

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 1132 West Washington Street, Application Number HDC19-066

DISTRICT: Old West Side Historic District

REPORT DATE: May 9, 2019

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, May 6, 2019

	OWNER	APPLICANT
Name:	Ken & Deb Carmack	Same
Address:	1132 W Washington St Ann Arbor, MI 48103	
Phone:	(734) 834-0264	

BACKGROUND: This 1 ¾ story gable-fronter features a wood-sided full-width front porch with a gable roof, wide lap siding, and three-over-one craftsman windows. It first appears in Polk City Directories in 1923 as the home of Harrison and Allie Bacon. Harrison was a production manager at Motor Products Corp.

LOCATION: The site is on the north side of West Washington Street, west of Ninth Street and east of Crest Avenue.

APPLICATION: The applicant seeks HDC approval to construct a 16' x 12' wooden shed in the backyard.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Building Site

Recommended: Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Retaining the historic relationship between buildings, landscape features, and open space.

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the building site so that, as a result, the character is diminished.

From the Ann Arbor Historic District Design Guidelines (other Guidelines may apply):

Residential Accessory Structures

Not Appropriate: Introducing new structures or site features that are out of scale with the property or the district or are otherwise inappropriate.

STAFF FINDINGS:

1. The shed is shown in the northwest corner of the back yard, approximately 100' from the West Washington sidewalk. As proposed it meets setback requirements. The design is simple, with vertical wood panel siding, a low gable roof, and double-leaf doors. Windows and a cupola are options in this ore-cut kit ("New Castle"), but they are not included on the application or drawings.
2. The house has room in the driveway for two cars next to the house, but no garage or other exterior storage. In photos provided with the application, the back yard appears to be entirely fenced in.
3. Staff recommends approval of the application and believes that the design, size, location, and materials of the shed are appropriate and will not detract from the historic character of the surrounding neighborhood.

POSSIBLE MOTIONS (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 1132 W Washington Street, a contributing property in the Old West Side Historic District, to construct a new shed in the backyard as proposed. The work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2 and 10 and the guidelines for building site, as well as the *Ann Arbor Historic District Design Guidelines*, particularly as they pertain to residential accessory structures.

MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at _____ in the _____ Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: drawings, photos, materials description

1132 W Washington (May 2008 Survey Photo)





HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120

Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647

Phone: 734.794.6265 ext. 42608

Fax: 734.994.8460

ithacher@a2gov.org

APPLICATION MUST BE FILLED OUT COMPLETELY

OFFICE USE ONLY	
Permit Number	HDC# 19-0666
	BLDG#
DATE STAMP	
CITY OF ANN ARBOR RECEIVED APR 30 2019 PLANNING AND DEVELOPMENT SERVICES	

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER KEN & DEB CARMACK		HISTORIC DISTRICT OLD WEST SIDE
PROPERTY ADDRESS 1132 W. WASHINGTON ST.		CITY ANN ARBOR
ZIP CODE 48103	DAYTIME PHONE NUMBER (734) 834-0264	EMAIL ADDRESS KCAR7979@GMAIL.COM
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE) SAME		CITY ANN ARBOR

PROPERTY OWNER'S SIGNATURE

SIGN HERE		PRINT NAME	KEN CARMACK	DATE	4/29/19
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APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE) SAME			
ADDRESS OF APPLICANT			CITY
STATE	ZIP CODE	PHONE / CELL # ()	FAX No ()
EMAIL ADDRESS			

APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE		PRINT NAME	X	DATE	
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BUILDING USE - CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

16' X 12' WOOD SHED, 10' MAX. HEIGHT, SHINGLES AND WOOD/TRIM PAINT TO MATCH HOUSE, 8" 21A GRAVEL BASE, 3/4" TREATED FLOOR ON 2x4 FRAME, (SEE ATTACHED DETAILS)

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

WE HAVE NO GARAGE OR SHED, OUTDOOR STORAGE NEEDED FOR LAWN MOWER, TOOLS, WHEEL BARROW, ETC. (SEE PICTURES)

For Further Assistance With Required Attachments, please visit www.a2gov.org/hdc



HISTORIC DISTRICT COMMISSION APPLICATION

FEE CHART

DESCRIPTION	
STAFF REVIEW FEES	
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to building@a2gov.org.

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to "City of Ann Arbor"

HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

APPLICATION EXPIRATION

HDC applications expire three (3) years after the date of approval.

OFFICE USE ONLY

Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	



ZONING COMPLIANCE PERMIT APPLICATION

- FENCE, DECK AND SHED CONSTRUCTION CONSTRUCTION AND BUILDING

City Hall: 301 E. Huron St. Ann Arbor, MI 48107-6120

Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647

Phone: 734.794.6265

Questions: planning@a2gov.org

Fax: 734.994.8460

Submission: building@a2gov.org

APPLICATION MUST BE FILLED OUT COMPLETELY

AUTHORITY: PA 230 of 1972, AS AMENDED

PENALTY: PERMIT WILL NOT BE ISSUED

OFFICE USE ONLY	
Permit Number	ZCOM# <u>19-0015</u>
CITY OF ANN ARBOR DATE STAMP RECEIVED APR 30 2019 PLANNING AND DEVELOPMENT SERVICES	

PROPERTY LOCATION

PROPERTY ADDRESS (Street No. and Name) <u>1132 W. WASHINGTON ST.</u>		APT/SUITE # —
CITY <u>ANN ARBOR, MI</u>	ZIPCODE <u>48103</u>	ZONING DISTRICT <u>HISTORIC</u>

Construction Proposed: ☐ Fence up to 7 ft. ☒ Shed under 200 sq. ft. ☐ Free-standing deck under 200 sq. ft.

IS PROPERTY IN A HISTORIC DISTRICT? ☐ No ☒ Yes, If Yes, you **MUST** also complete a [Historic District Commission Application](#)

IS PROPERTY IN A FLOODPLAIN? ☒ No ☐ Yes, If Yes, follow additional instructions found on the [Building in the Floodplain](#) webpage

CURRENTLY, THE PROPERTY IS BEING USED AS:

RESIDENTIAL HOUSE

DESCRIPTION OF PROJECT: (Include a detailed description of the proposed work)

16'x12' WOOD SHED, 10' PEAK HEIGHT, SIDING/TRIM/SINKLES TO MATCH THE HOUSE, 8" 21A GRAVEL FOUNDATION, (SEE ATTACHED)

COST OF PROJECT:

\$ 3200.00



You must attach copy of SITE PLAN or PLOT PLAN indicating the following:

- Fences: Location, height and opacity of the fence. If the proposed fence is over 7 feet in height, you **MUST** apply for a building permit (PDF).
- Sheds and Decks: Dimensions of propose structure and distance from the adjacent property line(s). If the proposed shed or deck is over 200 square feet, you **MUST** apply for a [Building Permit](#).

HOMEOWNER AND CONTRACTOR INFORMATION

OWNER NAME <u>KEN & DEB CARMACK</u>			CONTRACTOR NAME —		
ADDRESS <u>1132 W. WASHINGTON ST.</u>			ADDRESS		
CITY <u>ANN ARBOR</u>	STATE <u>MI</u>	ZIPCODE <u>48103</u>	CITY	STATE	ZIPCODE
PHONE / CELL PHONE #: <u>734-834-0264</u>			PHONE / CELL PHONE #:		
EMAIL <u>KCAR7979@GMAIL.COM</u>			EMAIL		

By signing this application, I indicate that I am aware of the location of the property lines and agree to erect the proposed structure within those lines

OWNER SIGNATURE: 	APPLICANT SIGNATURE: 
SIGN HERE	SIGN HERE
APPROVED BY:	DATE
COMMENTS:	

Please return to: Construction and Building – Planning Division, 301 East Huron Street, Ann Arbor, MI 48104

Permit Fee:	<input checked="" type="radio"/> \$20 For projects up to \$10,000	<input type="radio"/> \$50 For projects over \$10,000
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205 N. Main Street
Ann Arbor, MI 48104-1412
(313) 994-0888 • (800) 433-6133
FAX: (313) 994-0667

SHED LOCATION (REAR CORNER)



VIEW FROM HOUSE



VIEW FROM SHED



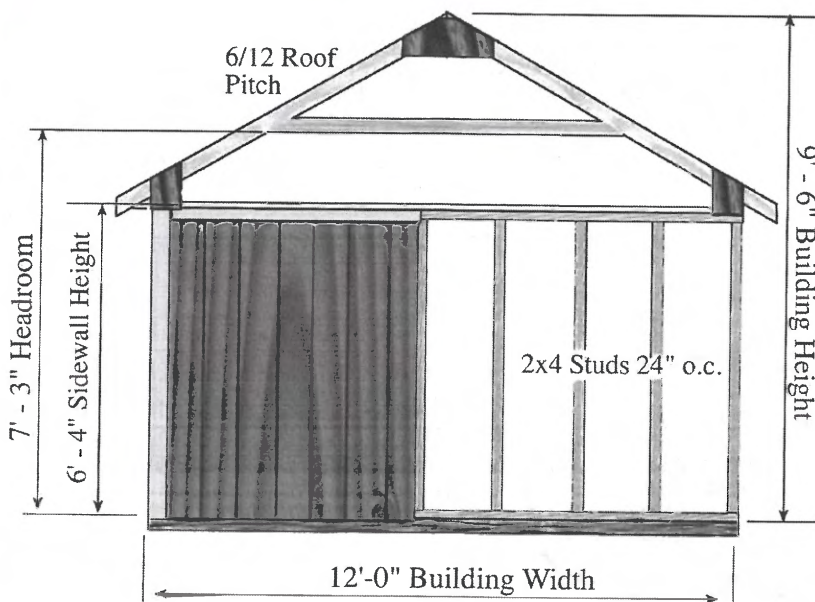
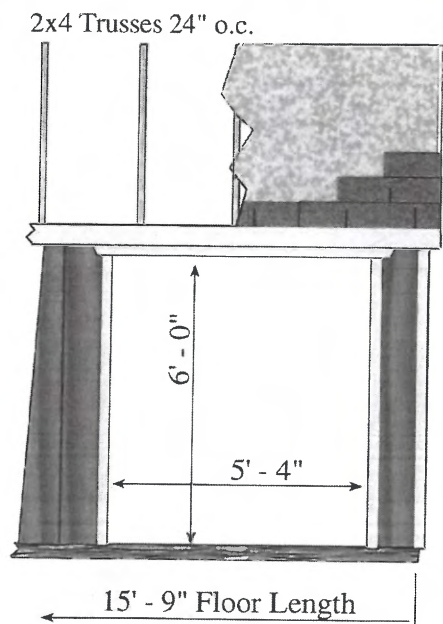
ITEMS CURRENTLY STORED OUTSIDE





Before you order our kit or begin construction, obtain a building permit. If additional documents are required contact Richard@barnkits.com.

NEW CASTLE ELEVATION



Foundation: By owner

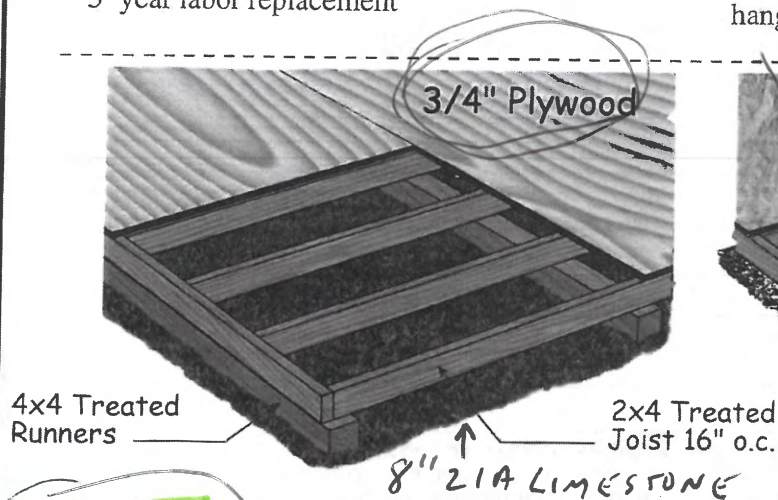
Wall Framing: Constructed from 2x4 pre-cut wall studs spaced 24" on center between top and bottom plates.

Siding: Louisiana-Pacific 'Smart Panel' primed 8" o.c. groove with 50 year warranty, 5 year labor replacement

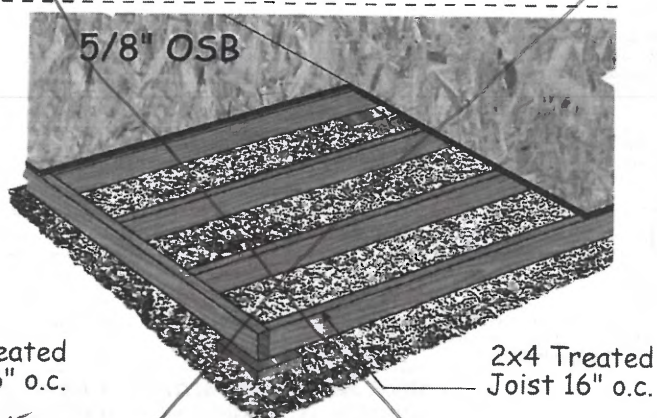
Roof System: 2x4 trusses spaced 24" on center, (40 psf ground snow load, 90 mph wind load). 7/16" OSB roof sheathing. *Shingles by owner.*

Exterior Trim: White pine trim for corners, door, gable trim and sidewall fascia.

Hardware: Nails for all framing, metal hurricane hangers for trusses and door hardware.



Deluxe Floor: 4x4 treated runners can be installed directly on the grass. The runners elevate the floor providing air flow under the floor eliminating moisture. 8' and 10' wide floors have three runners, 12' wide floor have four. The floor covering is 3/4" plywood.



Standard Floor: This floor system is best installed over an existing foundation, cement slab, blacktop or gravel base. Bricks or patio stones can be used to level the 2x4 frame. The floor covering is 5/8" OSB (oriented strand board).

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New Castle 16x12 Wood Storage Shed Kit - ALL Pre-Cut

[newcastle_1612]

~~\$3,999.00~~
\$2,695.00

BUY NOW

The New Castle 16'W x 12'D wood shed kit from Best Barns is the perfect new storage building offering an extra wide door and 7' 3" of headroom!

FREE Shipping!



New Castle 16'W x 12'D Wood Storage Shed Kit - ALL Pre-Cut

Our New Castle **wood shed kit** from Best Barns is the perfect outdoor storage building! It provides enormous storage space with a **16 foot wide entrance side that runs 12 foot deep**. The New Castle shed is large enough to drive in your riding mower, small tractor or atv into and still have plenty of room to fit the rest of your yard tools and lawn equipment inside. **The super wide door opening provides 5' 4" of clearance!**

Everything is Pre-Cut!

- Pre-cut roof trusses for fast and accurate assembly
- Pre-cut Wood Gussets
- Pre-cut wall framing
- Pre-cut exterior siding for an accurate fit
- Pre-cut roof sheathing
- Pre-cut trim for a perfect fit
- Pre-built doors

Heavy Duty Truss System:

- 40 pounds per square foot snow load
- 90 miles per hour wind rating

Siding is Pre-Primed and Ready to Paint:

- Siding included - 3/8" Louisiana Pacific Smart side Exterior Paneling

Manufacturer



Click For More

Tell A Friend

Tell someone you know about this product.

Shed Reviews



The 16x12 New Castle shed kit was extremely easy to build. I...



Click to enlarge

PDF --> Owners Manual

PDF --> View Brochures



Questions?

Let's chat and find you the best shed, for less!

David L.
7 Apr 2019

Quick & Easy !!!

New Castle 16x12 Wood Storage Shed Kit



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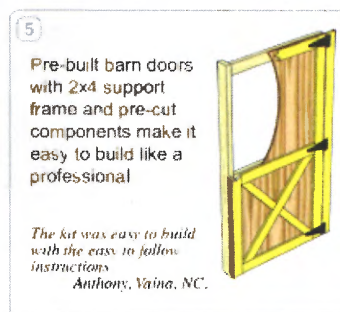
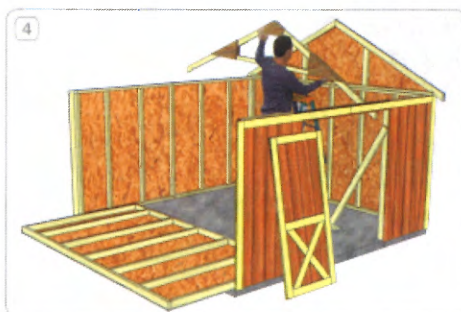
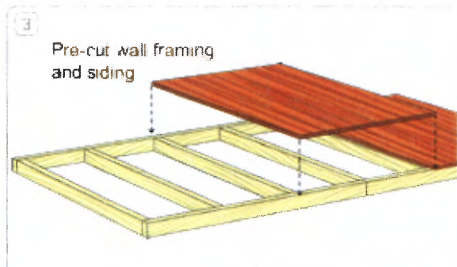
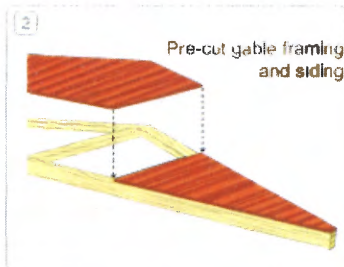
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FAST & EASY

We've done the hard work for you. Our DIY kits make it easy! No special tools or skills required!

- ✓ Pre-built barn doors.
- ✓ Pre-cut trim for a perfect fit.
- ✓ Premium quality material.
- ✓ Easy to follow instructions.
- ✓ Technical Support - 7 days
- ✓ Satisfaction Guaranteed.



Optional Wood Floor

Floor not included; Add a wood floor kit to your shed to give it a finished look!

Designed specifically for your new storage building. Adding a wood floor provides a dry storage area and raises the building above the ground protecting it from damaging moisture. Included in the **deluxe floor kit** are 4x4 treated runners, 2x4 treated joists (spaced 16" on center), 3/4" Plywood flooring and nails. The extra 4x4 runners add additional support to the floor joists and allows you to build your shed directly on the ground or grass. The 4x4's raise the foundation above the ground for air flow that will eliminate moisture.

The material is not pre-cut and will require the customer to make simple straight cuts. The flooring package will be delivered before your shed by a local lumber dealer. They will call to make delivery arrangements and someone must be there to receive and sign.

Optional Flooring - Not Included

Wood Floor Systems - Making the right choice

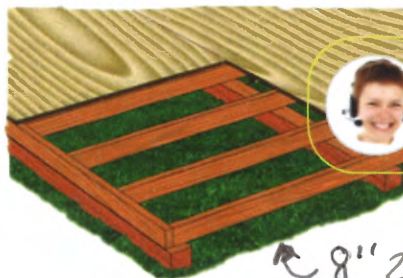
Floor systems vary and making the right choice for your needs is important. We offer an optional deluxe wood floor system for our shed kits which is ideal for supporting a riding lawn mower or 4 wheeler along with all your lawn and garden tools. Or, you may place our kits on a cement slab. Whichever your choice please ensure you build square, level and to the correct size for the kit you are purchasing.

Deluxe Floor System

This optional floor system includes 4x4 treated runners which provide support for the treated floor joists. Runners provide for air flow eliminating moisture.

Includes:

- Treated 2x4 floor joists 16" o.c.
- Treated 4x4 runners
 - 8' & 10' wide kits have three
 - 12' wide kits have four
- 3/4" Plywood



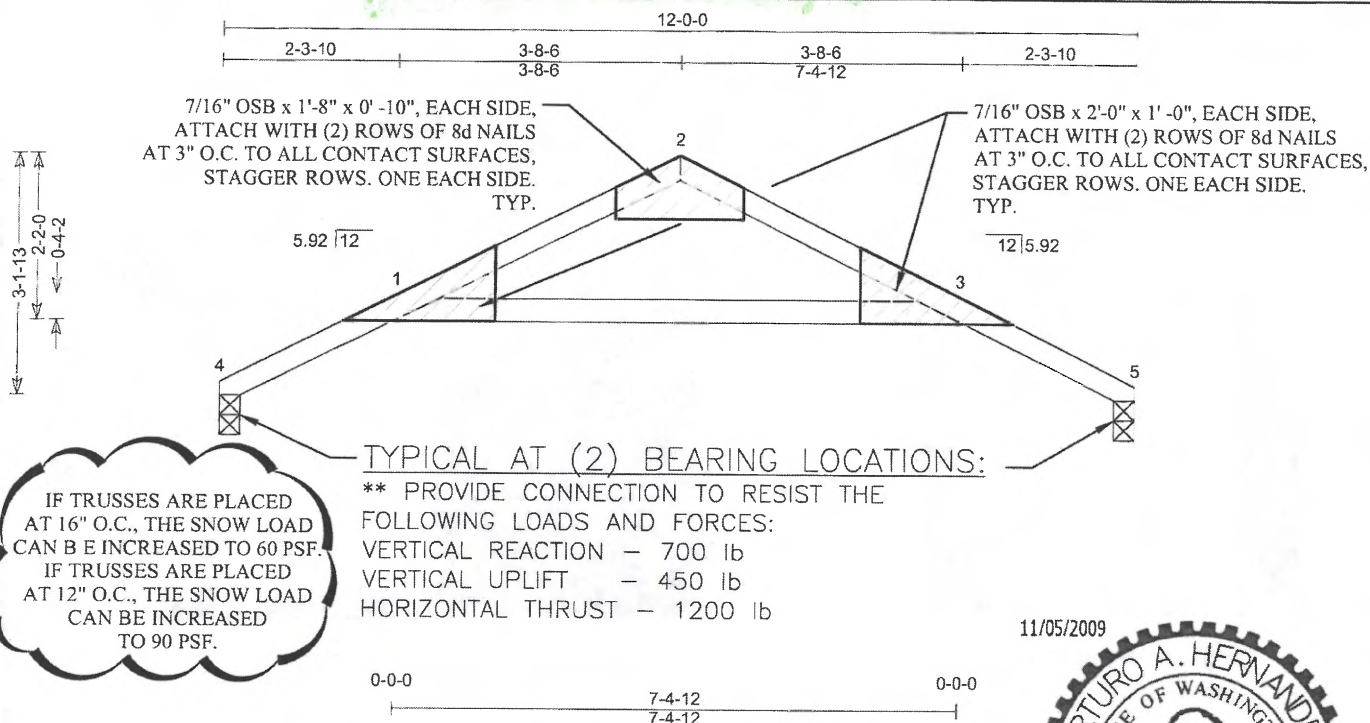
Questions?

Let's chat and find your new shed, for less!

8" 21A LIMESTONE PAD

Truss: R14C
JobName: JRENOLDS
Date: 10/07/09 11:27 AM
Page: 1 of 1

SPAN	PITCH	QTY	OHL	OHR	CANT L	CANT R	PLYS	SPACING	WGT/PLY
7-4-12	5.921 /12	1	2-3-10	2-3-10	0-0-0	0-0-0	1	24 in	23 lbs



11/05/2009

Loading	General	CSI Summary	Deflection	L/	(loc)	Al
Load (psf)	Bldg Code : IBC 2003/	TC : 0.87 (1-2)	Vert TL: 0.21 in	L / 663	(3-1)	L /
TCLL : 40	TPI 1-2002	BC : 0.60 (3-1)	Vert LL: 0.02 in	L / 999	(3-1)	L /
TCDL : 7	Rep Mbr Increase No	Web : 0.00 (1)	Horz TL: 0 in			
BCLL : 0	D.O.L. : 115 %					
BCDL : 10						

Reaction Summary

JT	Type	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Uplift
4	Pin (Wall)	1	3.313 in	1.50 in	698 lbs	-	-147 lbs	-441 lbs	-441 lbs	-441 lbs
5	Pin (Wall)	1	3.313 in	1.50 in	698 lbs	-	-147 lbs	-441 lbs	-441 lbs	668

Material Summary

TC	SPF #2 2 x 4
BC	SPF #2 2 x 4
Webbs	

Bracing Summary

TC Bracing: Sheathed or Purlins at 3-5-0, Purlin design by Others.
BC Bracing: Sheathed or Purlins at 5-4-0, Purlin design by Others.

Loads Summary

- 1) This truss has been designed for the effects of wind loads in accordance with ASCE7 - 02 with the following user defined input: 90 mph, Exposure C, Enclosed, Gable/Clip, Building Category II (I = 1.00), B=B-L=15 ft, End Zone Truss, Both end webs considered. DOL = 1.60
- 2) This truss has been designed for the effects of balanced and unbalanced snow loads for hips/gables in accordance with ASCE7 - 02 except as noted, with the following user defined input: 40 psf ground snow load. NOTE: Conservatively, all flat/sloped roof factors have been ignored and the ground snow load has been used for the roof snow load. DOL = 1.15. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
- 3) This truss has been designed to account for the effects of ice dams forming at the eaves.
- 4) This truss has been designed for the effects of a 18.1 psf live load computed in accordance with IBC 2003 assuming slope = 5.92/12 and area supported = 24 R².
- 5) Minimum storage attic loading has been applied in accordance with IBC 1607.1

Member Forces Summary

T/C	4-1	0.847	-1,340 lbs	1-2	0.868	-869 lbs	2-3	0.868	-869 lbs	3-5	0.847	-1,340 lbs
B/C	3-1	0.59%	-1,171 lbs									

Notes:

- 6) When this truss has been chosen for quality assurance inspection, the Effective Tooth Count Method per TPI 1-2002/A3.4 shall be used.

UNIQUE BEARING CONDITIONS AT JOINTS 4 & 5 REQUIRE SPECIAL ATTENTION
THE BUILDING DESIGNER MUST ACCOUNT FOR NOT ONLY THE BEARING REACTION BUT
FOR THE HORIZONTAL THRUST AND THE UPLIFT. PROVIDE MECHANICAL CONNECTION
(BY OTHERS) TO RESIST SAID FORCES SHOWN HEREON. THRUST = 1180lb/TRUSS

A copy of this design shall be furnished to the erection contractor. This design is for an individual building component (a truss). It is based on specifications provided by the Truss Designer and performed in accordance with TPI-1-2002 and the 2001 NDS design standard. No responsibility is assumed for the accuracy of information provided by the Truss Designer. Dimensions shall be verified by building designer. Creep deflection is not automatically accounted for by the software. The building designer shall review loading, truss configuration and initial deflection data shown to ensure that this design meets or exceeds minimum loading required by applicable building codes. Compression members shall be braced against lateral-torsional buckling by the roof or floor sheathing, directly attached, unless otherwise noted. Bracing shown is for lateral support of individual truss components only to reduce buckling length. It is not wind or lateral load bracing or overall building bracing which is why it is not a B-B recommended truss handling and erection. Do not apply loads beyond weight of erections until all permanent bracing is in place. Concentration of construction loads greater than the design loads shall not be applied to the trusses at any time. Trusses shall be applied in order prior to erection to avoid damage. Lumber moisture content shall be 19% or less at the time of fabrication, unless noted otherwise (UNO). Connector plates shall be manufactured by Eagle Metal Products (FSR-1082). Plates shall be applied to the web prior to erection. All trusses are listed with plates run parallel to the plate length. The plate shall be centered on joint and/or placed in accordance with the current version of TPI for any particular building design is the responsibility of the building designer, per ANSI/TPI-1-2002, Chapter 2.

Eagle Metal Products
2711 LBJ Freeway, Suite 160
Dallas, Texas 75234

New Castle 16x12 Wood Storage Shed Kit



Lifetime 15x8 Plastic Garden Storage Shed Kit w/ Floor



Lifetime 15x8 Plastic Storage Shed Kit w/ Double Doors



Lifetime Sheds 8x15 Plastic Storage Shed w/ 2 windows



Arrow Vinyl Murryhill 12x17 Shed



Lifetime 20x8 New Style Storage Shed Kit w/ Floor

- Constructed of wood strands, pressed into a resin saturated substrate superior to plywood
- Primed and ready for your finishing coat of paint!
- Pre-treated with Composibor to prevent fungal decay and insects
- 50 year limited warranty!

Pre-Built Doors:

- Extra wide doors are now pre-built and ready to hang!
- 2x4 back frame to prevent warping

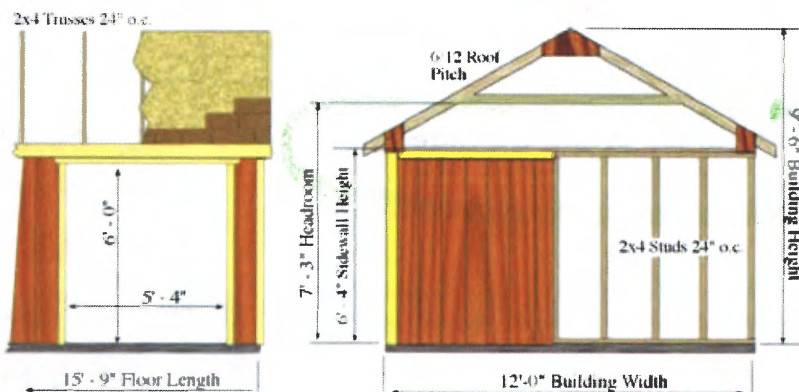
All required hardware: door hinges, latch, hurricane straps for trusses, nails, glue for gussets and detailed instruction manual included. **Paint, shingles and roof edge are provided by owner / not included.**

This shed is pictured with 4 optional single hung windows with shutters, gable window and cupola not included. Customize your shed and ADD options at the bottom of this page.

New Castle 16' x 12' Shed Dimensions:

- 7' 3" of headroom inside!
- Door measures 5' 4"W x 6'H
- See diagram below!

NEW CASTLE ELEVATION



Customer Service

Questions?
CALL US!
1-877-30-SHEDS
8am-1am CDT
7 Days a Week!
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New Castle 16x12 Wood Storage Shed Kit

**Windows pictured are not included; Add windows and other accessories below!*

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