

**PLANNING AND DEVELOPMENT SERVICES STAFF REPORT**

**For Planning Commission Meeting of August 15, 2017**

**SUBJECT: McCowan Lot 27 (2651 Dexter Road) Annexation and Zoning  
File Nos. A17-007 and Z17-011**

**McCowan Lot 28 (2647 Dexter Road) Annexation and Zoning  
File Nos. A17-006 and Z17-010**

**McCowan Lot 30 (2633 Dexter Road) Annexation and Zoning  
File Nos. A17-005 and Z17-009**

**PROPOSED CITY PLANNING COMMISSION MOTION**

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the McCowan Lot 27, 28 and 30 Annexations at 2651, 2647 and 2633 Dexter Road, and R1C (Single-Family Dwelling District) Zonings.

**STAFF RECOMMENDATION:**

Staff recommends that the petitions be **approved** because the parcels are within the City's water and sewer service area and the recommended zonings are consistent with the adjacent zonings, the surrounding land uses and the City's Master Plan.

**LOCATION:**

All lots are on the south side of Dexter Road between Valley Drive and Clarendon Drive. West planning area.

**DESCRIPTION OF PROJECT:**

The petitioner has requested annexation from Scio Township and R1C (Single Family Dwelling) zoning designation for three individual lots, as follows:

- Lot 27, a vacant 10,822-square foot lot at 2651 Dexter Road
- Lot 28, a vacant 9,857-square foot lot at 2647 Dexter Road
- Lot 30, a vacant 7,920-square foot lot at 2633 Dexter Road

The R1C district requires a minimum of 7,200 square feet of lot area.

**LAND USE ANALYSIS:**

	<b>Surrounding Land Use</b>	<b>Surrounding Zoning Districts</b>
<b>NORTH</b>	Single family residential	R1C (Single Family Dwelling)
<b>EAST</b>	Single family residential	R1C
<b>SOUTH</b>	Single family residential	R1C
<b>WEST</b>	Single family residential	R1C

**HISTORY AND PLANNING ANALYSIS:**

The Scioto Hills plat was approved by the Scio Township Board in 1926. With the annexation of Lots 27, 28 and 30, all but one of the lots will have been annexed into the City.

The Master Plan: Lane Use Element recommends continued single-family residential uses for each lot.

**STAFF COMMENTS:**

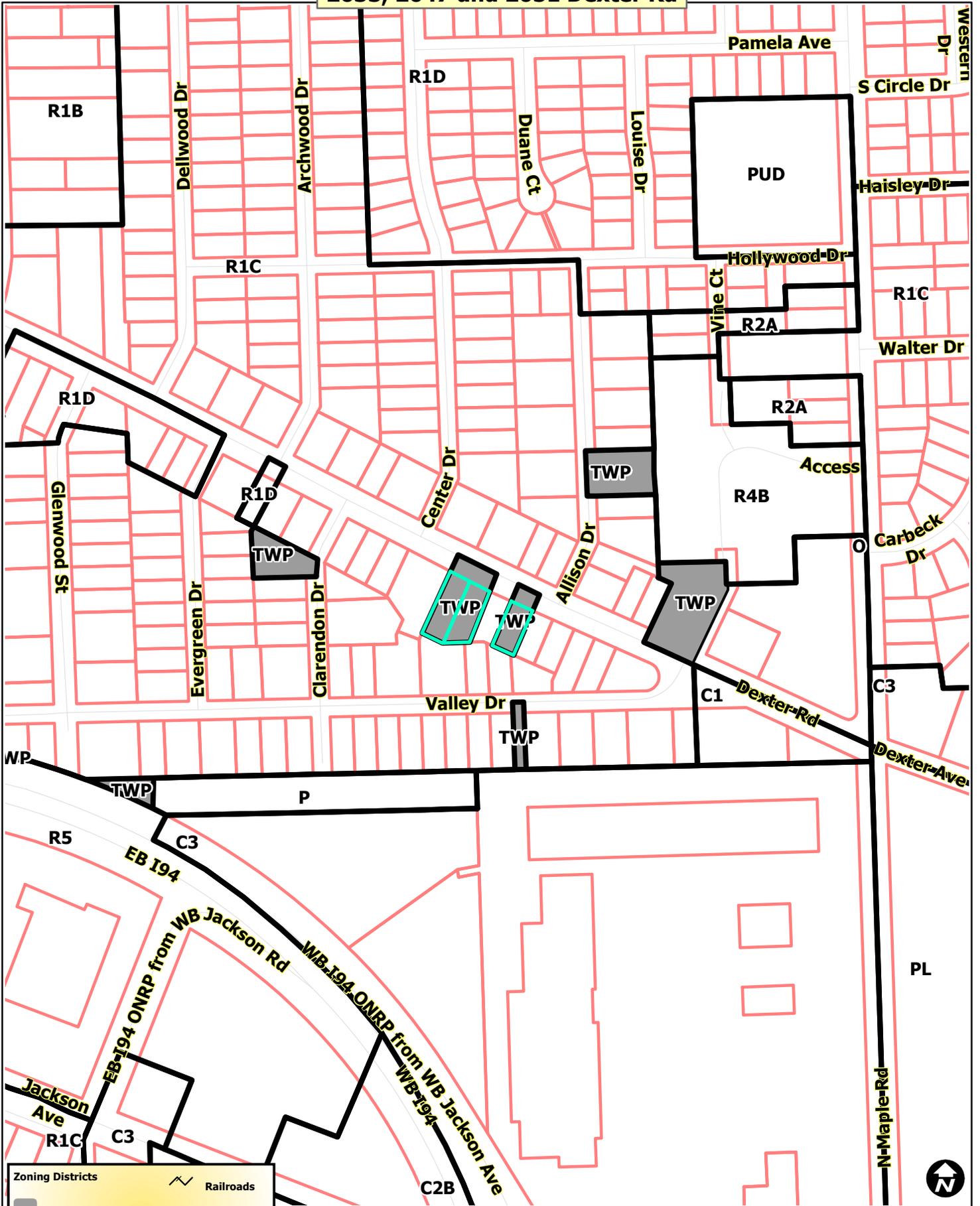
None.

Prepared by Alexis DiLeo  
Reviewed by Brett Lenart  
8/11/17

Attachments: Zoning Map  
Aerial Photo

c: Robert McCowan – Petitioner and Owner  
Assessor's Office  
Systems Planning  
File

2633, 2647 and 2651 Dexter Rd





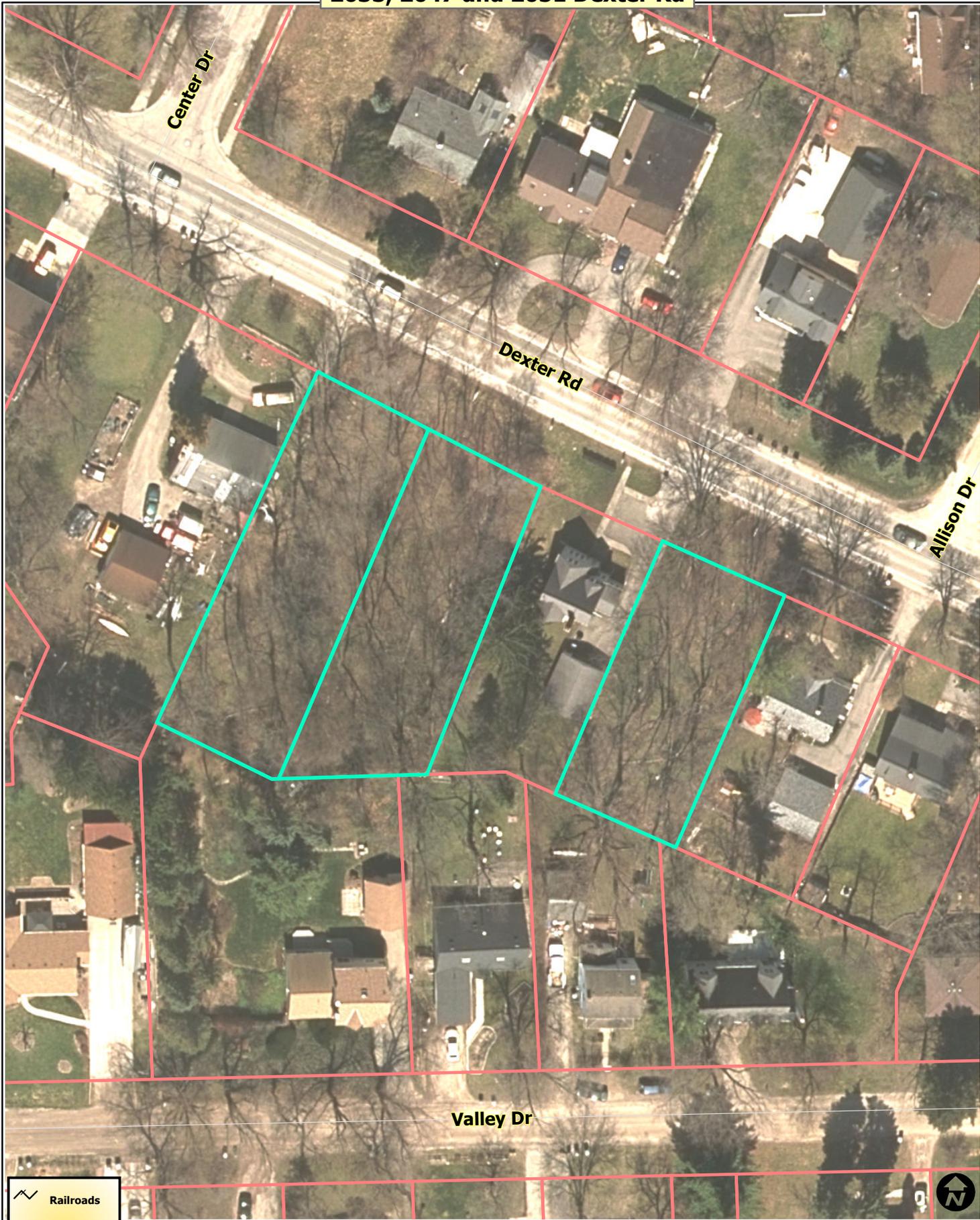

Map date 7/25/2017  
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2633, 2647 and 2651 Dexter Rd



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2633, 2647 and 2651 Dexter Rd



-  Railroads
-  Huron River
-  Tax Parcels



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