROWNFIELD MITIGATION RESPONSE.

e. IMPACT ON HISTORIC SITES OR STRUCTURES:

THE SITE IS NOT IN AN HISTORIC DISTRICT, AND THERE ARE NO STRUCTURES ON THE SITE. THERE ARE ALSO NO HISTORIC DISTRICTS OR STRUCTURES DIRECTLY ADJACENT TO THE PROPERTY, HOWEVER, THERE ARE TWO HISTORIC DISTRICTS NEARBY. THE OLD FOURTH WARD HISTORIC DISTRICT IS APPROXIMATELY 260' SOUTHEAST OF THE PROJECT PROPERTY LINE AT THE INTERSECTION OF DEPOT AND BROADWAY STREETS, SEPARATED BY THE AMTRAK PROPERTY, RAILROAD TRACKS AND STREET RIGHT-OF-WAYS. THE BROADWAY HISTORIC DISTRICT IS APPROXIMATELY 750' FROM THE NORTHEAST PROJECT PROPERTY LINE, SEPARATED BY THE HURON RIVER AND A BORDERING MIXED USE NEIGHBORHOOD. IN ADDITION, THE GANDY DANCER RESTAURANT, SITE OF THE HISTORIC ANN ARBOR TRAIN STATION, IS LOCATED APPROXIMATELY 220' FROM THE SOUTHEAST PROJECT PROPERTY LINE, SEPARATED BY THE AMTRAK PROPERTY, RAILROAD TRACKS AND BROADWAY STREET RIGHT-OF-WAY. THIS SITE IS ON THE NATIONAL REGISTER OF HISTORIC PLACES. DESPITE THE PROXIMITY OF THESE VALUABLE COMMUNITY ASSETS, THE PROJECT WILL HAVE NO IMPACT ON THE HISTORIC DISTRICTS OR STRUCTURES.

Broadway Park

841 BROADWAY STREET

CITY OF ANN ARBOR, WASHTENAW COUNTY MICHIGAN

REZONING - M1 TO PUD FEBRUARY 28, 2019

SmithGroup Project Number: 10420



AFTER REVIEW OF THE ZONING DISTRICT OPTIONS AND CONVERSATION WITH CITY STAFF AND THE COMMUNITY, IT WAS DETERMINED THAT REZONING TO A PUD WAS APPROPRIATE TO ACCOMMODATE THE VARIETY OF USES BEING PROPOSED. THE BENEFICIAL EFFECTS (STATED BELOW) OF THIS PLAN CANNOT BE ACHIEVED THROUGH ANY OTHER HABITAT ZONING DESIGNATION, IN THAT NO OTHER ZONING DESIGNATION PROVIDES A CLEAR PATH TO ENTITLING THE SPECIFIC MIX OF USES CALLED FOR IN THE PLAN WITHOUT MEANINGFUL VARIANCES AS TO USES AND/OR QUESTIONS

AS TO GEOGRAPHIC APPLICABILITY OF SUCH DESIGNATIONS. THE PROPOSED DEVELOPMENT WILL PROVIDE THE FOLLOWING BENEFICIAL EFFECTS FOR THE COMMUNITY: a. NEW PUBLICLY ACCESSIBLE OPEN SPACE ALONG THE HURON RIVER

- b. EXPANDED PUBLIC ALL-SEASON RECREATION OPPORTUNITIES BY PROVIDING AN ICE RINK, WATER FEATURE, PADDLECRAFT LAUNCH WITH RENTALS AND AN EVENT PAVILION AND PERFORMANCE LAWN, TO BE MAINTAINED
- c. RESTORATION AND PROTECTION OF 1200 LF OF THE HURON RIVER RIPARIAN CORRIDOR d. REMEDIATION OF AN ENVIRONMENTALLY CONTAMINATED SITE TO A HIGHER LEVEL THAN WOULD BE ACHIEVED
- e. INCREASED PEDESTRIAN CONVENIENCE AND PUBLICLY ACCESSIBLE RECREATION BY CONSTRUCTING A RIVERFRONT TRAIL CONNECTED TO B2B TRAIL AND TREELINE TRAIL
- ADOPTED BY ANNUAL RESOLUTION OF CITY COUNCIL SHALL BE PROVIDED BY THE DEVELOPER. g. ADDITIONAL RETAIL AND DINING OPPORTUNITIES THAT SUPPORT ADJACENT NEIGHBORHOODS, PARTICULARLY LOWERTOWN, WHERE THERE IS A DEFICIT OF COMMERCIAL USES.

THE PROJECT IS LOCATED AT THE NORTHERN EDGE OF THE CENTRAL PLANNING AREA. THE CITY HAS IDENTIFIED FUTURE LAND USE FOR THIS PROPERTY AS A COMBINATION OF OPEN SPACE AND COMMERCIAL USES. THE PROPOSED MIXED-USE DEVELOPMENT IS CONSISTENT WITH THE CITY'S FUTURE LAND USE BECAUSE IT WILL PROVIDE SUBSTANTIAL PUBLICLY ACCESSIBLE OPEN SPACE AND NEIGHBORHOOD FOCUSED COMMERCIAL.

IN ADDITION, THE PROPOSED DEVELOPMENT WILL ALSO PROVIDE MULTI-FAMILY RESIDENTIAL. AND WHILE RESIDENTIAL IS NOT EXPLICITLY STATED IN THE FUTURE LAND USE PLAN, RESIDENTIAL USES ARE CONSISTENT WITH MIXED USE ENVIRONMENT AND WILL PROVIDE ADDITIONAL HOUSING OPPORTUNITIES PROXIMAL TO COMMERCIAL,

- a. THE PROPOSED PLAN IS CONSISTENT WITH THE CITY OF ANN ARBOR MASTER PLAN LAND USE ELEMENT (2009) AND THE NORTH MAIN STREET - HURON RIVER AREA CORRIDOR - VISION FOR THE FUTURE (2013). RELEVANT RECOMMENDATIONS FROM THE REPORTS INCLUDE:
- THE CREATION OF PUBLIC PEDESTRIAN ACCESS POINTS TO THE SITE
- CONNECTION TO THE "HURON RIVER TRAIL"
- CANOE AND KAYAK ACCESS,
- CREATION OF A RIVERSIDE PARK PROVIDING RECREATIONAL OPPORTUNITIES AND SIGNIFICANTLY RESTORING HABITAT ALONG THE HURON RIVER
- PER THE MASTER PLAN, PUD ZONING IS SPECIFICALLY CALLED OUT AS THE APPROPRIATE ZONING CLASSIFICATION OF ANY REDEVELOPMENT PLAN FOR THE "DTE/MICHCON SITE."
- b. THE PROPOSED DEVELOPMENT SPECIFICALLY ADDRESSES MANY OF THE GOALS AND OBJECTIVES OF THE CITY OF ANN ARBOR MASTER PLAN LAND USE ELEMENT (2009) INCLUDING:

CHAPTER 4: NATURAL SYSTEMS AND THE ENVIRONMENT, SEC. III GOALS AND OBJECTIVES

GOAL A, OBJ. 2: CONSIDERS ALTERNATE LAND USE DESIGNS THAT PROVIDE PROTECTION OF EXISTING NATURAL FEATURES GOAL A, OBJ. 4: MAINTAINS AND PRESERVES NATURAL OPEN SPACE CORRIDORS THAT ARE IMPORTANT TO WILDLIFE AND PLANT

GOAL B, OBJ.1: IMPROVE THE QUALITY OF SURFACE WATER, WHICH ENTERS THE HURON RIVER GOAL C, OBJ. 1: ENCOURAGES THE USE OF MASS TRANSIT AND NON-MOTORIZED MODES OF TRANSPORTATION TO HELP REDUCE THE TOTAL NUMBER OF TRIPS MADE BY GASOLINE, DIESEL AND OTHER AIR POLLUTING VEHICLES.

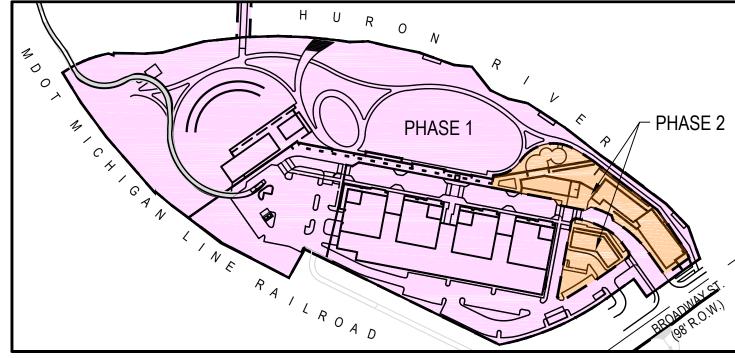
GOAL D, OBJ. 1: FACILITATES THE CLEANUP OF KNOWN CONTAMINATED SITES CHAPTER 5 - LAND USE, SEC. IV GOALS, OBJECTIVES

GOAL A, OBJ.1: USE OF INNOVATIVE DESIGN TECHNIQUES TO HELP PROTECT OR ENHANCE NATURAL SYSTEM GOAL A, OBJ.3: ESTABLISH STRONG OPEN SPACE LINKAGES WITH NEW DEVELOPMENT

GOAL B, OBJ.1: LOCATE HIGHER DENSITY RESIDENTIAL AREAS NEAR MASS TRANSIT ROUTES AND IN PROXIMITY TO COMMERCIAL, EMPLOYMENT AND ACTIVITY CENTERS GOAL B, OBJ.2: IMPROVE THE SAFETY, ACCESSIBILITY AND DESIRABILITY OF WALKING, BIKING OR USING MASS TRANSIT GOAL E, OBJ.2: DESIGN COMMERCIAL AND OFFICE CENTERS WHERE THE PARKING LOT IS NOT THE DOMINANT FEATURE FROM THE

GOAL E, OBJ. 3: ENCOURAGE NEIGHBORHOOD COMMERCIAL USES THAT ARE COMPATIBLE WITH SURROUNDING NEIGHBORHOODS

PRELIMINARY PHASING



PHASE 1 INCLUDES RESIDENTIAL, PARKING STRUCTURE, ROADS, PARKING LOTS, OPEN SPACE DEVELOPMENT PAVILION, WALLS, PADDLECRAFT LAUNCH, ICE RINK, CONCESSIONS, AND PEDESTRIAN BRIDGE TO CASCADES.

PHASE 2 INCLUDES COMMERCIAL AND HOSPITALITY DEVELOPMENT

PREPARED BY: LANDSCAPE ARCHITECT/ **CIVIL ENGINEER:**

SMITHGROUP

201 DEPOT STREET SECOND FLOOR ANN ARBOR, MI 48104 734.662.4457 www.smithgroup.com

OWNER:

DETROIT EDISON PROJECT MANAGER: JASON CLEMENS 1 ENERGY PLAZA. DETROIT, MICHIGAN 48226 (313) 235-9714

APPLICANT:

ROXBURY GROUP ON BEHALF OF LOWER TOWN PARTNERS LLC. 117 GRISWOLD STREET **SUITE 1416** DETROIT. MI 48226 (313) 963-6118 **CONTACT: CALLAN VANHERMERT**

CONSULTANTS:

ARCHITECT:

HAMILTON ANDERSON ASSOCIATES 1435 RANDOLPH ST. STE 200 DETROIT, MI 48226

SURVEYOR:

(313) 964-0270

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342 (248) 332-7931

ENVIRONMENTAL

4219 WOODWARD AVE SUITE 204 DETROIT, MI 48201 (248)922-1000

TRAFFIC ENGINEER:

ROWE PROFESSIONAL SERVICES COMPANY 27260 HAGGERTY RD SUITE A-7 FARMINGTON HILLS, MI 48331

LEGAL DESCRIPTION - SEE SHEET NF 4 OF 4

TRAFFIC IMPACT STATEMENT AND ANALYSIS ATTACHED UNDER SEPARATE COVER BY ROWE PROFESSIONAL SERVICES CO.

PUBLIC SIDWALK MAINTENANCE STATEMENT

PER CHAPTER 49, SECTION 4:58 ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. 'PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS

ASSOCIATED APPLICATIONS

APPLICATIONS ASSOCIATED WITH THIS ZONING/AREA PLAN INCLUDE:

 REZONING PETITION TO THE CITY OF ANN ARBOR. 2. LETTER OF MAP REVISION (LOMR) TO THE FLOOD INSURANCE RATE MAP

COUNTY BROWNFIELD REDEVELOPMENT AUTHORITY.

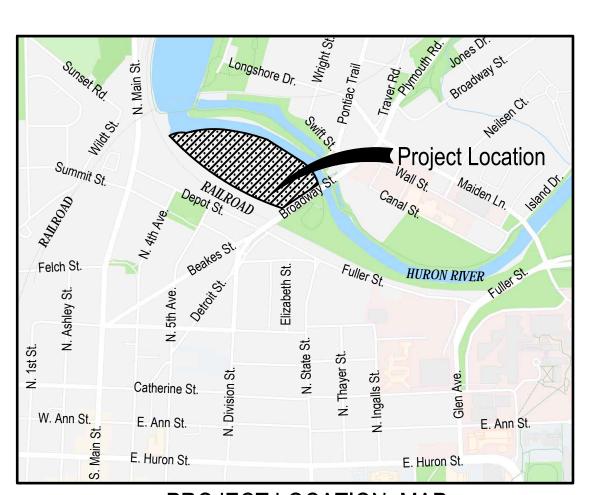
(FIRM) FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). 3. BROWNFIELD PLAN TO THE CITY OF ANN ARBOR AND WASHTENAW

BROWNFIELD MITIGATION

THE RESPONSE ACTIVITY PLAN FOR THE SITE IS DESIGNED TO MITIGATE HUMAN AND ENVIRONMENTAL EXPOSURE PATHWAYS IN A MANNER THAT SUPPROTS REDEVELOPMENT AND REUSE OF THE PROPERTY. THE RESPONSE ACTIVITY PLAN HAS BEEN SUBMITTED FOR MDEQ REVIEW AND THE PLAN WILL BE IMPLEMENTED IN ACCORDANCE WITH MDEQ APPROVAL. AT THE CONCLUSION OF RESPONSE ACTIVITIES, HUMAN HEALTH AND ENVIRONMENTAL THREATS WITHIN THE PROPERTY BOUNDARIES WILL HAVE BEEN MITIGATED. CONSISTENT WITH THE PROPOSED MIXED RESIDENTIAL/COMMERCIAL/HOSPITALITY/PARK USES AND MDEQ APPROVAL.

NATURAL FEATURE MITIGATION

8 LANDMARK TREES ARE SHOWN FOR REMOVAL ON SHEET CV100. TOTALING 195 DBH. THESE TREES WILL BE REPLACED BY 3 SPECIES OF TREES NATIVE TO MICHIGAN, WITH AN ESTIMATED REPLACEMENT SIZE OF 3" CALIPER, REQUIRING A MINIMUM OF 50% OF THE ORIGINAL DBH. OR 33 TREES.



PROJECT LOCATION MAP

SHEET LIST TARLE

HEET LIST TADLE				
Sheet Number	Sheet Title			
3 001	COVER			
IF 1 of 5	BOUNDARY - TOPOGRAPHIC - TREE SURVEY			
IF 2 of 5	BOUNDARY - TOPOGRAPHIC - TREE SURVEY			
IF 3 OF 5	BOUNDARY - TOPOGRAPHIC - TREE SURVEY			
IF 4 of 5	BOUNDARY SURVEY			
IF 5 of 5	BOUNDARY NOTES			
CV100	SITE ANALYSIS			
CV101	FLOODPLAIN MAP			
CS100	CONCEPTUAL PUD PLAN			
CS101	CONCEPTUAL PUD PLAN CIRCULATION PATTERN			
CS102	CONCEPTUAL OVERLAY			
CG100	CONCEPTUAL GRADING PLAN			
CU100	CONCEPTUAL UTILITY PLAN			
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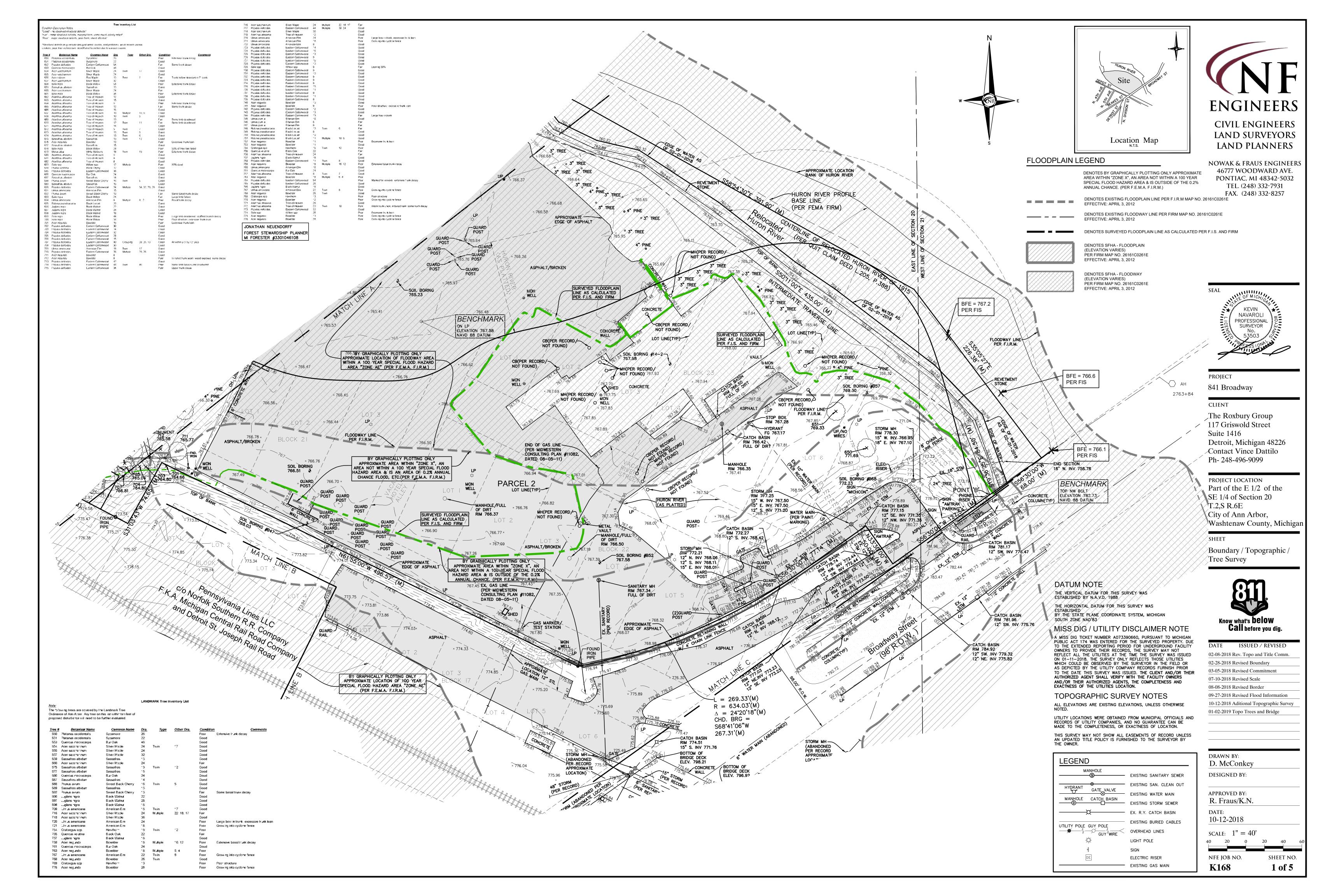
ZONING	EXISTING M-1 Limited Industrial District		PROPOSED PUD Campus/Business/Residential District	
	SITE USE	Per Permitted Use Table 5-15 (City of Ann Arbor Unified Development Code)	Vacant	Per Permitted Use Table 5-15 (City of Ann Arbor Unified Development Code)
LOT AREA Gross	n/a	13.814 Acres	No Minimum	13.814 Acres
Net	0.29 Ac (13,000 SF) Minimum	13.814 Acres	No Minimum	13.814 Acres
FLOOR AREA (SF)	n/a	0.00	n/a	358,477
FAR - Floor Area Ratio (Floor area as a Percentage of Lot Area)	75%	0%	300% (600% w/ premiums) Max.	59.50%
FLOOR AREA per Non residential Use (SF)	n/a	n/a	No Maximum	101,300 SF
LOT SETBACKS Front	15' min, no max	n/a	10 ' Min, No Max.	15.68'
Side	0	n/a	Min. side of abutting residential district	n/a
Rear	0	n/a	Min. rear of abutting residential district	n/a
BUILDING Height	35'	0'	No Maximum	98'
Stories	n/a	n/a	No Maximum	n/a
PARKING - Vehicular	Per Off Street Parking Table 5-19 (City of Ann Arbor Unified Development Code)	0	452 (Incl. 7 standard and 2 van BF spaces) (See CS100 for details)	486 (Incl. 7 standard and 2 van BF Spaces)
PARKING - Bicycle	Per Off Street Parking Table 5-19 (City of Ann Arbor Unified Development Code)	0	47 (16 A, 6 B, 25 C)	47
LANDSCAPING	There are no proposed deviations from landscape screening and buffer requirements.			

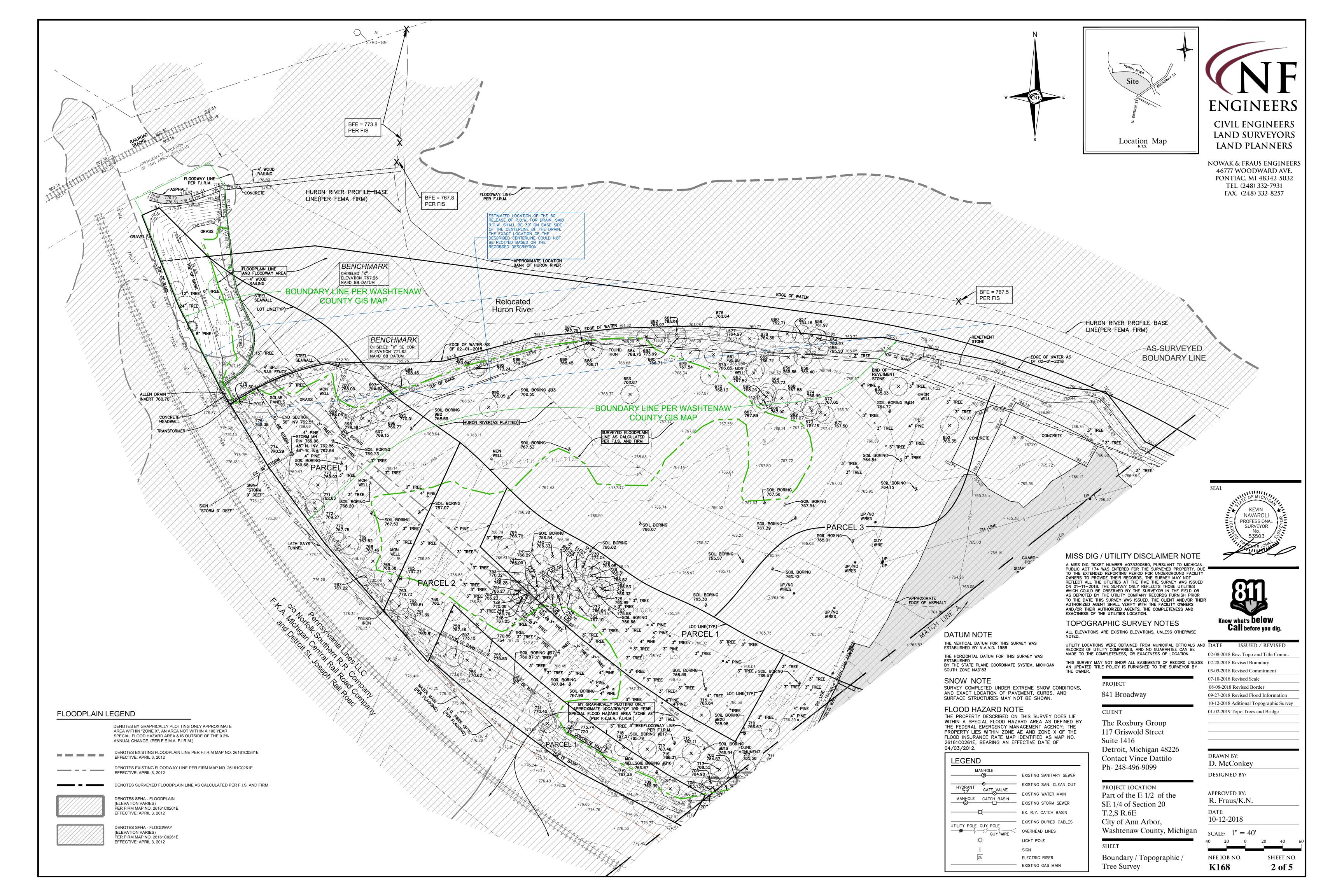
SITE ANALYSIS

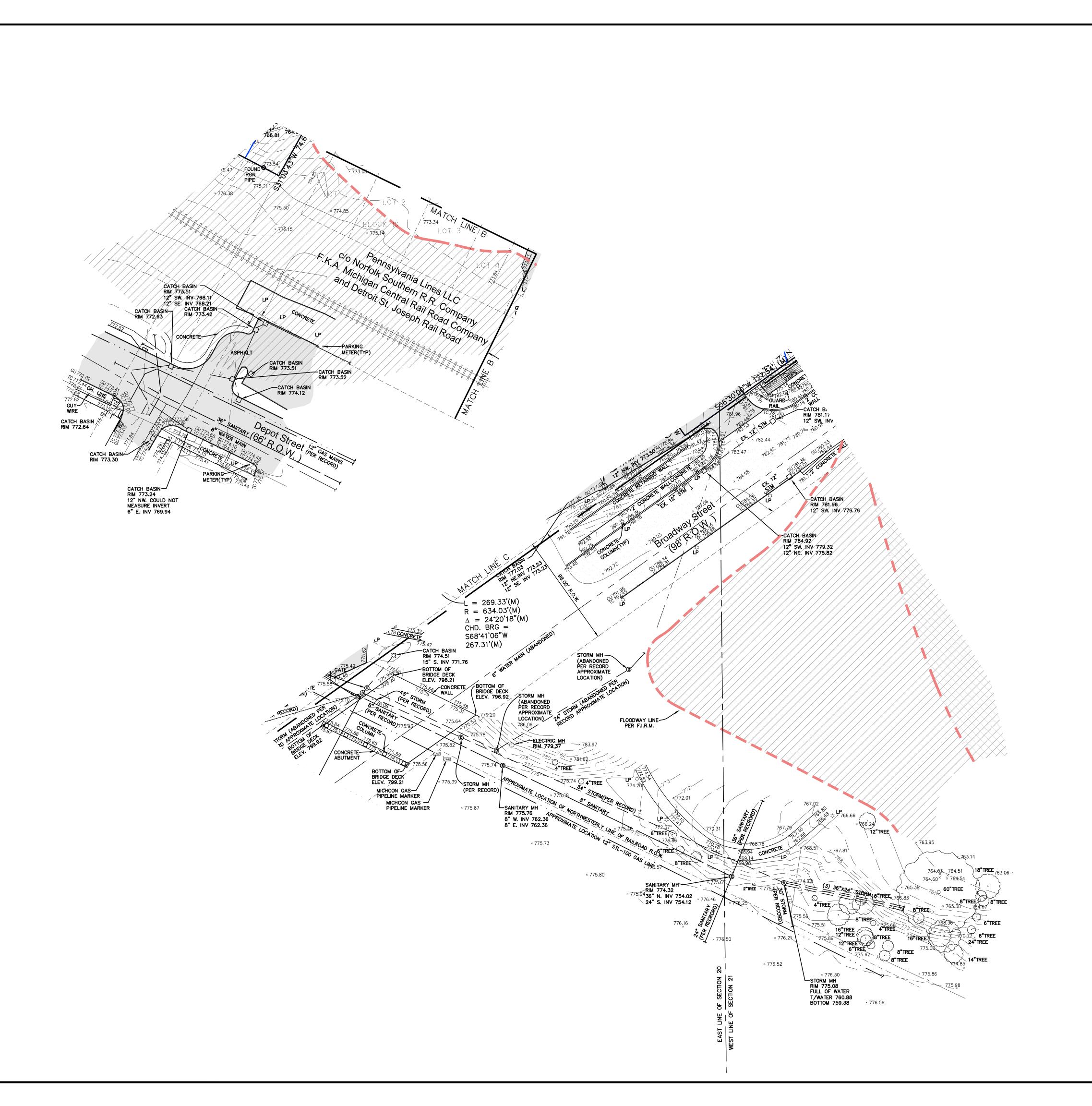
- EXISTING LAND USE AND ACTIVITY ON THE SITE, AN INVENTORY OF SITE CONDITIONS, DESCRIPTION OF NATURAL FEATURES, LOCATION AND USE OF ALL EXISTING STRUCTURES ON THE SITE - SEE BOUNDARY/TOPOGRAPHIC/ TREE SURVEY.
- EXISTING AND PROPOSED VEHICULAR, PEDESTRIAN, AND BICYCLE WAY AND ACCESS TO POINTS SEE SCHEMATIC **CIRCULATION PATTERN**
- UTILITY AVAILABILITY AND PROPOSED CONNECTIONS TOGETHER WITH ALL EXISTING
- PUBLIC RIGHTS-OF-WAY AND PUBLIC AND PRIVATE EASEMENTS. SEE TOPOGRAPHIC SURVEY AND SCHEMATIC AREA PLAN EXISTING AND PROPOSED GENERAL DRAINAGE PATTERN OF THE SITE AND ADJOINING AREA. THE SITE GENERALLY SLOPES
- TOWARDS THE HURON RIVER. SEE FLOODPLAIN MAP AND SCHEMATIC GRADING PLAN SUMMARY IN THE FORM OF AN OVERLAY SHOWING HOW THE PROPOSED LAND USE OR ACTIVITY RELATES TO THE GRAPHIC DESCRIPTION OF THE EXISTING SITE CONDITIONS - SEE SCHEMATIC OVERLAY AND ANALYSIS.

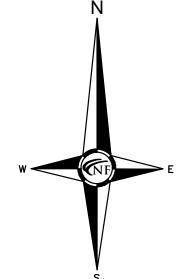
CONCEPTUAL PUD DESIGN

- a. COMPARISON CHART. SEE COVER SHEET
- EXISTING AND PROPOSED TOPOGRAPHY SEE BOUNDARY/TOPOGRAPHIC/ TREE SURVEY AND CONCEPTUAL GRADING PLAN.
- ORIENTATION AND LOCATION OF IMPROVEMENTS SEE CONCEPTUAL PUD PLAN VERTICAL SECTION THROUGH THE SITE - SEE CONCEPTUAL GRADING PLAN.
- PROPOSED CIRCULATION PATTERNS SEE CONCEPTUAL PUD CIRCULATION PLAN.
- PROPOSED SETBACKS LINES SEE CONCEPTUAL PUD PLAN. NATURAL FEATURE AREAS - SEE TOPOGRAPHIC SURVEY AND SITE ANALYSIS PLAN

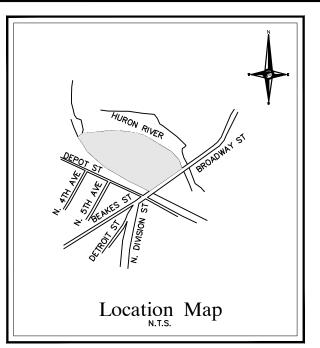








FLOODPLAIN LEGEND



DENOTES BY GRAPHICALLY PLOTTING ONLY APPROXIMATE AREA WITHIN "ZONE X", AN AREA NOT WITHIN A 100 YEAR SPECIAL FLOOD HAZARD AREA & IS OUTSIDE OF THE 0.2% ANNUAL CHANCE. (PER F.E.M.A. F.I.R.M.)

DENOTES SFHA - FLOODPLAIN (ELEVATION VARIES)

PER FIRM MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012

DENOTES SFHA - FLOODWAY (ELEVATION VARIES)

PER FIRM MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012

DENOTES EXISTING FLOODPLAIN LINE PER F.I.R.M MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012

DENOTES EXISTING FLOODWAY LINE PER FIRM MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012

DENOTES SURVEYED FLOODPLAIN LINE AS CALCULATED PER F.I.S. AND FIRM



NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

PROJECT

841 Broadway

CLIENT

The Roxbury Group 117 Griswold Street **Suite 1416** Detroit, Michigan 48226 Contact Vince Dattilo Ph- 248-496-9099

PROJECT LOCATION Part of the E 1/2 of the SE 1/4 of Section 20 T.2,S R.6E City of Ann Arbor,

Washtenaw County, Michigan

SHEET

Boundary / Topographic / Tree Survey



ISSUED / REVISED 02-08-2018 Rev. Topo and Title Comm. 02-28-2018 Revised Boundary 03-05-2018 Revised Commitment 07-10-2018 Revised Scale

08-08-2018 Revised Border 09-27-2018 Revised Flood Information

10-12-2018 Aditional Topographic Survey 01-02-2019 Topo Trees and Bridge

DRAWN BY: D. McConkey **DESIGNED BY:** APPROVED BY: R. Fraus/K.N. DATE: 10-12-2018 SHEET NO. 3 of 5

DATUM NOTE THE VERTICAL DATUM FOR THIS SURVEY WAS ESTABLISHED BY N.A.V.D. 1988 THE HORIZONTAL DATUM FOR THIS SURVEY WAS

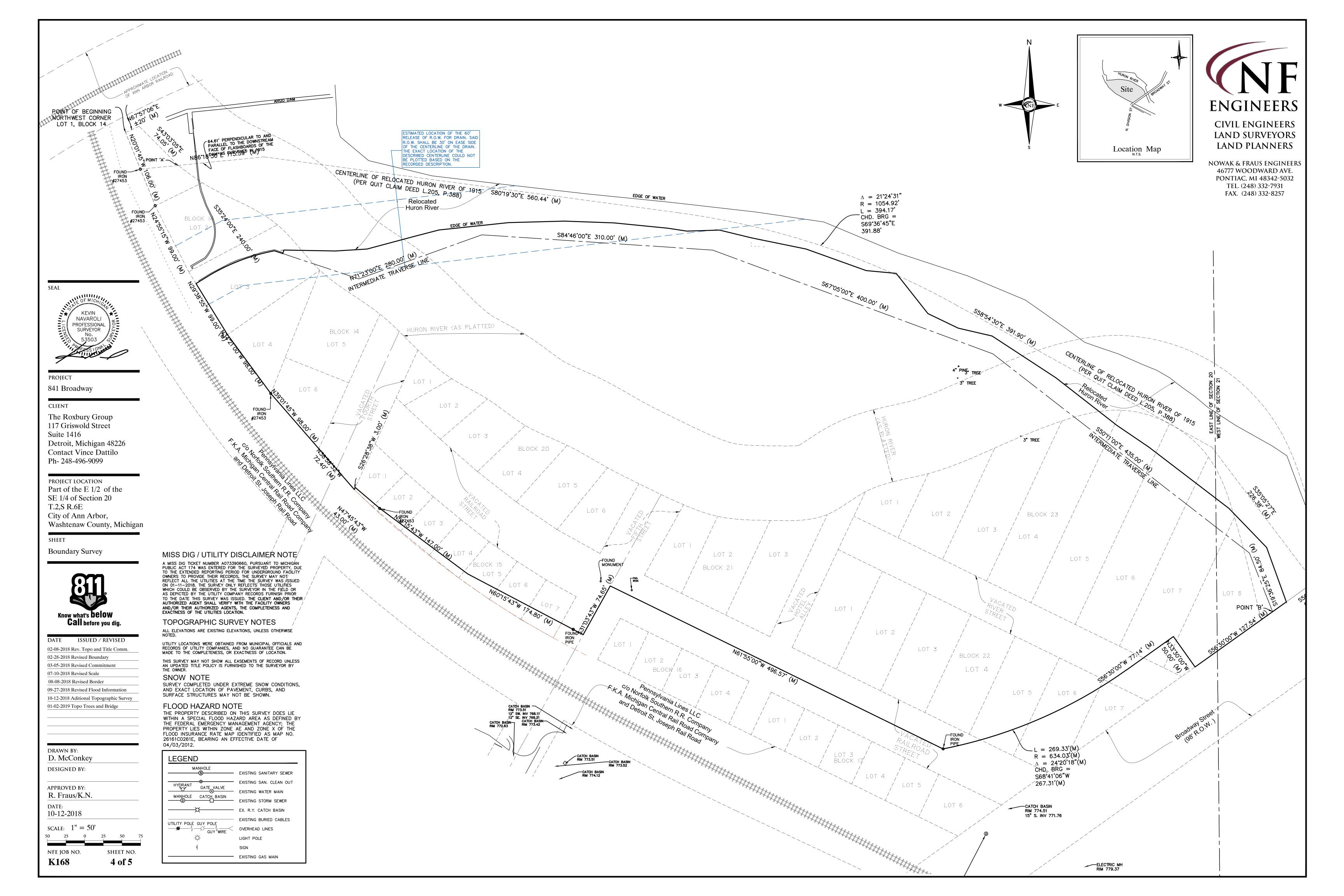
ESTABLISHED
BY THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE NAD'83 MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A073390660, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 01-11-2018. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION. THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

THE OWNER.	
LEGEND	
MANHOLE S HYDRANT GATE VALVE MANHOLE CATCH BASIN	EXISTING SANITARY SEWER EXISTING SAN. CLEAN OUT EXISTING WATER MAIN EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
UTILITY POLE GUY POLE GUY GUY WIRE	EXISTING BURIED CABLES OVERHEAD LINES
- 	LIGHT POLE
	SIGN ELECTRIC RISER EXISTING GAS MAIN





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841 Broadway

CLIENT

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PROJECT LOCATION Part of the E 1/2 of the SE 1/4 of Section 20 T.2,S R.6E City of Ann Arbor, Washtenaw County, Michigan

Boundary Notes



ISSUED / REVISED 02-08-2018 Rev. Topo and Title Comm.

03-05-2018 Revised Commitment

02-28-2018 Revised Boundary

07-10-2018 Revised Scale 08-08-2018 Revised Border

09-27-2018 Revised Flood Information 10-12-2018 Aditional Topographic Survey

01-02-2019 Topo Trees and Bridge

DRAWN BY: D. McConkey **DESIGNED BY:**

APPROVED BY: R. Fraus/K.N.

DATE: 10-12-2018

SCALE: 1'' = 40'40 20 0 20 40

SHEET NO. NFE JOB NO. K168 5 of 5

LEGAL DESCRIPTION - PER CLIENT REQUEST:

PART OF BLOCK 14, ALL OF BLOCKS 15, 20, 21, 22 AND 23 AND VACATED FOURTH STREET, VACATED FIFTH STREET, VILLAGE (NOW CITY) OF ANN ARBOR, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 20 AND THE SOUTHWEST 1/4 OF SECTION 21, TOWN 2 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN AS RECORDED IN LIBER M OF DEEDS, PAGE 191, WASHTENAW COUNTY RECORDS EXCEPT LAND CONVEYED TO THE MICHIGAN CENTRAL RAILROAD COMPANY AS RECORDED IN LIBER 86 OF DEEDS, PAGE 105 AND IN LIBER 450, PAGE 79, WASHTENAW COUNTY RECORDS AND THE LAND BETWEEN THE HURON RIVER (AS PLATTED) AND THE WATER'S EDGE OF THE EXISTING HURON RIVER. ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK 14, THENCE SOUTH 20 DEGREES 01 MINUTES 45 SECONDS EAST ALONG THE NORTH LINE OF MICHIGAN CENTRAL RAILROAD, 106.00 FEET TO THE SOUTHWEST CORNER OF LOT 1 OF SAID BLOCK 14; THENCE SOUTH 24 DEGREES 55 MINUTES 15 SECONDS EAST ALONG THE NORTH LINE OF MICHIGAN CENTRAL RAILROAD, 99.00 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF SAID BLOCK 14; THENCE SOUTH 29 DEGREES 38 MINUTES 55 SECONDS EAST, 18.61 FEET TO THE INTERSECTION OF THE NORTH LINE OF THE MICHIGAN CENTRAL RAILROAD AND THE SOUTHERLY FACE OF A STEEL SEAWALL, AS EXTENDED, ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 60 DEGREES 54 MINUTES 09 SECONDS EAST ALONG SAID SOUTHERLY FACE OF A STEEL SEAWALL, 24.79 FEET; THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID THE SOUTHERLY FACE: 1) 89.96 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS OF 269.37 FEET, CENTRAL ANGLE OF 19 DEGREES 08 MINUTES 09 SECONDS. CHORD BEARING NORTH 71 DEGREES 46 MINUTES 28 SECONDS EAST, 89.55 FEET AND 2) SOUTH 69 DEGREES 37 MINUTES 45 SECONDS EAST, 11.66 FEET TO THE END OF SAID SEAWALL, ALSO BEING POINT 'A'; THENCE SOUTHEASTERLY ALONG THE WATER'S EDGE OF RELOCATED HURON RIVER 1540 FEET, PLUS OR MINUS, TO A POINT ON THE WEST LINE OF BROADWAY STREET (98 FEET WIDE); THENCE SOUTH 56 DEGREES 30 MINUTES 00 SECONDS WEST ALONG SAID WEST LINE OF BROADWAY STREET, 22.00 FEET, PLUS OR MINUS, TO A POINT BEING SOUTH 69 DEGREES 37 MINUTES 45 SECONDS EAST, 107.27 FEET AND NORTH 72 DEGREES 18 MINUTES 19 SECONDS EAST, 175.00 FEET AND SOUTH 84 DEGREES 12 MINUTES 49 SECONDS EAST, 310.00 FEET AND SOUTH 67 DEGREES 40 MINUTES 35 SECONDS EAST, 400.00 FEET AND SOUTH 50 DEGREES 11 MINUTES 00 SECONDS EAST, 435.00 FEET AND SOUTH 19 DEGREES 36 MINUTES 25 SECONDS EAST, 84.50 FEET FROM SAID POINT 'A'; THENCE CONTINUING ALONG SAID WEST LINE SOUTH 56 DEGREES 30 MINUTES 00 SECONDS WEST, 127.54 FEET; THENCE THE FOLLOWING (13) THIRTEEN COURSES ALONG THE NORTHERLY LINE OF THE MICHIGAN CENTRAL RAILROAD: 1) NORTH 33 DEGREES 30 MINUTES 00 SECONDS WEST, 50.00 FEET, 2) SOUTH 56 DEGREES 30 MINUTES OO SECONDS WEST, 77.14 FEET, 3) 269.33 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS OF 634.03 FEET, CENTRAL ANGLE OF 24 DEGREES 20 MINUTES 18 SECONDS, CHORD BEARS SOUTH 68 DEGREES 41 MINUTES 06 SECONDS WEST, 267.31 FEET TO A POINT ON THE CENTERLINE OF SAID VACATED RAILROAD STREET. 4) NORTH 61 DEGREES 55 MINUTES 00 SECONDS WEST ALONG SAID CENTERLINE OF VACATED RAILROAD STREET, 496.57 FEET TO A POINT ON THE CENTERLINE OF SAID VACATED FIFTH STREET, 5) SOUTH 31 DEGREES 03 MINUTES 43 SECONDS WEST ALONG SAID CENTERLINE OF FIFTH STREET, 74.65 FEET, 6) NORTH 60 DEGREES 15 MINUTES 43 SECONDS WEST, 174.80 FEET, 7) NORTH 51 DEGREES 15 MINUTES 43 SECONDS WEST, 147.00 FEET, 8) NORTH 47 DEGREES 45 MINUTES 43 SECONDS WEST, 43.00 FEET TO A POINT ON THE EAST LINE OF SAID VACATED FOURTH STREET, 9) SOUTH 26 DEGREES 28 MINUTES 38 SECONDS WEST, 3.00 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 15, 10) NORTH 38 DEGREES 58 MINUTES 32 SECONDS WEST, 72.40 FEET TO THE SOUTHERLY CORNER OF SAID BLOCK 14, 11) NORTH 39 DEGREES 01 MINUTES 45 SECONDS WEST, 98.00 FEET TO THE NORTHWEST CORNER OF LOT 6 OF SAID BLOCK 14, 12) NORTH 34 DEGREES 21 MINUTES 00 SECONDS WEST, 98.00 FEET TO THE NORTHWEST CORNER OF LOT 4 OF SAID BLOCK 14, 13) NORTH 29 DEGREES 38 MINUTES 55 SECONDS WEST, 80.39 FEET TO THE POINT OF

LEGAL DESCRIPTION - PER TITLE COMMITMENT

450, PAGE 79, WASHTENAW COUNTY RECORDS, AND DESCRIBED AS FOLLOWS:

ARBOR, RECORDED JULY 4TH, 1838, IN LIBER M OF DEEDS, PAGE 191,

IN LIBER M OF DEEDS, PAGE 191, WASHTENAW COUNTY RECORDS.

THE ABOVE DESCRIBED LAND AND SOUTH OF THE HURON RIVER.

THE SOUTHERLY SIDE OF SAID BLOCK FIFTEEN.

& PAGE'S ADDITION, AND

THE LAND SITUATED IN THE COUNTY OF WASHTENAW, CITY OF ANN ARBOR, STATE OF MICHIGAN, IS DESCRIBED AS

TO THE PLAT THEREOF AS RECORDED IN LIBER M OF DEEDS, PAGE 191, WASHTENAW COUNTY RECORDS, EXCEPTING

DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTHERLY LINE OF THE MICHIGAN CENTRAL RAILROAD

THEREFROM, A PIECE OF LAND LYING ALONG THE SOUTH END OR SIDE OF SAID BLOCKS, CONVEYED TO THE MICHIGAN

CENTRAL RAIL ROAD COMPANY, AS RECORDED IN LIBER 86 OF DEEDS, PAGE 105, WASHTENAW COUNTY RECORDS, AND

RIGHT-OF WAY FIFTY (50) FEET EASTERLY FROM THE WEST LINE OF FIFTH (5TH) AVE. AS ORIGINALLY PLATTED; THENCE

CURVING TO THE RIGHT ON A CURVE OF TWELVE HUNDRED AND SEVEN (1207) FEET RADIUS, A DISTANCE OF FIFTY (50)

BLOCK FIFTEEN (15), ORMSBY & PAGE'S ADDITION; THENCE ON A CONTINUATION OF SAID CURVE A DISTANCE OF THREE

HUNDRED FORTY-TWO AND ONE-HALF (342 1/2) FEET, MORE OR LESS, TO THE EAST LINE OF FOURTH (4TH) AVE., AS

ORIGINALLY PLATTED: THENCE NORTHERLY ON THE EAST LINE OF SAID FOURTH AVE., A DISTANCE OF THREE (3) FEET;

THENCE SOUTH FORTY-EIGHT (48) DEGREES EAST A DISTANCE OF FORTY-THREE (43) FEET: THENCE SOUTH FIFTY-ONE

AND ONE-HALF (51 1/2) DEGREES EAST, A DISTANCE OF ONE HUNDRED FORTY-SEVEN (147) FEET TO A STAKE; THENCE

SOUTH SIXTY AND ONE-HALF (60 1/2) DEGREES EAST, A DISTANCE OF ONE HUNDRED FIFTY (150) FEET, MORE OR LESS, TO A STAKE ON THE WESTERLY LINE OF SAID FIFTH (5TH) AVE; THENCE SOUTHERLY ON THE WESTERLY LINE OF SAID

FIFTH (5TH) AVE. A DISTANCE OF TWENTY-THREE FEET NINE INCHES (23' 9") TO THE SOUTHEAST CORNER OF LOT SEVEN

(7) AFORESAID, WHICH CIRCUMSCRIBES BY THE FOREGOING DESCRIPTION THE PIECE OF GROUND HEREBY CONVEYED ON

ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER M OF DEEDS, PAGE 191, WASHTENAW COUNTY RECORDS AND

EXCEPTING THEREFROM. PORTION CONVEYED TO THE MICHIGAN CENTRAL RAIL ROAD COMPANY AS RECORDED IN LIBER

a) BEGINNING AT THE INTERSECTION OF THE WEST LINE OF BROADWAY STREET WITH THE CENTER LINE OF RAILROAD

SAID RAILROAD STREET TO A POINT; THENCE NORTHERLY TWO HUNDRED TWENTY-SEVEN (227) FEET ON A CURVE OF

TWELVE (12) DEGREES AND FOUR (4) MINUTES TO THE LEFT, TO A POINT ON THE CENTER LINE OF RIVER STREET AS

BROADWAY; THENCE SOUTHERLY ALONG THE WEST LINE OF BROADWAY TO PLACE OF BEGINNING, SAID STRIP OF LAND

BEING PART OF LOTS 5, 6 AND 7 OF BLOCK 22 OF ORMSBY & PAGE'S ADDITION TO THE VILLAGE (NOW CITY) OF ANN

ORMSBY & PAGE'S ADDITION, AS ORIGINALLY PLATTED AND THE ALLEY BETWEEN BLOCKS SIXTEEN (16) AND SEVENTEEN

SIXTEEN (16) OF ORMSBY & PAGE'S ADDITION TO THE VILLAGE (NOW CITY) OF ANN ARBOR AND SO MUCH OF THE WEST

TWENTY-THREE AND SEVENTY-FIVE HUNDREDTHS (23.75) FEET OF LOT SEVEN (7), BLOCK FIFTEEN (15) OF SAID ORMSBY

HALF (W 1/2) OF FIFTH (5TH) AVE. AN ORIGINALLY PLATTED, LYING EASTERLY OF AND ADJACENT TO THE SOUTHERLY

d) A STRIP OF LAND FIFTY (50) FEET IN WIDTH MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF BROADWAY

EXTENDING NORTHERLY FROM THE CENTERLINE OF RIVER STREET AS ORIGINALLY PLATTED TO THE HURON RIVER, THE

SAME BEING PART OF LOTS 7 AND 8 OF BLOCK 23 OF ORMSBY AND PAGE'S ADDITION TO THE VILLAGE (NOW CITY) OF

ANN ARBOR, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER M OF DEEDS, PAGE 191, WASHTÈNAW COUNTY

(50) FEET NORTHEASTERLY, MEASURED ALONG SAID STREET LINE, FROM ITS INTERSECTION WITH THE CENTERLINE OF

NORTHWESTERLY, AT RIGHT ANGLES TO THE NORTHWESTERLY LINE OF BROADWAY STREET, A DISTANCE OF FIFTY (50)

BROADWAY STREET, A DISTANCE OF ONE HUNDRED THIRTY (130) FEET, MORE OR LESS; THENCE SOUTHEASTERLY, AT

RIGHT ANGLES TO THE LAST DESCRIBED COURSE, A DISTANCE OF FIFTY (50) FEET TO THE PLACE OF BEGINNING, AND

BEING A PART OF LOTS SEVEN (7) AND EIGHT (8) OF BLOCK TWENTY-THREE (23) OF ORMSBY AND PAGE'S ADDITION TO

THE VILLAGE (NOW CITY) OF ANN ARBOR, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 20 AND THE SOUTHWEST

PARCEL 3: ALL THAT CERTAIN PIECE OR PARCEL OF LAND SITUATE AND BEING A PORTION OF THE EAST 1/2 OF THE

SOUTHEAST 1/4 OF SECTION 20 TOWN 2 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR AND A PORTION OF THE WEST

1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 2 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, LYING NORTH OF

1/4 OF SECTION 21, TOWN 2 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN AS RECORDED

RIVER STREET AS ORIGINALLY PLATTED; THENCE NORTHEASTERLY, ALONG THE NORTHWESTERLY LINE OF BROADWAY

FEET; THENCE SOUTHWESTERLY, AT AN EQUAL DISTANCE FROM AND PARALLEL TO THE NORTHWESTERLY LINE OF

STREET, A DISTANCE OF ONE HUNDRED THIRTY (130) FEET, MORE OR LESS, TO THE HURON RIVER; THENCE

RECORDS. ALSO: BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF BROADWAY STREET WHICH IS LOCATED FIFTY

ORIGINALLY PLATTED FIFTY (50) FEET DISTANT MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF BROADWAY;

b) THE SOUTHERLY HALF (S 1/2) OF CLOSED PORTION OF RAILROAD STREET ADJACENT TO BLOCKS 16 AND 17,

c) SO MUCH OF THE EAST HALF (1/2) OF FIFTH (5TH) AVE. AS ORIGINALLY PLATTED AS LIES SOUTHERLY OF THE

CENTER LINE OF RAILROAD STREET AN ORIGINALLY PLATTED, WESTERLY OF AND ADJACENT TO LOT ONE (1), BLOCK

THENCE EASTERLY ALONG THE CENTER LINE OF SAID RIVER STREET FIFTY-SEVEN (57) FEET TO THE WEST LINE OF

STREET AS ORIGINALLY PLATTED; THENCE WESTERLY ONE HUNDRED TWENTY-ONE (121) FEET ALONG THE CENTER LINE OF

PARCEL 2: BLOCKS 21,22, AND 23, ORMSBY & PAGE'S ADDITION TO THE VILLAGE (NOW CITY) OF ANN ARBOR,

THE LANDS LYING WITHIN THE BOUNDARIES OF FIFTH STREET, FOURTH STREET, HOTEL ALLEY, RAILROAD STREET,

FEET TO A POINT ON THE WEST LINE OF SAID AVE., WHICH POINT IS THE SOUTHEAST CORNER OF LOT SEVEN (7), IN

PARCEL 1: BLOCKS 14,15 AND 20, ORMSBY & PAGE'S ADDITION TO THE VILLAGE (NOW CITY) OF ANN ARBOR, ACCORDING

PARCEL 1, 2 AND 3 ALL DESCRIBED BY SURVEY AS FOLLOWS:

BLOCKS 14, 15, 20, 21, 22 AND 23 AND VACATED FOURTH STREET, VACATED FIFTH STREET, VACATED HOTEL ALLEY, VACATED Railroad STREET AND VACATED RIVER STREET OF ORMSBY & PAGE'S ADDITION TO THE VILLAGE (NOW CITY) OF ANN ARBOR, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 20 AND THE SOUTHWEST 1/4 OF SECTION 21, TOWN 2 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER M OF DEEDS, PAGE 191, WASHTENAW COUNTY RECORDS, EXCEPT LAND CONVEYED TO THE MICHIGAN CENTRAL RAILROAD COMPANY AS RECORDED IN LIBER 86 OF DEEDS, PAGE 105 AN IN LIBER 450, PAGE 79, WASHTENAW COUNTY RECORDS AND THE LAND BETWEEN THE HURON RIVER (AS PLATTED) AND THE CENTERLINE OF THE RELOCATED HURON RIVER AS DESCRIBED IN

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK 14; THENCE NORTH 67 DEGREES 57 MINUTES 06 SECONDS EAST ALONG THE NORTH LINE OF SAID BLOCK 14, 20 FEET MORE OR LESS TO THE HURON RIVER (AS PLATTED); THENCE SOUTH 43 DEGREES 03 MINUTES 05 SECONDS EAST ALONG THE EAST LINE OF SAID BLOCK 14, 74.05 FEET TO POINT 'A', SAID POINT BEING 64.61 FEET FROM AND PERPENDICULAR TO THE DOWNSTREAM FACE OF THE FLASHBOARDS OF THE CONCRETE DAM ACROSS THE RIVER AT A POINT MIDWAY BETWEEN THE FACE OF THE RETAINING WALLS OF SAID DAM, AS SURVEYED IN 1915 ACCORDING TO SAID QUIT CLAIM DEED AS RECORDED IN LIBER 205 OF DEEDS, PAGE 388; THENCE THE FOLLOWING (5) FIVE COURSES ALONG THE CENTERLINE OF THE RELOCATED HURON RIVER: 1) NORTH 86 DEGREES 18 MINUTES 30 SECONDS EAST, ALSO BEING 64.61 FEET FROM AND PERPENDICULAR TO THE DOWNSTREAM FACE OF SAID FLASHBOARDS, AS SURVEYED IN 1915 ACCORDING TO THE QUIT CLAIM DEED AS RECORDED IN LIBER 205 OF DEEDS, PAGE 388, 115.39 FEET, 2) SOUTH 80 DEGREES 19 MINUTES 30 SECONDS EAST, 560.44 FEET, 3) 394.17 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS OF 1054.92 FEET, CENTRAL ANGLE OF 21 DEGREES 24 MINUTES 31 SECONDS, CHORD BEARING OF SOUTH 69 DEGREES 36 MINUTES 45 SECONDS EAST, 391.88 FEET, 4) SOUTH 58 DEGREES 54 MINUTES 30 SECONDS EAST, 391.90 FEET AND 5) SOUTH 35 DEGREES 05 MINUTES 27 SECONDS EAST, 226.38 FEET TO THE INTERSECTION OF THE CENTERLINE OF THE HURON RIVER AND THE WEST LINE OF BROADWAY STREET (98 FEET WIDE); THENCE SOUTH 56 DEGREES 30 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF BROADWAY STREET, 68.00 FEET TO A POINT BEING DISTANT OF SOUTH 35 DEGREES 24 MINUTES 00 SECONDS EAST. 240.00 FEET AND NORTH 71 DEGREES 23 MINUTES 00 SECONDS EAST, 280.00 FEET AND SOUTH 84 DEGREES 46 MINUTES 00 SECONDS EAST, 310.00 FEET AND SOUTH 67 DEGREES 05 MINUTES 00 SECONDS EAST, 400.00 FEET AND SOUTH 50 DEGREES 11 MINUTES 00 SECONDS EAST, 435.00 FEET AND SOUTH 19 DEGREES 36 MINUTES 25 SECONDS EAST, 84.50 FEET ALONG A TRAVERSE LINE FROM SAID POINT 'A'; THENCE CONTINUING ALONG THE WEST LINE OF SAID BROADWAY STREET, SOUTH 56 DEGREES 30 MINUTES 00 SECONDS WEST, 127.54 FEET; THENCE THE FOLLOWING (15) FIFTEEN COURSES ALONG THE NORTHERLY LINE OF THE MICHIGAN CENTRAL RAILROAD: 1) NORTH 33 DEGREES 30 MINUTES 00 SECONDS WEST, 50.00 FEET, 2) SOUTH 56 DEGREES 30 MINUTES 00 SECONDS WEST, 77.14 FEET, 3) 269.33 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS OF 634.03 FEET, CENTRAL ANGLE OF 24 DEGREES 20 MINUTES 18 SECONDS, CHORD BEARS SOUTH 68 DEGREES 41 MINUTES 06 SECONDS WEST, 267.31 FEET TO A POINT ON THE CENTERLINE OF SAID VACATED RAILROAD STREET, 4) NORTH 61 DEGREES 55 MINUTES 00 SECONDS WEST ALONG SAID CENTERLINE OF VACATED RAILROAD STREET, 496.57 FEET TO A POINT ON THE CENTERLINE OF SAID VACATED FIFTH STREET, 5) SOUTH 31 DEGREES 03 MINUTES 43 SECONDS WEST ALONG SAID CENTERLINE OF FIFTH STREET, 74.65 FEET, 6) NORTH 60 DEGREES 15 MINUTES 43 SECONDS WEST, 174.80 FEET, 7) NORTH 51 DEGREES 15 MINUTES 43 SECONDS WEST, 147.00 FEET, 8) NORTH 47 DEGREES 45 MINUTES 43 SECONDS WEST, 43.00 FEET TO A POINT ON THE EAST LINE OF SAID VACATED FOURTH STREET, 9) SOUTH 26 DEGREES 28 MINUTES 38 SECONDS WEST, 3.00 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 15, 10) NORTH 38 DEGREES 58 MINUTES 32 SECONDS WEST, 72.40 FEET TO THE SOUTHERLY CORNER OF SAID BLOCK 14, 11) NORTH 39 DEGREES 01 MINUTE 45 SECONDS WEST, 98.00 FEET TO THE NORTHWEST CORNER OF LOT 6 OF SAID BLOCK 14, 12) NORTH 34 DEGREES 21 MINUTES 00 SECONDS WEST, 98.00 FEET TO THE NORTHWEST CORNER OF LOT 4 OF SAID BLOCK 14, 13) NORTH 29 DEGREES 38 MINUTES 55 SECONDS WEST, 99.00 FEET TO THE NORTHWEST CORNER OF LOT 3 OF SAID BLOCK 14, 14) NORTH 24 DEGREES 55 MINUTES 15 SECONDS WEST, 99.00 FEET TO THE NORTHWEST CORNER OF LOT 2 OF SAID BLOCK 14 AND 15) NORTH 20 DEGREES 01 MINUTE 45 SECONDS WEST, 106.00 FEET TO THE POINT OF BEGINNING.

VACATED HOTEL ALLEY, VACATED RAILROAD STREET AND VACATED RIVER STREET OF ORMSBY & PAGE'S ADDITION TO THE

QUIT CLAIM DEED RECORDED IN LIBER 205 OF DEEDS, PAGE 388, WASHTENAW COUNTY RECORDS, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TITLE NOTES

SUBJECT TO:

1. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION OF THE LAND.

2. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.

7. PERMANENT TELECOMMUNICATIONS EASEMENT IN FAVOR OF WHICHEVER OF SPRINT COMMUNICATIONS COMPANY L.P., QWEST COMMUNICATIONS COMPANY, LLC, LEVEL 3 COMMUNICATIONS, LLC, AND WITEL COMMUNICATIONS, LLC AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION RECORDED IN LIBER 4953, PAGE 364 AND IN LIBER 5000, PAGE 560. [THE LOCATION OF SAID EASEMENT(S) COULD NOT BE LOCATED; DOCUMENT DESCRIBES A 20' WIDE EASEMENT, NO MORE THAN 10' ON EACH SIDE OF THE DESCRIBED TELECOMMUNICATIONS CABLE SYSTEM THE EXACT LOCATION OF THE TELECOMMUNICATIONS CABLE SYSTEM AND EASEMENT ARE ARE NOT DESCRIBED AND ARE NOT KNOWN].

8. RIGHTS OF OTHERS OVER THAT PORTION OF THE LAND USED AS INGRESS AND EGRESS TO OTHER LANDS, AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 966, PAGE 645. [SAID EASEMENT IS PLOTTED HEREON].

9. RELEASE OF RIGHT OF WAY IN FAVOR OF COUNTY OF WASHTENAW AND THE COVENANTS. CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 525, PAGE 635. [THE ESTIMATED LOCATION OF SAID 60' R.O.W. IS SHOWN HEREON]

10. ANY RIGHTS, TITLE INTEREST OR CLAIM THEREOF TO THAT PORTION OF THE LAND TAKEN, USED OR GRANTED FOR STREETS, ROADS

OR HIGHWAYS. 11. RIGHTS OF THE UNITED STATES, STATE OF MICHIGAN AND THE PUBLIC FOR COMMERCE, NAVIGATION, RECREATION AND FISHERY, IN ANY PORTION OF THE LAND COMPRISING THE BED OF HURON RIVER, OR LAND CREATED BY FILL OR ARTIFICIAL ACCRETION.

13. RIGHTS OF UPPER AND LOWER ABUTTING RIPARIAN OWNERS AND THE PUBLIC GENERALLY IN AND TO THE WATERS OF HURON RIVER AND TO THE UNINTERRUPTED NATURAL FLOW THEREOF, FREE OF POLLUTION FROM INSURED PREMISES, AND SUBJECT TO THE POSSIBILITY OF AVULSION, AND TO THE POSSIBILITIES OF ACCRETION, EROSION, RELICTION AND SUBMERGENCE WHICH MIGHT CHANGE BOUNDARIES ESTABLISHED BY SAID RIVER.

14. LOSS OR DAMAGE ARISING OUT OF ANY DISCREPANCY BETWEEN THE LEGAL DESCRIPTION OF THE PROPERTY AS INSURED AND THE LEGAL DESCRIPTION OF THE PROPERTY AS ASSESSED ON THE WASHTENAW COUNTY TAX ROLLS.

15. INTEREST OF OTHERS IN OIL, GAS AND MINERAL RIGHTS, IF ANY, RECORDED IN THE PUBLIC RECORDS.

16. INTEREST. IF ANY. OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.

19. THE RIGHTS OF CO-OWNERS AND ADMINISTERING BODY AS SET FORTH IN THE MASTER DEED AND ACT 59 OF THE PUBLIC ACTS OF 1978 AS AMENDED. THE RIGHTS OF CO-OWNERS AND THE ADMINISTERING BODY, EASEMENTS, RESTRICTIONS AND OTHER TERMS, COVENANTS AND CONDITIONS SET FORTH IN THE MASTER DEED AND EXHIBITS THERETO RECORDED IN LIBER ____, PAGE ____, WASHTENAW COUNTY RECORDS, AND ANY AMENDMENTS THERETO.

20. INTERESET OF THE CITY OF ANN ARBOR DISCLOSED AS OWNER ON THE CITY OF ANN ARBOR TAX ASSESSMENT FOR TAX ITEM No.

09-09-20-401-010. ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. 795853, REVISION E, WITH AN EFFECTIVE DATE OF FEBRUARY 20, 2018, DATE PRINTED MARCH 5, 2018, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

GROSS LAND AREA CALCULATED TO THE EXISTING EDGE OF WATER DATED 02-01-2018:

17. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

±601,766 SQUARE FEET OR ±13.814 ACRES.

SURVEYOR'S NOTE: THE LAND REFERRED TO IN THE TITLE COMMITMENT FILE NO. 795853, DESCRIBED AS PARCELS 1, 2 & 3 ARE BASED UPON THE FOLLOWING DEED FROM THE ANN ARBOR GAS CO. TO WASHTENAW GAS CO. RECORDED MARCH 10, 1913, IN LIBER 191, PAGE 105 OF THE WASHTENAW COUNTY RECORDS AND A WARRANTY DEED FROM WASHTENAW GAS COMPANY TO MICHIGAN CONSOLIDATED GAS COMPANY RECORDED SEPTEMBER 20, 1938, IN LIBER 334, PAGE 324 OF THE WASHTENAW COUNTY RECORDS (THE DEEDS EXCEPTING PORTIONS OF THE PROPERTY HAVE BEEN OMITTED FOR THE PURPOSE OF THIS NOTE). THE PARCEL 3 LEGAL DESCRIPTION DOES NOT TO ADDRESS THE QUIT CLAIM DEED FROM THE DETROIT EDISON CO. TO THE WASHTENAW GAS CO., RECORDED FEBRUARY 5, 1919, IN LIBER 205, PAGE 388 OF THE WASHTENAW COUNTY RECORDS WHICH DESCRIBES THE PROPERTY IN PARCEL 3 AND WAS NOT PART OF THE COMMITMENT OR RECORDS PROVIDED. IT SHOULD, HOWEVER, BE NOTED THAT SAID 1938 WARRANTY DEED DOES IN PARAGRAPH 6 INCORPORATE SAID QUIT CLAIM DEED. AS A RESULT, THE CENTERLINE OF THE NEW CHANNEL AS DESCRIBED & DEPICTED ON THE SURVEY, LIBER 205, PAGE 389, IS THE PROPER NORTH LINE OF PARCEL 3. BY VIRTUE OF SAID QUIT CLAIM DEED MICHIGAN CONSOLIDATED GAS COMPANY OWNS ALL THE LAND NORTH OF PARCELS 1 AND 2 TO THE DESCRIBED CENTERLINE OF THE NEW CHANNEL. THE TITLE COMPANY SHOULD REVIEW THE SURVEY ALONG WITH THE AFORESAID DEED TO DETERMINE IF THE LEGAL DESCRIPTION FOR PARCEL 3 SHOULD BE REDRAFTED ACCORDINGLY.

ALL VACATED STREETS SHOWN HEREON ARE BASED ON THE TITLE COMMITMENT LEGAL DESCRIPTIONS.

