

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of May 16, 2017

**SUBJECT: 904 South Main Site Plan for City Council Approval
(904 South Main Street at West Davis Avenue)
File No. SP17-012**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the 904 South Main Street Site Plan for City Council approval.

STAFF RECOMMENDATION

Staff recommends that the site plan be **approved** because it would comply with all the applicable local, state, and federal laws, ordinances, standards, and regulations; the development would limit the disturbance of natural features to the minimum necessary to allow a reasonable use of the land; would not cause a public or private nuisance; and would not have a detrimental effect on public health, safety, or welfare.

LOCATION

The site is located at the southwest corner of South Main Street and West Davis Avenue, (Central Area, Allen Creek Watershed).

DESCRIPTION OF PETITION

The 12,278 square foot parcel has an existing, turn of the century, single-family home that is proposed to be demolished. The petitioner seeks to construct a new, four-unit townhouse structure in the R4C (Multiple-Family) dwelling district. Each unit will have its own 2 car garage at the ground level with three floors of living space above the garage. An existing curb cut on Davis Avenue will be replaced with 2 curb cuts, each of which will be shared by two residents. The project will be of similar scale and style as the Davis Row Townhomes west of the site. The end units will be 2,865 square feet in size and the center units will be 2,716 square feet.

No storm water detention is required since the proposed imperviousness of the site is less than 5,000 square feet; 4,850 square feet of impervious surface is proposed. A 24-inch Black Walnut tree is the only regulated natural feature on the site. It is adjacent to the south property line near the west property line and is proposed to remain on the site. A conflicting land use buffer is proposed on the south and west sides of the site to meet landscaping and screening requirements. A total of 23 new trees are proposed to be provided throughout the site. A new sidewalk along Davis Avenue will also be provided. The project is proposed to be constructed in one phase.

COMPARISON CHART

	EXISTING	PROPOSED	REQUIRED
Zoning	R4C (Multiple-Family Residential District)	R4C (Multiple-Family Residential District)	R4C (Multiple-Family Residential District)
Gross Lot Area	12,278 square feet	12,278 square feet	8,500 sq ft MIN
Lot Area per Dwelling Unit	12,278 square feet	3,070 sf/unit	2,175 sf/unit MIN
MIN open space in % of Lot Area	N/A	64%	40% MIN
Setbacks	Front	S. Main: 42.4 feet Davis: 21.9	32.6 feet (Averaged) MIN 14.7 feet (Averaged) MIN
	Side(s)	2 feet	15 ft MIN
	Rear	64.7 feet	30 ft MIN
Height	25 feet	28.5 feet	30 ft MAX
Parking - Automobiles	2 spaces	8 spaces	6 spaces MIN
Parking – Bicycles	None	4 spaces	2 Class A spaces (MIN)

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Residential	R4B (Multiple-Family Residential District)
EAST	Residential	R4C (Multiple-Family Residential District)
SOUTH	Residential	R4C (Multiple-Family Residential District)
WEST	Residential	R4C (Multiple-Family Residential District)

HISTORY

The existing house on the property was constructed sometime between 1895-1897. The site is not in an historic district.

PLANNING BACKGROUND

The City of Ann Arbor Master Plan: Land Use Element contains recommendations for the redevelopment of sites in the Central Area. In particular, the plan recommends that the Hoover/Davis area be rezoned to lower residential densities along with a number of other neighborhoods in the West Area. This rezoning has not occurred. The Plan also includes

language to “ensure that new infill development is consistent with the scale and character of existing neighborhoods....”.

The City-initiated R4C/R2A study reiterated concerns noted from the Master Plan, including rezoning of the West Davis area from R4C to R2A, massing of new construction, and recommended limits on lot combinations in the R4C zones.

Non-Motorized Plan – There are several bus stops and routes along South Main Street. There is a pedestrian crosswalk two blocks to the south at the intersection of South Main and Pauline Streets and a crosswalk one block to the north at the intersection of Hill and South Main Streets.

STAFF COMMENTS

Planning – The proposed four-unit townhome project is generally consistent with the scale and residential character of the neighborhood.

Prepared by Jeff Kahan
Reviewed by Brett Lenart
mg/
5/10/17

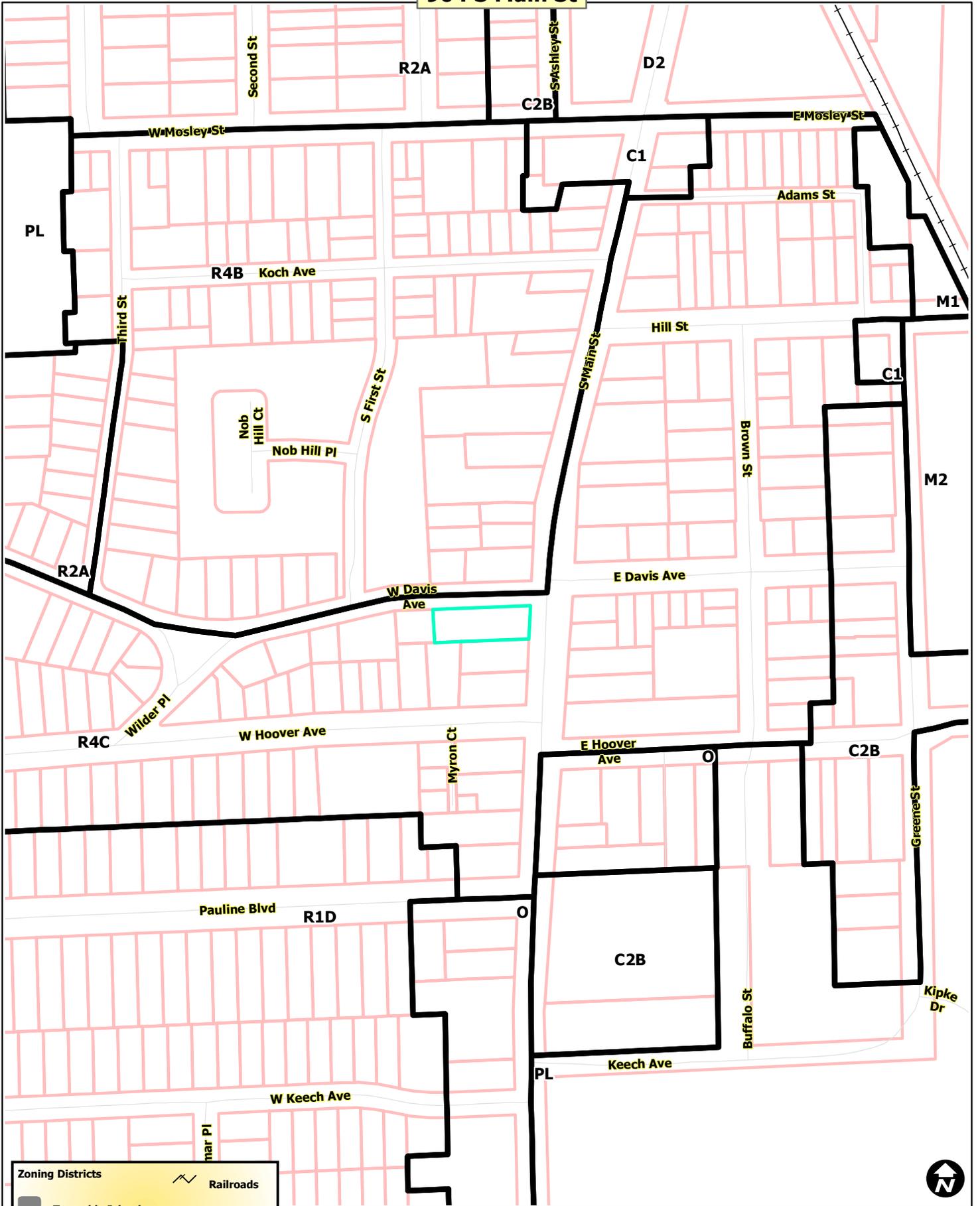
Attachments: Parcel/Zoning Map
Aerial Photo
Site Plan
Elevations

c: Property Owner: Cabrio Properties
2350 S. Huron Parkway
Ann Arbor, MI 48104

Petitioner: Dan Williams, Maven Development
544 Detroit Street, Suite 1
Ann Arbor, MI 48104

Systems Planning
File No. SP17-012

904 S Main St



Zoning Districts	Railroads
Township Islands	Huron River
City Zoning Districts	Tax Parcels



Map date 1/23/2017
 Any aerial imagery is circa 2015 unless otherwise noted
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904 S Main St

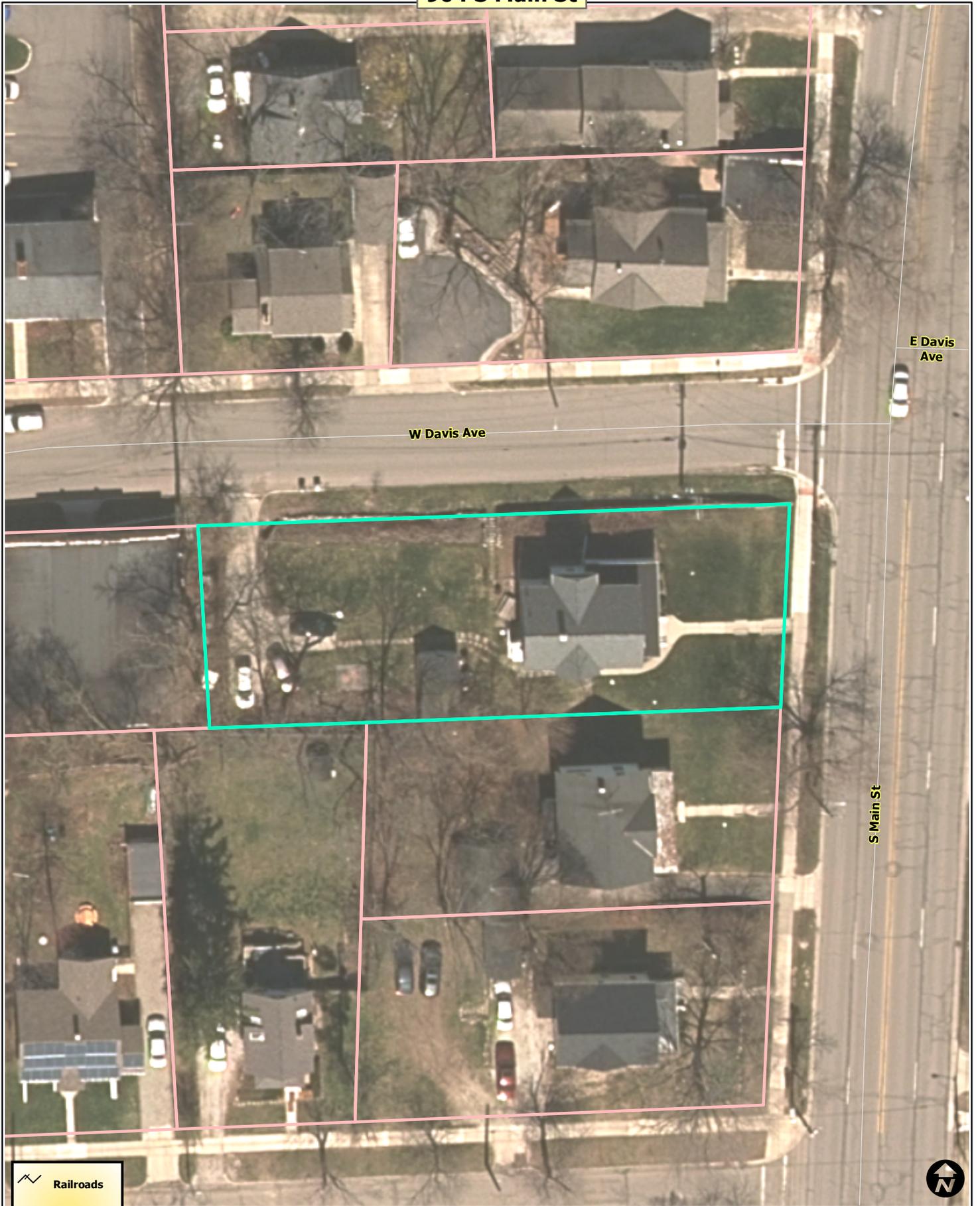


- Railroads
- Huron River
- Tax Parcels



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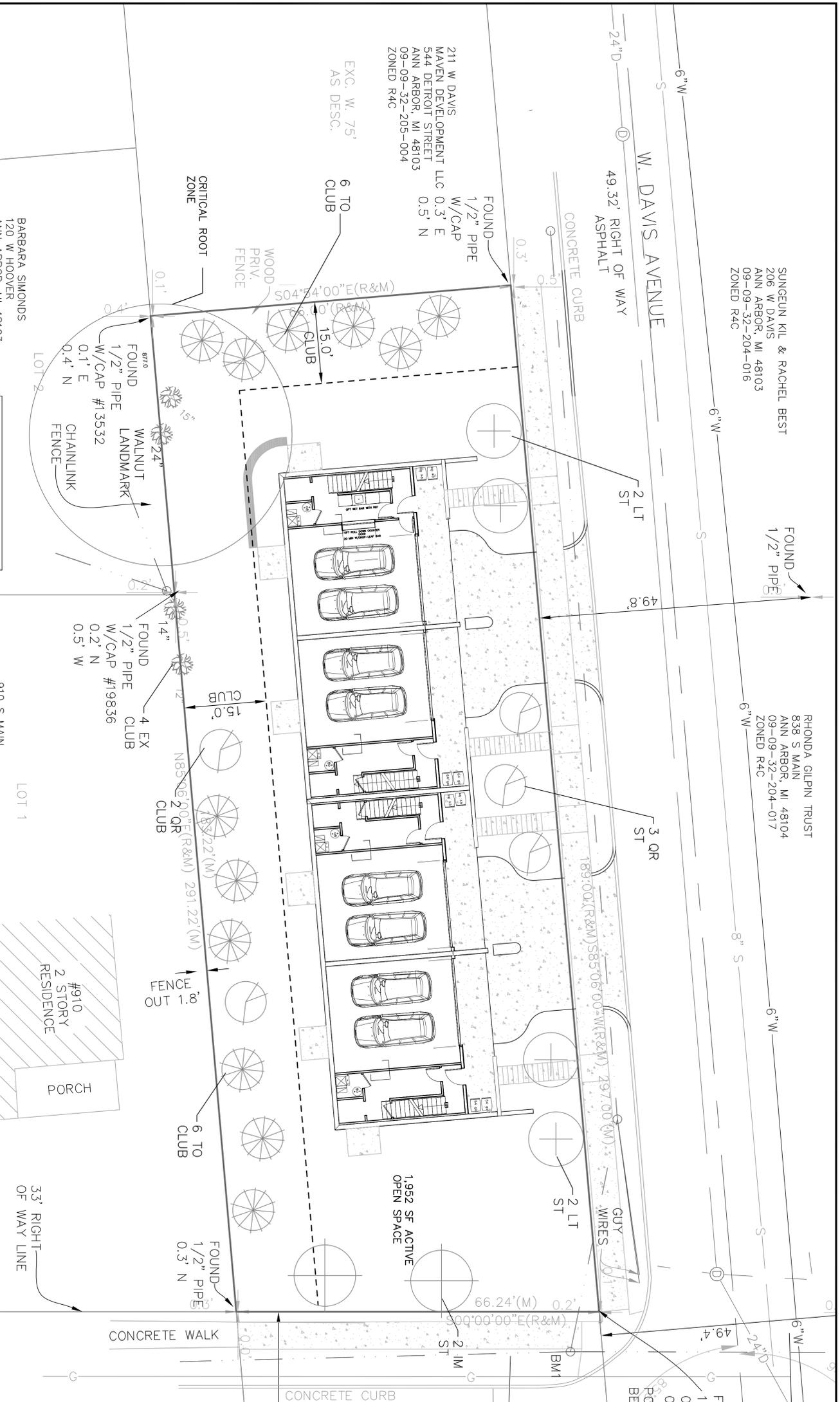
904 S Main St



-  Railroads
-  Huron River
-  Tax Parcels

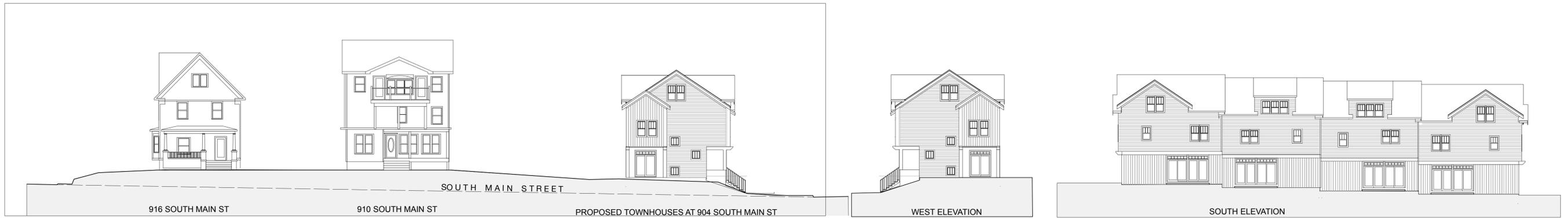


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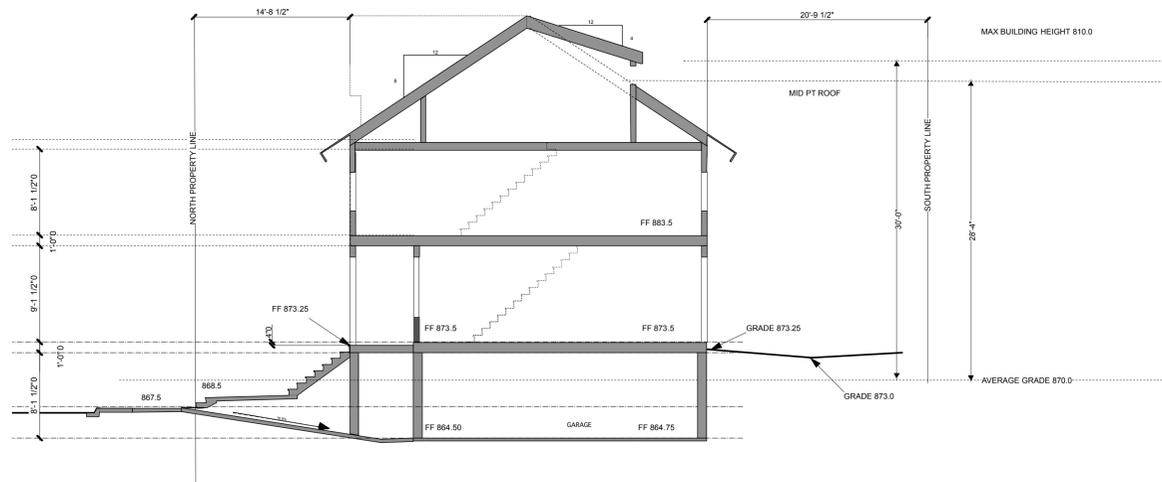




WEST DAVIS AVENUE CONTEXT DRAWING
Scale : 1" = 30' 0"



MAIN STREET CONTEXT DRAWING
Scale : 1" = 30' 0"



BUILDING HEIGHT ANALYSIS
Scale : 1/16" = 1' 0"

1ST SUBMISSION 03 27 17
REVISED: 05 10 17



PROPOSED TOWNHOUSES AT 904 SOUTH MAIN ST. NORTH ELEVATION



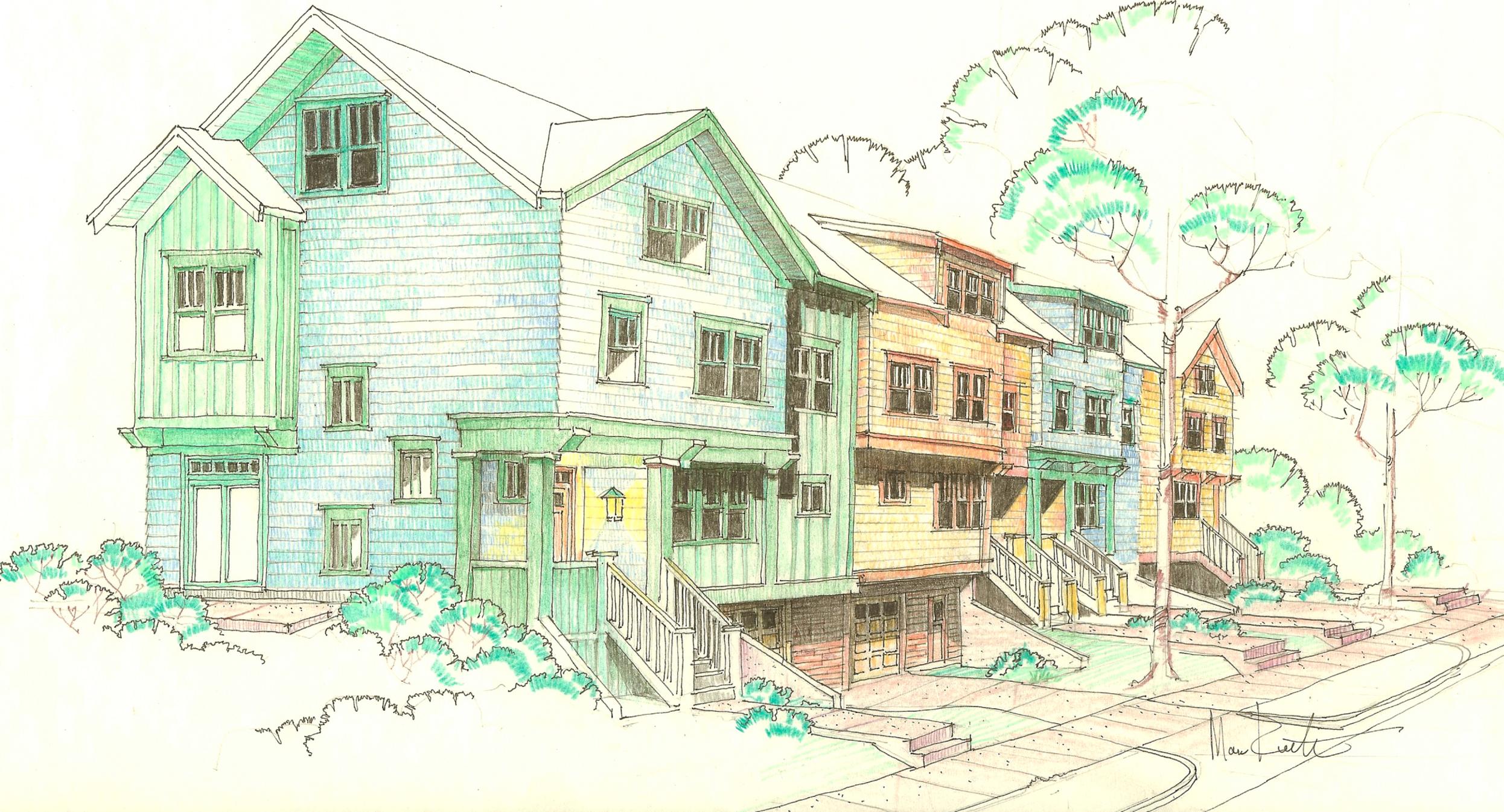
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



Max Kutt