



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

SITE SUMMARY NOTES

A. PETITION FOR SITE PLAN

REZONING IS REQUESTED FROM R4C TO C1A/R TO INCREASE THE DENSITY AND USE OF THE SITE. THE SOUTH AREA PLAN AS PART OF ANN ARBOR'S COMPREHENSIVE PLAN RECOMMENDS THE PARCELS ON STIMSON BE USED FOR RESIDENTIAL AND COMMERCIAL PURPOSES. BOTH R4C AND C1A/R INTEND TO BE CLOSE TO CAMPUS AND COMMERCIAL DISTRICTS. THE C1A AND C1A/R DISTRICTS HAVE THE LEAST DIMENSIONAL STANDARDS FOR MIXED USE ZONING IN THE UNIFIED DEVELOPMENT CODE. TO RESPOND TO THE CONTEXT OF THE SITE, ADDITIONAL CONDITIONS ARE PROPOSED INCLUDING A HEIGHT LIMIT OF 100', PARKING MAXIMUMS, BUILDING ELECTRIFICATION (NATURAL GAS LIMITATIONS) AND SHORT TERM RENTAL (STR) MAXIMUMS.

B. DEVELOPMENT PROGRAM

I. DESCRIPTION:

THE PROPOSED DEVELOPMENT WILL HAVE 216 RESIDENTIAL UNITS, REPLACING 38 EXISTING UNITS. THE UNITS WILL BE A MIX OF STUDIO, ONE, AND TWO BEDROOM. THE SITE HAS BEEN PLANNED TO UTILIZE THE ROOF OF THE GROUND FLOOR AS AN EXTENSION OF LANDSCAPING AND ACTIVE OUTDOOR SPACE WITH EXTERIOR ACCESS THROUGH THE SOUTH, EAST, AND NORTH SIDEWALK CONNECTIONS OF THE SITE. ONE CURB CUT ON WHITE STREET WILL PROVIDE ENTRY TO THE GROUND FLOOR COVERED PARKING. ONE CURB CUT ON HENRY WILL PROVIDE AN AREA FOR SOLID WASTE PICKUP. ALL PARKING IS COVERED AND WITHIN THE INTERIOR OF THE GROUND FLOOR.

II. PROPOSED PHASING & PROBABLY CONSTRUCTION COSTS:

THE SITE IS TO BE DEVELOPED IN ONE PHASE, SCHEDULED TO BEGIN ONCE APPROVALS ARE SECURED. CONSTRUCTION COSTS ARE CURRENTLY ESTIMATED TO BE BETWEEN \$60-70 MILLION.

C. COMMUNITY ANALYSIS

I. IMPACT OF PROPOSED DEVELOPMENT ON AREA SCHOOLS:

THE PROPOSED SOUTHTOWN DEVELOPMENT WILL NOT IMPACT PUBLIC ELEMENTARY OR HIGH SCHOOLS.

II. RELATIONSHIP OF INTENDED USE TO NEIGHBORING USES:

THE PROPERTY TO THE NORTH OF THE SITE IS PUD FOR AFFORDABLE MULTI-FAMILY HOUSING. THE PROPERTY TO THE EAST OF THE SITE IS R4C AND R3 FOR MARKET RATE AND AFFORDABLE MULTI-FAMILY HOUSING. THE PROPERTY TO THE SOUTH OF THE SITE IS C3 SINGLE STORY COMMERCIAL RETAIL. THE PROPERTY TO THE WEST OF THE SITE IS PL PUBLIC LAND FOR THE UNIVERSITY OF MICHIGAN GOLF COURSE. THE MAJORITY OF THE SURROUNDING PROPERTY IS RESIDENTIAL NEIGHBORHOOD AND LOW DENSITY COMMERCIAL INCLUDING O OFFICE ZONING TO THE NORTH AND C3 COMMERCIAL FOR MUCH OF THE SOUTH AREA.

THE PROJECT WILL BE MARKETED PRIMARILY TO YOUNG PROFESSIONALS INTERESTED IN A CONVENIENT LOCATION TO DOWNTOWN ANN ARBOR AND THE UNIVERSITY OF MICHIGAN CAMPUS. MULTIMODAL TRANSPORTATION OPTIONS. THE PROPOSED DEVELOPMENT WILL NOT IMPACT PUBLIC SCHOOLS, AIR, OR WATER QUALITY; AND THERE ARE NO NATURAL FEATURES ON THE SITE. THERE ARE NO HISTORIC DISTRICTS, SITES, OR STRUCTURES NEAR OR ON THE SITE.

THE EXISTING BUILDINGS ARE PROPOSED TO BE REMOVED. THE PROPOSED DEVELOPMENT OF RESIDENTIAL AND COMMERCIAL WITH RETAIL AND OFFICE IS CONSISTENT WITH THE CURRENT USES IN THE NEIGHBORHOOD AND SURROUNDING AREA.

III. IMPACT OF ADJACENT USES ON THE PROPOSED DEVELOPMENT:

IMPACTS ARE LIMITED AS PROPOSED USES (OFFICE, RETAIL, DAYCARE AND RESIDENTIAL) ARE LIKE USES FOUND IN THE EXISTING NEIGHBORHOOD.

IV. IMPACT OF PROPOSED DEVELOPMENT ON AIR AND WATER QUALITY, AND ON THE EXISTING NATURAL FEATURES OF THE SITE AND NEIGHBORING SITES:

- THERE WILL BE NO NEGATIVE IMPACT TO AIR QUALITY.
- THE AREA THAT MAKES UP THIS PROJECT IS CURRENTLY DEVELOPED AND HAVE NO STORM WATER DETENTION FACILITIES. THE PROPOSED STORM WATER DETENTION SYSTEM IS DESIGNED TO PRE-TREAT, DETAIN, AND RELEASE THE RUNOFF AT A CONTROLLED RATE. WATER QUALITY CONTROLS WILL BE IMPLEMENTED TO ENSURE THAT RUNOFF DURING CONSTRUCTION IS CONTROLLED AND MANAGED.
- THE PROPOSED DEVELOPMENT REQUIRES THE REMOVAL OF LANDMARK TREES. ALTERNATIVE ANALYSIS WAS PERFORMED AND IS PROVIDED ON SHEET C-202.
- THERE ARE NO ENDANGERED SPECIES HABITATS, FLOODPLAINS, WATER COURSES, WETLANDS, STEEP SLOPES, OR WOODLANDS WITHIN THE PROJECT AREA. NO MITIGATION IS REQUIRED.

V. IMPACT OF THE PROPOSED USE ON HISTORIC SITES/STRUCTURES:

NO HISTORIC STRUCTURES EXIST ON-SITE. THE SITE ITSELF IS NOT HISTORIC.

VI. TRAFFIC STATEMENT:

- THE PROPOSED SOUTHTOWN DEVELOPMENT (MULTI-FAMILY HOUSING [MID-RISE] PER ITE CODE 221) WILL INCLUDE 216 RESIDENTIAL UNITS.
- THE ESTIMATED TRIP GENERATION (PER ITE MANUAL) IS 1,137 TRIPS (WEEKDAY AVERAGE DAILY TRIPS)
 - THE TOTAL AM PEAK HOUR = 98 (VPH)
 - THE TOTAL PM PEAK HOUR = 97 (VPH)

VII. PUBLIC SIDEWALK MAINTENANCE STATEMENT

THE PROPOSED PUBLIC SIDEWALK ALONG S. STATE STREET, HENRY STREET, WHITE STREET AND STIMSON STREET SHALL BE KEPT & MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO & ABUTTING THE SAME SIDEWALK.

VIII. NATURAL FEATURES GENERAL DESCRIPTION AND IMPACTS:

IN ACCORDANCE WITH THE CITY OF ANN ARBOR LAND DEVELOPMENT REGULATIONS REGARDING SITE PLAN REQUIREMENTS, THE NATURAL FEATURES IMPACTS ARE AS FOLLOWS:

LIMITS OF SOIL DISTURBANCE: SEE GRADING PLAN (SHEET C-300).

BOUNDARY AND DESCRIPTION OF ENDANGERED SPECIES HABITAT: NOT APPLICABLE.

BOUNDARY AND ELEVATION OF ANY 100-YEAR FLOODPLAIN: NOT APPLICABLE.

LANDMARK TREES: SEE EXISTING CONDITIONS PLAN. THERE ARE PROPOSED IMPACTS TO LANDMARK TREES. SEE ALTERNATIVE ANALYSIS AND LANDSCAPE PLAN FOR MITIGATION (SHEET C-200 & C-204).

STEEP SLOPES: NOT APPLICABLE.

WATERCOURSES: THERE ARE NO EXISTING OR PROPOSED WATERCOURSES ON THIS SITE.

WETLANDS: THERE ARE NO EXISTING WETLANDS ON THIS SITE.

WOODLAND BASAL AREA: THERE ARE NO EXISTING WOODLAND AREAS ON THIS SITE.

D. PUBLIC PARK PLANNING

I. PARKS CONTRIBUTION REQUEST:

THE DEVELOPMENT TEAM HAS AGREED TO CONTRIBUTE FUNDS TOWARD THE CITY OF ANN ARBOR'S PUBLIC PARKLANDS TO IMPROVE THE SURROUNDING NEIGHBORHOOD PARKS. FUNDS WILL BE PROVIDED AT THE FOLLOWING RATE:

216 DWELLING UNITS x .0125 ACRES x \$50,000/ACRE = \$135,000

SOUTHTOWN BY 4M

CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

SITE PLAN

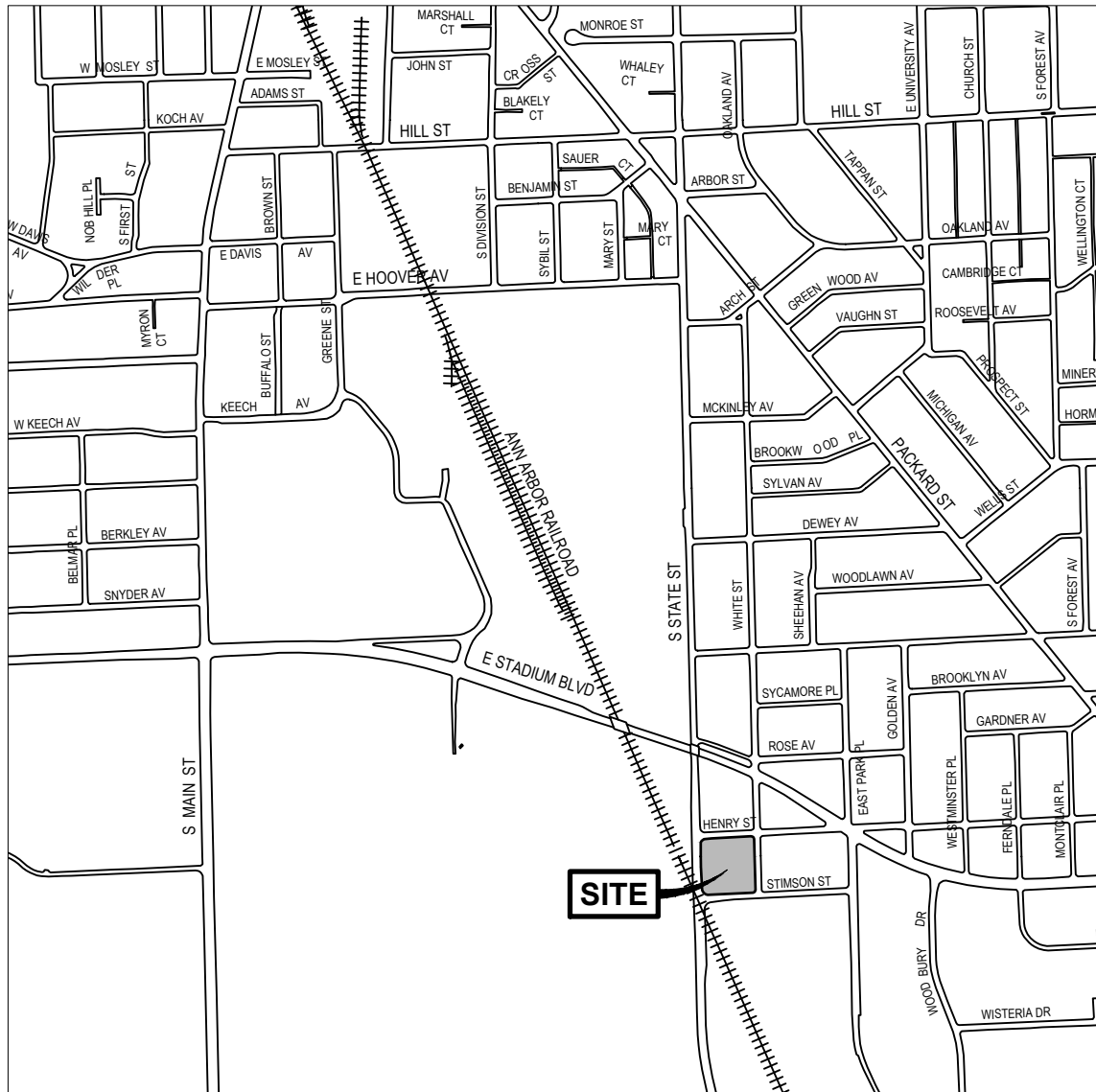


SITE PERSPECTIVE

DEVELOPMENT SUMMARY & COMPARISON CHART

Zoning	Existing (R4C)	Required / Permitted (R4C)	Proposed (C1A/R)	Required / Permitted (C1 A/R)
Gross Lot Area (min)	72,148 sf	8,500 sf	72,148 sq. ft.	none
Min Lot Width (ft)	40.3'	60	none	none
Min Open Space (% of Lot Area)	82%	40%	none	none
Max Short Term Rental (STR) Use	-	-	up to 30%	30% proposed max.
Building Area (sq. ft.)	13,065	-	221,633 (1)(2)	216,444 (224,444 with premium)
FAR (% of Lot Area)	18.11%	-	307.2% (1)(2)	300% Max + premium (311%)
FAR (units / acre)	22.9	20 units / acre	130.9	-
Premiums (sq. ft.)	none	none	5,189 (2)	8,000 max.
Front Setbacks				
State Street	24.2'	25'	5.1' min. 6.3' max.	10' min. (5' with 50% rule)
Stimson Street	N/A	25'	10.4' min. 48.5' max.	10' min. (5' with 50% rule)
White Street	18.4'	25'	9.5' min. 15.5' max.	10' min. (5' with 50% rule)
Henry Street	19.7'	25'	6.4' min. 53.9' max.	10' min. (5' with 50% rule)
Total Setback Area (square feet)	N/A	N/A	13,249 sq. ft.	10,135 sq. ft. min.
Building Height	30'	30'	85'	none (100' proposed max.)
Vehicle Parking				
Vehicle Parking (per dwelling unit)	-	none (was 1.5)	0.25	0.25 proposed max.
Vehicle Parking (per sq. ft. nonresidential)	-	none	1 per 600 sq. ft.	none
EV Parking	0	RESIDENTIAL: EV-C: 90% EV-I: 10%	RESIDENTIAL: EV-C: 45 EV-I: 8	RESIDENTIAL: EV-C: 90% EV-I: 10%
total	28	none	54 total (including 8 EV & 3 Accessible Spaces)	none
Required Bicycle Parking				
Space	1 per 5 dwelling units Class A: 50% Class B: 0% Class C: 50%	1 per 5 dwelling units Class A: 50% Class B: 0% Class C: 50%	1 per 1.1 dwelling units: 216 Class A: 40% : 124 Class B: 22% : 48 Class C: 38% : 44	1 per 5 dwelling units: 50 Class A: 50%: 25 Class B: 0% Class C: 50%: 25
Office (O)	N/A	N/A	1 per 2,100 sq. ft.: 8	1 per 3,000 sq. ft.: 7
total	0	8	224 total	57

(1) VARIANCE REQUIRED. A VARIANCE WAS GRANTED FROM THE PARKING FAR REQUIREMENTS BY THE ZBA AT THE MAY 24TH ZBA MEETING.
(2) FLOOR AREA PREMIUM OPTION = PEDESTRIAN AMENITY PREMIUM OPTION - PLAZA



LOCATION MAP

SCALE: 1 INCH = 1000 FT

DESIGN TEAM CONTACTS

APPLICANT / OWNER

SOUTHTOWN BY 4M, LLC
2082 S. STATE STREET
ANN ARBOR, MI 48104
P: 415.810.8124
ATTN: MARGE POSCHER

CIVIL / LANDSCAPE ARCHITECT

NEDERVELD, INC.
3037 MILLER RD.
ANN ARBOR, MI 48103
P: 734.929.6963
ATTN: BRANDON CHANEY

ARCHITECT

SYNECDOCHE DESIGN STUDIO
1342 N. MAIN STREET #11
ANN ARBOR, MI 48104
P: 734.926.5593
ATTN: ADAM SMITH

STRUCTURAL

ASPECT STRUCTURAL ENGINEERS
101-190 W. 3RD AVE
VANCOUVER, BRITISH COLUMBIA V5Y1E9
P: 604.762.7844
ATTN: SHAWN KENNEDY

MECHANICAL / PLUMBING

GREENPATH DESIGN
139 W. LIBERTY STREET
PLYMOUTH, MI 48170
P: 248.310.7286
ATTN: KELLY SUGG

ELECTRICAL

ETS ENGINEERING
418-1/2 S. WASHINGTON BOULEVARD
ROYAL OAK, MI 48067
P: 248.744.0360
ATTN: SCOTT LEO

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PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

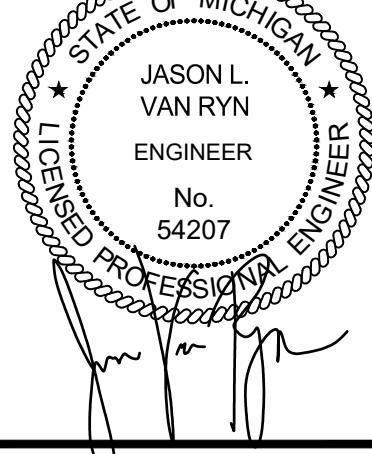
Title: Site Plan Submittal	Drawn: WL/TG	Checked: BC/JVR	Date: 10.21.2022
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 04.24.2023
Title: Revised Layout Plan	Drawn: WL/TG	Checked: BC/JVR	Date: 05.10.2023
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 06.13.2023

SOUTHTOWN BY 4M

Cover Sheet

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T3S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

SHEET NO:
C-100

PREPARED FOR:
Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

Title: Site Plan Submittal	Checked: BCJ/VR	Date: 10.21.2022
Title: Site Plan Resubmittal	Checked: BCJ/VR	Date: 02.22.2023
Title: Site Plan Resubmittal	Checked: BCJ/VR	Date: 04.24.2023
Title: Revised Layout Plan	Checked: BCJ/VR	Date: 05.10.2023
Title: Site Plan Resubmittal	Checked: BCJ/VR	Date: 05.25.2023
Title: Site Plan Resubmittal	Checked: BCJ/VR	Date: 06.13.2023

SOUTHTOWN BY 4M
Existing Site Conditions Plan - ALTA Survey
Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:
STATE OF MICHIGAN
JASON L. VAN RYN
ENGINEER
No. 54207
LICENSED PROFESSIONAL ENGINEER

PROJECT NO:
21500282

SHEET NO:
C-200



LOCATION MAP
NOT TO SCALE

LEGEND

	Benchmark / Control Point		Utility Pole
	Catch Basin - Square		Water Manhole
	Cleanout		Water Valve
	Deciduous Tree		Yard Drain
	Electric Manhole		Cable TV
	Electric Meter		Underground Electric
	Gas Meter		Gas
	Guy Anchor		Overhead Utility
	Hand Hole		Sanitary
	Hydrant		Storm
	Iron - Found		Underground Telephone
	Light Pole		Watermain
	Mailbox		Fence
	Miss Dig Flag - Cable		Railroad
	Miss Dig Flag - Gas		Zoning Setback
	Manhole		Asphalt
	Sign		Concrete
	Sanitary Sewer Manhole		Gravel
	Stormwater Manhole		Existing Building
	Telephone Manhole		Measured Dimension
	Transformer		Platted Dimension
	Traffic Light		

BENCHMARKS

BENCHMARK #300 ELEV. = 839.56 (NAVD88)
Steamer valve on South side of hydrant, located 6' +/- North of back of curb and 24' +/- West of catch basin at Northwest corner of Stimson Street and White Street.

BENCHMARK #301 ELEV. = 840.14 (NAVD88)
Steamer valve on East side of hydrant, located 25' +/- West of centerline of White Street and 15' +/- South of catch basin at Southwest corner of Henry Street and White Street.

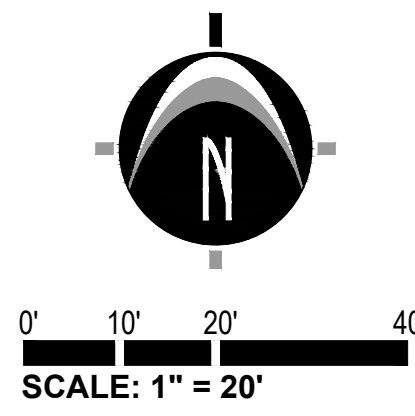
BENCHMARK #302 ELEV. = 844.30 (NAVD88)
Steamer valve on North side of hydrant, located 36' +/- East of centerline of State Street and 12' +/- North of Stimson Street traffic light at Northeast corner of State Street and Stimson Street.

BENCHMARK #303 ELEV. = 843.71 (NAVD88)
Northeast bolt on light pole base, located 15' +/- South of control point 203 and 30' +/- West of centerline of State Street at end of Henry Street.

SOIL DESCRIPTION

GENERAL SOILS DESCRIPTION: USDA CUSTOM SOIL RESOURCE REPORT FOR WASHTENAW COUNTY, MICHIGAN.

MdA MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES
LANDFORM: DRAINAGEWAYS ON OUTWASH PLAINS, DRAINAGEWAYS ON TERRACES, DRAINAGEWAYS ON GLACIAL DRAINAGE CHANNELS
DRAINAGE CLASS: SOMEWHAT POORLY DRAINED
RUNOFF CLASS: LOW
HYDROLOGIC SOIL GROUP: B/D



811 Know what's below.
CALL before you dig.

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ZONED PL
Parcel #: 09-09-32-400-002
Address: 500 E Stadium Blvd
Owner: University of Michigan

ZONED PUD
Parcel #: 09-09-33-318-001
Address: 1514 White St
Owner: Ann Arbor Housing Commission

HENRY STREET
(66' WD. PUBLIC RW)

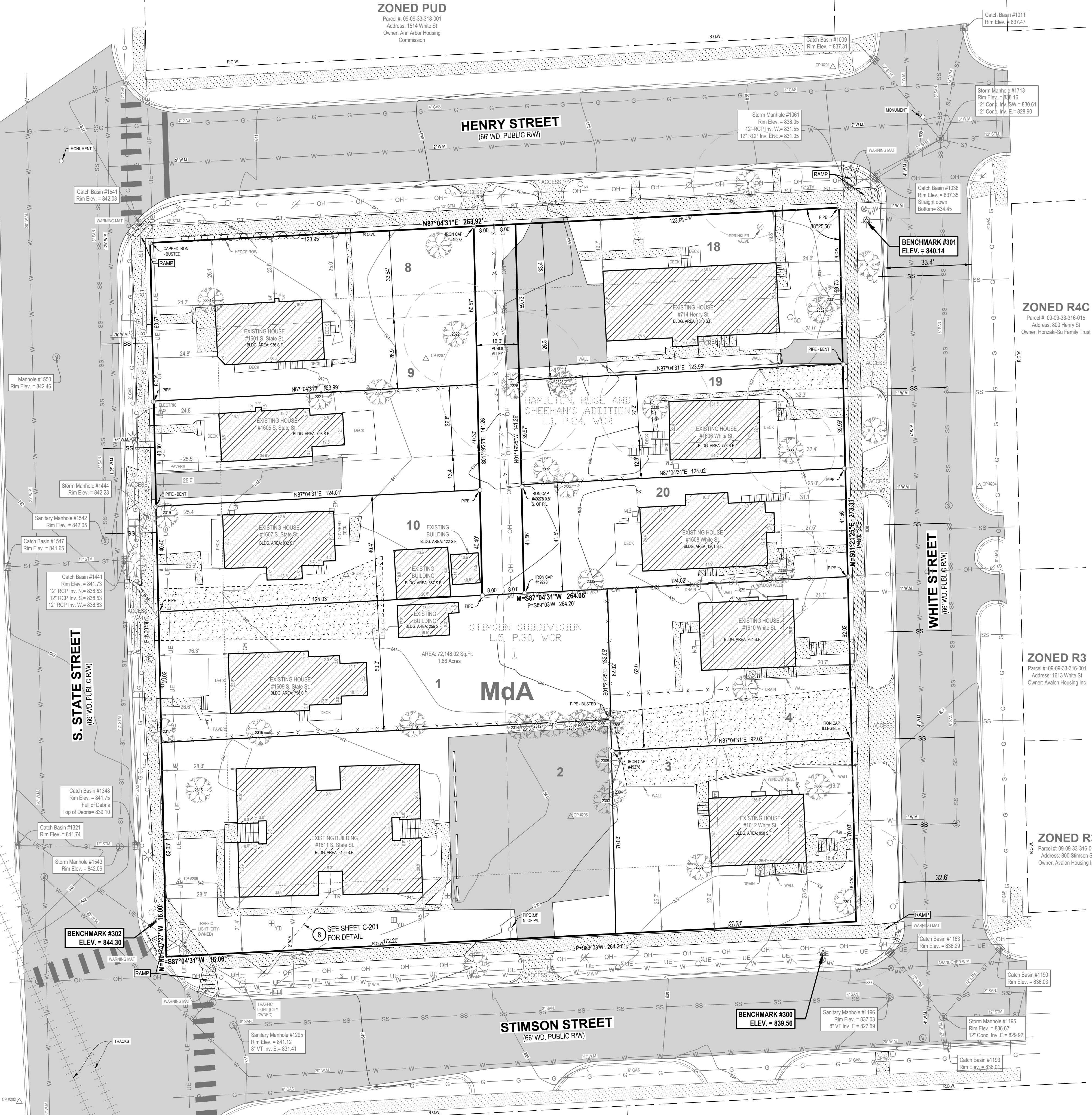
STIMSON STREET
(66' WD. PUBLIC RW)

ZONED R4C
Parcel #: 09-09-33-316-015
Address: 800 Henry St
Owner: Horzaki-Su Family Trust

ZONED R3
Parcel #: 09-09-33-316-001
Address: 1613 White St
Owner: Avalon Housing Inc

ZONED R3
Parcel #: 09-09-33-316-002
Address: 800 Stimson St
Owner: Avalon Housing Inc

ZONED C3
Parcel #: 09-09-33-314-007
Address: 725 Stimson St
Owner: The Salvation Army



TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3540, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3540

The land is described as follows: City of Ann Arbor, County of Washtenaw

The North 40.02 feet, excepting the North 20.15 feet thereof, of Lot(s) 18, Block 3, also the South 13.5 feet of Lot 18 and the North 26.7 feet of Lot 19, all in Block 3 of HAMILTON, ROSE AND SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR, according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 714 Henry St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3535, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3535

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 26.9 feet of Lot(s) 9 and the South 33.54 feet of Lot 8, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1601 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3536, dated June 03, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3536

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 26.8 feet of Lot 9 and the North 13.4 feet of Lot 10, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1605 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3537, dated June 06, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3537

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 40.3 feet of Lot(s) 10, Block 3 of HAMILTON ROSE & SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1607 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, Commitment Number: 9966-6074453, Revision A, dated June 17, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3541

The land is described as follows: City of Ann Arbor, Washtenaw County, State of Michigan:

The South 27 feet of Lot(s) 19, and the North 13.2 feet of Lot 20, Block 3, according to the recorded plat of HAMILTON, ROSE & SHEEHAN'S ADDITION to the City of Ann Arbor, Washtenaw County, Michigan, according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑨ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1606 White St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3542, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3542

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 41.18 feet of Lot(s) 20, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1608 White St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, File No.: MIFA22-3538, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3538

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 50 feet of Lot(s) 1 and 2 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1609 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3543, dated June 3, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3543

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 62 feet of Lot(s) 3 and 4 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1610 White St. Ann Arbor, MI 48104-4366

SURVEYOR'S CERTIFICATION

To First American Title Insurance Company; Southtown by 4M LLC; Land Services USA LLC; Northeast Bank; ROSS-Ann Arbor:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7(a), 7(b)(1), 8, 10, 11, 13, 16, 17, & 20 of Table A thereof. The fieldwork was completed on April 19, 2022.

Date of Plat or Map: July 21, 2022



Brandon G. Parrent
Professional Surveyor No. 4001063096
Nederveld, Inc.
bparrent@nederveld.com

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, File No: MIFA22-3539, dated June 3, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3539

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 82 feet of Lot(s) 1 and 2 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement in favor of The Detroit Edison Company and the Michigan Bell Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1075, page 439. **The easement described in this document is a blanket easement.**
- ⑧ Agreement in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1076, page 518. **The easement route described in this document is shown on this survey. No width has been provided.**
- ⑨ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1611 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3544, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3544

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 70 feet of Lot(s) 3 and 4 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1612 White St. Ann Arbor, MI 48104-4366

SURVEYOR'S NOTES

- ALTA TABLE "A" ITEM NO. 1 - Existing and placed monuments at all major corners of the boundary of the property have been shown.
- ALTA TABLE "A" ITEM NO. 2 - Address of the surveyed property is 714 Henry Street; 1601, 1605, 1607, 1609, 1611 S. State Street; 1606, 1608, 1610, and 1612, Ann Arbor, MI 48104.
- ALTA TABLE "A" ITEM NO. 3 - Flood Zone Classification: **An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260213, Map Number 26161C0263E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X (subject to map scale uncertainty).**
- ALTA TABLE "A" ITEM NO. 4 - **Gross Land Area: 72,148.02 Square Feet / 1.66 Acres**
- ALTA TABLE "A" ITEM NO. 5 - Vertical relief shown per ground survey at 1' contour interval, NAVD88 Datum.
- ALTA TABLE "A" ITEM NO. 6(a) - A zoning letter or report has not been provided to the surveyor at this time. Zoning is shown per research performed by Nederveld and Henry Street Feasibility Study November 2021. See "Zoning Information".
- ALTA TABLE "A" ITEM NO. 6(b) - A zoning letter or report has not been provided to the surveyor at this time. Building setbacks are shown per research and interpretation performed by Nederveld and Henry Street Feasibility Study November 2021..
- ALTA TABLE "A" ITEM NO. 7(a) - **Exterior dimensions of all permanent buildings at ground level have been shown.**
- ALTA TABLE "A" ITEM NO. 7(b)(1) - **Building Area: 13,062 Square Feet (Total)**
- ALTA TABLE "A" ITEM NO. 8 - Substantial features observed in the process of conducting fieldwork have been shown.
- ALTA TABLE "A" ITEM NO. 10 - No division or party walls with respect to adjoining properties were observed in the process of conducting fieldwork.
- ALTA TABLE "A" ITEM NO. 11 - See Note 17 below.
- ALTA TABLE "A" ITEM NO. 13 - Names of adjoining owners have been shown according to current tax records.
- ALTA TABLE "A" ITEM NO. 16 - Evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork. **None observed.**
- ALTA TABLE "A" ITEM NO. 17 - Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork. **None observed.**
- Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- Basis of Bearing: NAD83 Michigan State Planes, South Zone, International Foot
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- Access to property is from S. State Street, Henry Street, White Street, and Stimson Street.
- The surveyed boundary shown hereon is contiguous with adjoining properties and/or rights of way without any gaps, gores, or overlaps.
- Survey includes a survey of the real property located at 1608 White Street, Ann Arbor, however this property is not part of the collateral in connection with that certain mortgage loan from ROSS-ANN ARBOR, LLC, a Delaware limited liability company, as lender, to South Town By 4M LLC, a Michigan limited liability company, as borrower, dated as of [].



PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

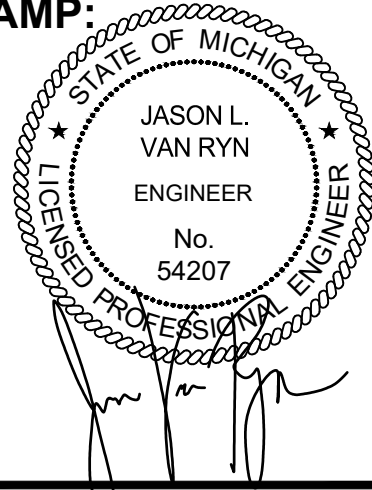
Title: Site Plan Submittal	Drawn: WL/TC	Checked: BC/JVR	Date: 10.21.2022
Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 04.24.2023
Title: Revised Layout Plan	Drawn: WL/TC	Checked: BC/JVR	Date: 05.10.2023
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Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 06.13.2023

SOUTHTOWN BY 4M

Existing Site Conditions Plan - ALTA Survey

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:

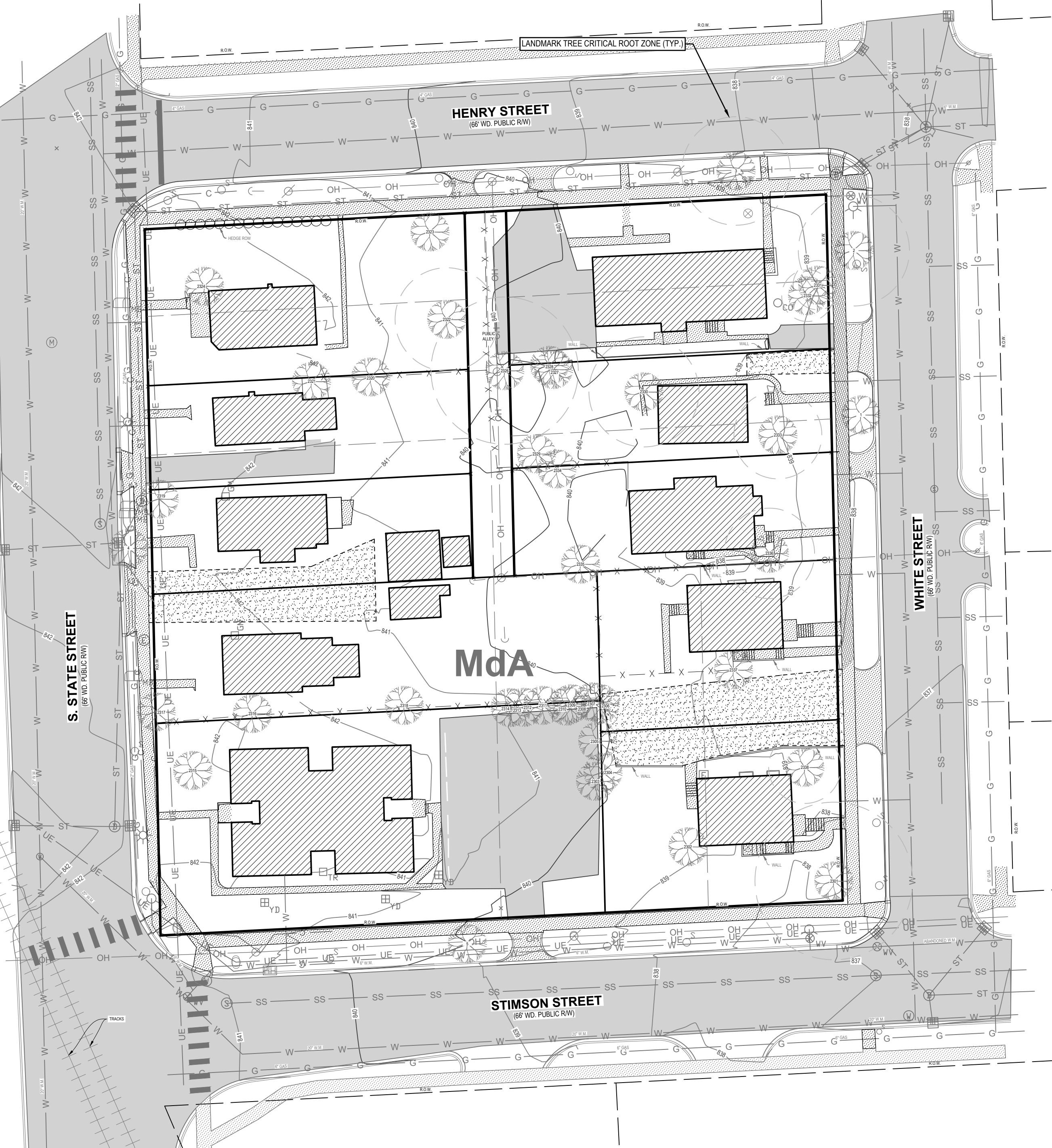


PROJECT NO:
21500282

SHEET NO:
C-201

NATURAL FEATURES ANALYSIS NOTES:

1. 100-YEAR FLOODPLAIN: THERE IS NO FEMA MAPPED FLOOD PLAIN ON THE SITE.
2. LANDMARK TREES: SEE NATURAL FEATURES PLAN (THIS SHEET) AND EXISTING TREE TABLE (SHEET C-202). THERE ARE TWO (2) LANDMARK TREES TO REMAIN WITHIN THE PROPOSED PROJECT SITE.
3. STEEP SLOPES: THERE ARE NO STEEP SLOPES ON THE PROJECT SITE.
4. EXISTING WATERCOURSE: THERE ARE NO WATERCOURSES ON THE SITE.
5. BOUNDARY AND BASAL AREA ESTIMATE WOODLANDS: THERE ARE NO WOODLANDS ON THE SITE.
6. BOUNDARY AND CHARACTER OF ALL WETLANDS: THERE ARE NO WETLANDS ON THE SITE.



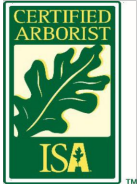
NATURAL FEATURES ANALYSIS

SCALE: 1" = 30'

TREE SURVEY

Tree ID	Scientific Name	Common Name	DBH	Landmark	Notes	Remove
2301	Acer saccharinum	Silver Maple	30.5"	Yes		x
2302	Thuja occidentalis	Arborvitae	10"	No		x
2303	Ulmus pumila	Siberian Elm	27.5"	No		x
2304	Acer platanoides	Norway Maple	8"	No		x
2305	Ulmus pumila	Siberian Elm	13.6"	No	multi-stem	x
2306	Acer platanoides	Norway Maple	11"	No		x
2307	Ulmus pumila	Siberian Elm	9"	No		x
2308	Ulmus pumila	Siberian Elm	14"	No		x
2309	Ulmus pumila	Siberian Elm	16"	No		x
2310	Ulmus pumila	Siberian Elm	7.5"	No		x
2311	Ulmus pumila	Siberian Elm	8"	No		x
2312	Ulmus pumila	Siberian Elm	8"	No		x
2313	Ulmus pumila	Siberian Elm	17"	No		x
2314	Ulmus pumila	Siberian Elm	21.7"	No	multi-stem	x
2315	Acer platanoides	Norway Maple	13.5"	No		x
2316	Ulmus americana	American Elm	8.5"	No		x
2317	Acer platanoides	Norway Maple	24.5"	No		x
2318	Acer platanoides	Norway Maple	26"	No		x
2319	Acer platanoides	Norway Maple	19"	No		x
2320	Morus alba	Mulberry	25"	No		x
2321	Juglans nigra	Black Walnut	7"	No		x
2322	Acer saccharum	Sugar Maple	20"	Yes		x
2323	Ulmus pumila	Siberian Elm	23.5"	No		x
2324	Morus alba	Mulberry	15.6"	No	multi-stem	x
2325	Juglans nigra	Black Walnut	8"	No		x
2326	Juglans nigra	Black Walnut	28.5"	Yes		x
2327	Morus alba	Mulberry	24"	No		x
2328	Ulmus americana	American Elm	8"	No		x
2329	Prunus pennsylvanica	Red Pine	21"	No		x
2330	Thuja occidentalis	Arborvitae	21.3"	Yes	multi-stem	x
2331	Juniperus virginiana	Eastern Red Cedar	9.5"	Yes		x
2332	Juniperus virginiana	Eastern Red Cedar	10"	Yes		x
2333	Thuja occidentalis	Arborvitae	17"	Yes	multi-stem	x
2334	Celastrus occidentalis	Common Hackberry	7"	No		x
2335			14"	No	stump	x
2336	Thuja occidentalis	Arborvitae	17.5"	Yes	multi-stem	x
2337	Ulmus pumila	Siberian Elm	8"	No		x
2338	Thuja occidentalis	Arborvitae	14"	Yes	multi-stem	x
1	Acer nyctagale	Mayabe Maple	8"	No	Street Tree	
2	Acer saccharum	Sugar Maple	21.5"	Yes	Street Tree	
3	Acer saccharum	Sugar Maple	21"	Yes	Street Tree	
4	Acer platanoides	Norway Maple	10"	No	Street Tree	x
5	Acer platanoides	Norway Maple	16.5"	No	Street Tree	x

*Tree survey performed April 21, 2022 by Wade Lehmann ISA Certified Arborist ID# MI-45834
**Multi-stemmed trees DBH calculated using the formula: $\sqrt{4 \times \sum d^2}$



LEGEND

EXISTING LANDMARK TREE

EXISTING TREE

PROP. TREE PROTECTION FENCE

Benchmark / Control Point

Catch Basin - Square

Cleanout

Deciduous Tree

Electric Manhole

Electric Meter

Gas Meter

Guy Anchor

Hand Hole

Hydrant

Iron - Found

Light Pole

Mailbox

Miss Dig Flag - Cable

Miss Dig Flag - Gas

Manhole

Sign

Sanitary Sewer Manhole

Stormwater Manhole

Telephone Manhole

Transformer

Traffic Light

EXISTING GRADE CONTOUR

EXISTING STEEP SLOPES

SOIL TYPE LIMITS

Utility Pole

Water Manhole

Water Valve

Yard Drain

Cable TV

Underground Electric

Gas

Overhead Utility

Sanitary

Storm

Underground Telephone

Watermain

Fence

Railroad

Zoning Setback

Asphalt

Concrete

Gravel

Existing Building

Measured Dimension

Platted Dimension



NATURAL FEATURES OVERLAY

SCALE: 1" = 30'

NEDERVELD

www.nederveld.com
800.222.1868

ANN ARBOR
3037 Miles Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963

CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS

PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

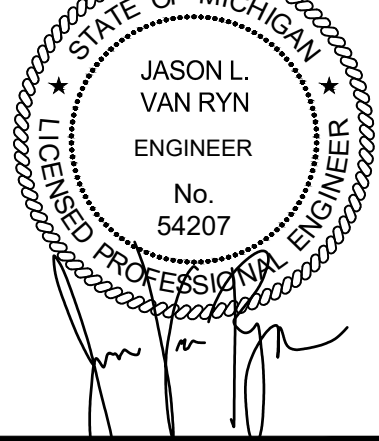
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Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 04/24/2023
Title: Revised Layout Plan	Drawn: WL/TC	Checked: BC/JVR	Date: 05/10/2023
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Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 06/13/2023

SOUTHTOWN BY 4M

Natural Features Plan

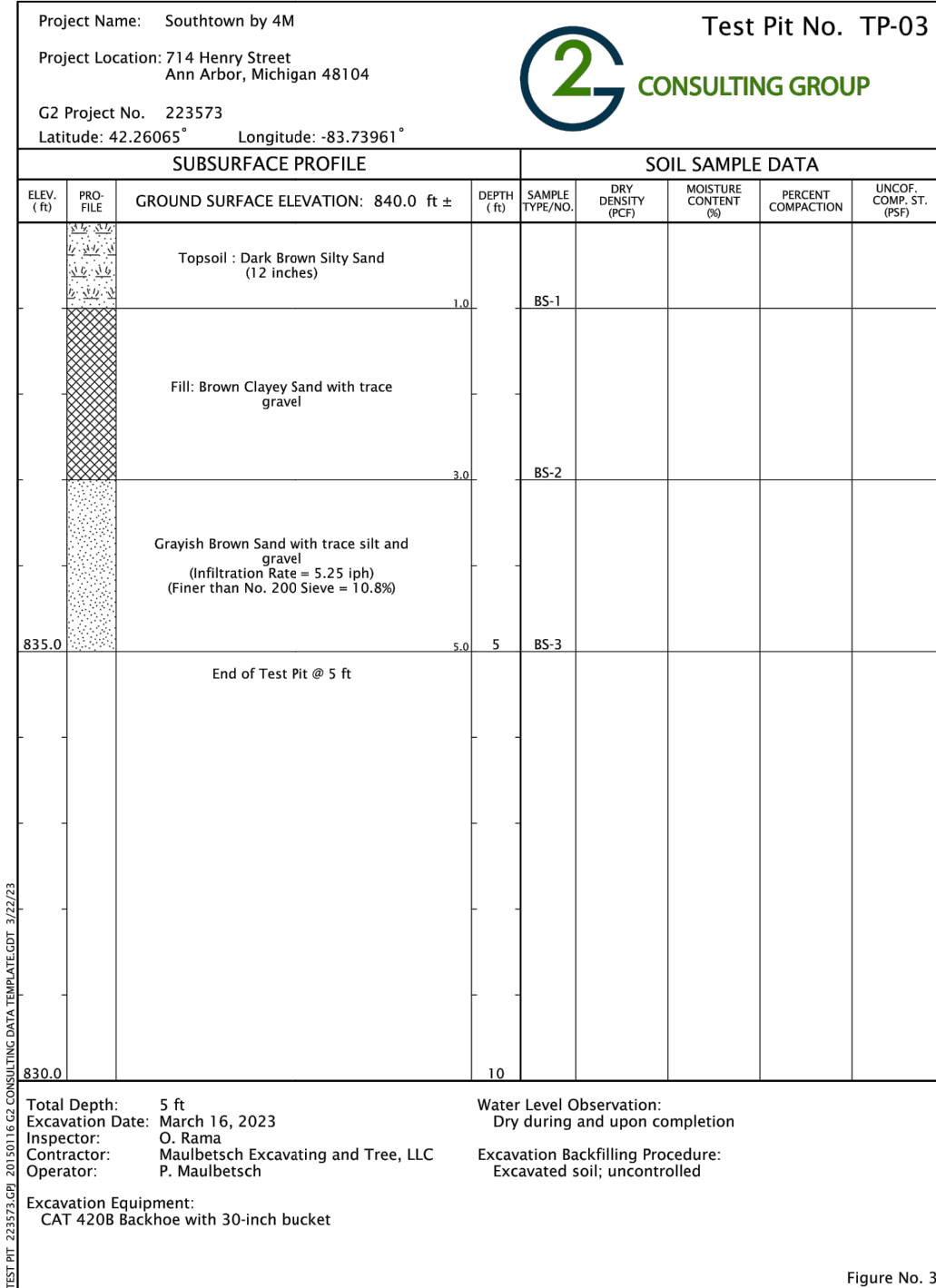
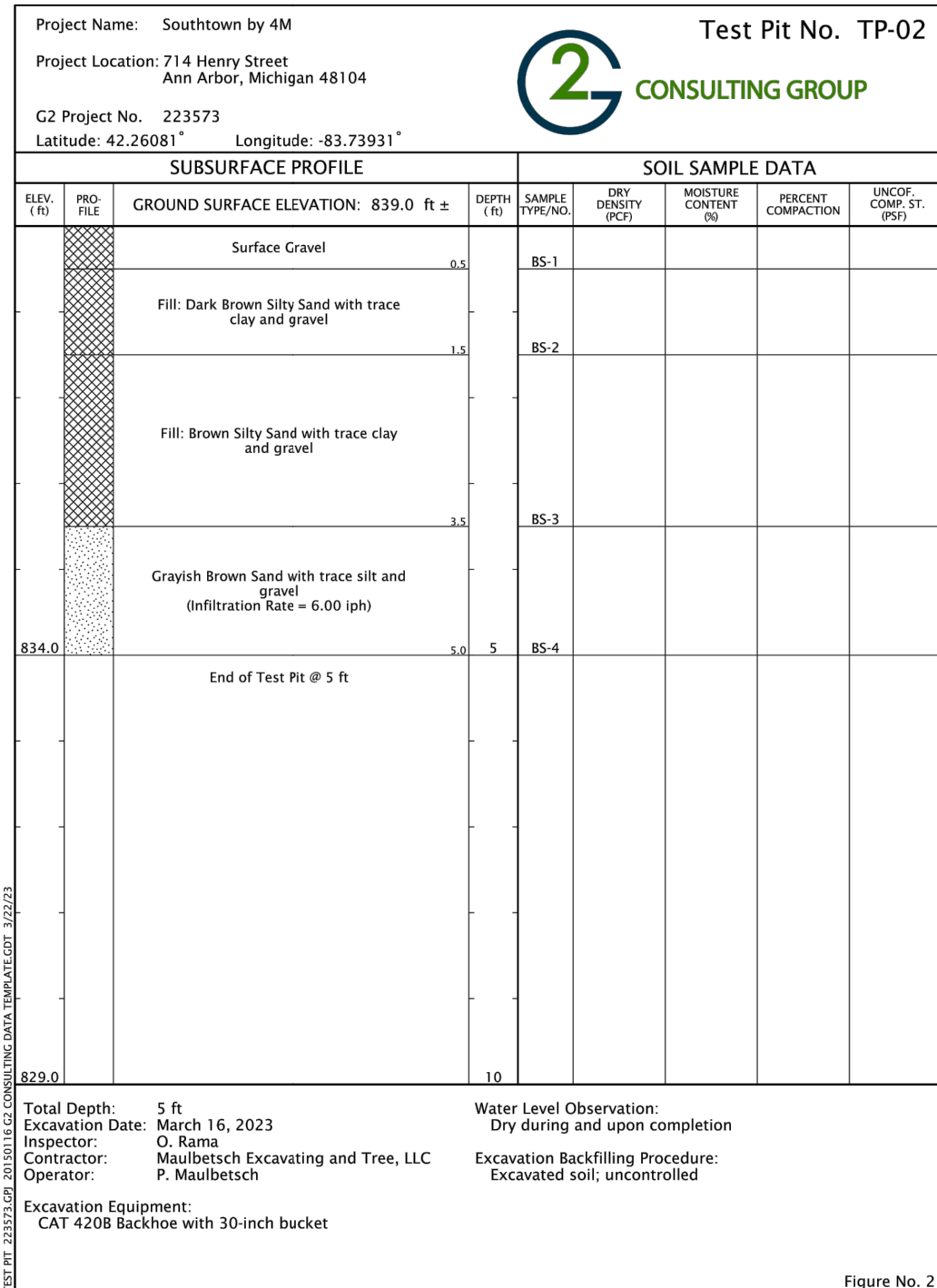
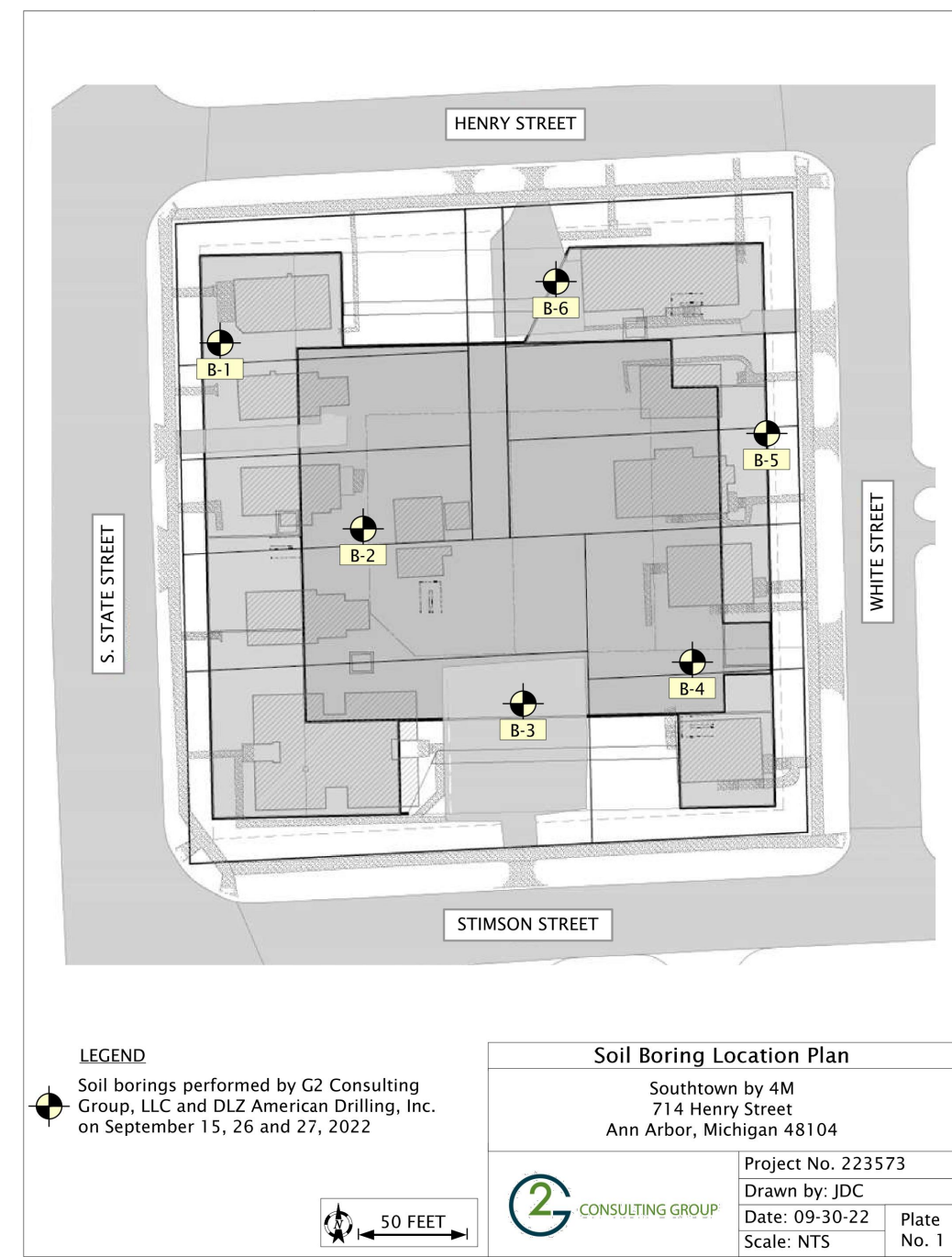
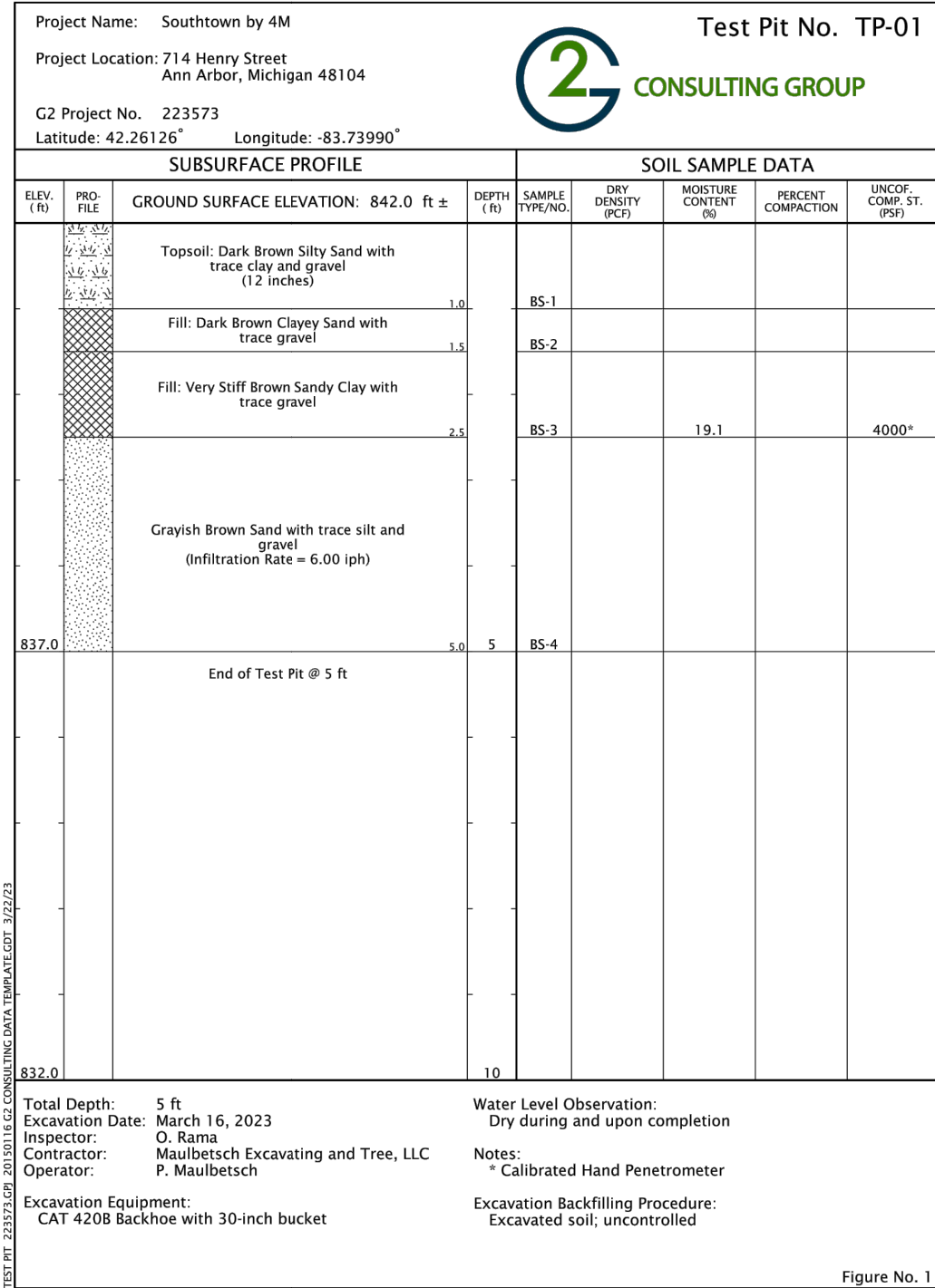
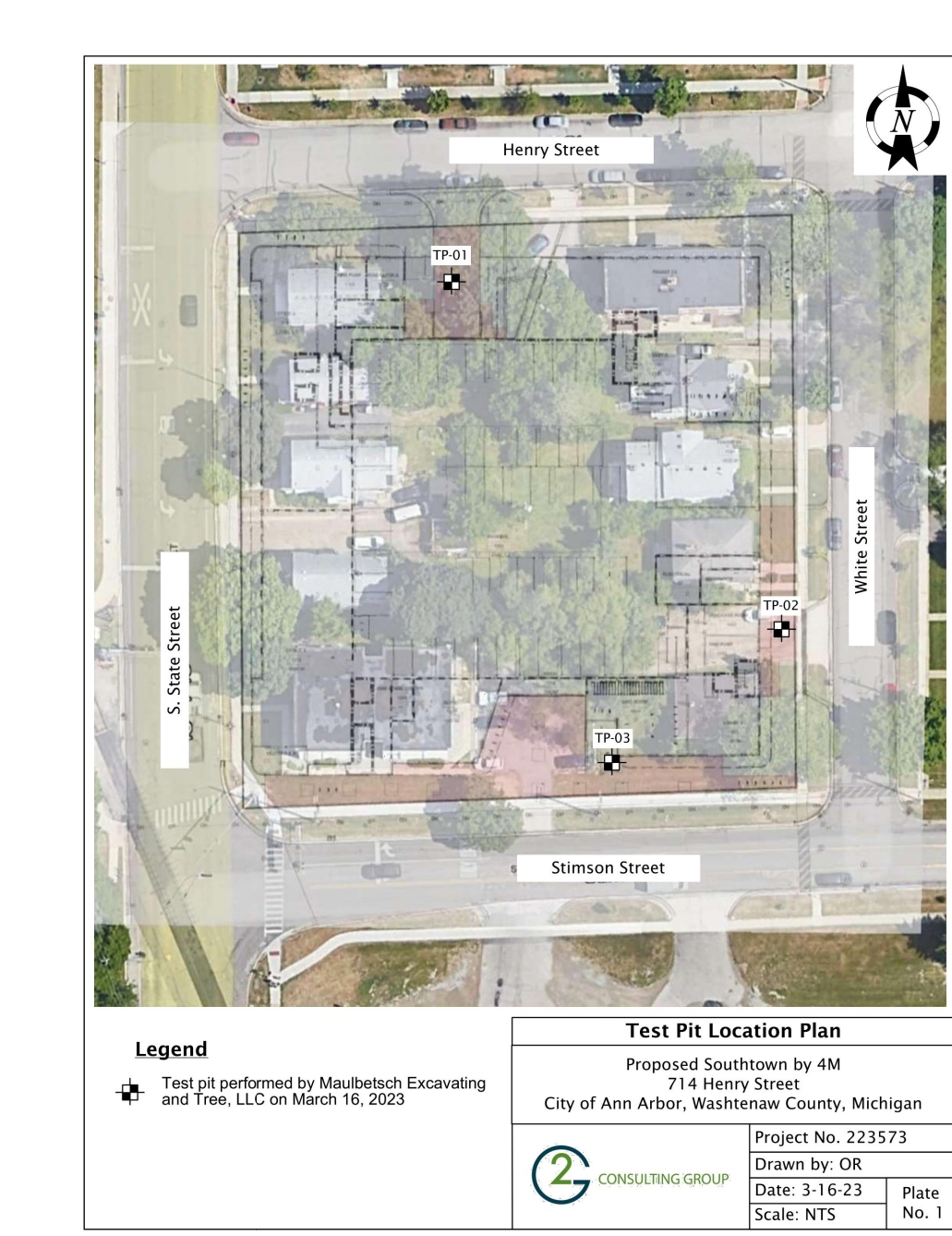
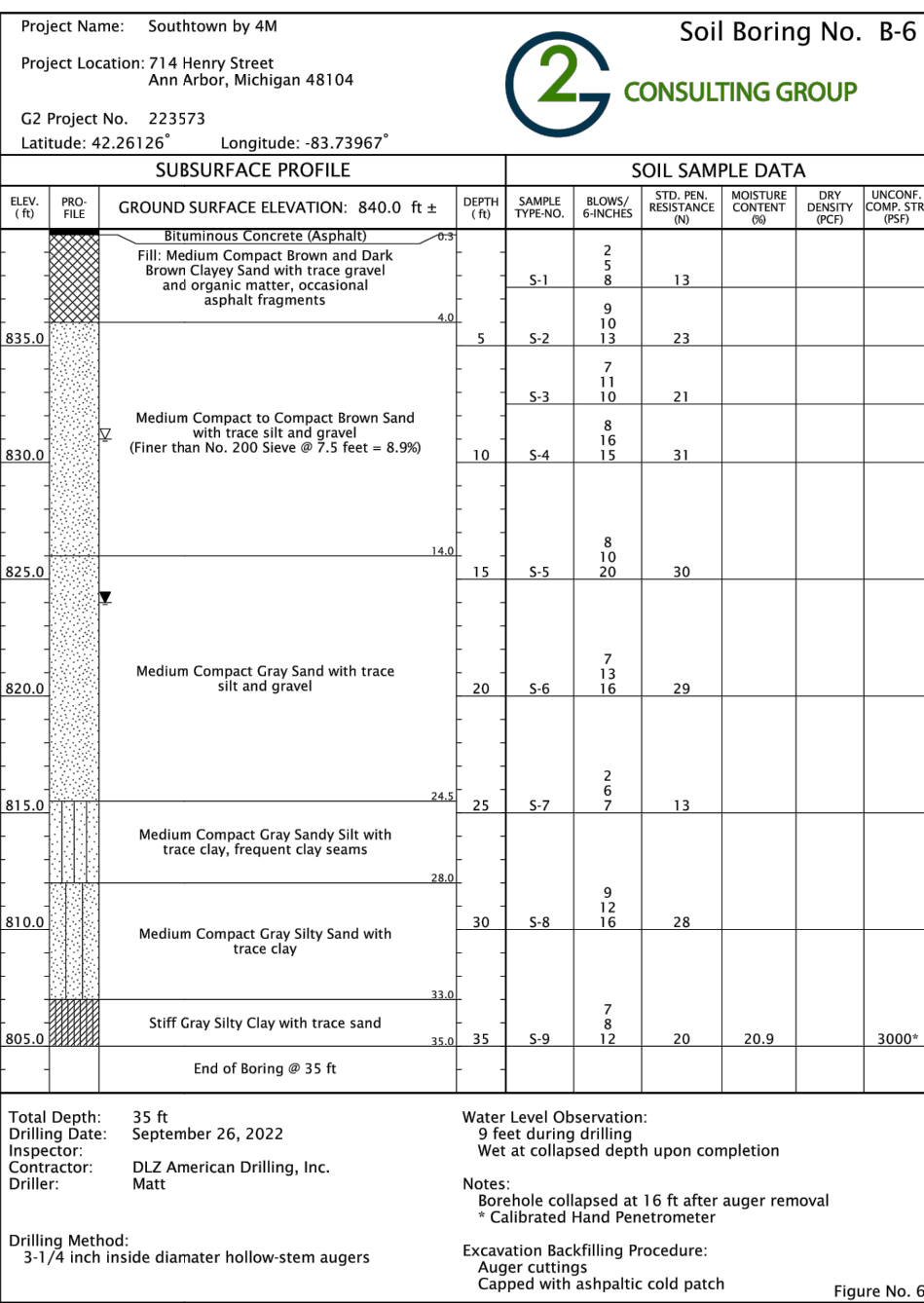
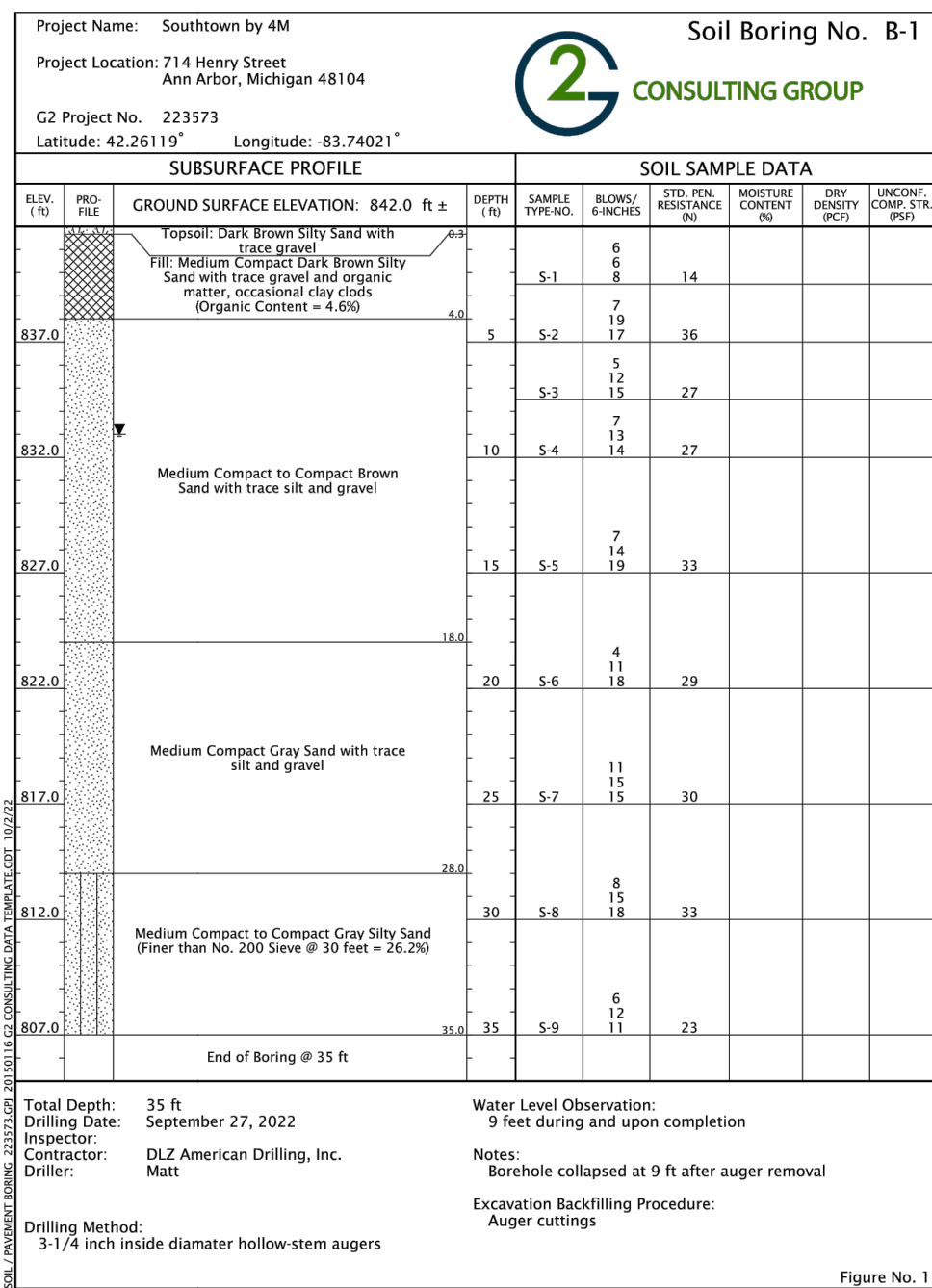
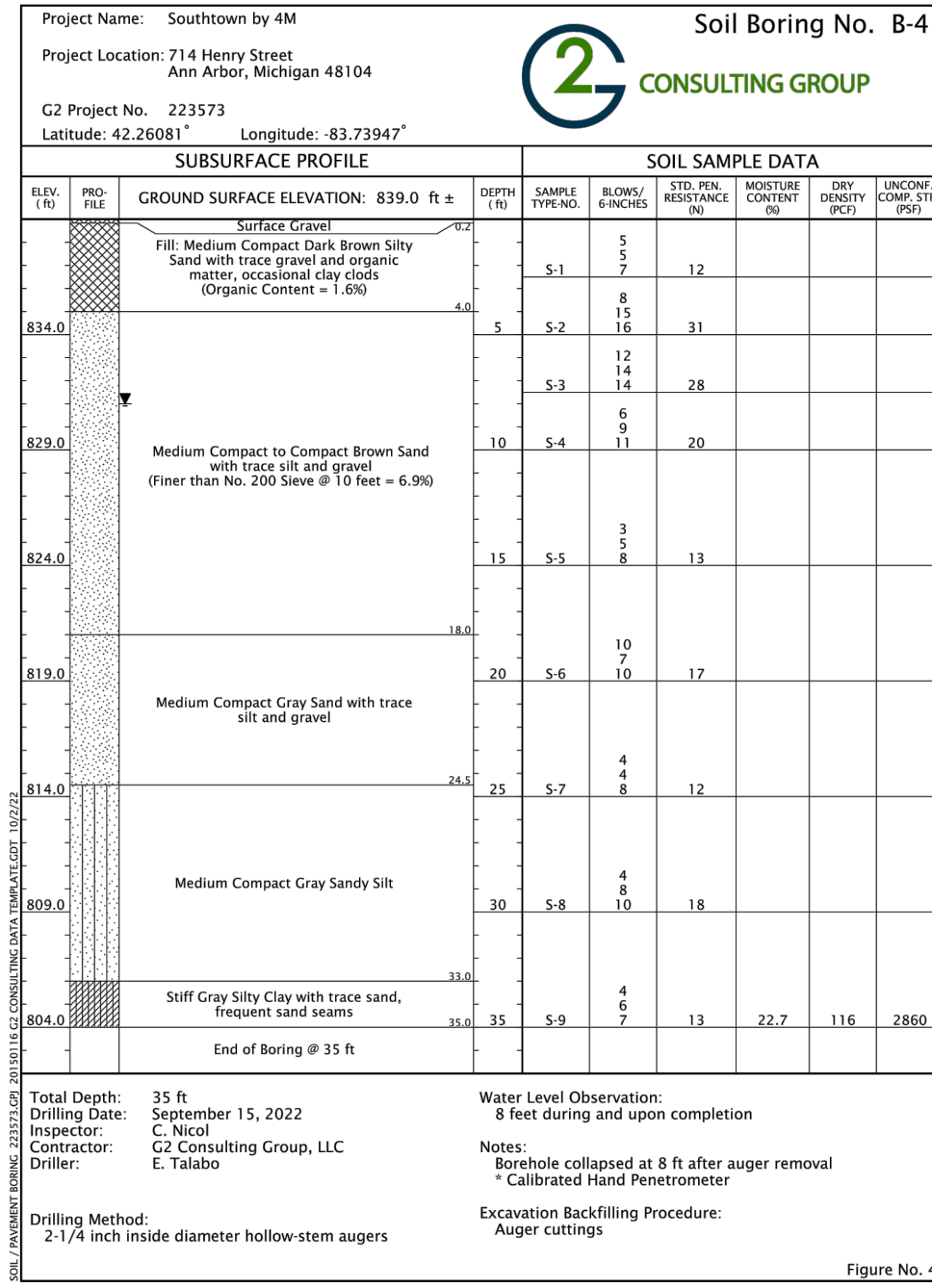
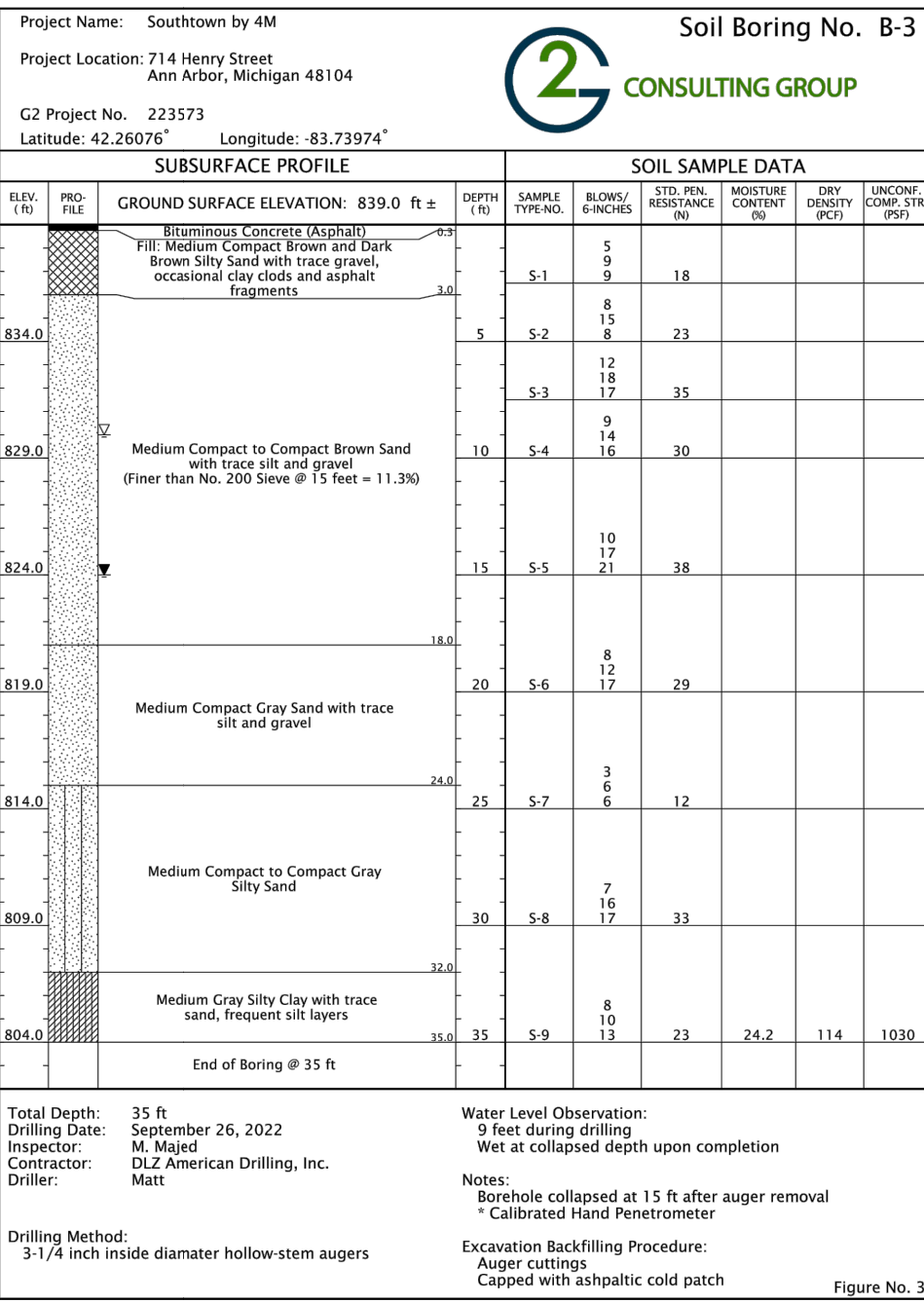
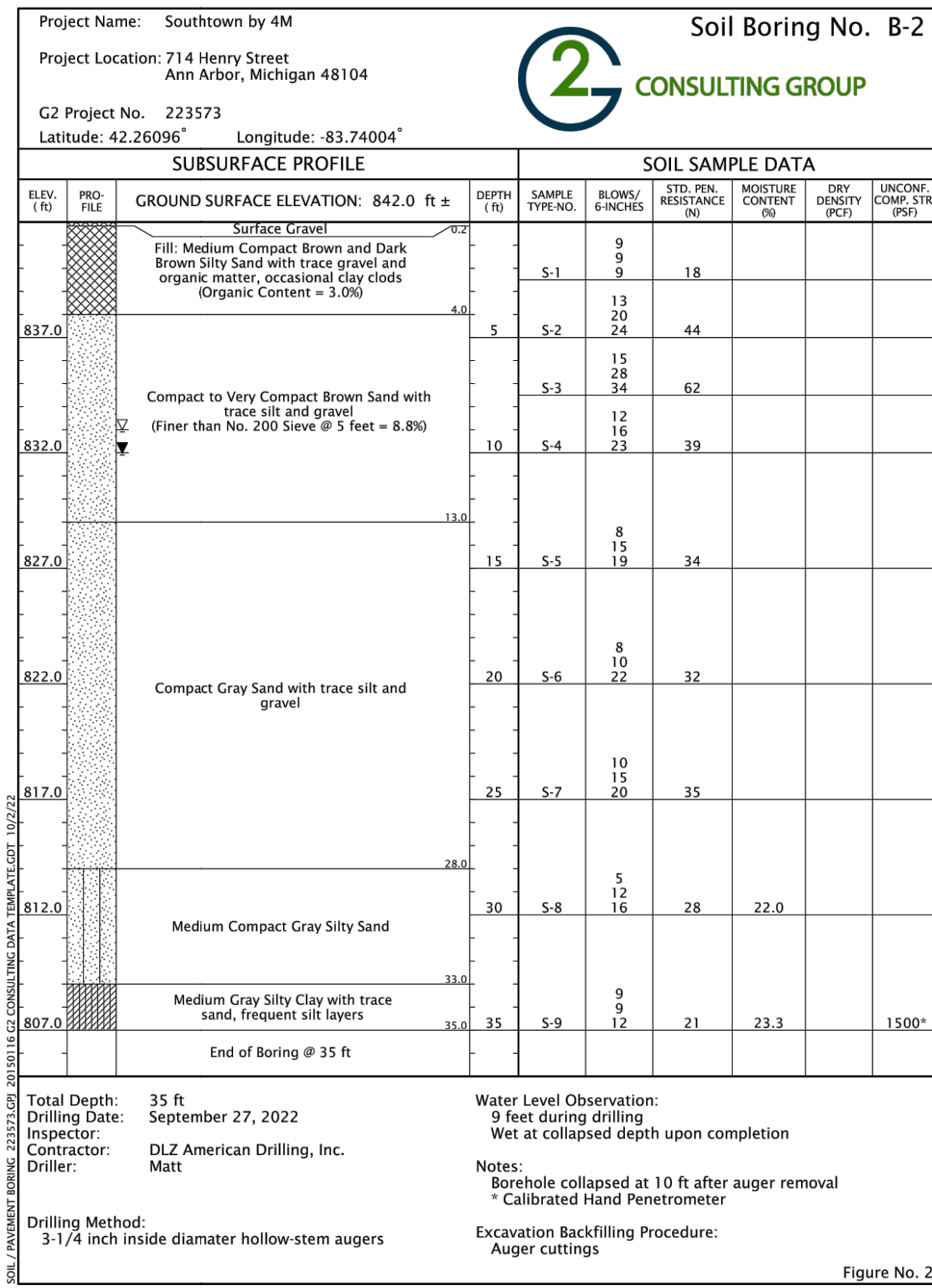
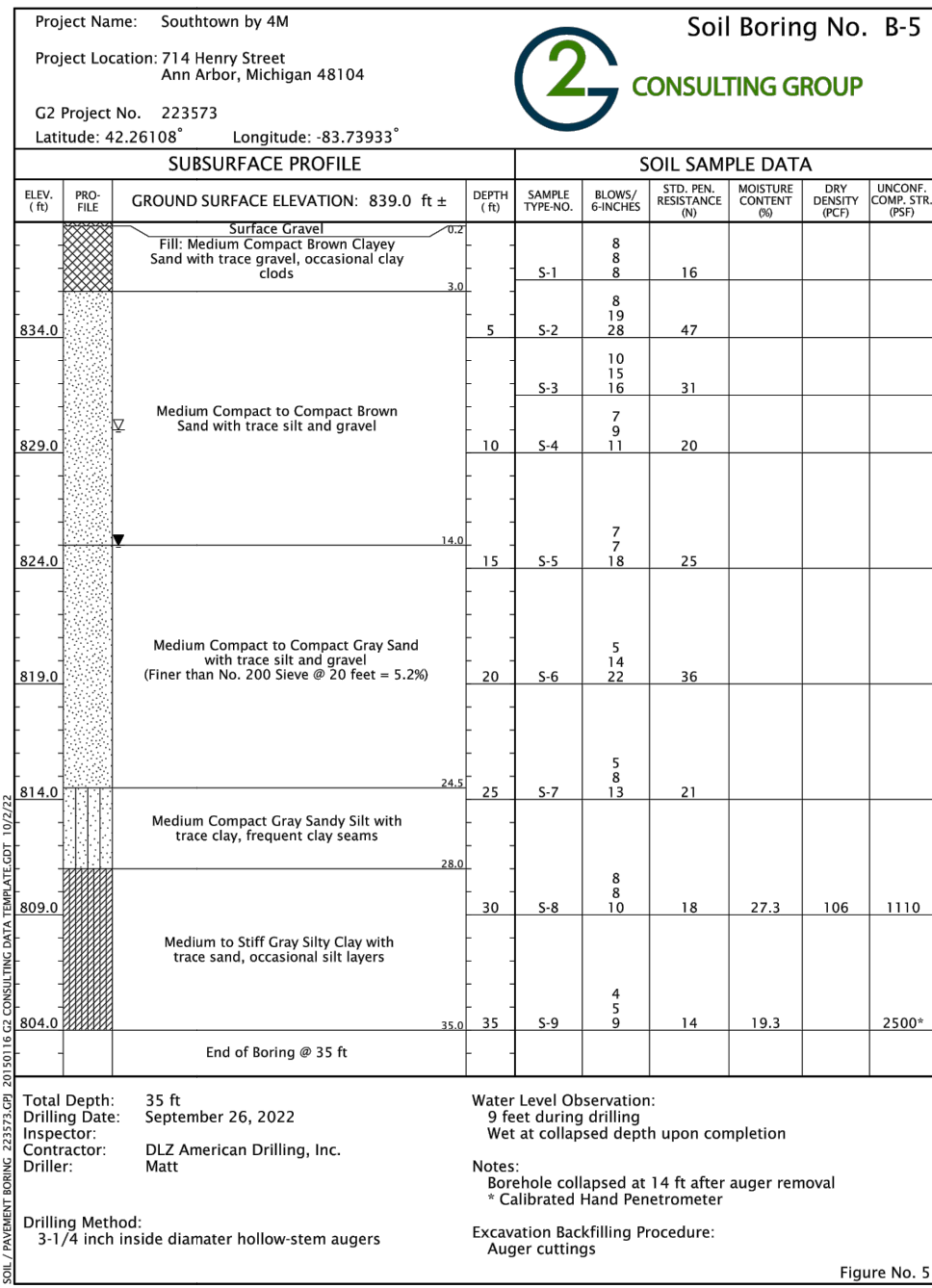
Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

SHEET NO:
C-202



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INDIANAPOLIS

PREPARED FOR:
Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

Title: Site Plan Submittal	Checked: BC/JVR	Date: 10.21.2022
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Title: Revised Layout Plan <td>Checked: BC/JVR<td>Date: 05.10.2023</td></td>	Checked: BC/JVR <td>Date: 05.10.2023</td>	Date: 05.10.2023
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Drawn: WL/TG <td>Checked: BC/JVR<td>Date: 06.13.2023</td></td>	Checked: BC/JVR <td>Date: 06.13.2023</td>	Date: 06.13.2023

SOUTHTOWN BY 4M

Soil & Infiltration Report
Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T3S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:

JASON L. VAN RYN
ENGINEER
No. 54207

PROJECT NO:
21500282

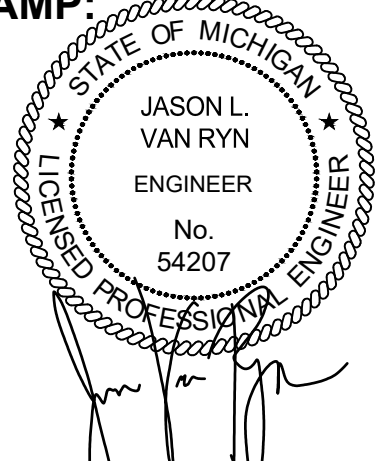
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SOUTHTOWN BY 4M

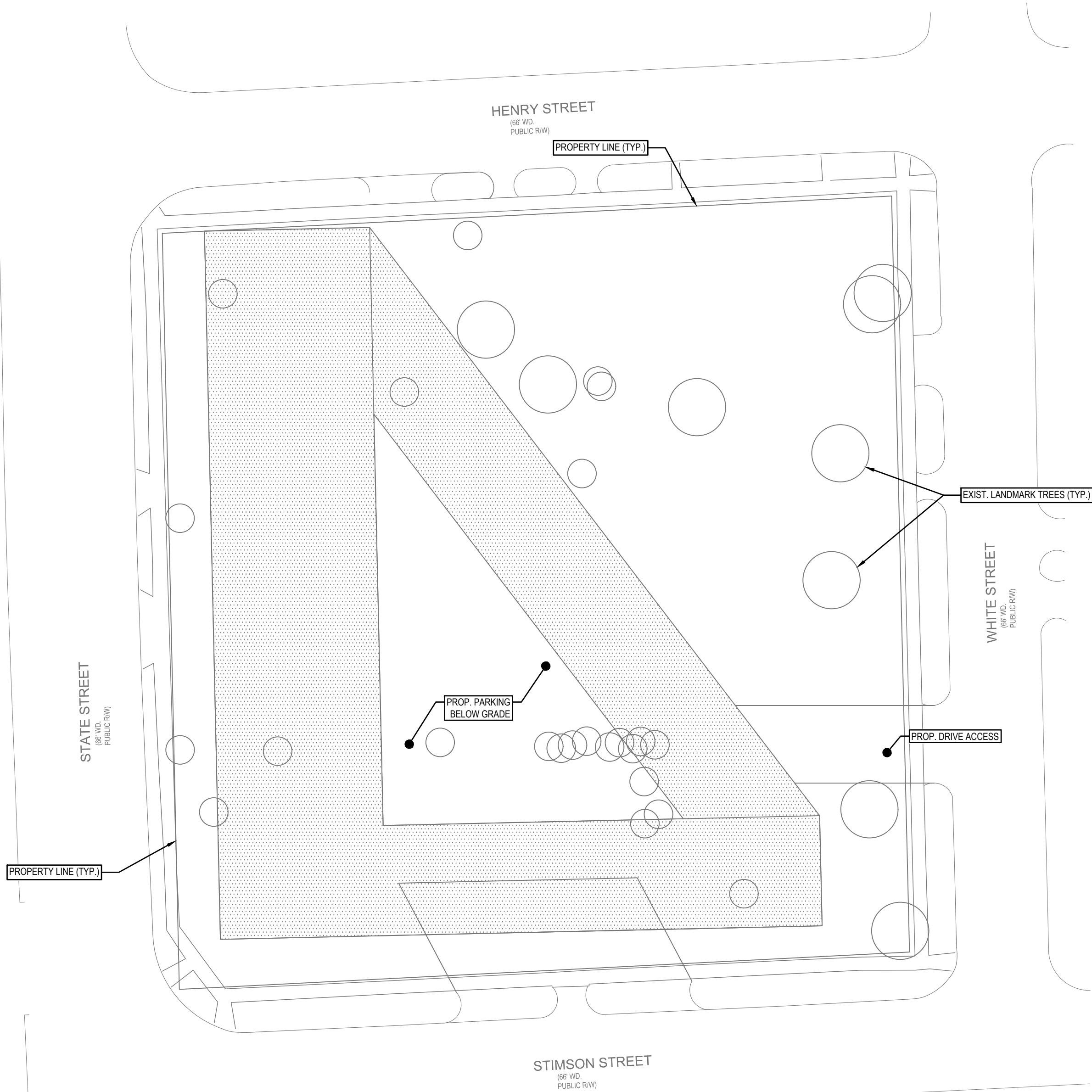
Alternative Analysis
Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

SHEET NO:
C-204

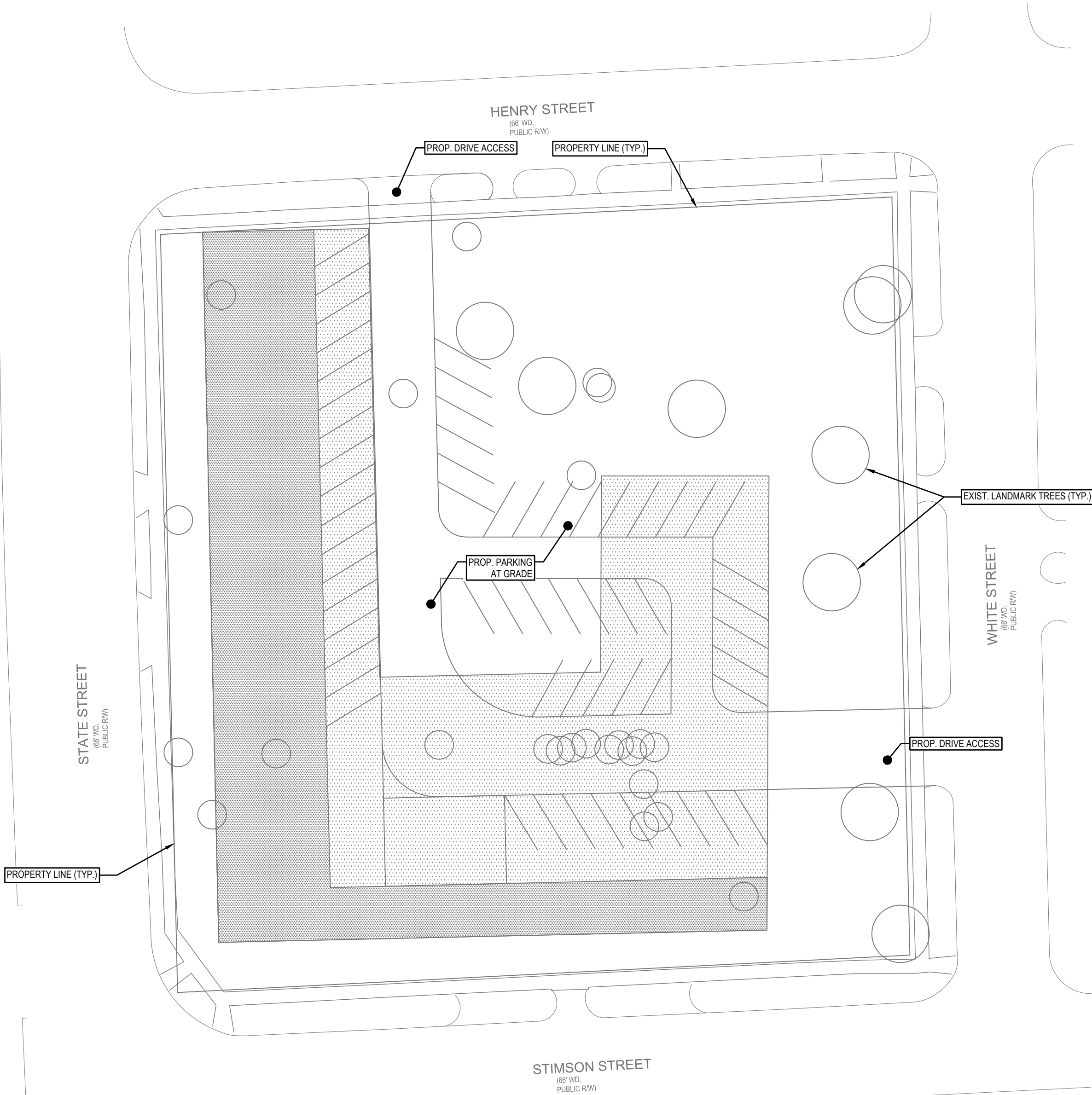


ALTERNATIVE ANALYSIS #1
8 STORIES (300 FAR)
FLOOR 1: 18,000 SF
FLOORS 2-8: 30,000 SF EACH
PARKING BELOW GRADE

THIS PROPOSED CONCEPT WOULD GENERATE AN 8 STORY BUILDING FOR THE ENTIRE MASS WHICH WOULD CREATE LONG SHADOWS ACROSS THE NEIGHBORHOOD. MAXING OUT THE FAR CREATES A BUILDING THAT DOES NOT FIT IN THE CONTEXT OF THE NEIGHBORHOOD. THE PROPOSED BELOW GRADE PARKING WOULD BE HIGHLY COSTLY TO THE PROJECT SINCE THE GROUND WATER IN THIS AREA IS RELATIVELY HIGH. THE UNDERGROUND PARKING WOULD BE BELOW THE GROUND WATER LEVEL.

LANDMARK TREE TABLE			
Alternative Analysis 1			
ID	Species	DBH	Landmark
2330	Thuja occidentalis	21.3	yes
2331	Juniperus virginana	9.5	yes
2332	Juniperus virginana	10	yes
2333	Thuja occidentalis	17	yes
2336	Thuja occidentalis	17.5	yes
		75.3	total DBH saved

EARLY PROPOSED CONCEPT - SITE PLAN
SCALE: 1"=100'



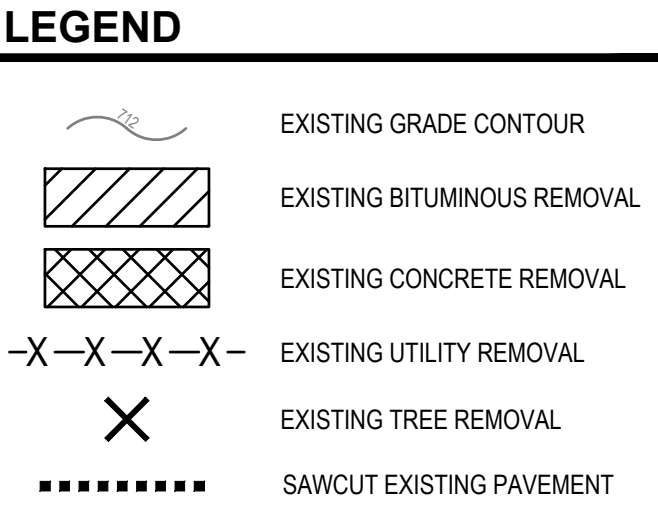
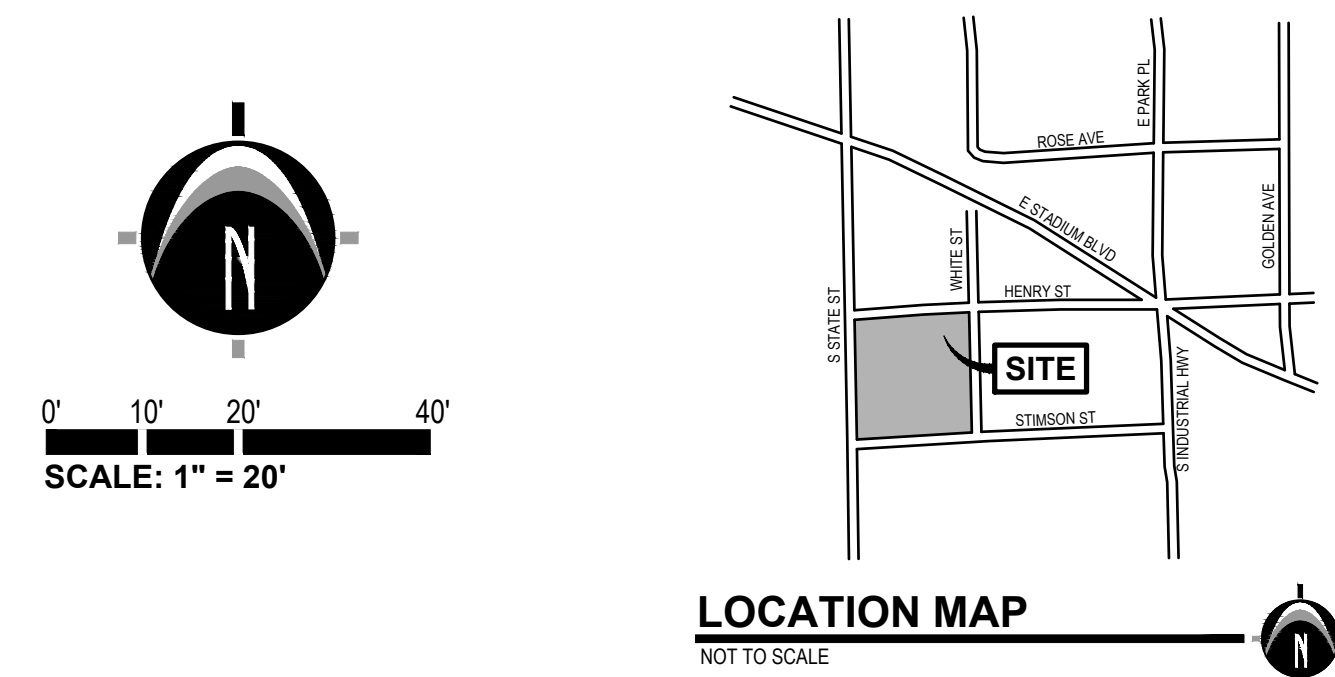
ALTERNATIVE ANALYSIS #2
9 STORIES (300 FAR)
FLOOR 1: 10,000 SF
FLOORS 2-9: 28,000 SF EACH
PARKING AT GRADE

CONCEPT # 2 UTILIZED PARKING AT GRADE WHICH WOULD ALSO BE UNDER PORTIONS OF THE BUILDING. PARKING AT GRADE REDUCES THE ABILITY FOR RESIDENTS TO USE OUTDOOR AREAS SINCE MOST OF IT WOULD BE SUBJECT TO VEHICULAR AREAS. THE BUILDING SHAPE BEING A SMALLER FOOTPRINT WOULD NEED TO BE 9 STORIES TALL IN ORDER TO MEET THE FAR. THIS GENERATES A STRUCTURE THAT IS OUT OF CHARACTER IN THE NEIGHBORHOOD AND CREATES LONG SHADOWS ONTO THE NEIGHBORS TO THE NORTH AND TO THE EAST.

LANDMARK TREE TABLE			
Alternative Analysis 2			
ID	Species	DBH	Landmark
2301	Acer saccharinum	30.5	yes
2322	Acer saccharum	20	yes
2326	Juglans nigra	28.5	yes
2330	Thuja occidentalis	21.3	yes
2331	Juniperus virginana	9.5	yes
2332	Juniperus virginana	10	yes
2333	Thuja occidentalis	17	yes
2336	Thuja occidentalis	17.5	yes
2338	Thuja occidentalis	14	yes
		168.3	total DBH saved

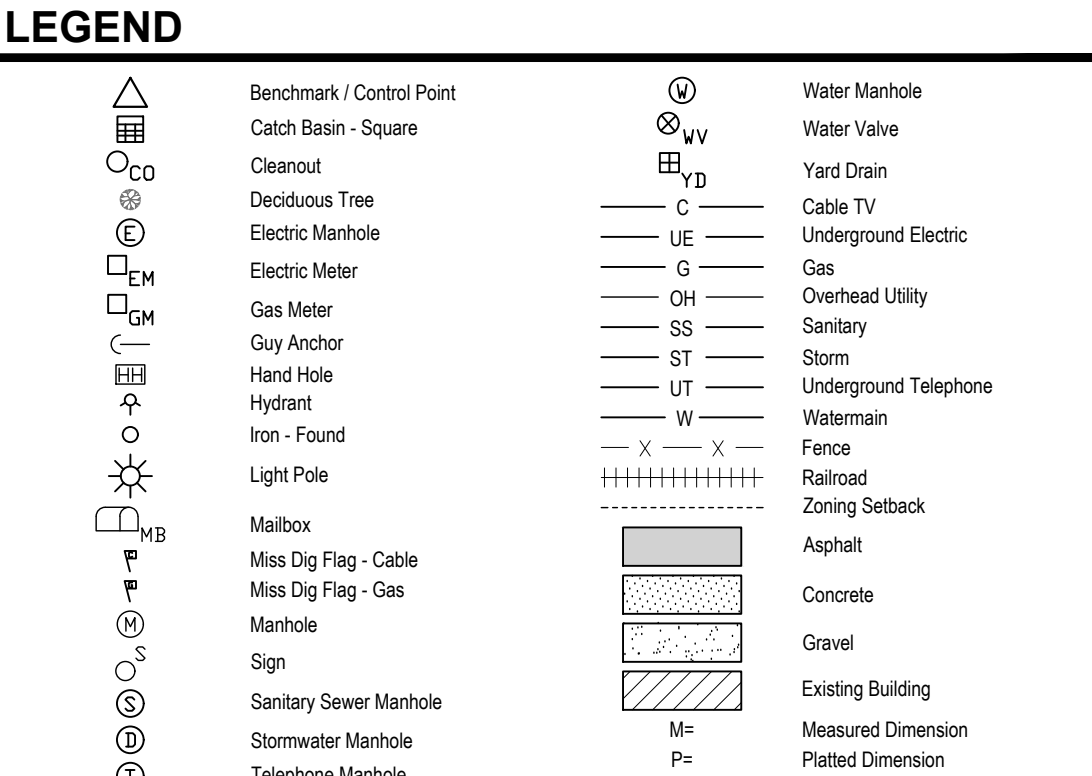
EARLY PROPOSED CONCEPT (#2) - SITE PLAN
SCALE: 1"=100'





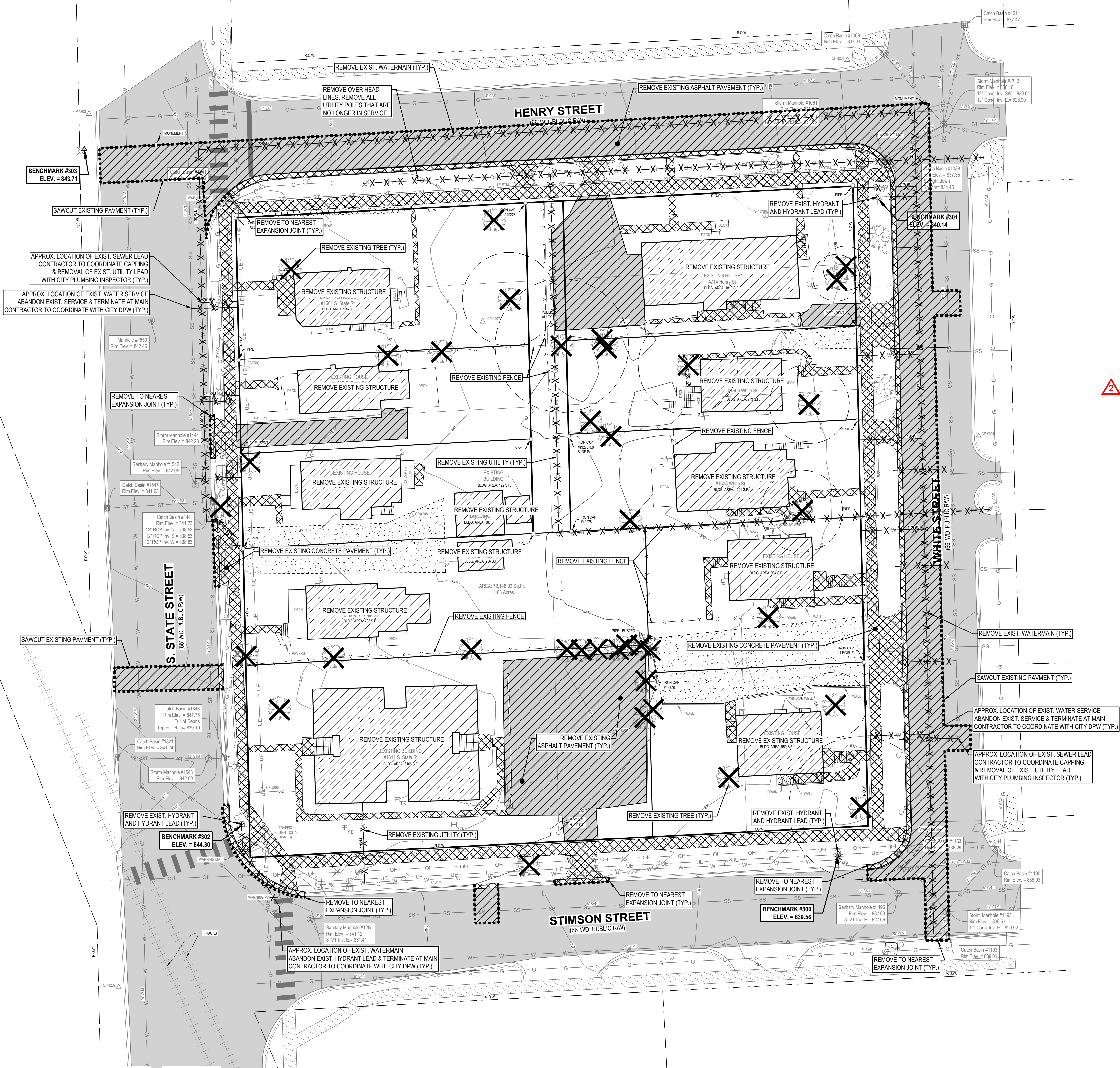
REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS AND SHALL BE APPROVED BY THE CITY OF ANN ARBOR ENGINEERING. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED OCTOBER 4, 2022. ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- 12) IF FOOTING DRAINS FOR THE EXISTING BUILDING ARE CONNECTED TO THE SANITARY SEWER SYSTEM, DISCONNECTION IS REQUIRED IN ACCORDANCE WITH CURRENT CITY SPECIFICATIONS. FOOTING DRAINS REMOVED FROM ANY EXISTING BUILDINGS MAY OFFSET ANY REQUIRED MITIGATION. VERIFICATION OF EXISTING FOOTING DRAINS SHALL BE PERFORMED BY ENGINEERING FOR ANY BUILDING CONSTRUCTED BETWEEN 1930 AND 1982. TO SCHEDULE INSPECTION, CONTACT ANY PONSOCK AT APONSOCK@AZGOV.ORG.
- 13) ANY SERVICE LEADS THAT WILL NOT BE REUSED SHALL BE DISCONNECTED AT THEIR RESPECTIVE MAINS.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

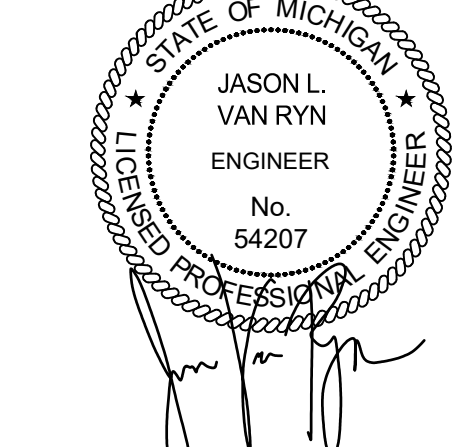
Title: Site Plan Submittal	Checked: BC/JVR	Date: 10.21.2022
Drawn: WL/TG	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 04.24.2023
Drawn: WL/TG	Checked: BC/JVR	Date: 05.10.2023
Title: Revised Layout Plan	Checked: BC/JVR	Date: 05.25.2023
Drawn: WL/TG	Checked: BC/JVR	Date: 06.13.2023

SOUTHTOWN BY 4M

Site Layout Plan - Level 1

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

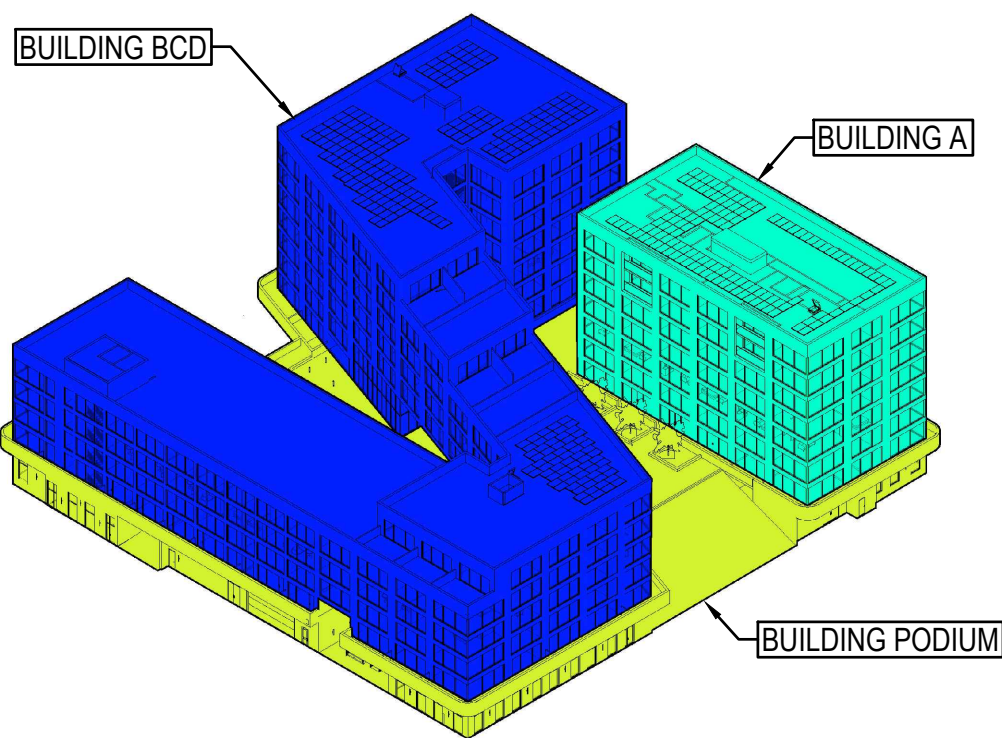
SHEET NO:
C-206



SETBACK AREA LESS THAN 10' & GREATER THAN 5' = 1,271 SQ. FT.
SETBACK AREA GREATER THAN 10' = 4,385 SQ. FT.
TOTAL SETBACK AREA = 5,656 SQ. FT.

FRONT SETBACK AREA CALCULATIONS

1" = 50'

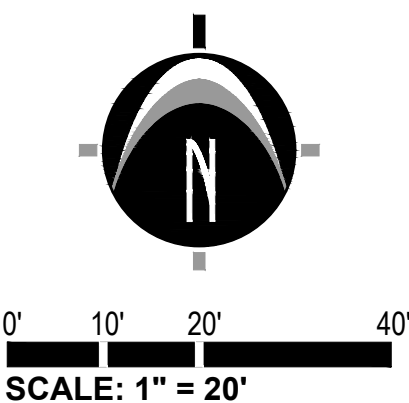


BUILDING DIAGRAM (NE VIEW)

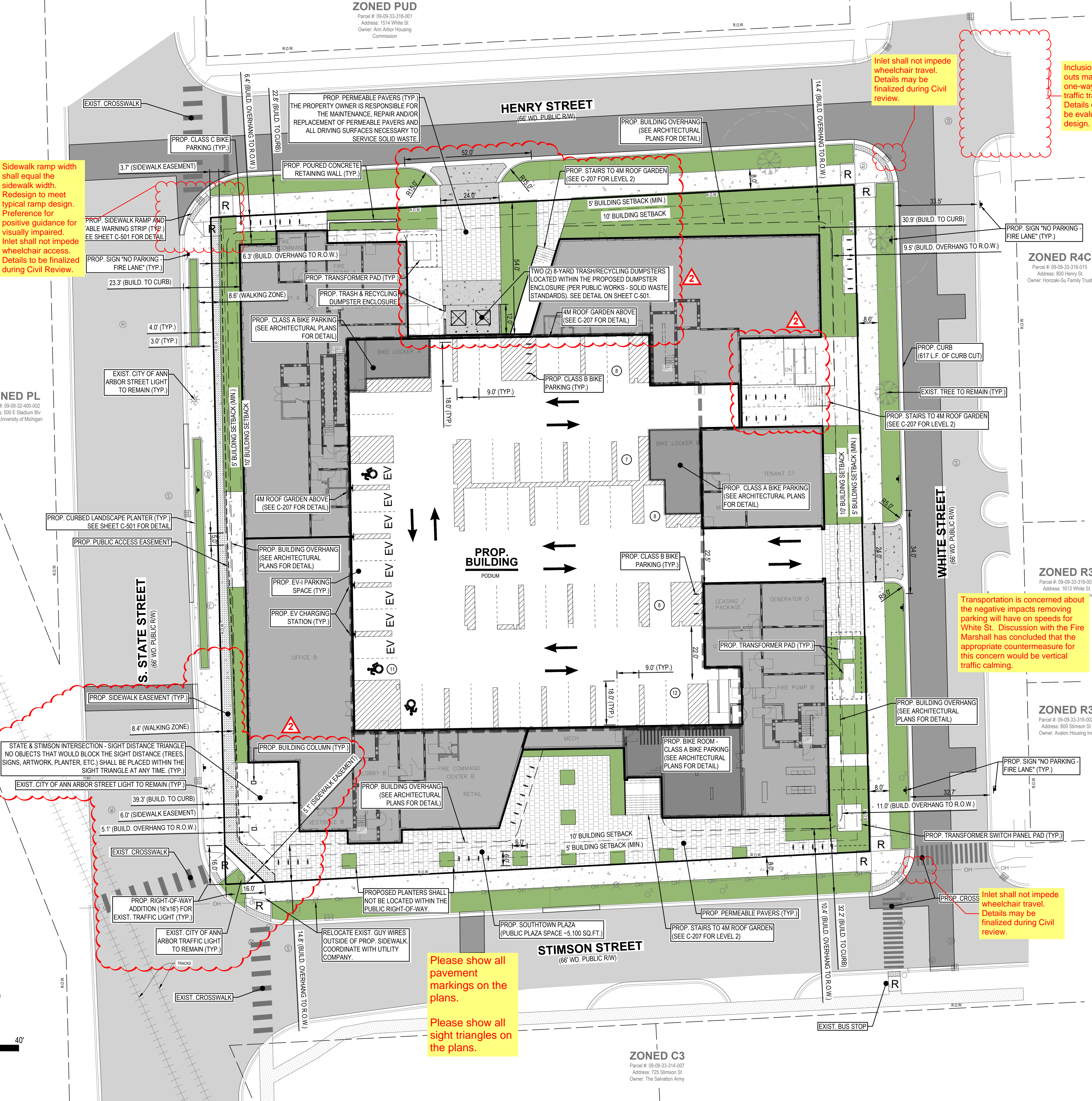
N.T.S.

LEGEND

	Benchmark / Control Point		Yard Drain
	Catch Basin - Square		Cable TV
	Cleanout		Underground Electric
	Deciduous Tree		Gas
	Electric Manhole		Overhead Utility
	Electric Meter		Sanitary
	Gas Meter		Storm
	Guy Anchor		Underground Telephone
	Hand Hole		Watermain
	Hydrant		Fence
	Iron - Found		Railroad
	Light Pole		Zoning Setback
	Mailbox		Asphalt
	Miss Dig Flag - Cable		Concrete
	Miss Dig Flag - Gas		Gravel
	Manhole		Existing Building
	Sign		Measured Dimension
	Sanitary Sewer Manhole		Platted Dimension
	Stormwater Manhole		PROPOSED PAVERS
	Telephone Manhole		PROPOSED BITUMINOUS (HEAVY DUTY)
	Transformer		PROPOSED CONCRETE (STANDARD DUTY)
	Traffic Light		PROPOSED CONCRETE (HEAVY DUTY)
	Utility Pole		PROPOSED GREENSPACE
	Water Manhole		PROPOSED DECKING
	Water Valve		PROPOSED SYNTHETIC TURF



ZONED PL
Parcel #: 09-09-32-400-002
Address: 500 E Stadium Blvd
Owner: University of Michigan



Sidewalk ramp width shall equal the sidewalk width. Redesign to meet typical ramp design. Preference for positive guidance for visually impaired. Inlet shall not impede wheelchair access. Details to be finalized during Civil Review.

Inlet shall not impede wheelchair travel. Details may be finalized during Civil review.

Inclusion of bump outs may support the one-way to two-way traffic transition. Details of design to be evaluated in Civil design.

Transportation is concerned about the negative impacts removing parking will have on speeds for White St. Discussion with the Fire Marshall has concluded that the appropriate countermeasure for this concern would be vertical traffic calming.

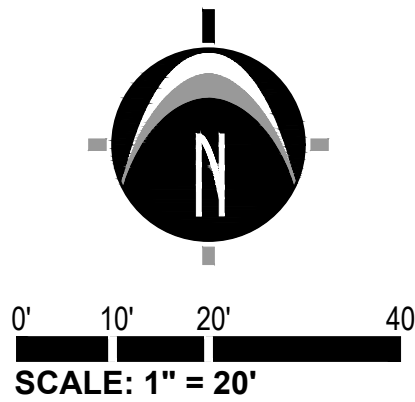
Please show all pavement markings on the plans.

Please show all sight triangles on the plans.

ZONED C3
Parcel #: 09-09-33-314-007
Address: 725 Stimson St
Owner: The Salvation Army

LEGEND

	Benchmark / Control Point		Yard Drain
	Catch Basin - Square		Cable TV
	Cleanout		Underground Electric
	Deciduous Tree		Gas
	Electric Manhole		Overhead Utility
	Electric Meter		Sanitary
	Gas Meter		Storm
	Guy Anchor		Underground Telephone
	Hand Hole		Watermain
	Hydrant		Fence
	Iron - Found		Railroad
	Light Pole		Zoning Setback
	Mailbox		Asphalt
	Miss Dig Flag - Cable		Concrete
	Miss Dig Flag - Gas		Gravel
	Manhole		Existing Building
	Sign		Measured Dimension
	Sanitary Sewer Manhole		Platted Dimension
	Stormwater Manhole		PROPOSED PAVERS
	Telephone Manhole		PROPOSED BITUMINOUS (HEAVY DUTY)
	Transformer		PROPOSED CONCRETE (STANDARD DUTY)
	Traffic Light		PROPOSED CONCRETE (HEAVY DUTY)
	Utility Pole		PROPOSED GREENSPACE
	Water Manhole		PROPOSED DECKING
	Water Valve		PROPOSED SYNTHETIC TURF



ZONED PL
Parcel #: 09-09-32-400-002
Address: 500 E Stadium Biv
Owner: University of Michigan

SITE NOTES

- STORAGE AREAS FOR CONSTRUCTION SHALL NOT INTERFERE WITH FIRE / EMERGENCY SITE ACCESS.
- ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OR BUFFER ZONES WITH THE FOLLOWING EXCEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR.
- THE MAINTENANCE OF THE DROP OFF LANE, LOCATED ALONG WHITE STREET, WILL BE THE RESPONSIBILITY OF THE OWNER, INCLUDING SNOW AND ICE REMOVAL.
- FIRE DEPARTMENT REQUIREMENT: THE BUILDING SHALL BE COMPLIANT WITH 2015 IFC 510 - EMERGENCY RESPONDER RADIO COVERAGE.
- ANY DAMAGE TO PUBLIC STREETS AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AS DIRECTED BY CITY ENGINEERING.
- IF A CRANE WILL BE USED IN THE RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN A TEMPORARY LICENSE AGREEMENT FROM THE CITY AS NEEDED.
- A LOGISTICS PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW IF ANY LONG TERM LANE CLOSURE OR SIDEWALK CLOSURE IS ANTICIPATED.
- NO PART OF STAIRS SHALL BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.
- ELECTRIC TRANSFORMER SHALL NOT BE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
- PAVERS SHALL NOT BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.

ADA ACCESSIBILITY NOTES

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE. IF THE SIDEWALK IS ADJACENT TO THE STREET, THE SIDEWALK GRADE MAY BE EQUAL TO THE GRADE OF THE STREET AND NOT BE CONSIDERED A RAMP.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RIGHT OF WAY THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK. IF THE SIDEWALK IS ADJACENT TO THE STREET, THE SIDEWALK GRADE MAY BE EQUAL TO THE GRADE OF THE STREET AND NOT BE CONSIDERED A RAMP.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.
- LEAD RAMPS SHALL CONNECT PERPENDICULAR TO THE SIDEWALK AND SHALL BE ADA COMPLIANT.

SOLID WASTE NARRATIVE

A TOTAL OF TWO (2) DUMPSTERS (1 FOR TRASH [8-YARD] AND 1 FOR RECYCLING [8-YARD]) WILL BE USED TO SERVICE THE SOUTHTOWN DEVELOPMENT. THE DUMPSTERS WILL BE LOCATED WITHIN A DOUBLE BIN ENCLOSURE AT THE NORTH END OF THE BUILDING. ACCESS TO THE ENCLOSURE WILL BE MADE FROM HENRY STREET AND ALL ACCESS CLEARANCES OUTLINED IN THE CITY OF ANN ARBOR SOLID WASTE STANDARDS ARE MET. IT IS ANTICIPATED THAT ONE (1) TRASH PICKUP BY THE CITY AND SIX (6) ADDITIONAL TRASH PICKUPS BY WASTE MANAGEMENT (AT THE PROPERTY OWNER'S EXPENSE) WILL BE REQUIRED PER WEEK. THE PROPERTY OWNER IS RESPONSIBLE FOR MANAGING SOLID WASTE ON-SITE. IT IS ALSO ANTICIPATED THAT TWO (2) RECYCLING PICKUPS BY THE CITY WILL BE REQUIRED (SEE SOLID WASTE CALCULATIONS BELOW).

SOLID WASTE CALCULATIONS:
PER ANN ARBOR'S SOLID WASTE RESOURCES MANAGEMENT PLAN FROM AUGUST 2019, WE USED A FACTOR OF 3.3 LBS OF SOLID WASTE PER PERSON PER DAY. OF THAT, APPROXIMATELY 80% IS TRASH AND 20% IS RECYCLED SOLID WASTE ACCORDING TO THE RESIDENTIAL SECTOR. WITH A TOTAL OF 216 UNITS (63 STUDIOS, 89 TWO BEDS, 74 TWO BEDS) FOR APPROXIMATELY 580 OCCUPANTS. THIS WOULD ACCOUNT FOR APPROXIMATELY 1500 POUNDS OF TRASH AND APPROXIMATELY 380 POUNDS OF RECYCLING PER DAY. THE 8-YARD DUMPSTERS CAN EACH HANDLE 1600 POUNDS AND WOULD ADEQUATELY SERVICE THE BUILDING LOAD.

ZONED PUD

Parcel #: 09-09-33-318-001
Address: 1514 White St
Owner: Ann Arbor Housing
Commission

HENRY STREET
(66' WD. PUBLIC ROW)

STIMSON STREET
(66' WD. PUBLIC ROW)

ZONED C3

Parcel #: 09-09-33-314-007
Address: 725 Stimson St
Owner: The Salvation Army

ZONED R4C

Parcel #: 09-09-33-316-015
Address: 800 Henry St
Owner: Hontzaki-Su Family Trust

ZONED R3

Parcel #: 09-09-33-316-001
Address: 1613 White St
Owner: Avalon Housing Inc

ZONED R3

Parcel #: 09-09-33-316-002
Address: 800 Stimson St
Owner: Avalon Housing Inc

PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

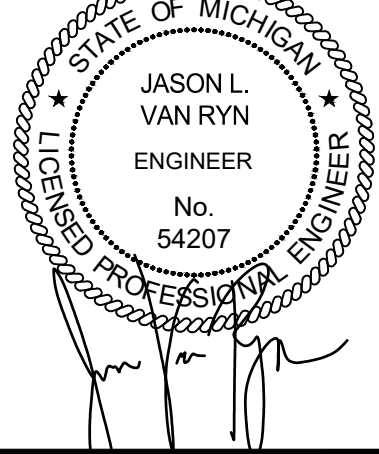
Title: Site Plan Submittal	Drawn: WL/TC	Checked: BC/JVR	Date: 10.21.2022
Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 04.24.2023
Title: Revised Layout Plan	Drawn: WL/TC	Checked: BC/JVR	Date: 05.10.2023
Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Drawn: WL/TC	Checked: BC/JVR	Date: 06.13.2023

SOUTHTOWN BY 4M

Site Layout Plan - Level 2

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:

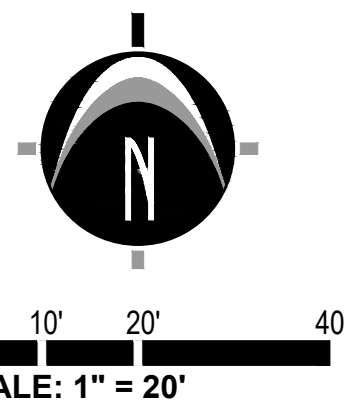


PROJECT NO:

21500282

SHEET NO:

C-207



LEGEND

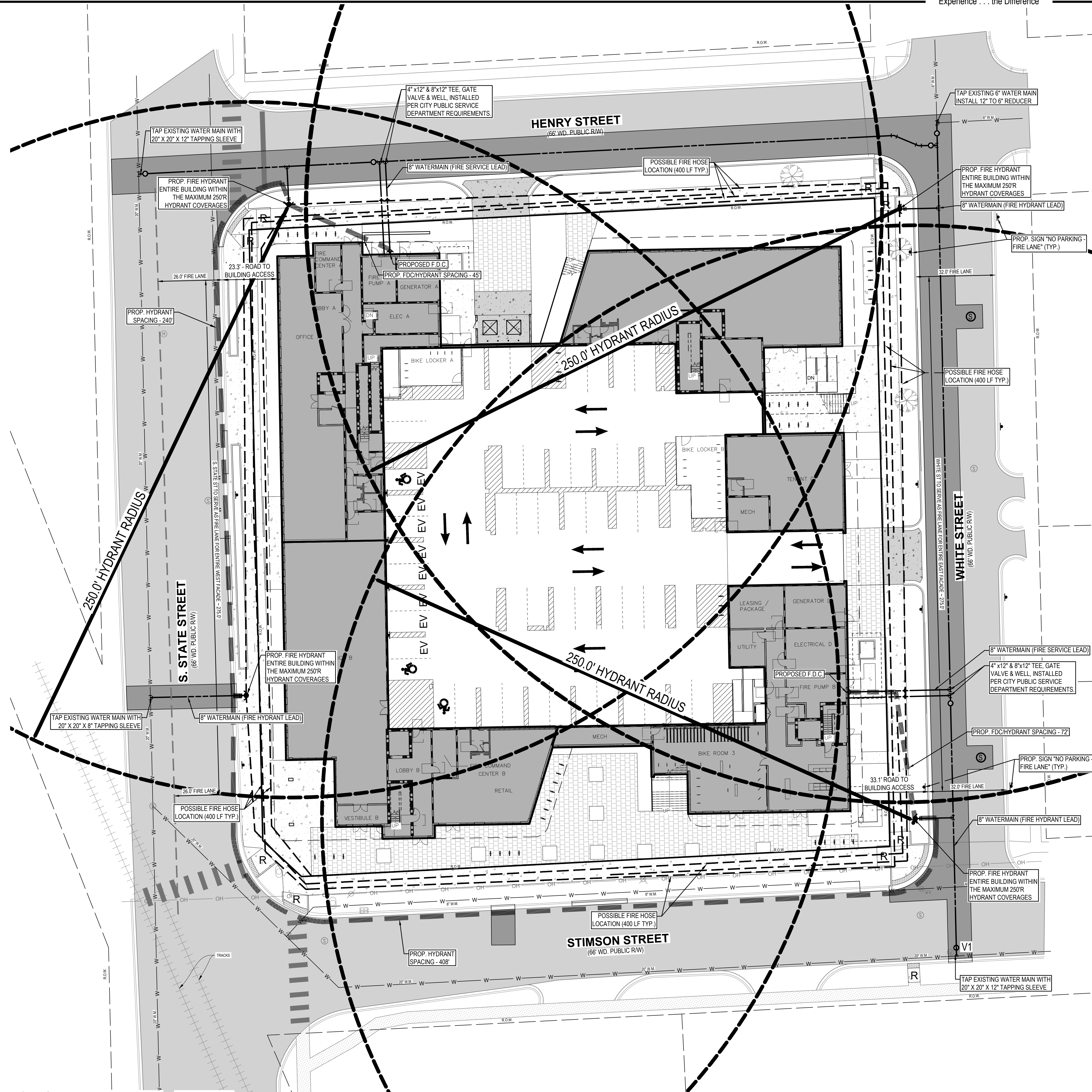
	Benchmark / Control Point		Yard Drain
	Catch Basin - Square		Cable TV
	Cleanout		Underground Electric
	Deciduous Tree		Gas
	Electric Manhole		Overhead Utility
	Electric Meter		Sanitary
	Gas Meter		Storm
	Guy Anchor		Underground Telephone
	Hand Hole		Watermain
	Hydrant		Fence
	Iron - Found		Railroad
	Light Pole		Zoning Setback
	Mailbox		Asphalt
	Miss Dig Flag - Cable		Concrete
	Miss Dig Flag - Gas		Gravel
	Manhole		Existing Building
	Sign		M= Measured Dimension
	Sanitary Sewer Manhole		P= Platted Dimension
	Stormwater Manhole		PROPOSED PAVERS
	Telephone Manhole		PROPOSED BITUMINOUS (HEAVY DUTY)
	Transformer		PROPOSED CONCRETE (STANDARD DUTY)
	Traffic Light		PROPOSED CONCRETE (HEAVY DUTY)
	Utility Pole		PROPOSED GREENSPACE
	Water Manhole		PROPOSED DECKING
	Water Valve		PROPOSED SYNTHETIC TURF



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OF AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

— Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — High Definition Scanning — Forensic Engineering — Fire Investigation



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CAL	SIZE	QTY
	Bn (M)	Betula nigra	River Birch Multi-Trunk	B&B	3" min.	12' hgt. avg.	7
	Ca (M)	Carpinus caroliniana	American Hornbeam	B&B	3" min.		3
	Cf (M)	Cornus florida	Flowering Dogwood	B&B	3" min.		9
	Ma (S)	Maackia amurensis	Amur Maackia	B&B	2.5" min.		6
	Na (M)	Nyssa sylvatica	Tupelo	B&B	3" min.		5
	Pm (S)	Platanus x acerifolia 'Morton Circle'	Exclamation!™ London Plane Tree	B&B	3" min.		15
	Qb (M)	Quercus bicolor	Swamp White Oak	B&B	3" min.		5

PLANT LABEL LEGEND

(M) MITIGATION PLANTINGS
(S) STREET TREE PLANTINGS

0' 10' 20' 40'
SCALE: 1" = 20'

ZONED PL
Parcel #: 09-09-32-400-002
Address: 500 E Stadium Biv
Owner: University of Michigan

LANDSCAPE NOTES

PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGINGS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- ALL SPECIES DEVIATION FROM THE APPROVED SITE PLAN MUST BE APPROVED PRIOR TO INSTALLATION BY THE CITY OF ANN ARBOR.
- APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHORUS.

TOPSOIL AND TURF NOTES:

- WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.

LANDSCAPE CALCULATIONS

5.20.10 (B) STREET TREES REQUIRED:

- 1) ONE STREET TREE OF THE MINIMUM SIZE AND SPECIES MEETING CITY STANDARDS SHALL BE PROVIDED FOR EVERY 45 LINEAR FEET OF PUBLIC STREET RIGHT-OF-WAY ABUTTING A SITE PLAN SITE. EXISTING TREES MEETING CITY STANDARDS MAY BE USED TO SATISFY ALL OR PART OF THIS REQUIREMENT.

REQUIRED: 264 FT (HENRY) - 25 FT (CURB CUTS) = 239 / 45 = 5.31 = 6 TREES
273 FT (WHITE ST) - 25 FT (CURB CUTS) = 249 / 45 = 5.53 = 6 TREES
264 FT (STIMSON) / 45 = 5.867 = 6 TREES
273 FT (STATE) / 45 = 6.067 = 6 TREES

PROPOSED: HENRY = 6 TREES (1 EXISTING AND 5 PROPOSED)
WHITE ST = 6 TREES (2 EXISTING AND 4 PROPOSED)
STIMSON = 6 TREES (6 PROPOSED)
STATE = 6 TREES (6 PROPOSED)

5.23.6 (E) LANDMARK TREE MITIGATION:

- 1) A REPLACEMENT TREE OR COMBINATION OF TREES OF A SPECIES NATIVE TO MICHIGAN SHALL BE PROVIDED TO EQUAL A MINIMUM OF 50% OF THE ORIGINAL DBH FOR EACH LANDMARK TREE THAT IS REMOVED.

REQUIRED: 84.15" DBH FOR PROPOSED REMOVAL OF 168.3" DBH OF EXISTING LANDMARK TREES
PROPOSED: 87" DBH REPLACEMENT

LANDSCAPE MAINTENANCE SCHEDULE

Perennial Beds	January	February	March	April	May	June	July	August	September	October	November	December
Maintenance Task												
Prune shade trees & summer flowering shrubs												
Remove mulch from around crown of perennials; remove winter mulch												
Fertilize Trees and Shrubs, planting beds												
Clean flower beds, remove winter weeds and dead plant material left for winter interest												
Apply double shredded bark mulch to tree/shrub beds and ground leaf compost to flower beds												
Pressurize irrigation system and perform spring audit												
Divide and replant summer and fall blooming perennials (when growth is 3-4in high), cut back if needed												
Replace dead/poor health perennials and grasses												
Prune spring blooming shrubs immediately after flowering												
Prune wither damaged branches or plants that have not begun to grow after last frost												
Replace mulch as necessary												
Prune/pinch back perennials and grasses for height control and shaping												
Inspect plants for pests and treat as necessary												
Clean up planting beds - remove yellowing foliage not left for winter interest, remove stakes/hoops												
Turn off irrigation system and flush out												
Winter mulch tender plants once ground is frozen												

NOTE:
1. ALL DISEASED, DAMAGED OR DEAD MATERIAL BE REPLACED IN ACCORDANCE WITH CITY CODE BY THE END OF THE FOLLOWING PLANTING SEASON, AS A CONTINUING OBLIGATION FOR THE DURATION OF THE SITE PLAN.

LEGEND

Benchmark / Control Point
 Catch Basin - Square
 Cleanout
 Deciduous Tree
 Electric Manhole
 Electric Meter
 Gas Meter
 Guy Anchor

Hand Hole
 Hydrant
 Iron - Found
 Light Pole
 Mailbox
 Miss Dig Flag - Cable
 Miss Dig Flag - Gas
 Manhole

Sanitary Sewer Manhole
 Stormwater Manhole
 Telephone Manhole
 Transformer
 Traffic Light
 Utility Pole
 Water Manhole

Sign
 Water Valve
 Yard Drain
 Cable TV
 Underground Electric
 Gas
 Overhead Utility
 Sanitary
 Storm

UT
 W
 X
 Fence
 Railroad
 Zoning Setback
 Asphalt
 Concrete
 Gravel

PROPOSED PAVERS
 PROPOSED BITUMINOUS (HEAVY DUTY)
 PROPOSED CONCRETE (STANDARD DUTY)
 PROPOSED CONCRETE (HEAVY DUTY)
 PROPOSED GREENSPACE
 PROPOSED DECKING
 PROPOSED SYNTHETIC TURF

UNDERGROUND TELEPHONE
 WATERMAIN
 FENCE
 RAILROAD
 ZONING SETBACK
 ASPHALT
 CONCRETE
 GRAVEL

PROPOSED PAVERS
 PROPOSED BITUMINOUS (HEAVY DUTY)
 PROPOSED CONCRETE (STANDARD DUTY)
 PROPOSED CONCRETE (HEAVY DUTY)
 PROPOSED GREENSPACE
 PROPOSED DECKING
 PROPOSED SYNTHETIC TURF

UNDERGROUND TELEPHONE
 WATERMAIN
 FENCE
 RAILROAD
 ZONING SETBACK
 ASPHALT
 CONCRETE
 GRAVEL

PROPOSED PAVERS
 PROPOSED BITUMINOUS (HEAVY DUTY)
 PROPOSED CONCRETE (STANDARD DUTY)
 PROPOSED CONCRETE (HEAVY DUTY)
 PROPOSED GREENSPACE
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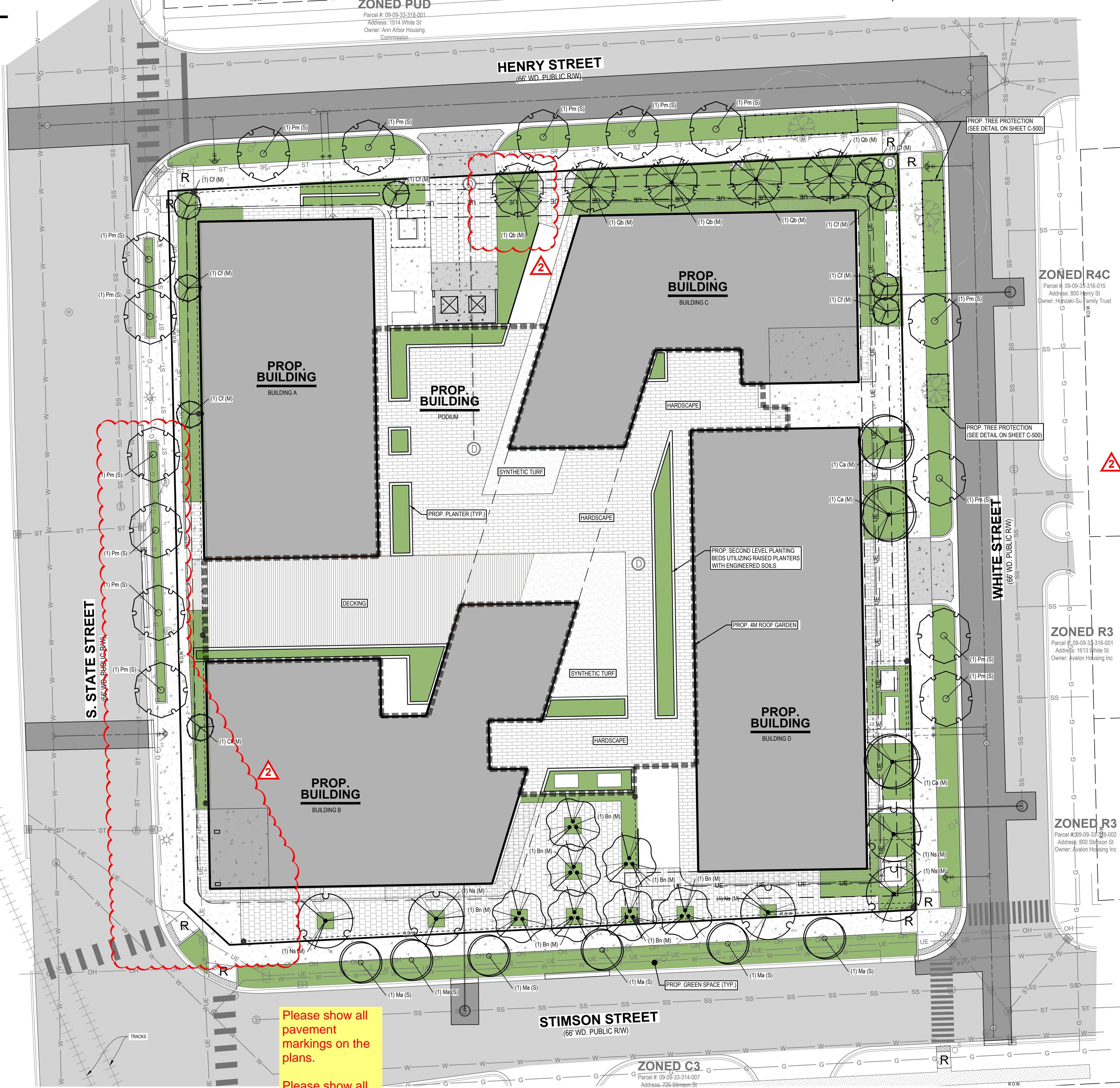
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UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "POTENTIAL" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO ANY CONNECTIONS.



Please show all pavement markings on the plans.

Please show all sight triangles on the plans.

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PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

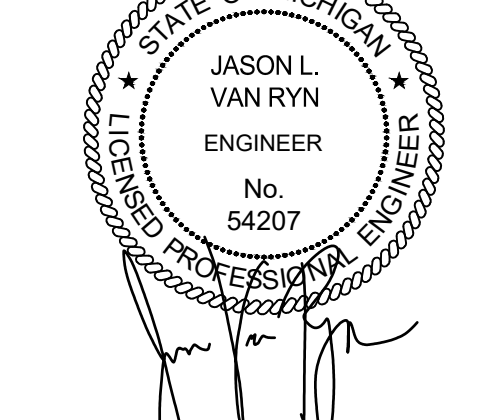
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Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 06.13.2023
Drawn: WL/TG	Checked: BC/JVR	Date: 06.13.2023

SOUTHTOWN BY 4M

Landscape Plan

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

SHEET NO:

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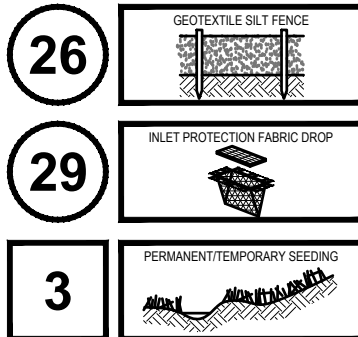
SITE CONSTRUCTION SEQUENCE & TIMING

2024

	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC
INSTALL SOIL EROSION CONTROL MEASURES										
DEMOLITION & REMOVALS										
ROUGH GRADE SITE										
CONSTRUCT STORM WATER MANAGEMENT SYSTEM										
CONSTRUCT UTILITY LINES TO BUILDING										
CURBING AND FIRST COURSE OF ASPHALT PAVING										
CONSTRUCT BUILDING FOUNDATION AND BUILDING										
CONSTRUCT IMPROVEMENTS AROUND BUILDING										
FINISH GRADE SITE										
PAVE SITE										
RESPREAD TOPSOIL/COMPACTION										
SEED DISTURBED AREAS										
SITE RESTORATION/CLEAN UP										

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



GRADING NOTES:

- ALL PROPOSED PAVING AND GRADING IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
- CONTRACTOR SHALL REFERENCE AND ABIDE BY THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL EVALUATION PREPARED BY G2 CONSULTING, PROJECT NO. 223573, DATED OCTOBER 4, 2022.
- ESTABLISH PERMANENT BENCH MARK ON-SITE PRIOR TO GRADING.
- PROPOSED SPOT GRADES ARE TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL. IF POOR SOIL IS ENCOUNTERED THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- CONTRACTOR TO FIELD VERIFY ALL INVERTS PRIOR TO START OF CONSTRUCTION.
- CURBING AND FIRST COARSE OF ASPHALT NEEDS TO BE COMPLETED PRIOR TO VERTICAL CONSTRUCTION.
- VERTICAL CONSTRUCTION CANNOT BEGIN UNTIL UNTIL THE STORM WATER MANAGEMENT SYSTEM IS COMPLETED.

MAINTENANCE TASKS & SCHEDULE

TASKS	PAVED AREAS	PERVIOUS AREAS	STORM DRAINAGE SYSTEM	CATCH BASIN INLETS	CATCH BASIN INLET CASINGS	SEEDING	SEEDING SEPARATOR	UNDERGROUND DETENTION AREA	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	QUARTERLY
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION	X	X	X	X	X	X	X	X	WEEKLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X	X	X	X	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER
CLEAN DRIVES AND PARKING LOTS	X	X	X	X	X	X	X	X	WEEKLY OR AS DETERMINED BY PERMITTING AGENCY
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL	X	X	X	X	X	X	X	X	AS NEEDED
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X	ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED	X	X	X	X	X	X	X	X	AS NEEDED

* AS NEEDED* MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

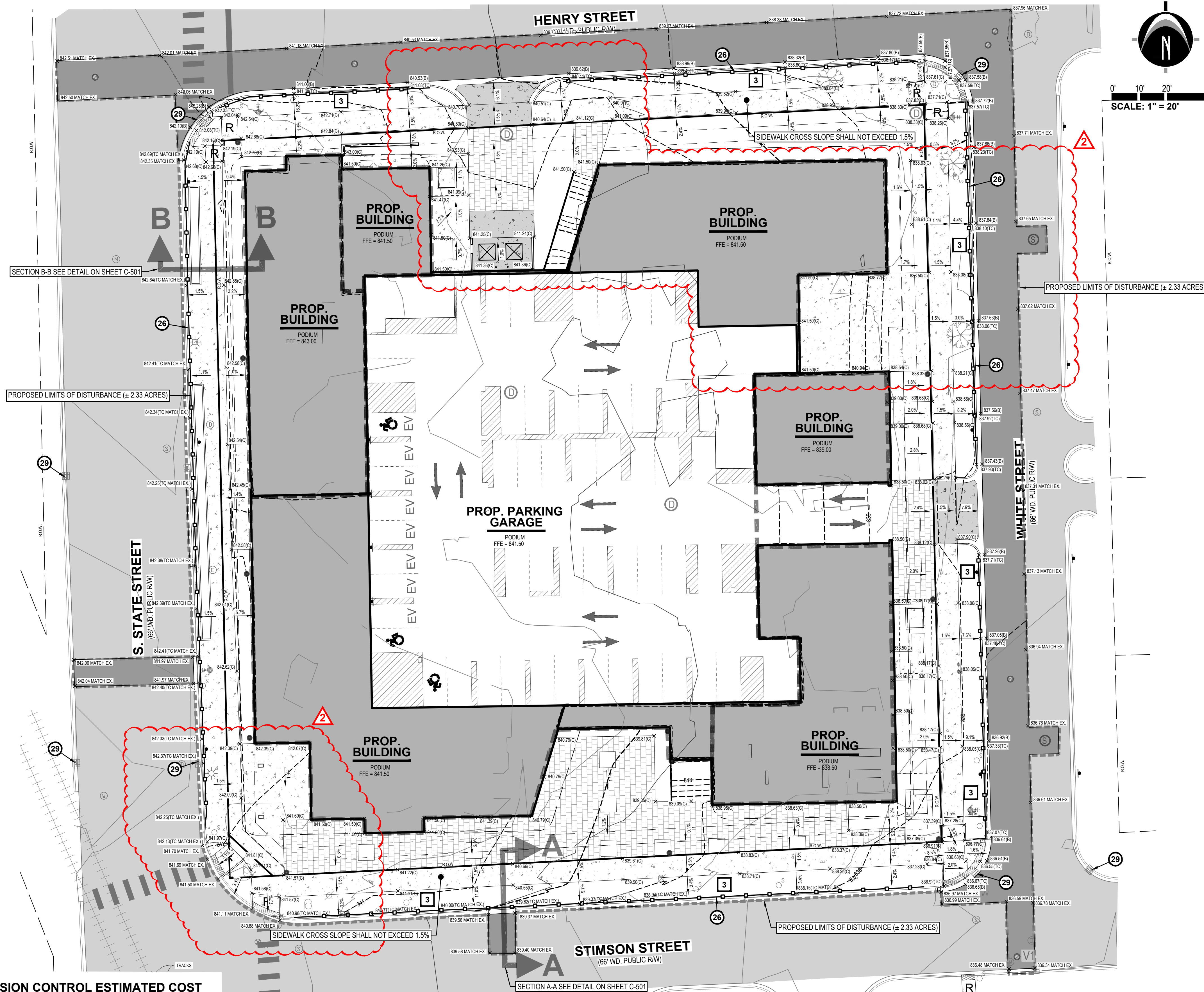
PERMANENT LONG-TERM MAINTENANCE

MAINTENANCE ACTIVITIES	PAVED AREAS	PERVIOUS AREAS	STORM DRAINAGE SYSTEM	CATCH BASIN INLETS	CATCH BASIN INLET CASINGS	SEEDING	SEEDING SEPARATOR	UNDERGROUND DETENTION AREA	SCHEDULE	BUDGET
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	SEMI-ANNUALLY/AS NEEDED*	\$250.00
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	ANNUALLY/AS NEEDED*	\$750.00
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	ANNUALLY	\$150.00
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	ANNUALLY	\$300.00
INSPECTION FOR EROSION	X	X	X	X	X	X	X	X	SEMI-ANNUALLY	\$100.00
CLEAN DRIVES AND PARKING LOTS	X	X	X	X	X	X	X	X	ANNUALLY	\$250.00
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X	ANNUALLY	\$500.00
INSPECT INFILTRATION AREA FOLLOWING RAIN EVENTS OF 1 INCH OR MORE	X	X	X	X	X	X	X	X	AS NEEDED	\$500.00
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	X	X	X	AS NEEDED	\$500.00
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER	X	X	X	X	X	X	X	X	ANNUALLY	
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO PROPERTY OWNER	X	X	X	X	X	X	X	X	ANNUALLY	
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS	X	X	X	X	X	X	X	X	ANNUALLY	
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS	X	X	X	X	X	X	X	X	AS NEEDED	\$500.00

* AS NEEDED* MEANS INSPECTION AFTER EVERY STORM THAT TOTALS 1 INCH OF RAINFALL OR MORE, AND REMOVAL OF SEDIMENT WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH.

LEGEND

	Benchmark / Control Point		Gas Meter		Mailbox		Stormwater Manhole		Water Valve		Sanitary
	Catch Basin - Square		Guy Anchor		Miss Dig Flag - Cable		Telephone Manhole		Yard Drain		Storm
	Cleanout		Hand Hole		Miss Dig Flag - Gas		Transformer		Cable TV		Underground Telephone
	Deciduous Tree		Hydrant		Manhole		Traffic Light		Underground Electric		Watermain
	Electric Manhole		Iron - Found		Sign		Utility Pole		Gas		Fence
	Electric Meter		Light Pole		Sanitary Sewer Manhole		Water Manhole		Overhead Utility		Railroad



SOIL EROSION CONTROL ESTIMATED COST

ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
Silt fence	1,000	LF	\$2.50	\$2,500
Mud Mat	600	TN	\$15.00	\$9,000
Excavation & Fill	3,200	CY	\$4.00	\$12,800
Inlet/CB filter	15	EA	\$100.00	\$1,500
Dust Control	1	LS	\$2,000.00	\$2,000
Permanent seed & mulch	10,000	SF	\$0.70	\$7,000
TOTAL COST =				\$26,700.00

LEGEND

	EXISTING CONTOUR		PROP. SANITARY LEAD/CLEANOUT
	PROP. CONTOUR		PROP. STORM SEWER/CATCH BASIN
	PROP. SILT FENCE		PROP. WATER SERVICE W/ STOP BOX
	PROP. LIMITS OF DISTURBANCE		PROP. DOWNSPOUT
	PROP. PITCH OUT CURB		PROP. GRADE ELEV. (RIM)
	PROP. GRADE ELEV. (BLACKTOP)		MATCH EXISTING GRADE
	PROP. GRADE ELEV. (CONCRETE)		

BENCHMARKS

- BENCHMARK #300** ELEV. = 839.56 (NAVD88)
Steamer valve on South side of hydrant, located 6' +/- North of back of curb and 24' +/- West of catch basin at Northwest corner of Stimson Street and White Street.
- BENCHMARK #301** ELEV. = 840.14 (NAVD88)
Steamer valve on East side of hydrant, located 25' +/- South of centerline of White Street and 15' +/- South of catch basin at Southwest corner of Henry Street and White Street.
- BENCHMARK #302** ELEV. = 844.30 (NAVD88)
Steamer valve on North side of hydrant, located 36' +/- East of centerline of State Street and 12' +/- North of Stimson Street traffic light at Northeast corner of State Street and Stimson Street.
- BENCHMARK #303** ELEV. = 843.71 (NAVD88)
Northeast bott on light pole base, located 15' +/- South of control point 203 and 30' +/- West of centerline of State Street at end of Henry Street.

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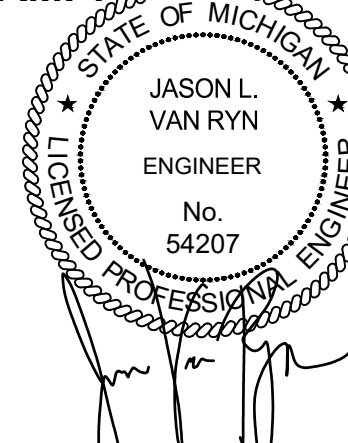
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Drawn: WL/TG	Checked: BC/JVR	Date: 06.13.2023

SOUTHTOWN BY 4M

S.E.S.C. & Grading Plan

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

SHEET NO:
C-300

SANITARY SEWER MITIGATION CALCULATIONS

Use the City of Ann Arbor "Table A" and "Michigan Criteria for Subsurface Sewage Disposal" Michigan Department of Public Health April 1994 & the "Ten States Standards"

		Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
					(gpd)	(gpm)
Existing Site (Table A Designation)						
Uses:	1601 S. State St (Apartment s 600 sq. ft.)	3	Apartment	175	525	0.36
	1605 S. State St (Apartment s 600 sq. ft.)	3	Apartment	175	525	0.36
	1607 S. State St (Apartment s 600 sq. ft.)	3	Apartment	175	525	0.36
	1609 S. State St (Apartment s 600 sq. ft.)	3	Apartment	175	525	0.36
	1611 S. State St (Apartment s 600 sq. ft.)	10	Apartment	175	1,750	1.22
	714 Henry St (Apartment s 600 sq. ft.)	6	Apartment	175	1,050	0.73
	1606 White St (Apartment s 600 sq. ft.)	3	Apartment	175	525	0.36
	1608 White St (Apartment s 600 sq. ft.)	3	Apartment	175	525	0.36
	1610 White St (Apartment s 600 sq. ft.)	2	Apartment	175	350	0.24
	1612 White St (Apartment s 600 sq. ft.)	2	Apartment	175	350	0.24
Total Existing Flow					6,950	4.62

Sanitary Sewer Connection #1 (Building A)*			Quantity of Base Unit	Unit	Capita/Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
*See architectural plans for building divisions							(gpd)	(gpm)
Proposed Site (Table A Designation)								
Uses:	Studio Apartment	1			75	1,200	0.83	
	2 Bedroom Apartment	2			150	4,200	2.92	
Total Proposed Flow (Area A)						5,400	3.75	

Sanitary Sewer Connection #2 (Building BCD)*			Quantity of Base Unit	Unit	Capita/Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
							(gpd)	(gpm)
Proposed Site (Table A Designation)								
Uses:	Studio Apartment	1	Apartment	1	75	2,775	1.93	
	1 Bedroom Apartment	1	Apartment	1	75	6,825	4.74	
	2 Bedroom Apartment	2	Apartment	2	150	6,600	4.58	
Total Proposed Flow (Area B)							16,200	11.25

Sanitary Sewer Connection #3 (Area Podium)*		Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
*See architectural plans for building divisions					(gpd)	(gpm)
Proposed Site (Table A Designation)						
Uses:	Non-Medical Office Space	10,680	sf	0.06	641	0.45
	Daycare (nursery & elementary)	30	Student	10	300	0.21
	Retail Store (no process water discharge)	1,587	Gross Floor	0.03	48	0.03
Total Proposed Flow (Area C)					988	0.69

Sanitary Sewer Connection #4 (Parking Structure)* *See architectural plans for building divisions	Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow	
				(gpd)	(gpm)
Proposed Site (Table A Designation)					
Uses: Parking Structure	53	spaces	27.00	1,431	0.99
Total Proposed Flow (Parking Structure)				1,431	0.99

	Avg. Flow	
	(gpd)	(gpm)
Sanitary Sewer Connection Area (A + BCD + Podium + Parking Structure)		
Proposed Site (Table A Designation)		
Uses: Total Proposed Flow (Building A)	5,400	3.75
Total Proposed Flow (Building BCD)	16,200	11.25
Total Proposed Flow (Building Podium)	988	0.69
Total Proposed Flow (Parking Structure)	1,431	0.99
Total Proposed Flow Area	24,019	16.68

SANITARY SEWER BASIS OF DESIGN

Sanitary Flow Offset Mitigation Summary			
Proposed - Existing Flows			
Proposed Site Average Flow (24019.4) - Existing Site Average Flow (6650) =		17,369	gpd
17369 gpd x 4 (Peaking Factor) x 1.1 (System Recovery Factor) =		76,423	gpd
76423 gpd x 1 day / 24 hrs x 1 hr / 60 min =		53	gpm
53 gpm Peak Flow to be mitigated			

UTILITY NOTES

GENERAL

- CONSTRUCTION MUST CONFORM TO THE CITY OF ANN ARBOR STANDARD SPECIFICATIONS AND STANDARD DETAILS.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION.
- UTILITY TRENCHES WITHIN A 1 ON 1 INFLUENCE OF CITY OF ANN ARBOR R.O.W. SHALL BE BACKFILLED IN ACCORDANCE WITH THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR DATA CUT SHEETS FOR PIPE MATERIALS, VALVES, CASTINGS, STEPS, AND MANHOLE STRUCTURES FOR REVIEW.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SEWERS, AND A MINIMUM OF 5' HORIZONTAL AND 12" VERTICAL SEPARATION BETWEEN WATER AND OTHER UTILITIES.
- SUMP PUMPS PROPOSED IN ELEVATOR PITS ONLY. SEE ARCHITECTURAL PLANS FOR DETAIL.

WATER SERVICE

- HYDRANTS SHALL BE IN SERVICE DURING CONSTRUCTION.
- THE PROPOSED BUILDING WILL BE SERVICED BY A NEW 4" DUCTILE IRON WATER LINE AND 8" DUCTILE IRON FIRE SUPPRESSION SERVICE LINE.
- WATER SERVICE LINE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
- THE 4-INCH DOMESTIC WATER SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON AND INSTALLED BY THE CONTRACTOR UNDER CITY OF ANN ARBOR INSPECTION.
- ALL WATER SERVICE PIPES MUST BE LAID WITH A MINIMUM OF FIVE AND ONE-HALF (5.5) FEET, OF FINAL EARTH GRADE COVER, TYPICAL.
- WATER SERVICE METERING SHALL OCCUR AT THE POINT THE SERVICE LEAD ENTERS THE BUILDING.
- A BOOSTER PUMP SHALL BE USED FOR BUILDINGS WATER SERVICE LEADS.
- CONTACT CITY TO COORDINATE CONNECTION TO ASBESTOS CONCRETE WATERMAIN ON STIMPSON STREET. CONNECTION MUST BE MADE BY A CITY APPROVED CONTRACTOR.

SANITARY SERVICE

- SANITARY SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
- THE PROPOSED SANITARY SEWER LEAD SHALL BE PVC SDR-23.5 OR PVC SCH 40 UNLESS OTHERWISE NOTED.
- NO CONNECTION TO RECEIVING STORM WATER, SURFACE WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWER
- NO FOOTING DRAINS SHALL BE CONNECTED TO THE BUILDING SANITARY SEWER.
- THE INSTALLATION OF SANITARY LEAD AND TAP SHALL BE INSPECTED BY CITY STAFF.

STORM WATER MANAGEMENT

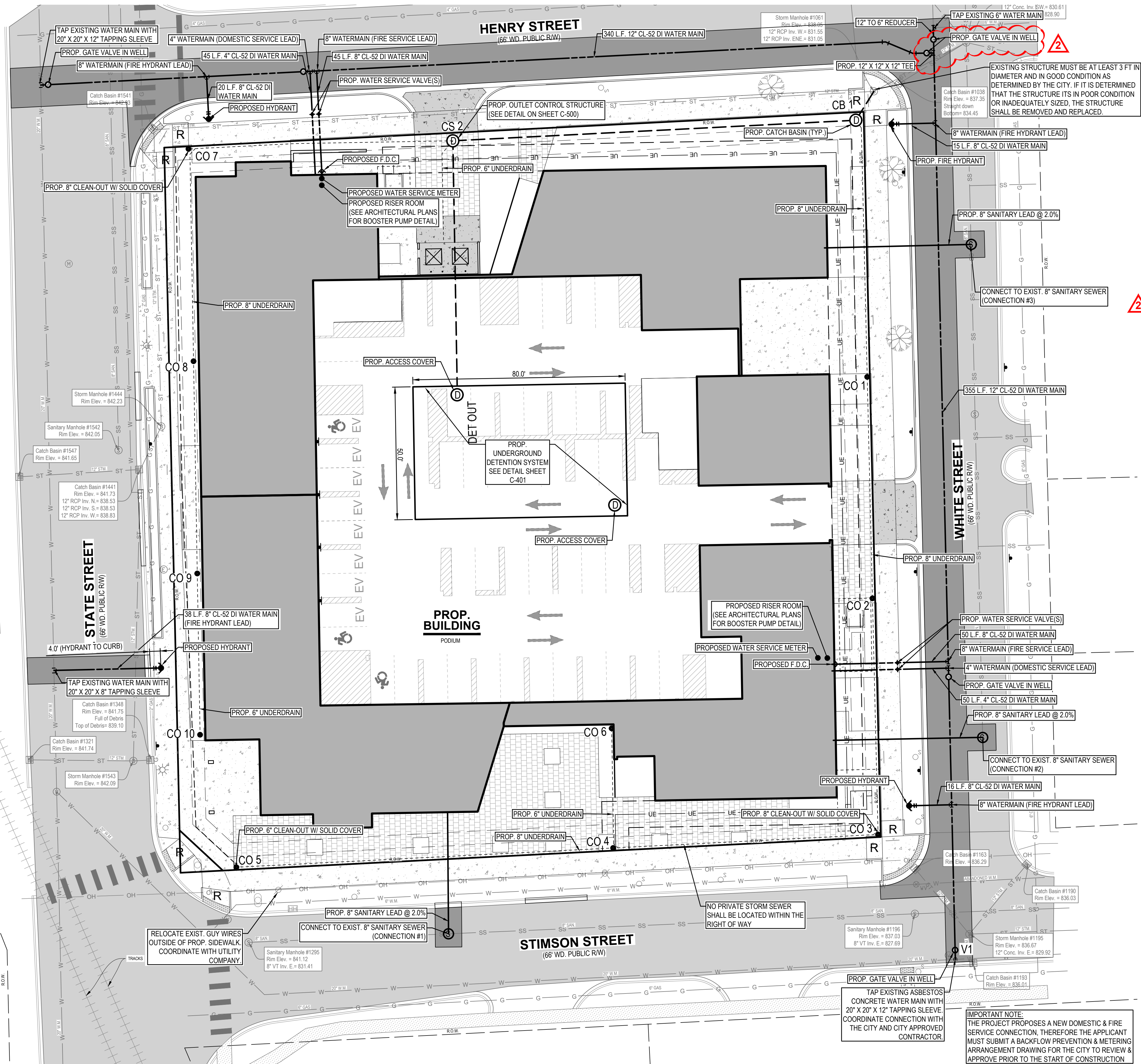
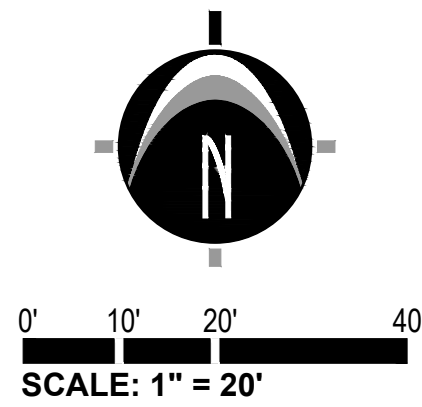
- STORM SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
- AN AGREEMENT FOR OPERATION AND MAINTENANCE OF ALL DETENTION SYSTEMS MUST BE COMPLETED BY THE OWNER AND SUBMITTED TO THE CITY PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
- STORM WATER RUNOFF GENERATED BY THE PROPOSED SITE IMPROVEMENTS WILL BE DETAINED ON-SITE, PER THE CITY OF ANN ARBOR REQUIREMENTS
- 12" STORM SEWER PIPE SHALL BE REINFORCED CONCRETE MEETING THE REQUIREMENTS OF ASTM C-76-III, UNLESS OTHERWISE NOTED. JOINTS SHALL BE TONGUE AND GROOVE PREMIUM JOINTS WITH RUBBER GASKETS
- 6" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-88 REQUIREMENTS.
- ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTORS, CONFORMING TO ASTM C-923
- NO PART OF THE PRIVATE STORM SEWER STRUCTURES SHALL ENCRoACH INTO THE PUBLIC RIGHT-OF-WAY.
- VERTICAL CONSTRUCTION CANNOT BEGIN UNTIL THE STORM WATER MANAGEMENT SYSTEM IS COMPLETED.
- NO PRIVATE STORM SEWER SHALL BE LOCATED WITHIN THE RIGHT OF WAY.

LEGEND

	Benchmark / Control Point		Guy Anchor		Miss Dig Flag - Gas		Traffic Light		Gas		Railroad		PROPOSED PAVERS
	Catch Basin - Square		Hand Hole		Manhole		Utility Pole		OH		Zoning Setback		PROPOSED BITUMINOUS (HEAVY DUTY)
	Cleanout		Hydrant		Sign		Water Manhole		Sanitary		Asphalt		PROPOSED CONCRETE (STANDARD DUTY)
	Deciduous Tree		Iron - Found		Sanitary Sewer Manhole		Water Valve		Storm		Concrete		PROPOSED CONCRETE (HEAVY DUTY)
	Electric Manhole		Light Pole		Stormwater Manhole		Yard Drain		UT		Gravel		PROPOSED GREENSPACE
	Electric Meter		Mailbox		Telephone Manhole		Cable TV		W		Existing Building		PROPOSED DECKING
	Gas Meter		Miss Dig Flag - Cable		Transformer		UE		X - X				PROPOSED SYNTHETIC TURF



NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "UNKNOWN" WERE OBTAINED FROM AVAILABLE, AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



NEDERVELD
www.nederveld.com
800.222.1868
ANN ARBOR
3037 Miles Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963
CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS

PREPARED FOR:

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

REVISIONS:

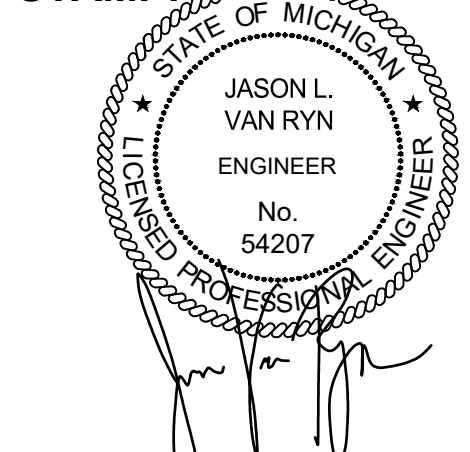
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Drawn: WL/TG	Checked: BC/JVR	Date: 02/22/2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 02/22/2023
Drawn: WL/TG	Checked: BC/JVR	Date: 04/24/2023
Title: Revised Layout Plan	Checked: BC/JVR	Date: 05/10/2023
Drawn: WL/TG	Checked: BC/JVR	Date: 05/25/2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 06/13/2023
Drawn: WL/TG	Checked: BC/JVR	Date: 06/13/2023

SOUTHTOWN BY 4M

Utility Plan

Block surrounded by S. State, Henry, White, and Stimpson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:



PROJECT NO:
21500282

SHEET NO:

C-400

Southtown by 4M, LLC
Marge Poscher

2082 S. State Street
Ann Arbor, MI 48104

Title: Site Plan Submittal		
Drawn: WL/ TG	Checked: BC/JVR	Date: 10.21.2002
Title: Site Plan Resubmittal		
Drawn: WL/ TG	Checked: BC/JVR	Date: 02.22.2002
Title: Site Plan Resubmittal		
Drawn: WL/ TG	Checked: BC/JVR	Date: 04.24.2002
Title: Revised Layout Plan		
Drawn: WL/ TG	Checked: BC/JVR	Date: 05.10.2002
Title: Site Plan Resubmittal		
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Drawn: WL/ TG	Checked: BC/JVR	Date: 06.13.2002

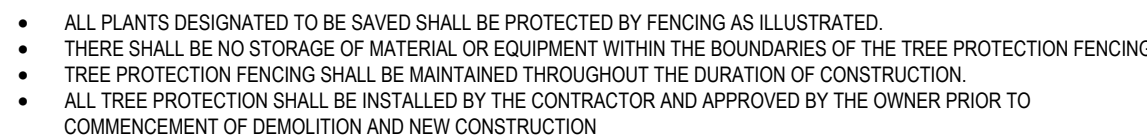
Details & Specifications

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R6E,
CITY OF ANN ARBOR WASHTENAW COUNTY, MICHIGAN

SHEET NO:
C-500



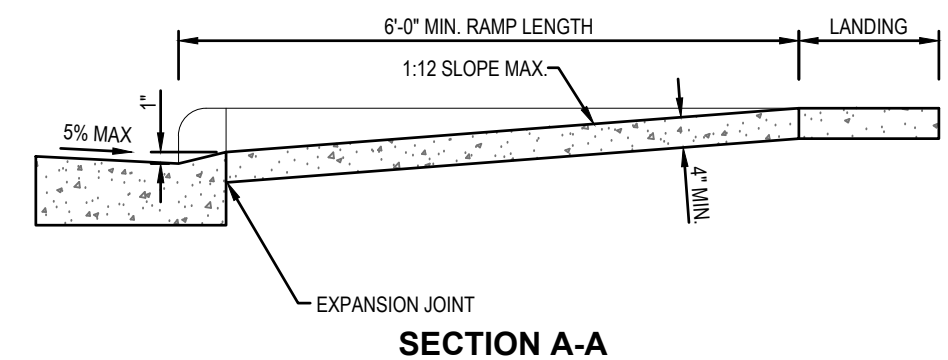
N.T.S.



N.T.S



Original: Dr. Bonnie Appleton, Virginia Polytechnic Institute and State University; modified by the Michigan Department of Natural Resources, Forest Management Division, and the City of Ann Arbor



N.T.S.

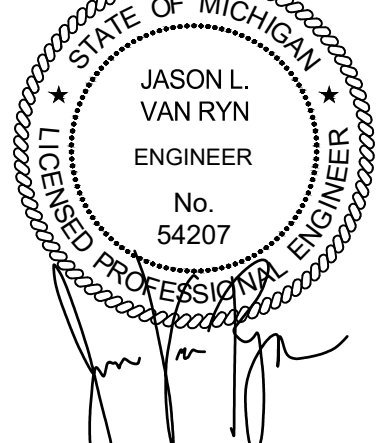


SOUTHTOWN BY 4M

Details & Specifications II

Block surrounded by S. State, Henry, White, and Stimson Streets
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

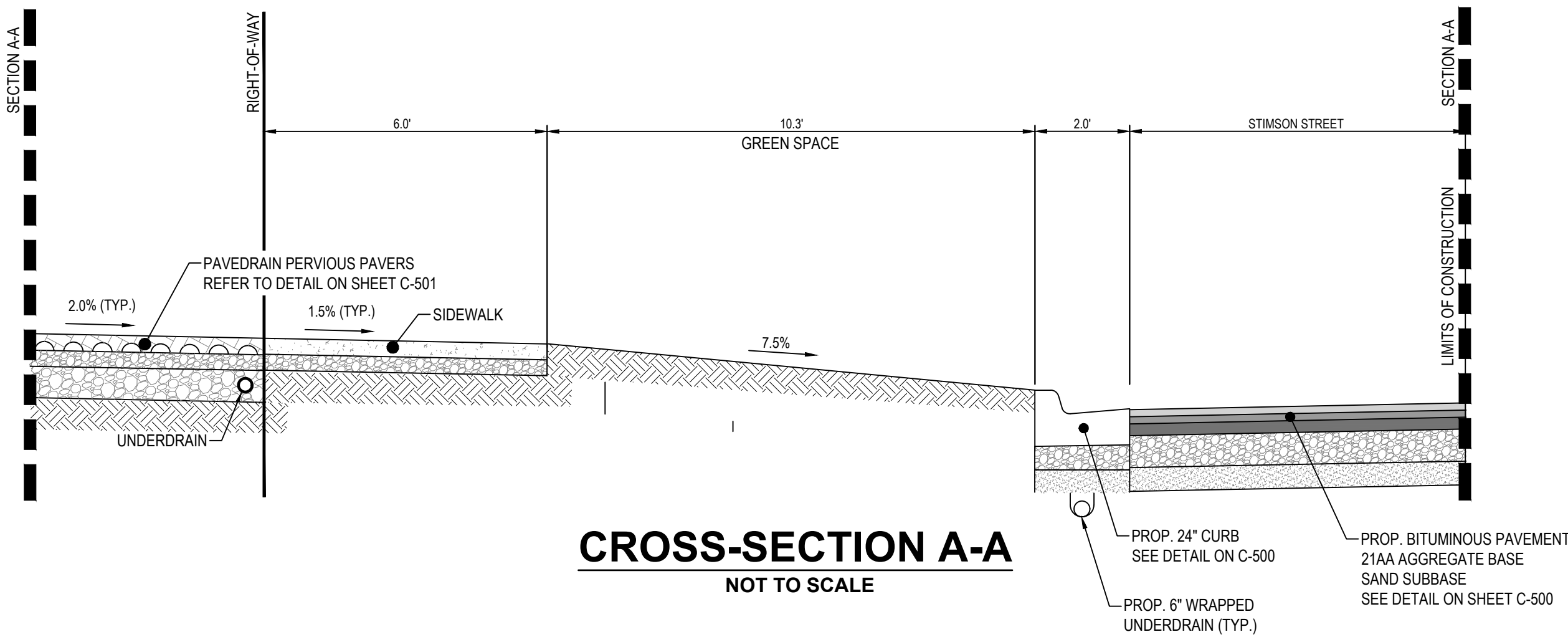
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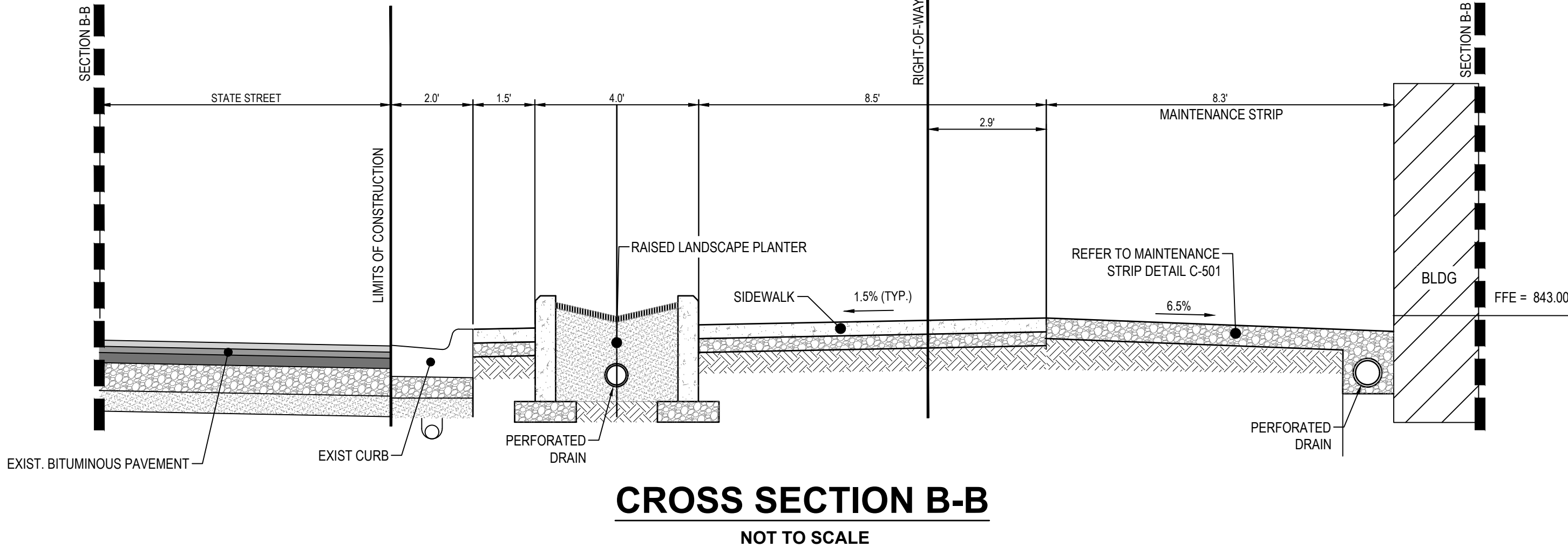
PROJECT NO:
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SHEET NO:
C-501

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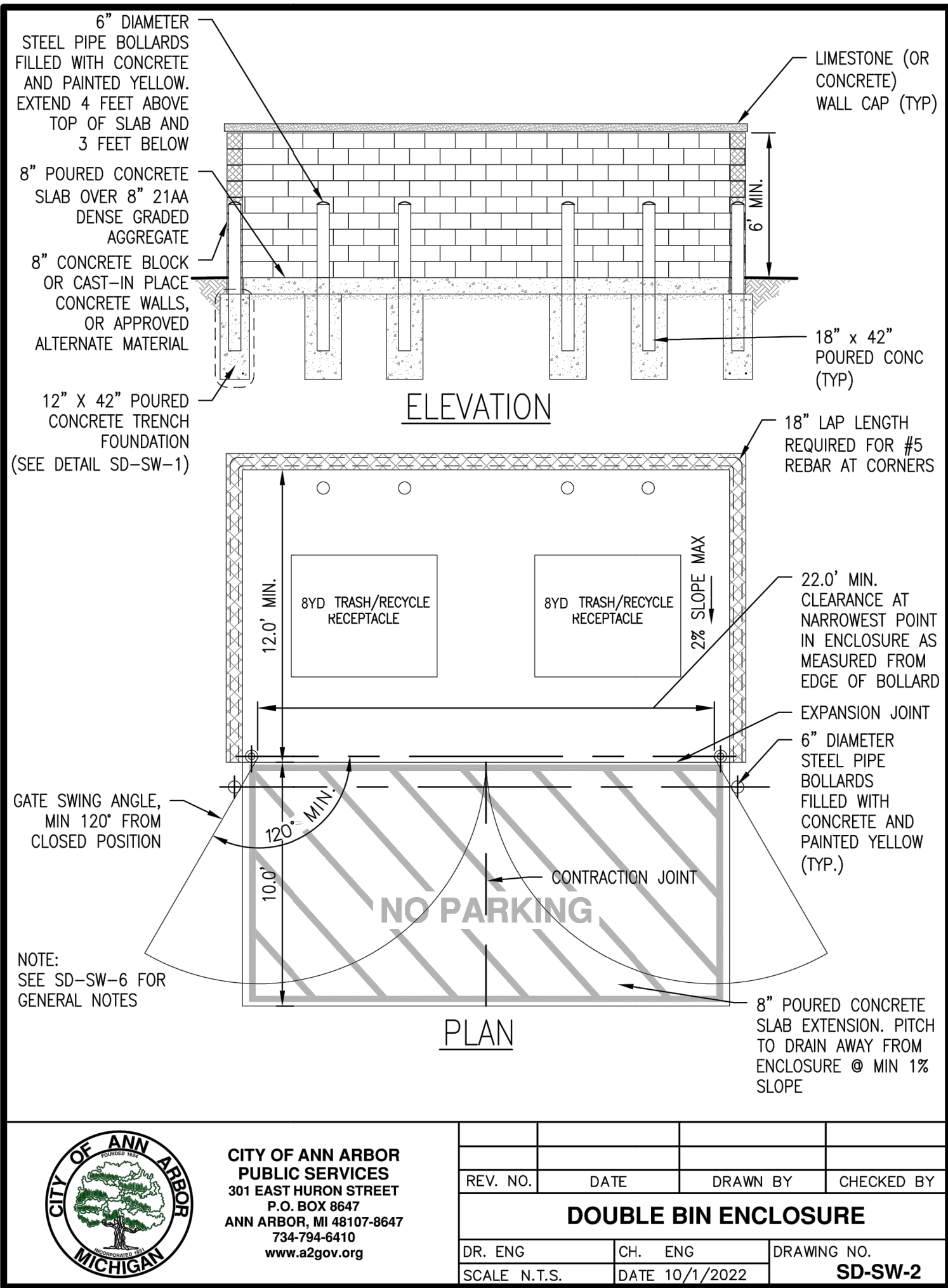
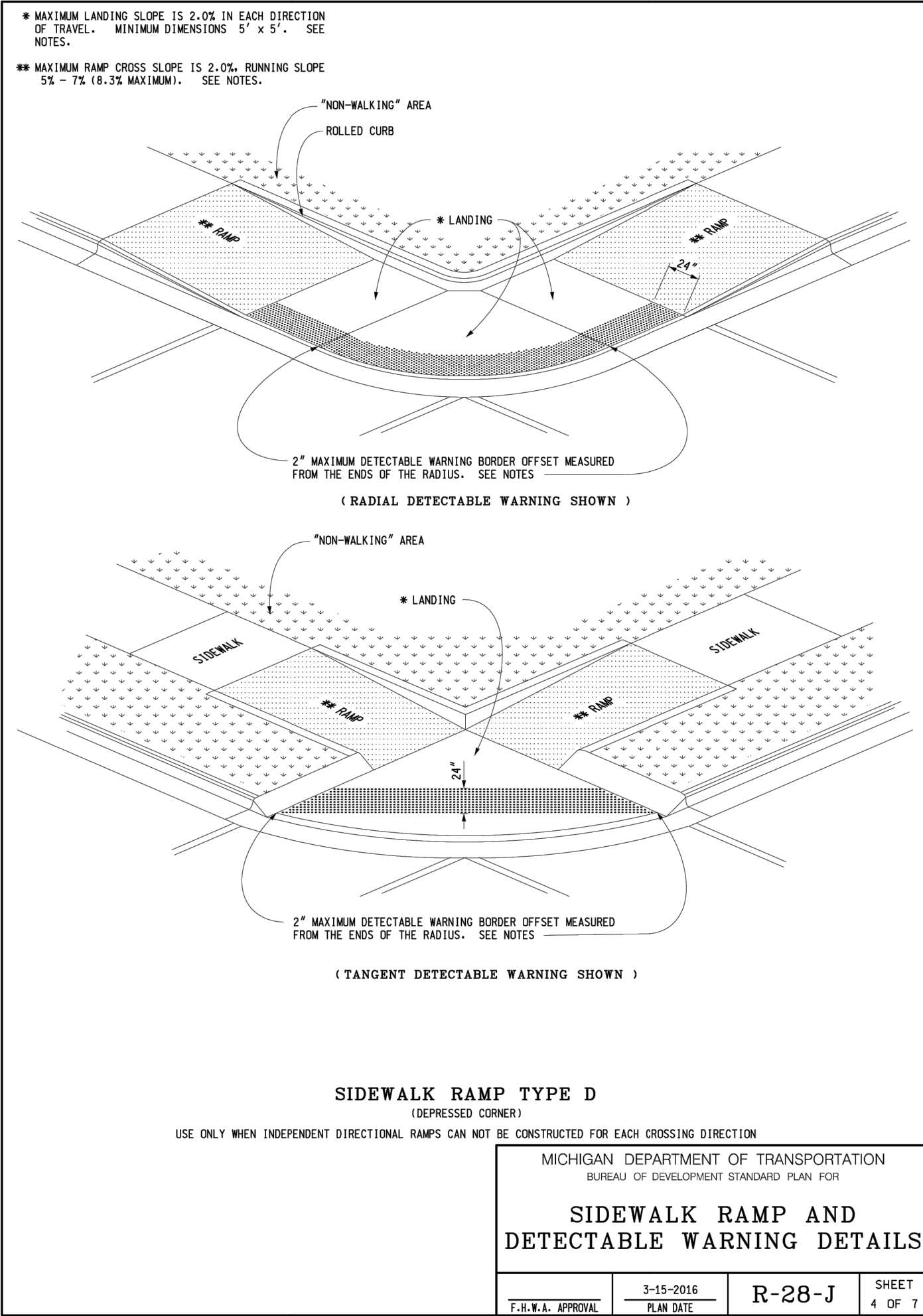


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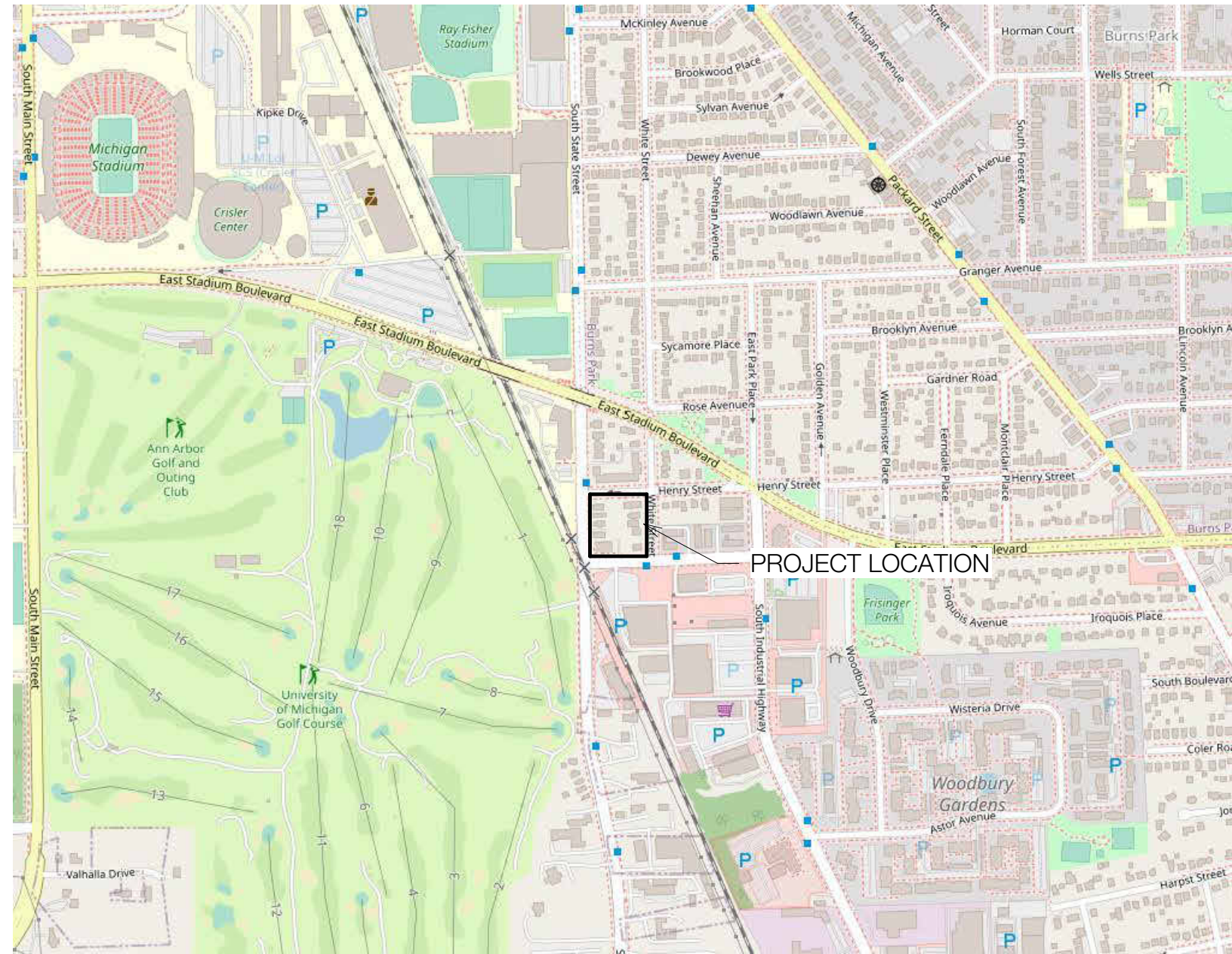
BUILDING MAINTENANCE STRIP / ROOF RUNOFF INFILTRATION BED

N.T.S.



PROJECT LOCATION

ANN ARBOR, MI 48104



Architect

SYNECDOCHE
ADAM SMITH, AIA
1342 N. MAIN ST #11
ANN ARBOR, MI 48104
P: 734.926.5593
E: ADAM@SYNECDOCHE.DESIGN

Owner

SOUTHTOWN BY 4M, LLC
MARGARET POSCHER
2082 S STATE STREET
ANN ARBOR, MI 48104



SYNECDOCHE

APPLICABLE CODES

THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE
FEDERAL, STATE, AND LOCAL ORDINANCES.

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

2015 MICHIGAN BUILDING CODE
 *2021 INTERNATIONAL BUILDING CODE, REFER TO CODE SUMMARY
 2015 MICHIGAN MECHANICAL CODE
 2018 MICHIGAN PLUMBING CODE
 2017 MICHIGAN ELECTRICAL CODE
 2015 INTERNATIONAL ENERGY CODE
 2009 ICC/ANSI + MICHIGAN BARRIER FREE CODE
 2015 INTERNATIONAL FIRE CODE
 2013 NFPA FIRE ALARM CODE

UNIFIED DEVELOPMENT CODE ANN ARBOR (JANUARY 30 2022 AMENDMENTS)

ZONING COMPLIANCE

CITY ZONING: C1/AR
REFERENCE SITE PLAN: SP22-2017

REQUIRED SETBACKS

FRONT MIN: 10'-0"
- EXCEPTION 5.183c "MIXED USE DISTRICTS (C1AR) MINIMUM MAY BE DECREASED UP TO 50% WHEN ANOTHER SETBACK IS INCREASED"
- SEE SHEET CIVIL FOR DIAGRAM

REQUIRED BUILDING HEIGHT: 100'-0" AND 8 STORIES
PROPOSED BUILDING HEIGHT: 85'-0" AND 8 STORIES

FOR VEHICLE AND BICYCLE PARKING - REFER TO CIVIL
FAR CALCULATIONS REFER TO TABLE BELOW + SHEETS A006 + A007

FAR CALCULATIONS

SITE AREA	72,148 SF
MAX FAR AREA (300% PER C1/AR)	216,444 SF
TOTAL MAX FAR AREA - W/ 8000 SF PREMIUM	224,444 SF

* GROSS FAR EXCLUDES FLOOR AREA USED FOR REQUIRED PREMIUM VEHICULAR PARKING AND REQUIRED BICYCLE PARKING, STAIRWELLS (INCLUDING LANDINGS), ELEVATOR SHAFTS, RAMPS, AND VERTICAL CHASES OR CHUTES.
 ** COVERED VEHICULAR PARKING NOT INCLUDED - REFERENCE ZBA23-0012

FAR BUILDING AREA

LEVEL 1	23,586 SF
LEVEL 2	32,486 SF
LEVEL 3	31,422 SF
LEVEL 4	36,314 SF
LEVEL 5	36,526 SF
LEVEL 6	26,218 SF
LEVEL 7	18,402 SF
LEVEL 8	16,680 SF
Building Area Total	221,633 SF



SYNECDOCHE

SCOPE OF WORK

NEW CONSTRUCTION OF FULL BLOCK BOUND BY S. STATE STREET, WHITE STREET, STIMSON STREET, AND HENRY STREET. THREE FIRE-SEPARATED BUILDINGS. CONCRETE PODIUM AT LEVEL 1 HORIZONTALLY FIRE-SEPARATED (3-HOURS) FROM SEVEN LEVELS ABOVE OF MASS TIMBER TYPE IV-C CONSTRUCTION TYPE. 216 RESIDENTIAL UNITS AND 20,000 SF BUSINESS AREA. ACTIVE OPEN SPACE COVERING 54 VEHICLE PARKING SPACES. FULLY ELECTRIFIED MECHANICAL + PLUMBING SYSTEMS THROUGHOUT.



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1342 N MAIN ST. #11
ANN ARBOR, MI 48104
HELLO@SYNECDOCHE.DESIGN

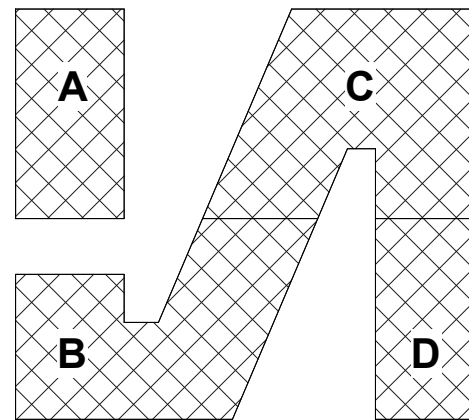
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734.929.6963

ASPECT STRUCTURAL ENGINEERS
101-190 W 3RD AVE
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GREENPATH DESIGN
139 W LIBERTY STREET
PLYMOUTH, MI 48170
INFO@GREENPATH.DESIGN
734.926.5593

ETS ENGINEERING, INC
P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360

[illegible]

1610 WHITE STREET
ANN ARBOR, MI 48104

SOUTHTOWN

TITLE

PROJECT NUMBER 20212

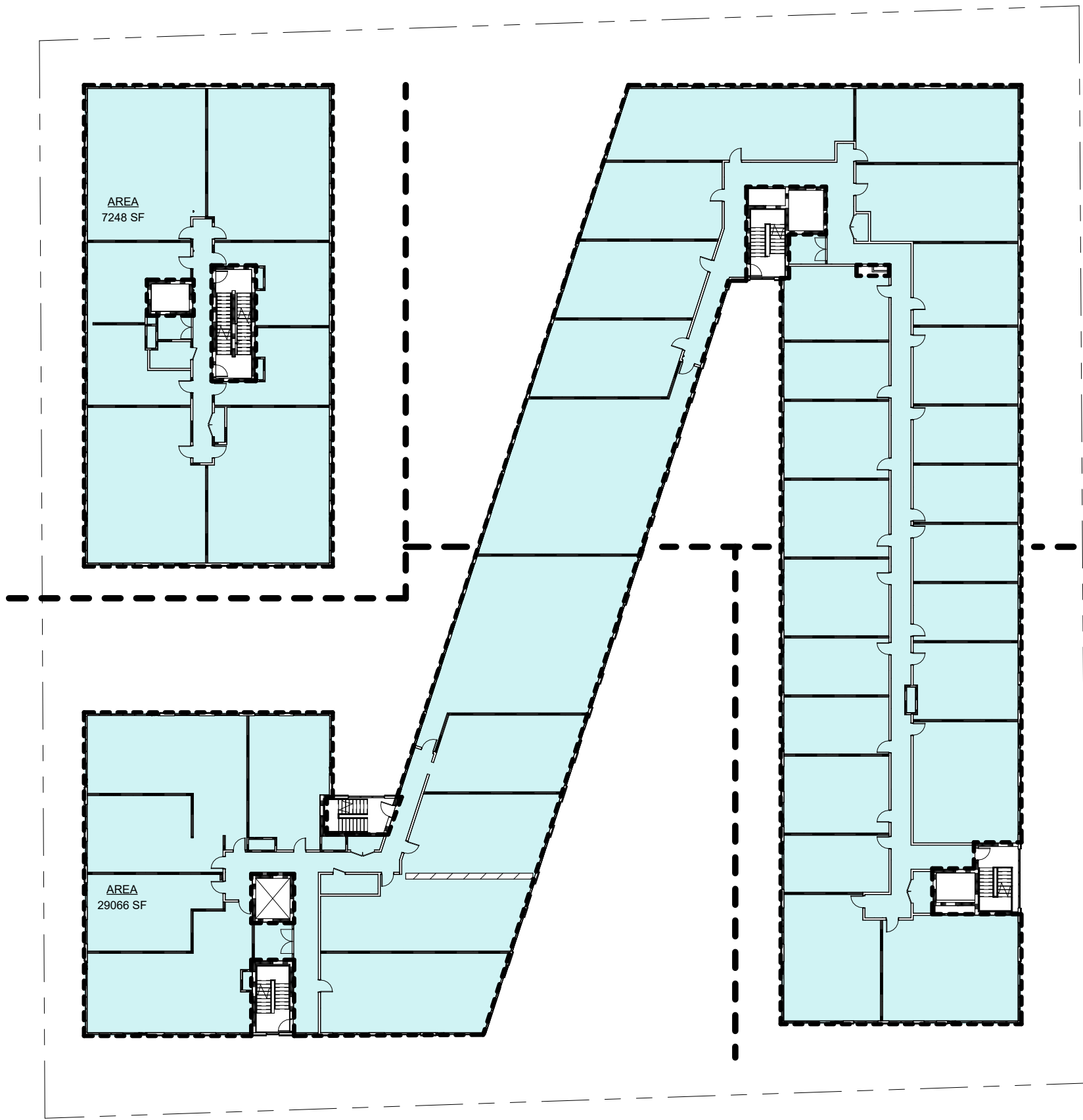
DATE 04/24/2023

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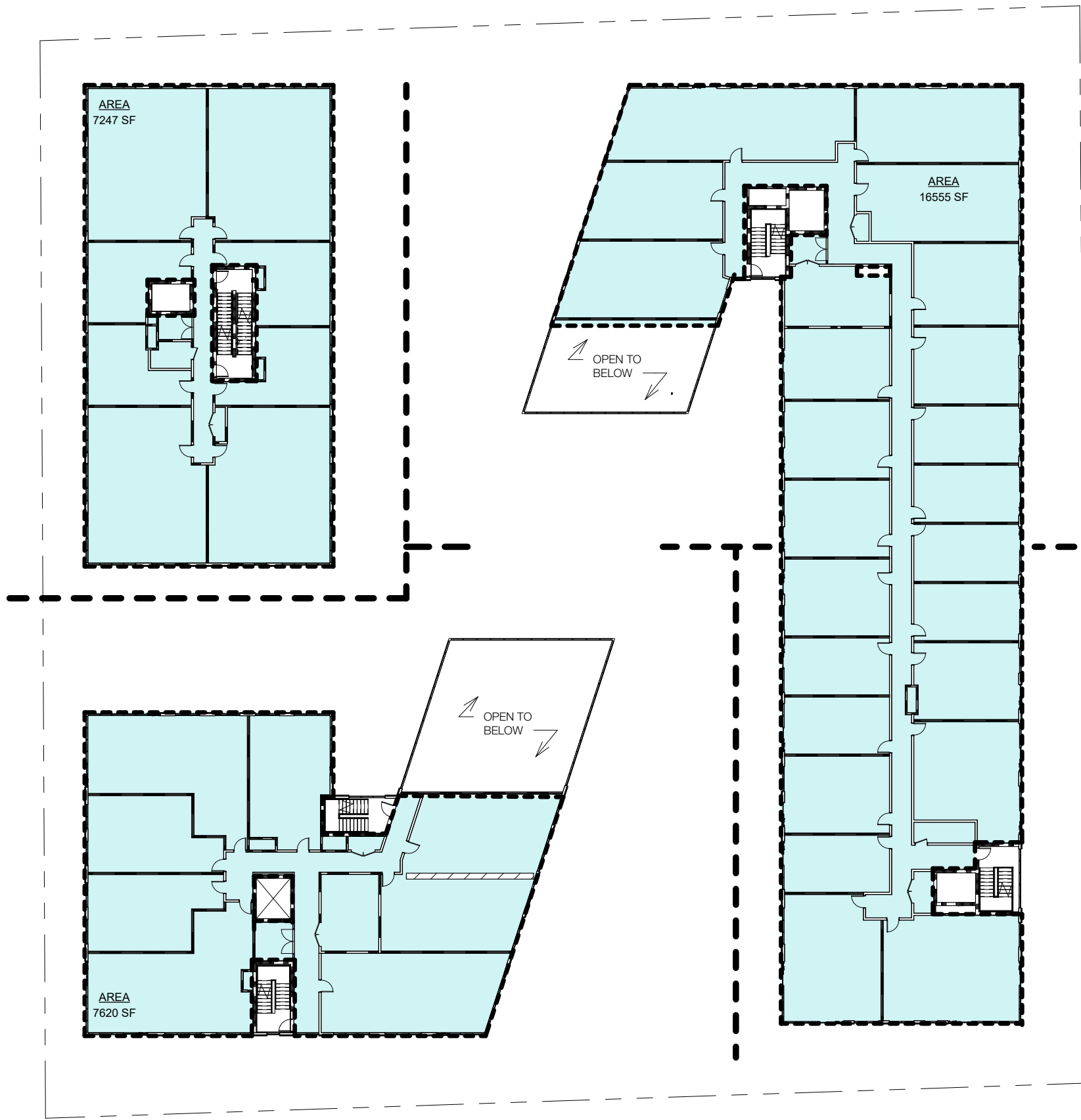
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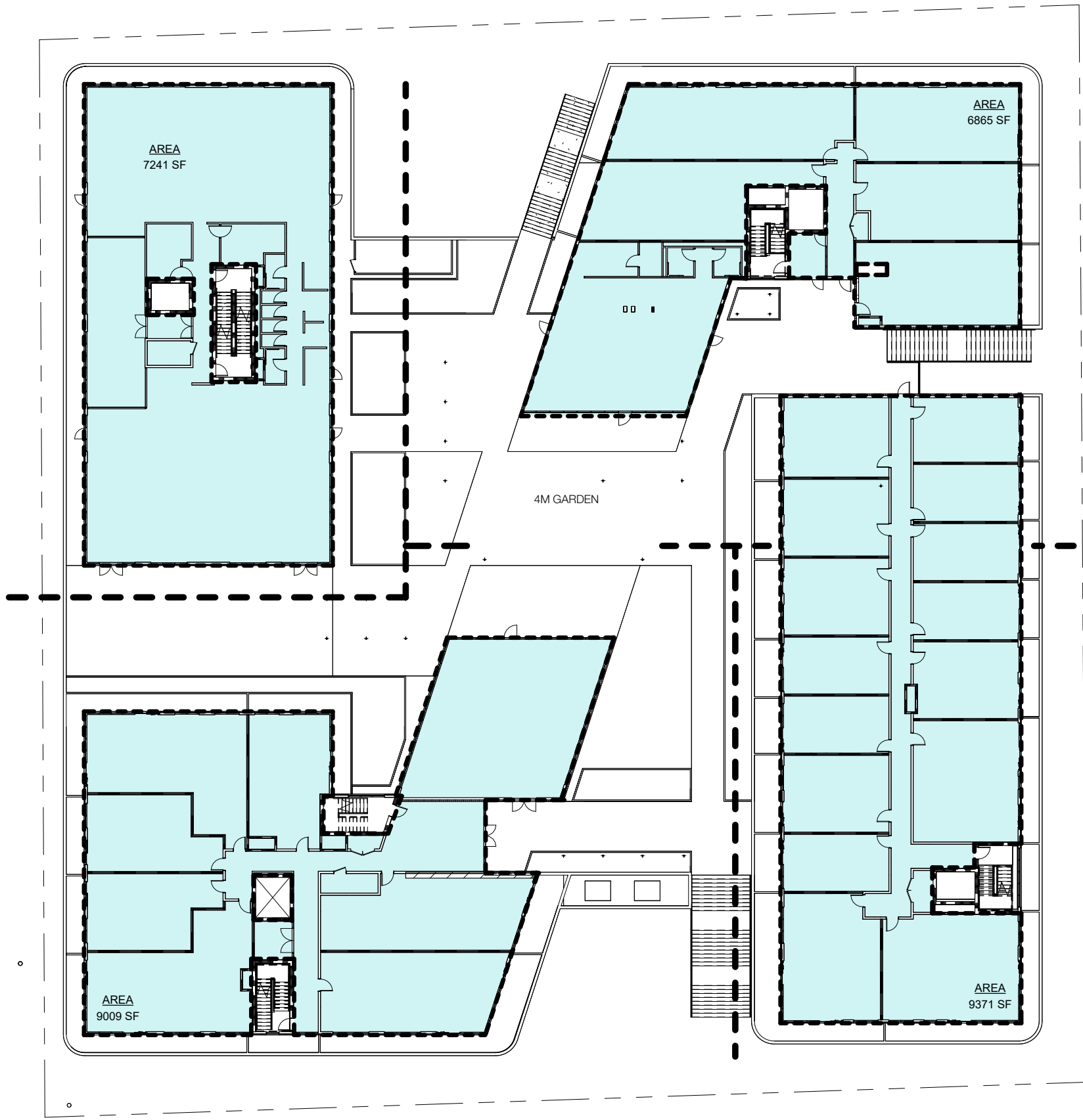
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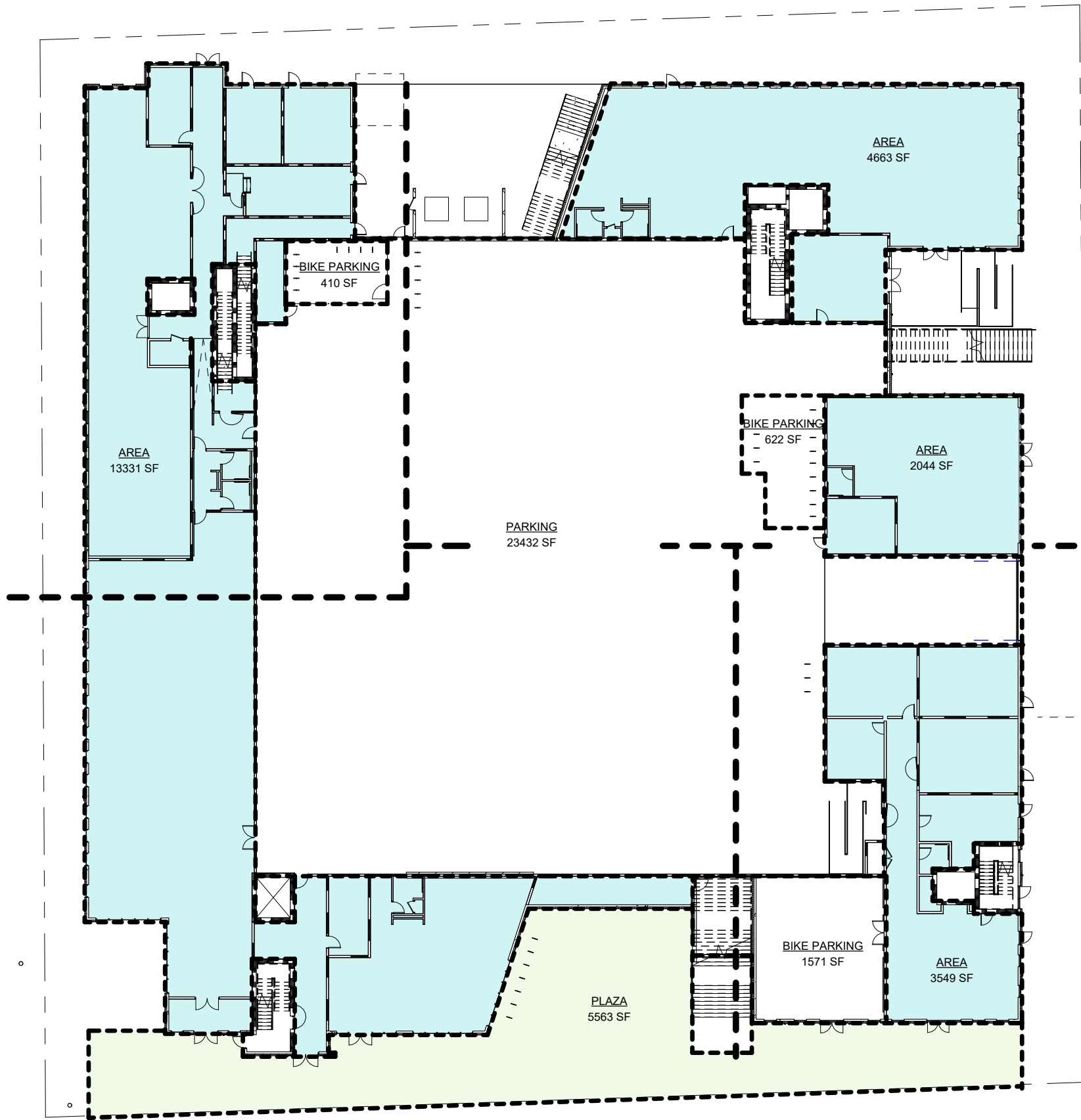
③ LEVEL 3 FAR DIAGRAM
1/32" = 1'-0"



② LEVEL 2 FAR DIAGRAM
1/32" = 1'-0"



① LEVEL 1 FAR DIAGRAM
1/32" = 1'-0"



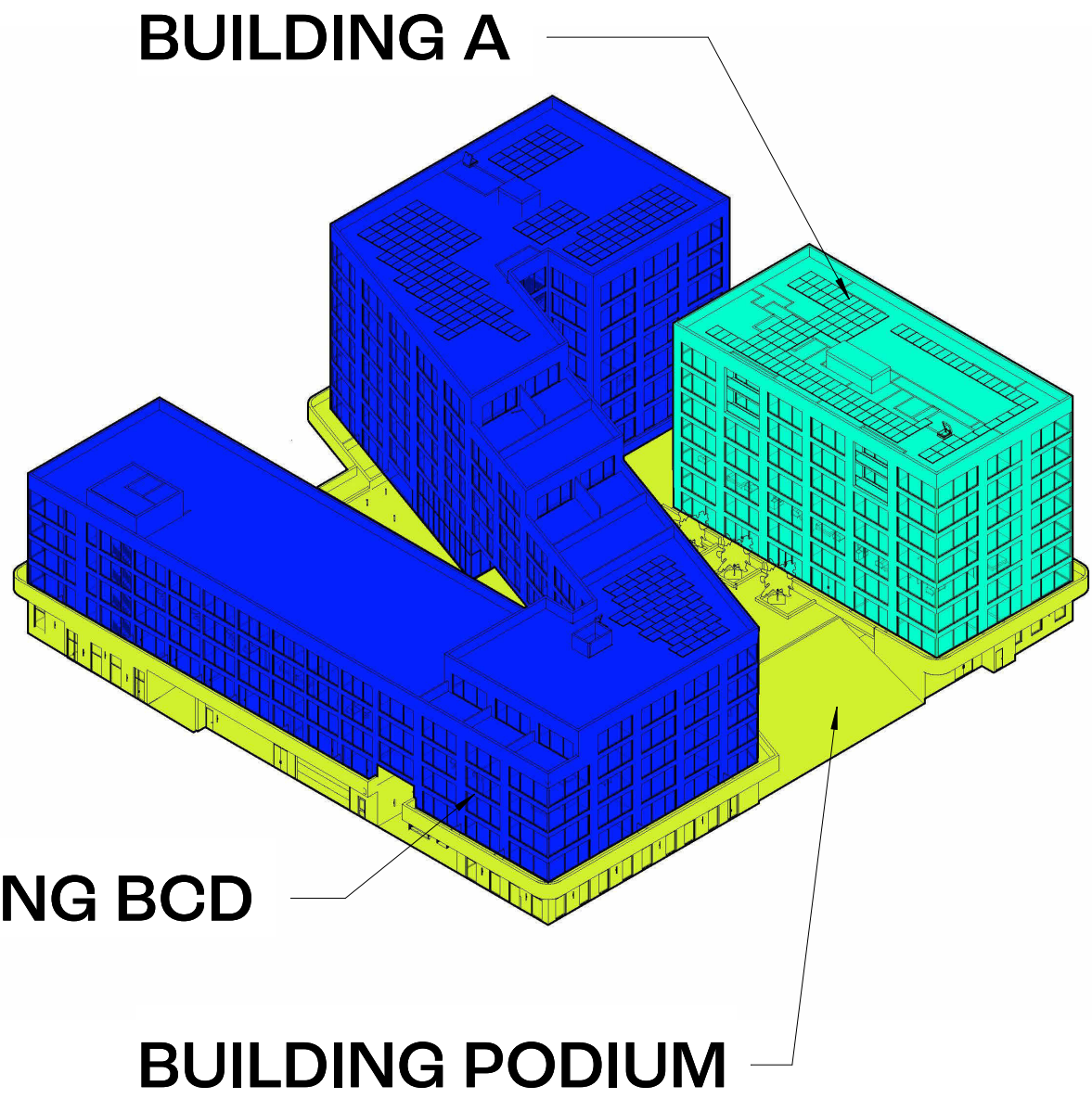
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** COVERED VEHICULAR PARKING NOT INCLUDED - REFERENCE ZBA23-0012

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LEVEL 8	16,680 SF
Building Area Total	221,633 SF



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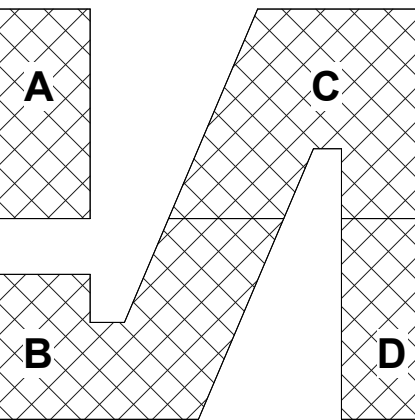
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VANCOUVER, BC V5Y 1E9
HELLO@ASPECTENGINEERS.COM
604.762.7844

GREENPATH DESIGN
139 W LIBERTY STREET
PLYMOUTH, MI 48170
INFO@GREENPATH.DESIGN
734.926.5593

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ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
1	SITE PLAN RESUB.	04/24/23
2	SITE PLAN RESUB.	05/25/23
3	SITE PLAN RESUB.	06/13/23
4		
5		
6		
7		
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9		
10		

1610 WHITE STREET
ANN ARBOR, MI 48104

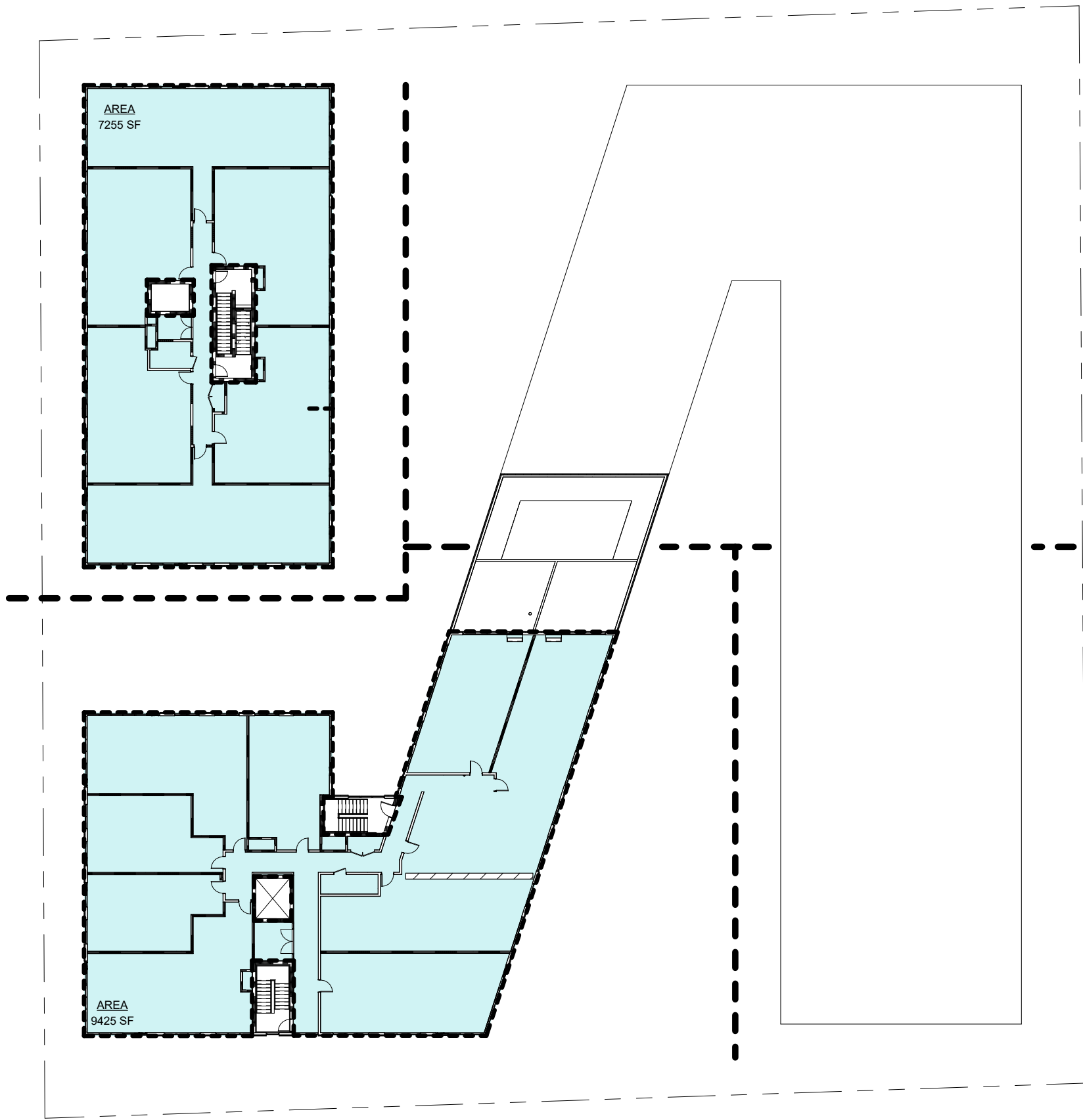
SOUTHTOWN

FAR
CALCULATIONS

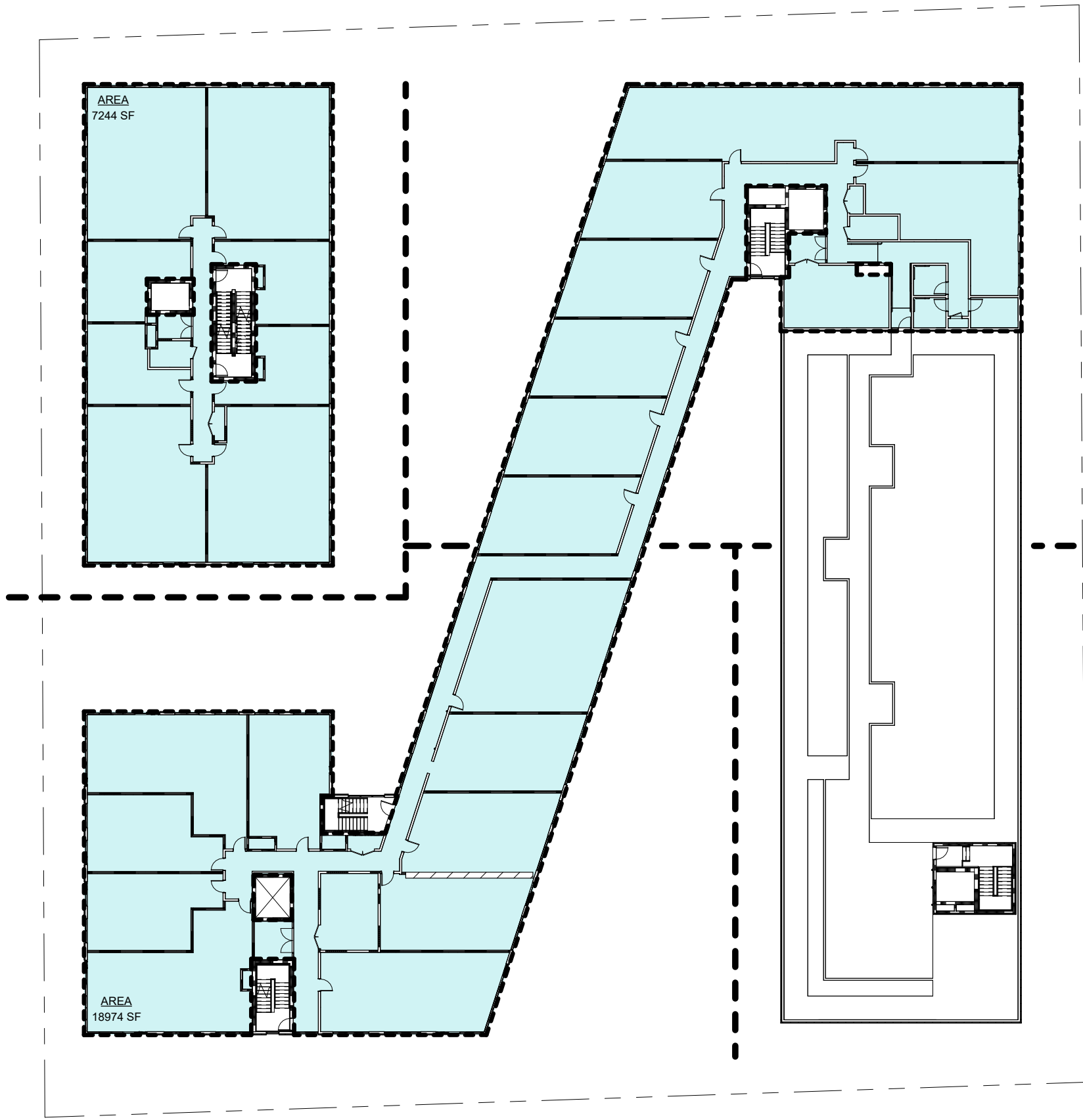
PROJECT NUMBER 202121
DATE 04/24/2023

A007
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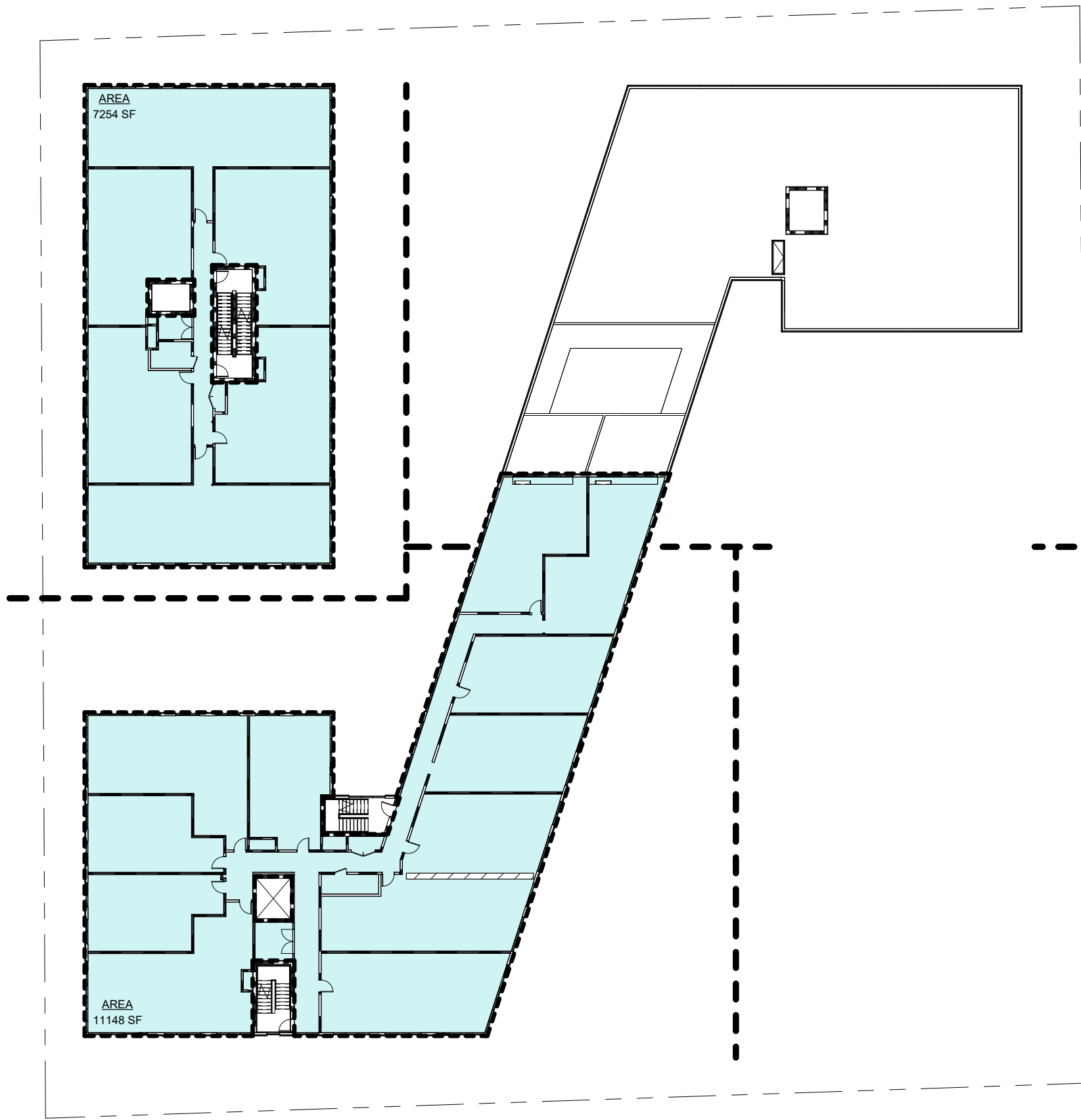
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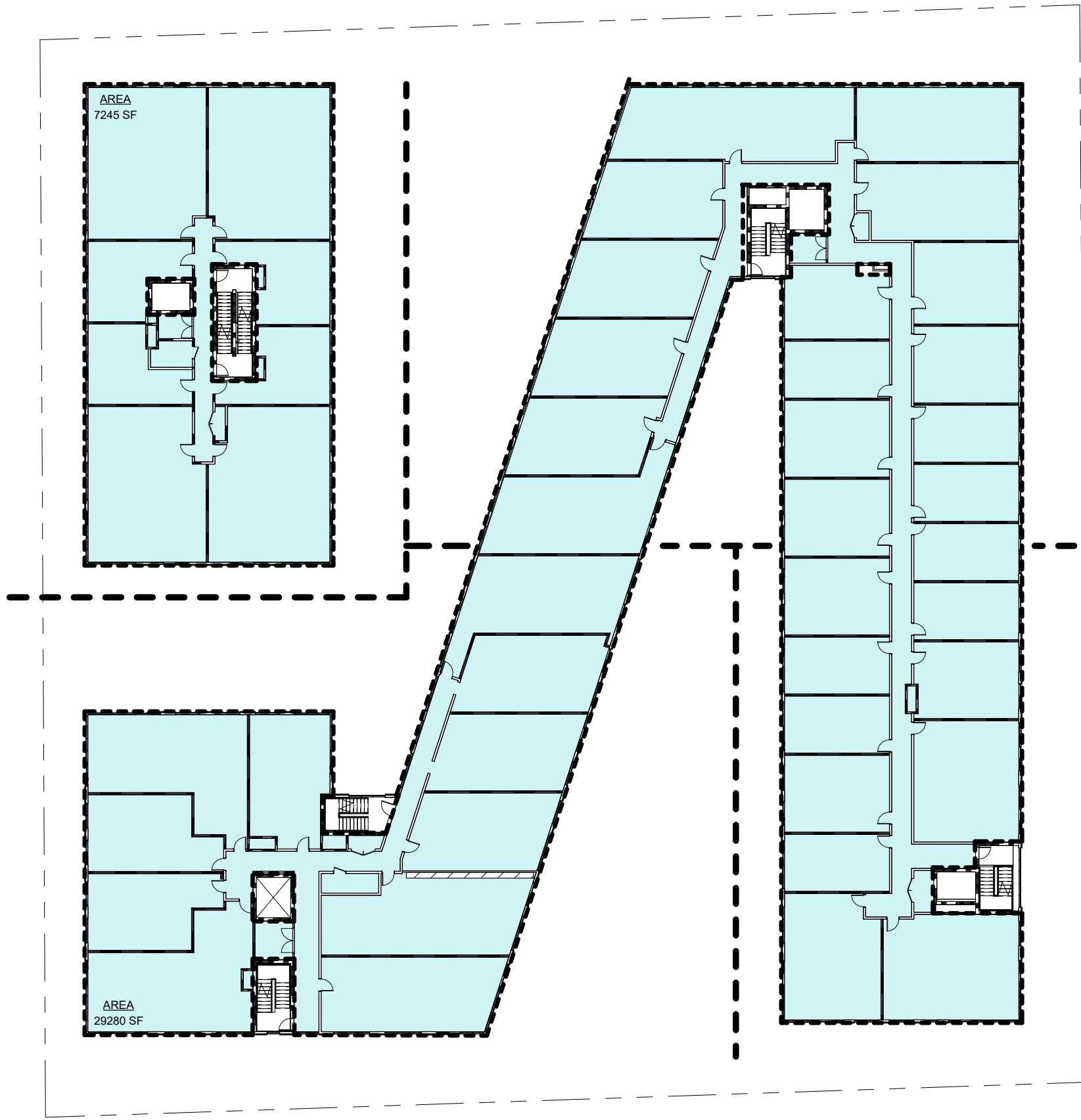
② LEVEL 6 FAR DIAGRAM
1/32" = 1'-0"



③ LEVEL 7 FAR DIAGRAM
1/32" = 1'-0"



① LEVEL 5 FAR DIAGRAM
1/32" = 1'-0"



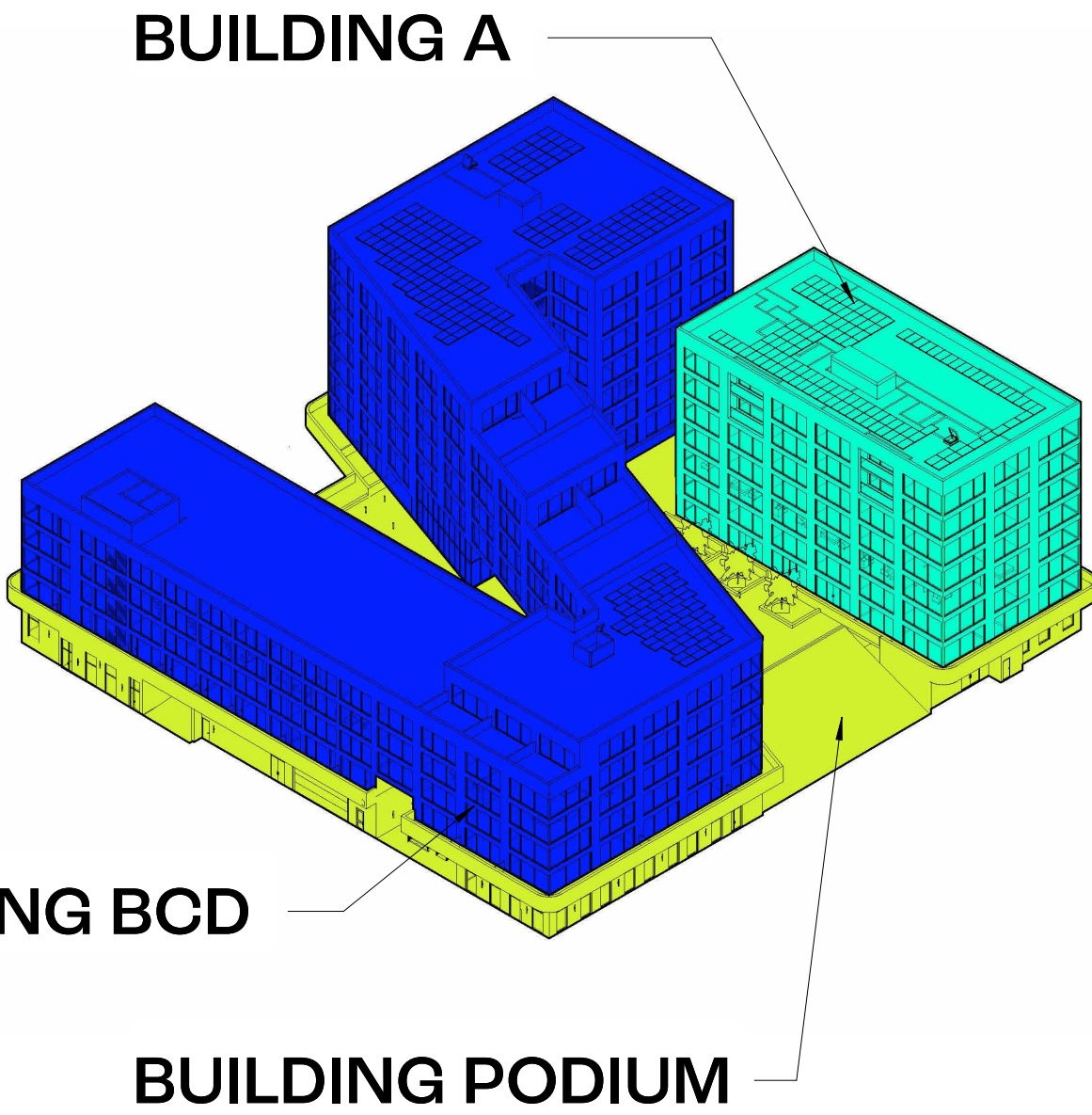
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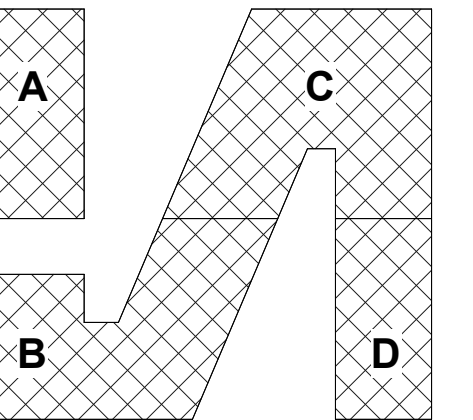
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734.929.6963

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734.926.5593

ETS ENGINEERING, INC.
P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
1	SITE PLAN RESUB.	04/24/23
2	SITE PLAN RESUB.	05/25/23
3	SITE PLAN RESUB.	06/13/23
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1610 WHITE STREET
ANN ARBOR, MI 48104

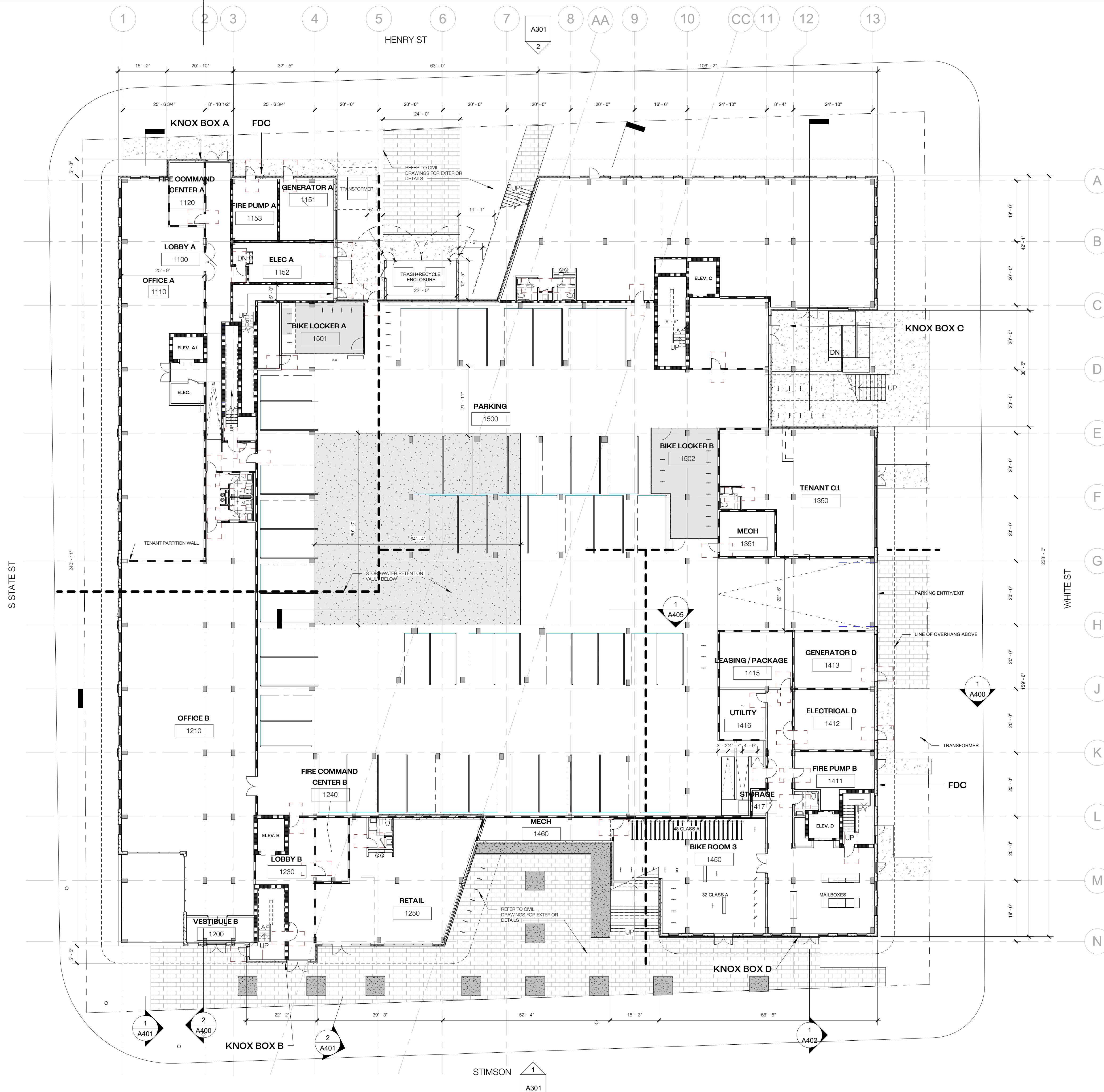
SOUTHTOWN

FAR
CALCULATIONS

PROJECT NUMBER 202121
DATE 04/24/2023

A008

SCALE 1/32" = 1'-0"



PLAN NOTES

- REFER TO WALL TAG
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL



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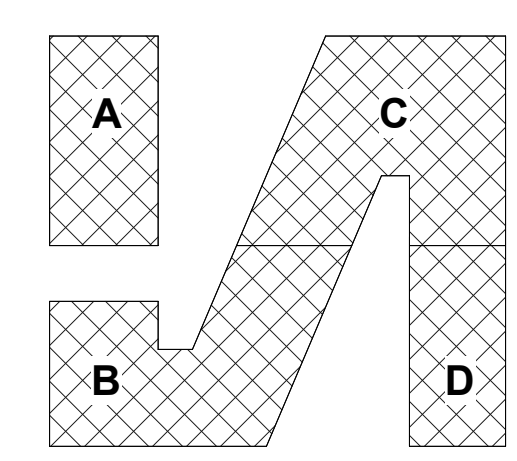
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ANN ARBOR, MI 48103
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734.926.5593

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248.744.0360



No.	Description	Date
1	SCHEMATIC DESIGN	01/03/23
2	SITE PLAN RESUB.	04/24/23
3	SITE PLAN RESUB.	05/25/23
4	SITE PLAN RESUB.	06/13/23
5		
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7		
8		
9		
10		
11		
12		
13		

1610 WHITE STREET
ANN ARBOR, MI 48104

SOUTHTOWN

LEVEL 1 -
OVERALL PLAN

PROJECT NUMBER 202121
DATE 04/24/2023

A101

SCALE As indicated

1 FIRST FLOOR PLAN
1/16" = 1'-0"

6/12/2023 4:46:38 PM

SYNECDOCHE

1342 N MAIN ST. #11
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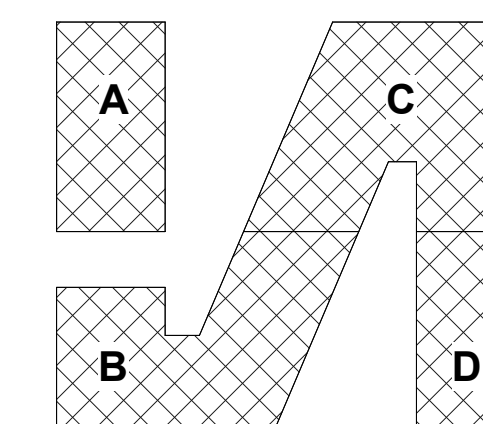
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248.744.0360

[illegible]

1610 WHITE STREET
ANN ARBOR, MI 48104

SOUTHTOWN

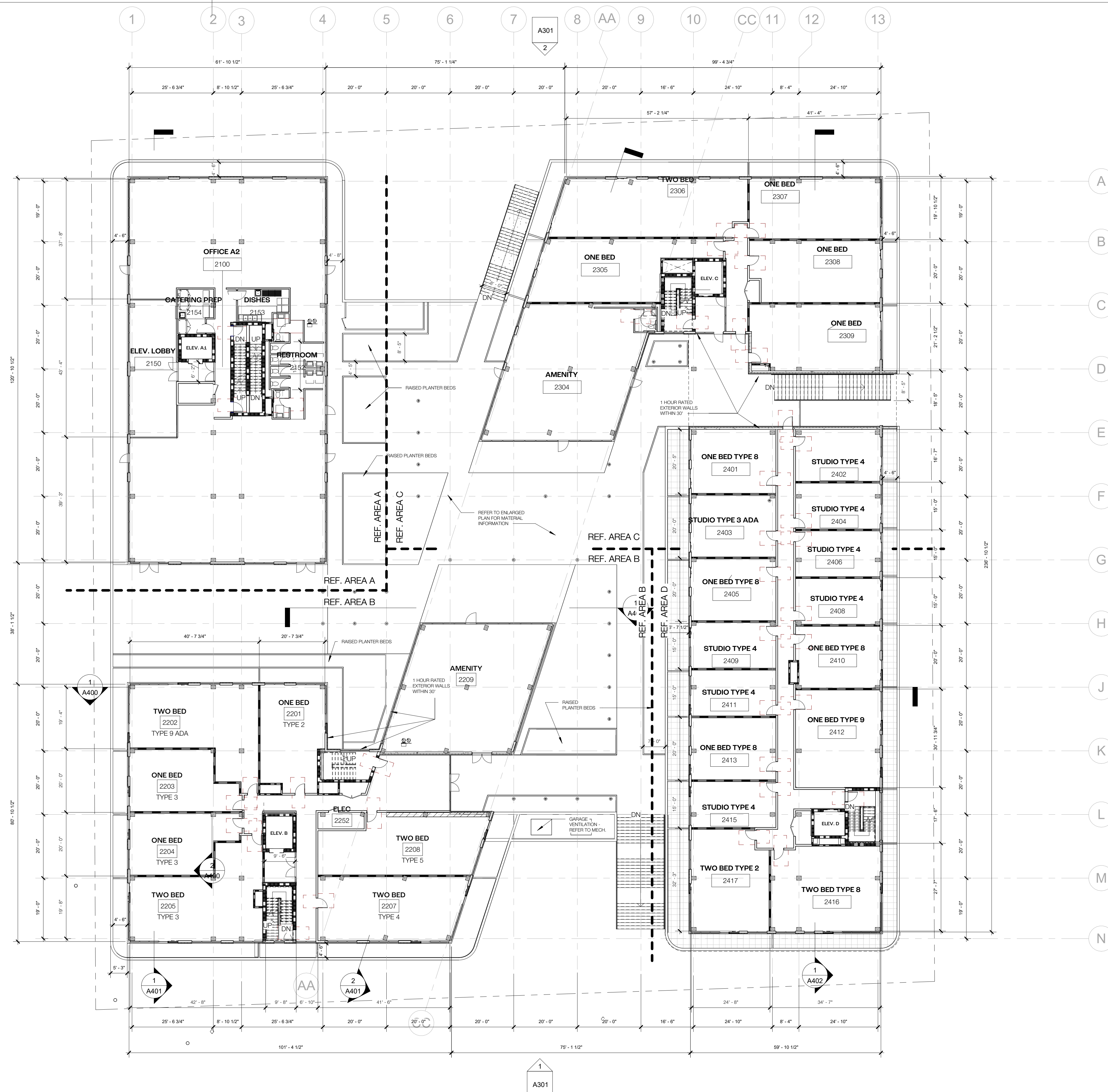
LEVEL 2 - OVERALL PLAN

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DATE	04/24/2023

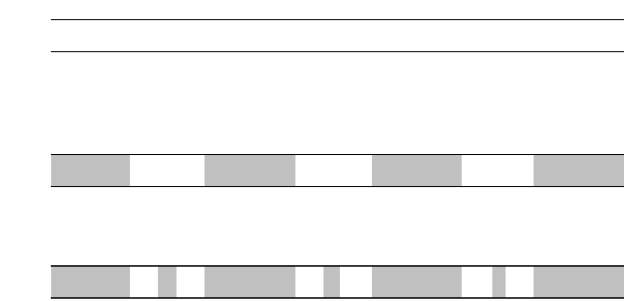
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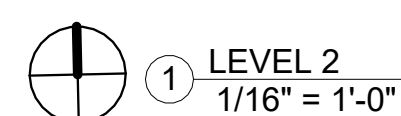
PLAN NOTES



REFER TO WALL TA

1-HR FIRE RATED WAL

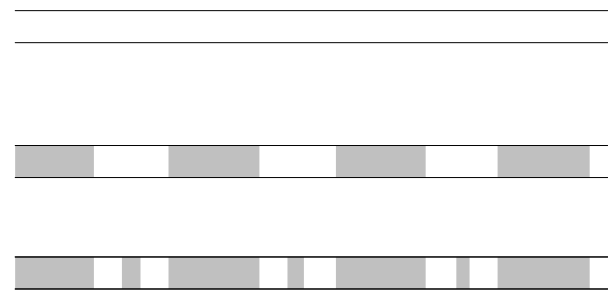
2-HR FIRE RATED WAL



① LEVEL 2
1/16" = 1'-0"



PLAN NOTES



2x MTL STUD @ 16\"/>

1-HR FIRE RATED WALL
- SEE DETAIL 06/A400 FOR ASSEMBLY

2-HR FIRE RATED WALL
- 12\"/>



SYNECDOCHE

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ANN ARBOR, MI 48104
HELLO@SYNECDOCHE.DESIGN

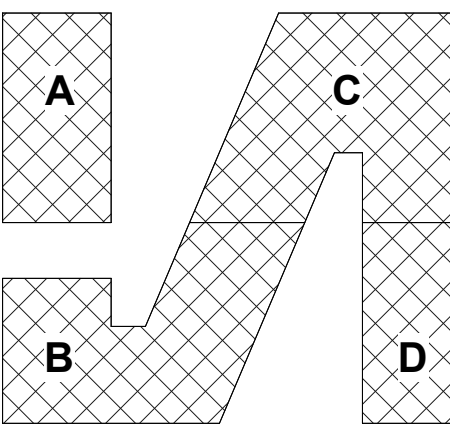
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INFO@GREENPATH.DESIGN
734.926.5593

ETS ENGINEERING, INC.
P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
1	SCHEMATIC DESIGN	01/03/23
2	SITE PLAN RESUB.	04/24/23

1610 WHITE STREET
ANN ARBOR, MI 48104

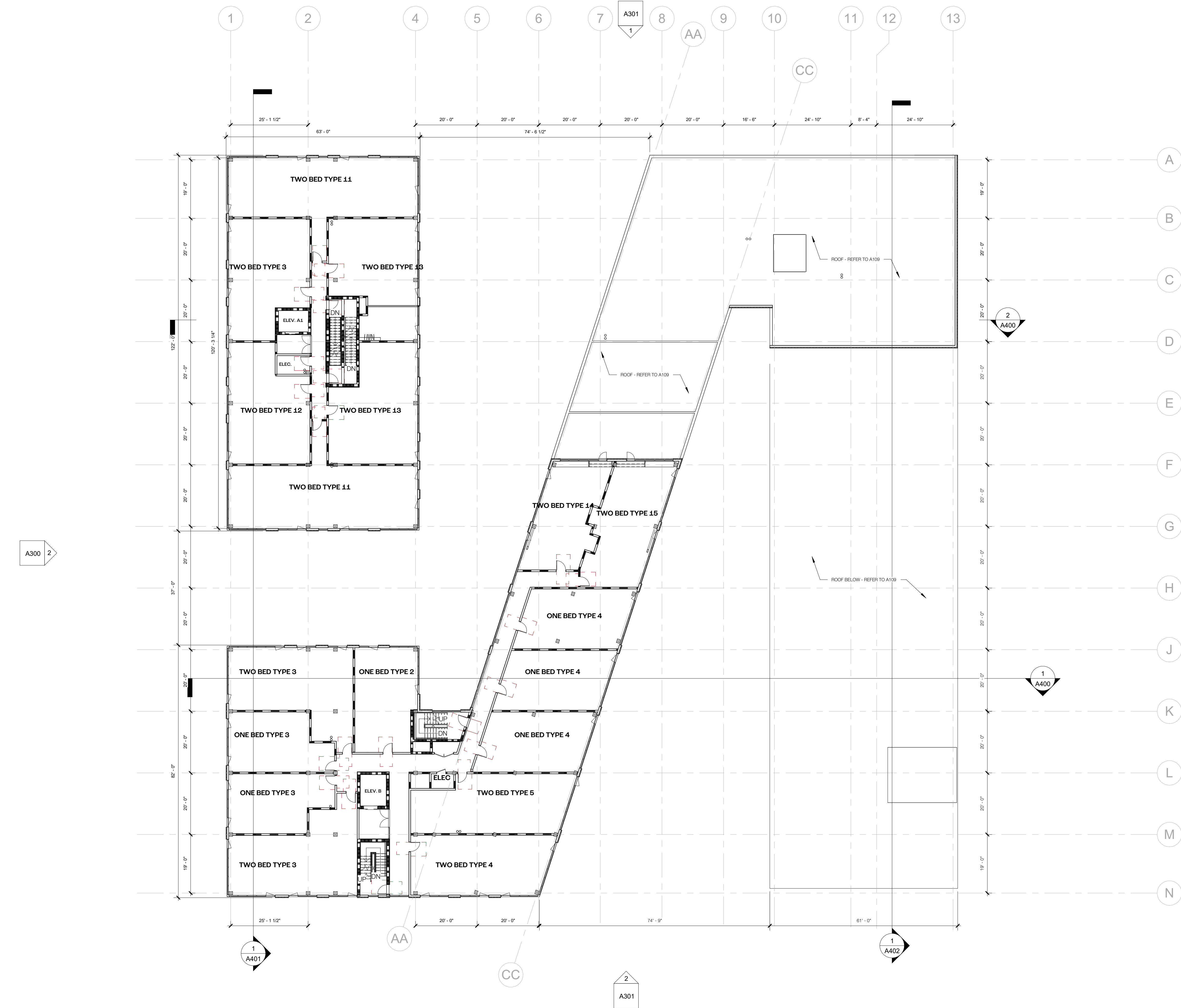
SOUTHTOWN

LEVEL 5

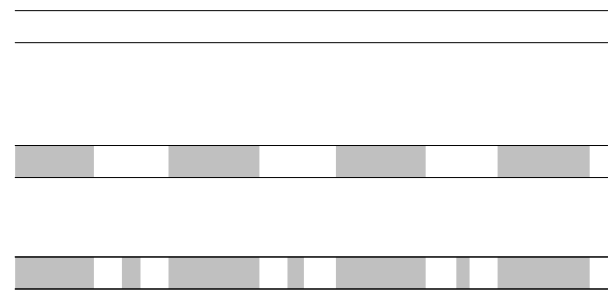
PROJECT NUMBER 202121
DATE 04/24/2023

A105

SCALE As indicated



PLAN NOTES



2x MTL STUD @ 16" O.C. NON-LOAD BEARING
PARTITION WALL, W/ SAFEN'SOUND 3"

1-HR FIRE RATED WALL
- SEE DETAIL 06/A400 FOR ASSEMBLY

2-HR FIRE RATED WALL
- 12" REINFORCED CONCRETE WALLS,
REFER TO STRUCTURAL
- HMT CHANNEL AND 3/8" GYP @ 1 SIDE



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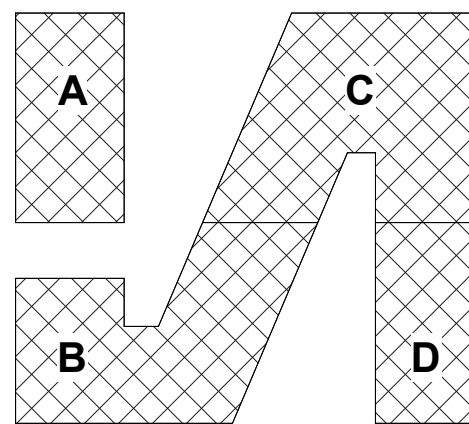
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734.926.5593

ETS ENGINEERING, INC.
P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
1	SCHEMATIC DESIGN	01/03/23
2	SITE PLAN RESUB.	04/24/23

1610 WHITE STREET
ANN ARBOR, MI 48104

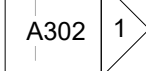
SOUTHTOWN

LEVEL 7

PROJECT NUMBER 202121
DATE 04/24/2023

A107

SCALE As indicated



SCALE As indicated

① ROOF AREA DIAGRAM
1/16" = 1'-0"

ELEVATION NOTES

1. REFER TO A600 FOR WALL ASSEMBLY DETAILS



SYNECDOCHE

1342 N MAIN ST. #11
ANN ARBOR, MI 48104
HELLO@SYNECDOCHE.DESIGN

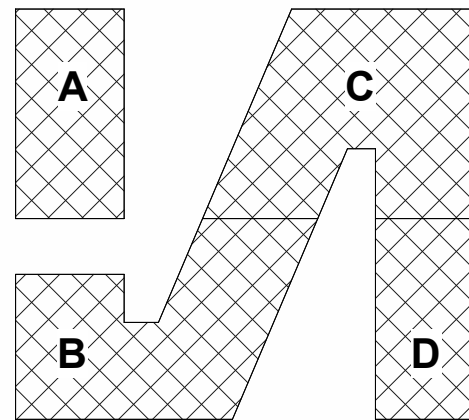
NOT FOR CONSTRUCTION
FOR REVIEW ONLY

NEDERVELD
3037 MILLER RD
ANN ARBOR, MI 48103
734.929.6963

ASPECT STRUCTURAL ENGINEERS
101-190 W 3RD AVE
VANCOUVER, BC V5Y 1E9
HELLO@ASPECTENGINEERS.COM
604.762.78444

GREENPATH DESIGN
139 W LIBERTY STREET
PLYMOUTH, MI 48170
INFO@GREENPATH.DESIGN
734.926.5593

ETS ENGINEERING, INC.
P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
	SCHEMATIC DESIGN	01/03/23
	SITE PLAN RESUB.	04/24/23
	SITE PLAN RESUB.	06/13/23

1610 WHITE STREET
ANN ARBOR, MI 48104

SOUTHTOWN
EXTERIOR
ELEVATIONS

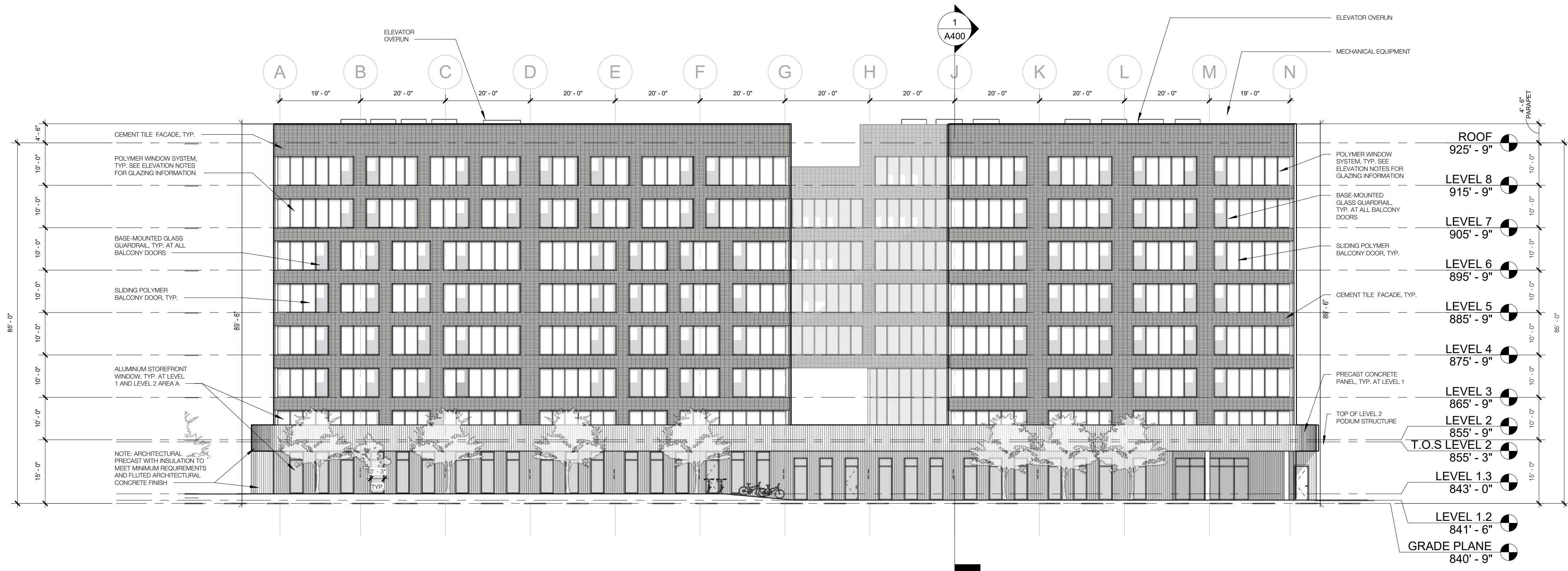
PROJECT NUMBER 202121
DATE 04/24/2023

A300

SCALE As indicated



2 EAST ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"

ELEVATION NOTES

1. REFER TO A600 FOR WALL ASSEMBLY DETAILS



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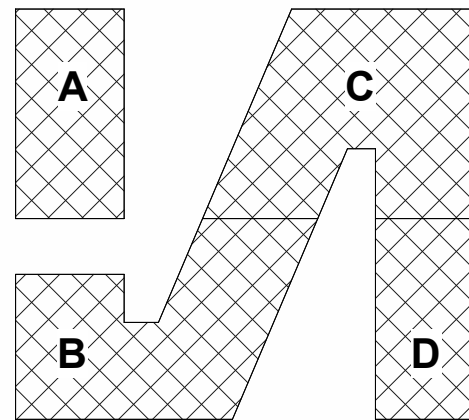
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ANN ARBOR, MI 48103
734.929.6963

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GREENPATH DESIGN
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INFO@GREENPATH.DESIGN
734.926.5593

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P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
	SCHEMATIC DESIGN	01/03/23
	SITE PLAN RESUB.	04/24/23
	SITE PLAN RESUB.	06/13/23

1610 WHITE STREET
ANN ARBOR, MI 48104

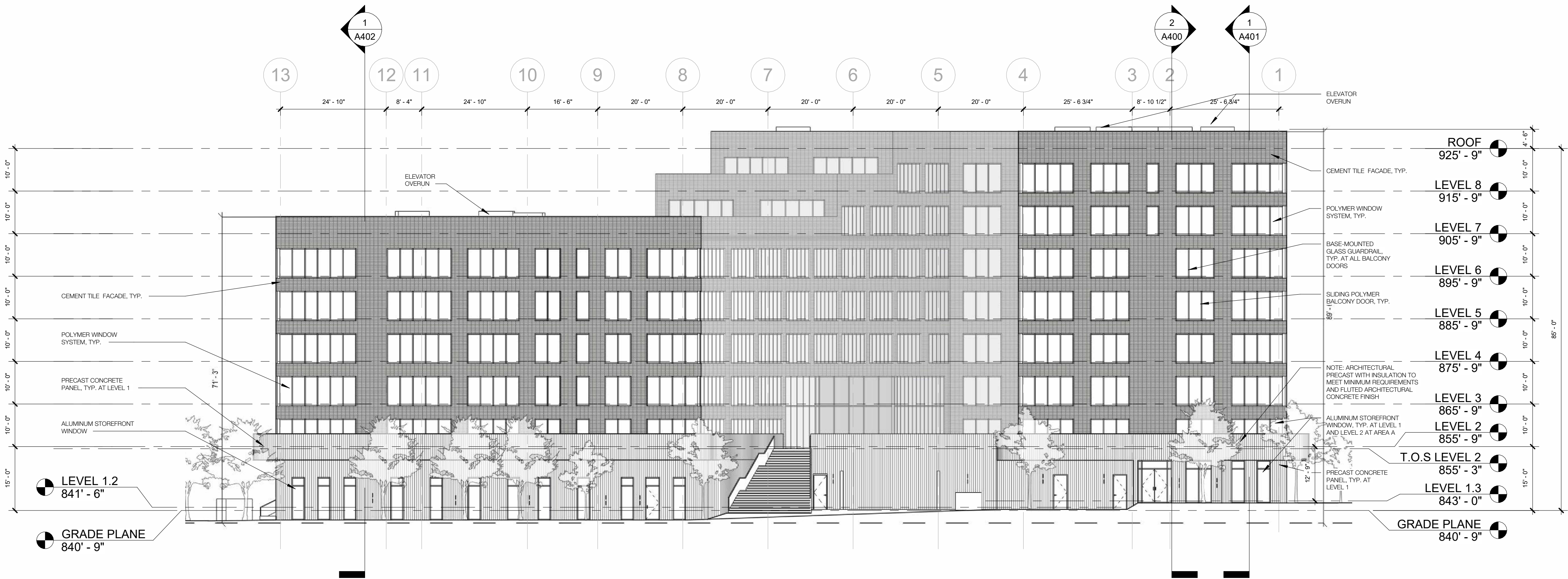
SOUTHTOWN
EXTERIOR
ELEVATIONS

PROJECT NUMBER 202121
DATE 04/24/2023

A301

SCALE As indicated

6/12/2023 4:46:06 PM



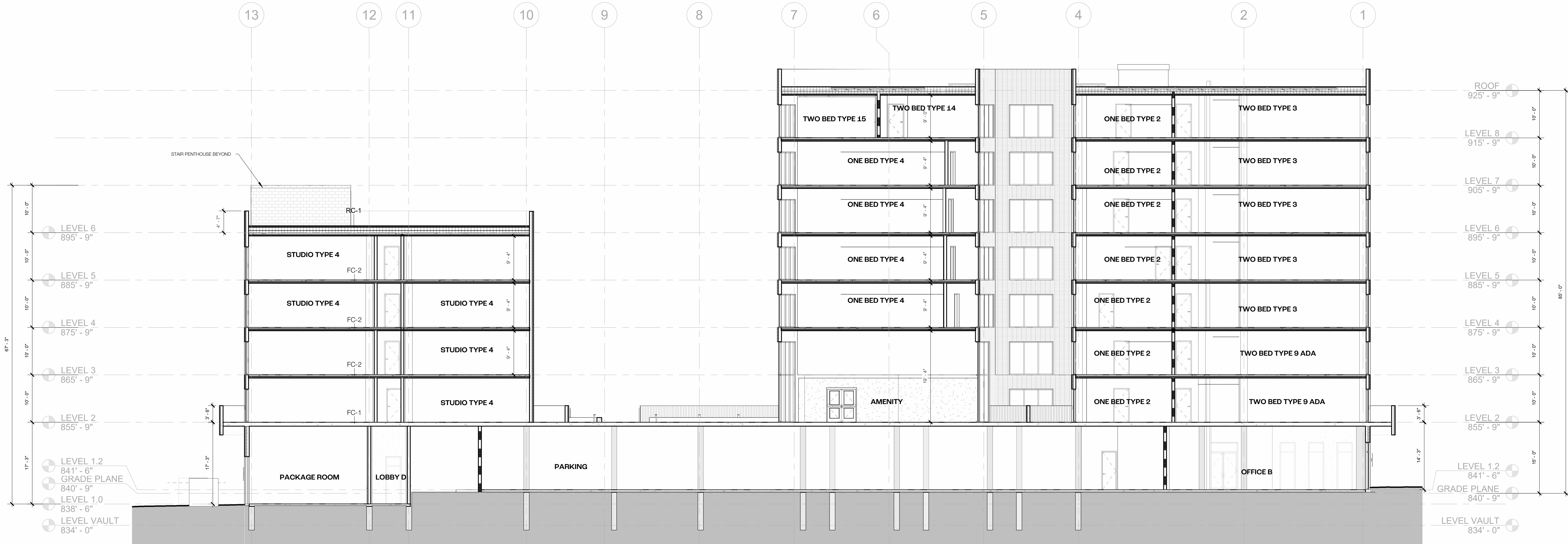
2 NORTH ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"



2 E/W SECTION 2 - LOOKING SOUTH
3/32" = 1'-0"



1 E/W SECTION 1 - LOOKING SOUTH
3/32" = 1'-0"



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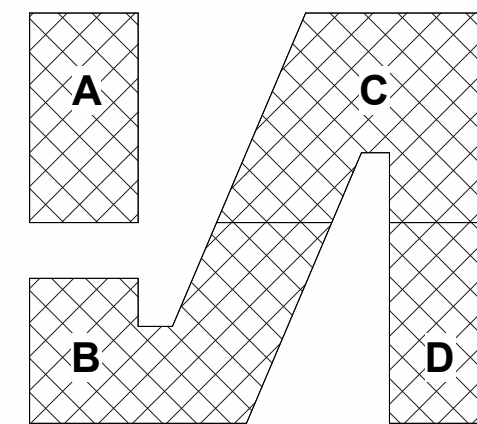
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101-190 W 3RD AVE
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GREENPATH DESIGN
139 W LIBERTY STREET
PLYMOUTH, MI 48170
INFO@GREENPATH.DESIGN
734.926.5593

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P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360



No.	Description	Date
1	SCHEMATIC DESIGN	01/03/23
2	SITE PLAN RESUB.	04/24/23

1610 WHITE STREET
ANN ARBOR, MI 48104

SOUTHTOWN BUILDING SECTIONS

PROJECT NUMBER 202121
DATE 04/24/2023

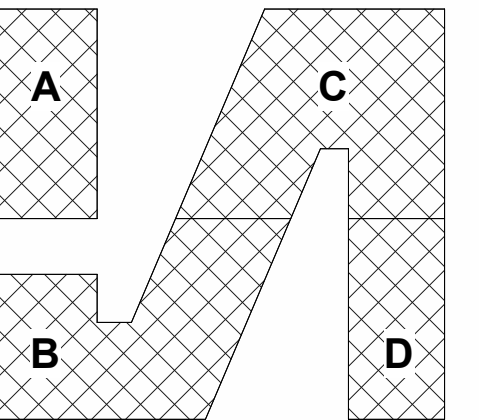
A400

SCALE 3/32" = 1'-0"



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TS ENGINEERING, INC.
P.O. BOX 1116
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248.744.0360

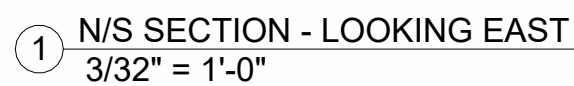
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BUILDING SECTIONS

DATE 04/24/2023

A401

SCALE $3/32" = 1'-0"$



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HELLO@SYNECDOCHE.DESIGN

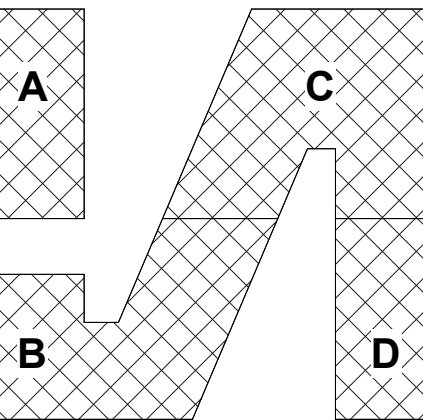
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3037 MILLER RD
ANN ARBOR, MI 48103
734.929.6963

ASPECT STRUCTURAL ENGINEERS
101-190 W 3RD AVE
VANCOUVER, BC V5Y 1E9
HELLO@ASPECTENGINEERS.COM
604.762.78444

GREENPATH DESIGN
139 W LIBERTY STREET
PLYMOUTH, MI 48170
INFO@GREENPATH.DESIGN
734.926.5593

ETS ENGINEERING, INC.
P.O. BOX 1116
ROYAL OAK, MI 48068
248.744.0360

[illegible]

1610 WHITE STREET
ANN ARBOR, MI 48104

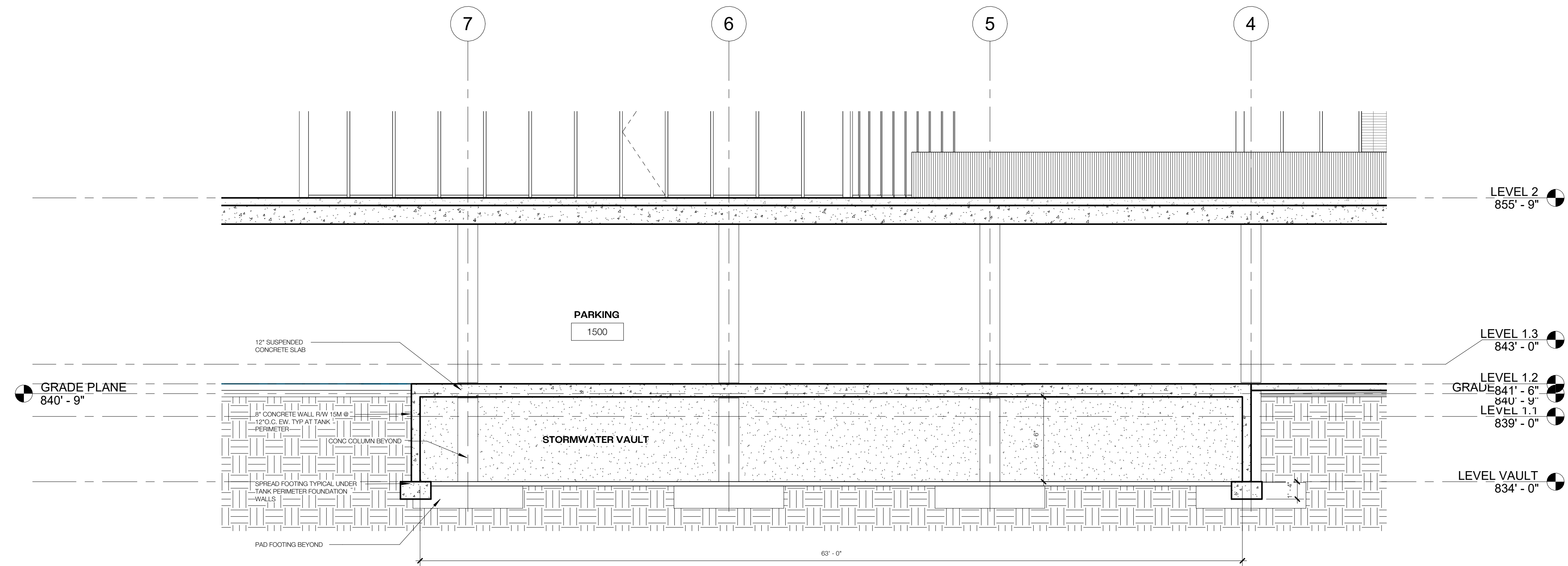
SOUTHTOWN

DETAIL SECTION

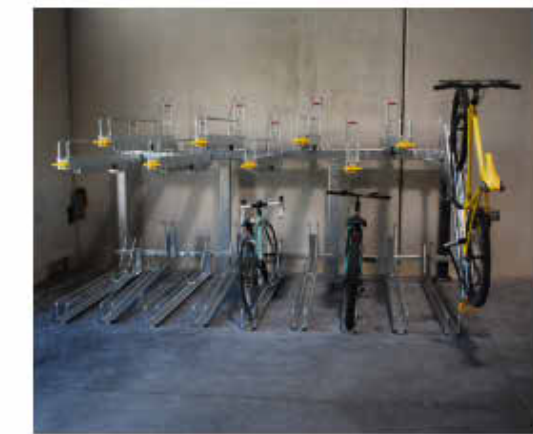
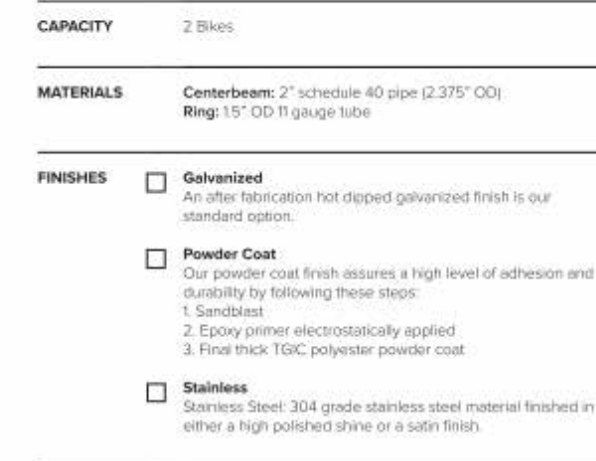
PROJECT NUMBER	202121
DATE	04/24/2023

A405

SCALE $3/16" = 1'$



① Section 24 VAULT
3/16" = 1'-0"



Withstanding the elements with little to no maintenance, our galvanized products are durable and weather to a battleship grey. For this finish, the product will have vent holes that will allow draining after a hot-dip in the molten zinc tank. A galvanized product is an economical choice that resists rust. This finish comes with a 5-year warranty.

Available in 18 vibrant shades, super TGIC coated products will stain significantly less from UV light than other finishes. This finish has a 1-year warranty.



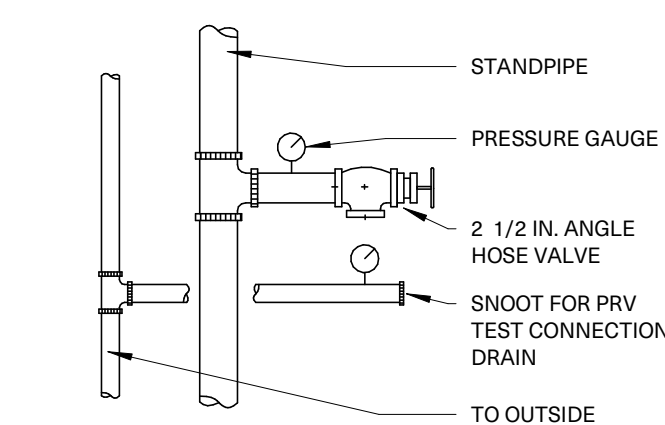
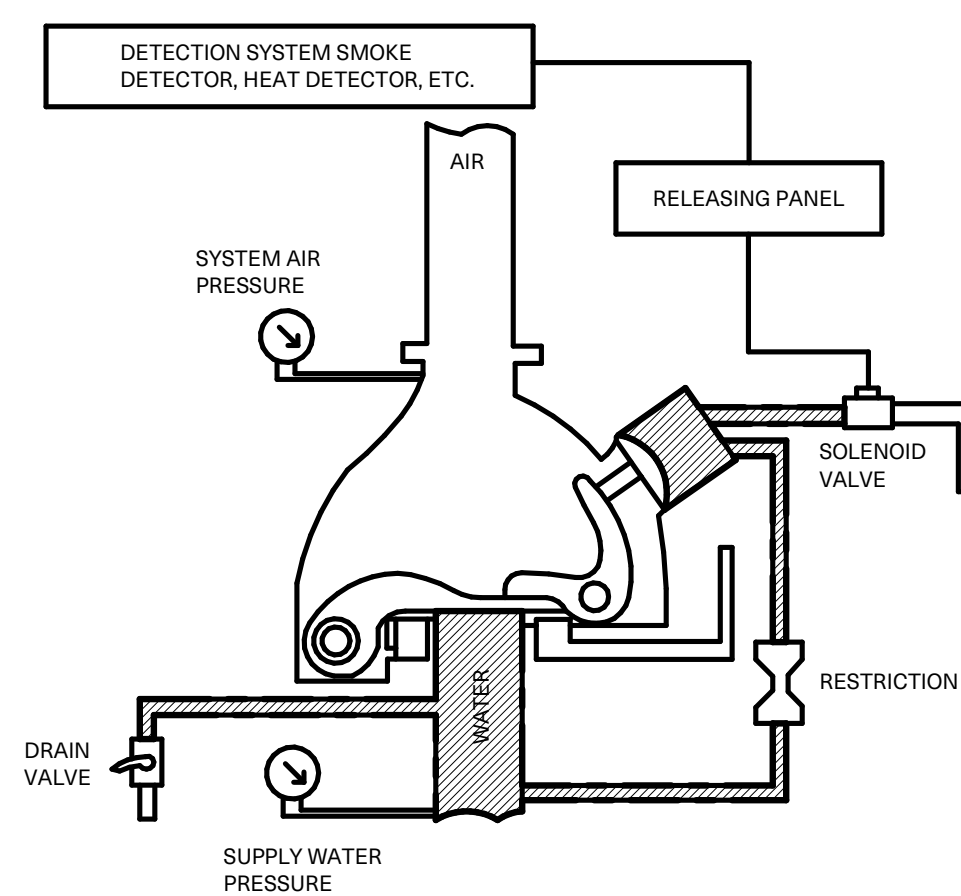
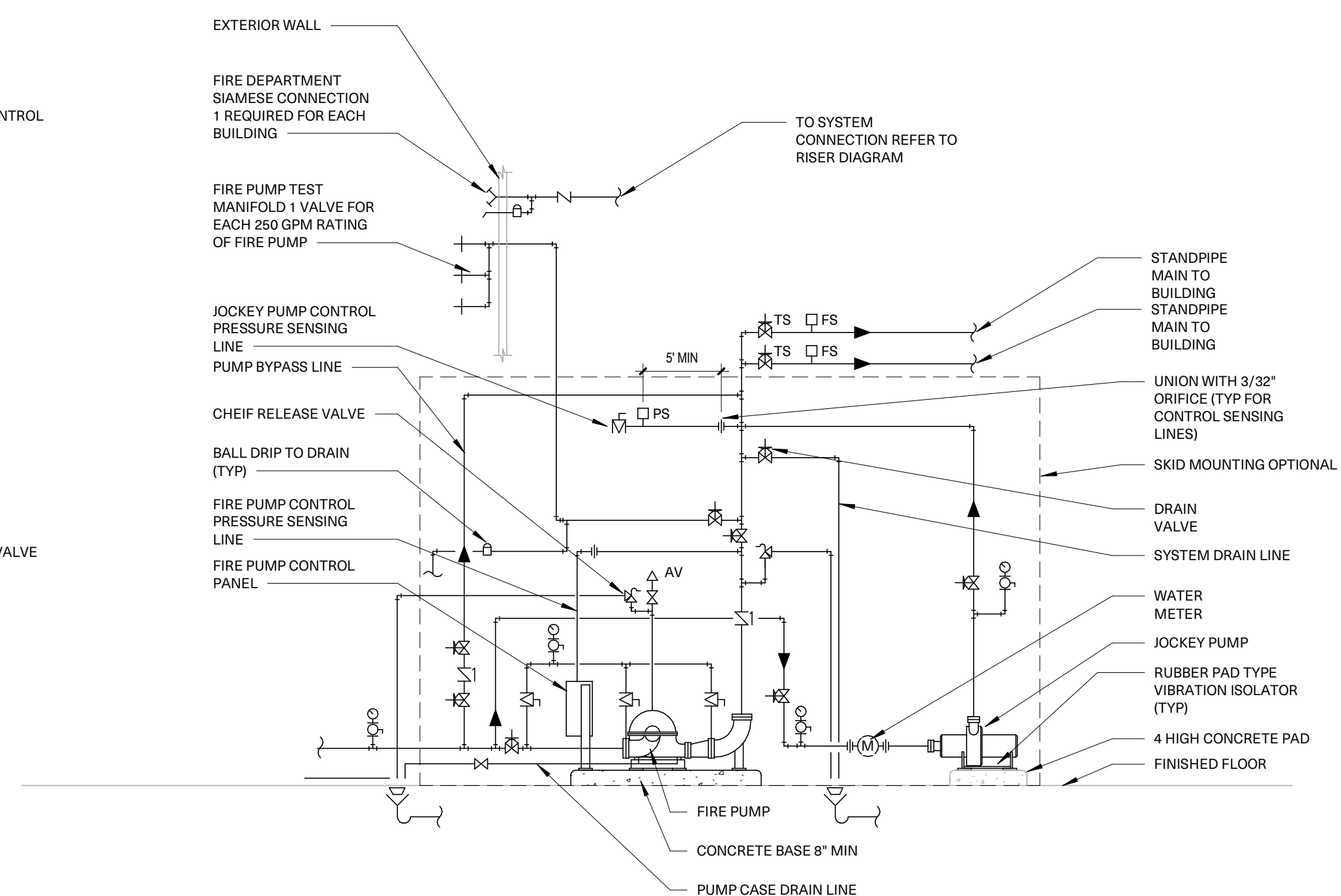
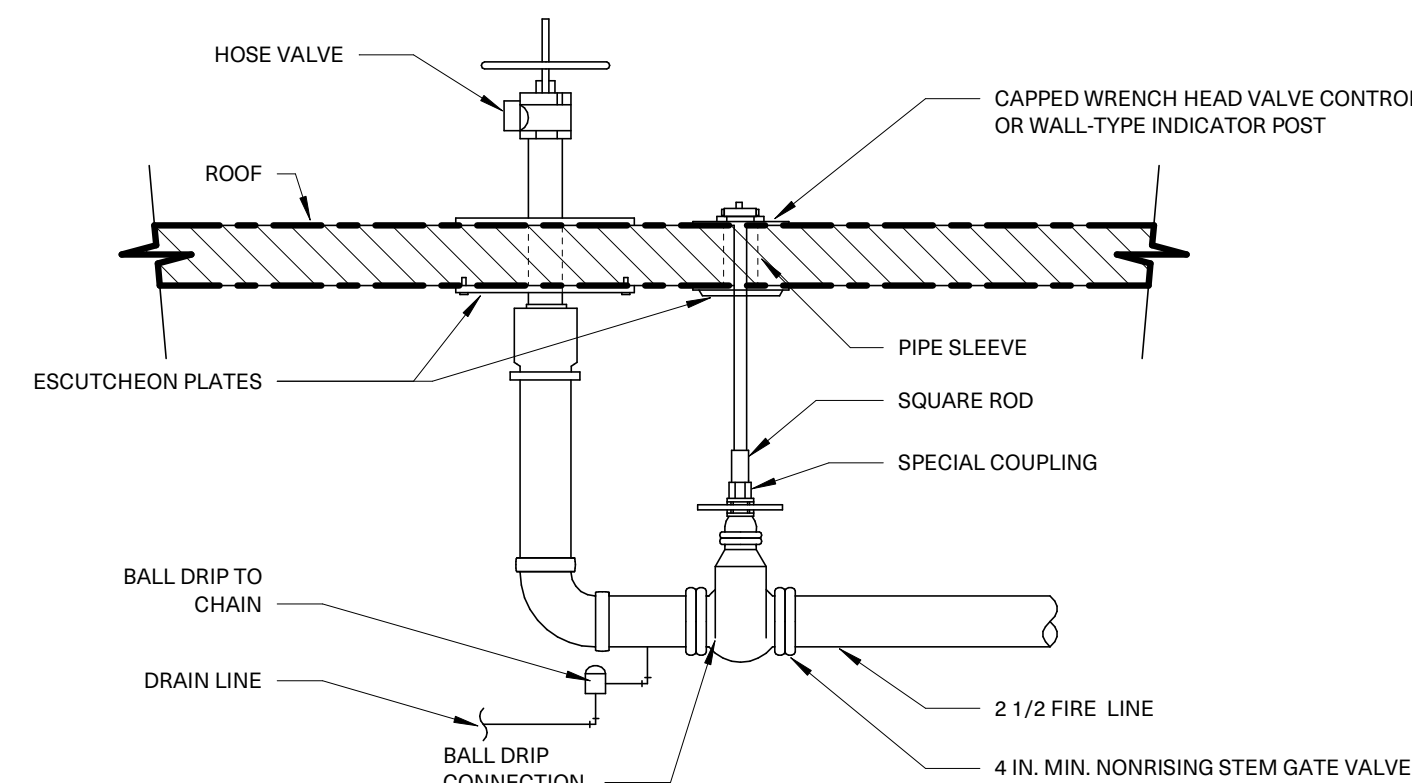
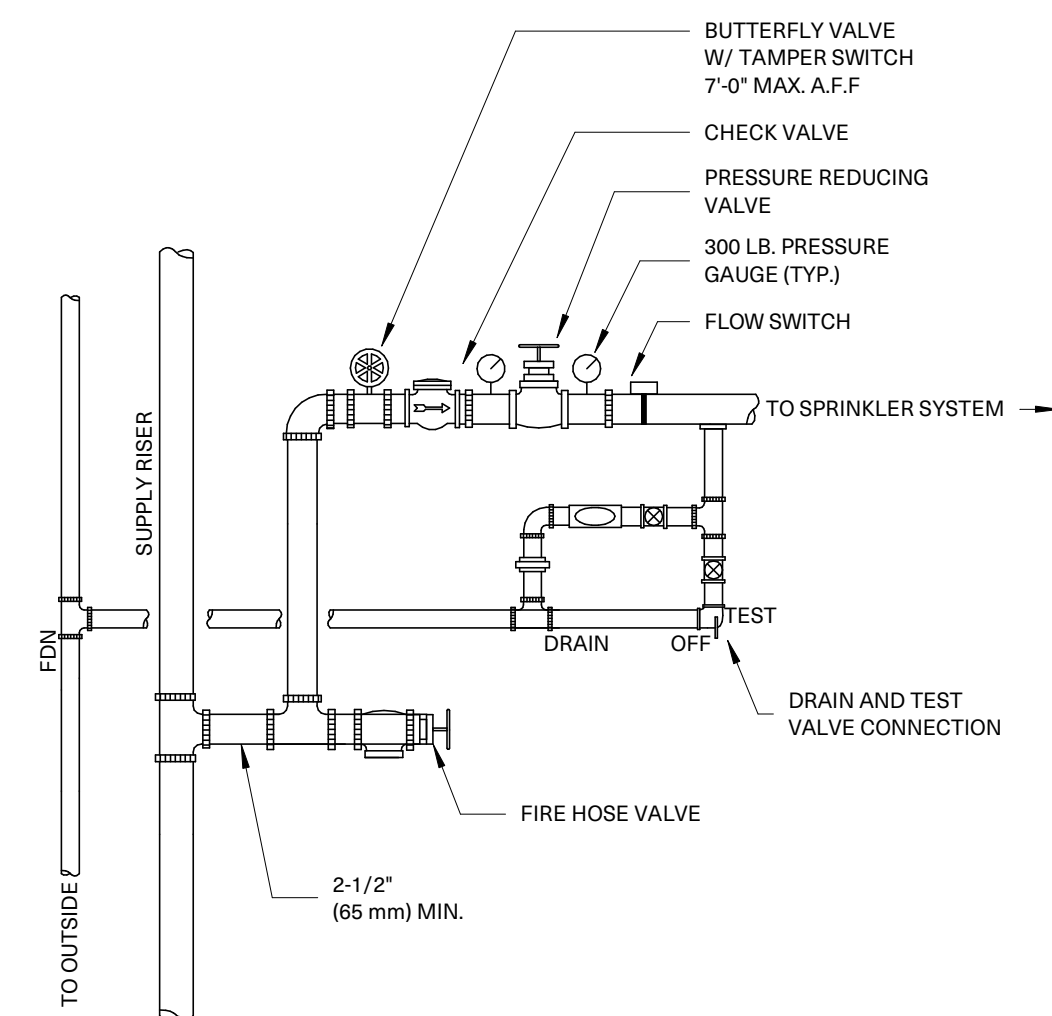
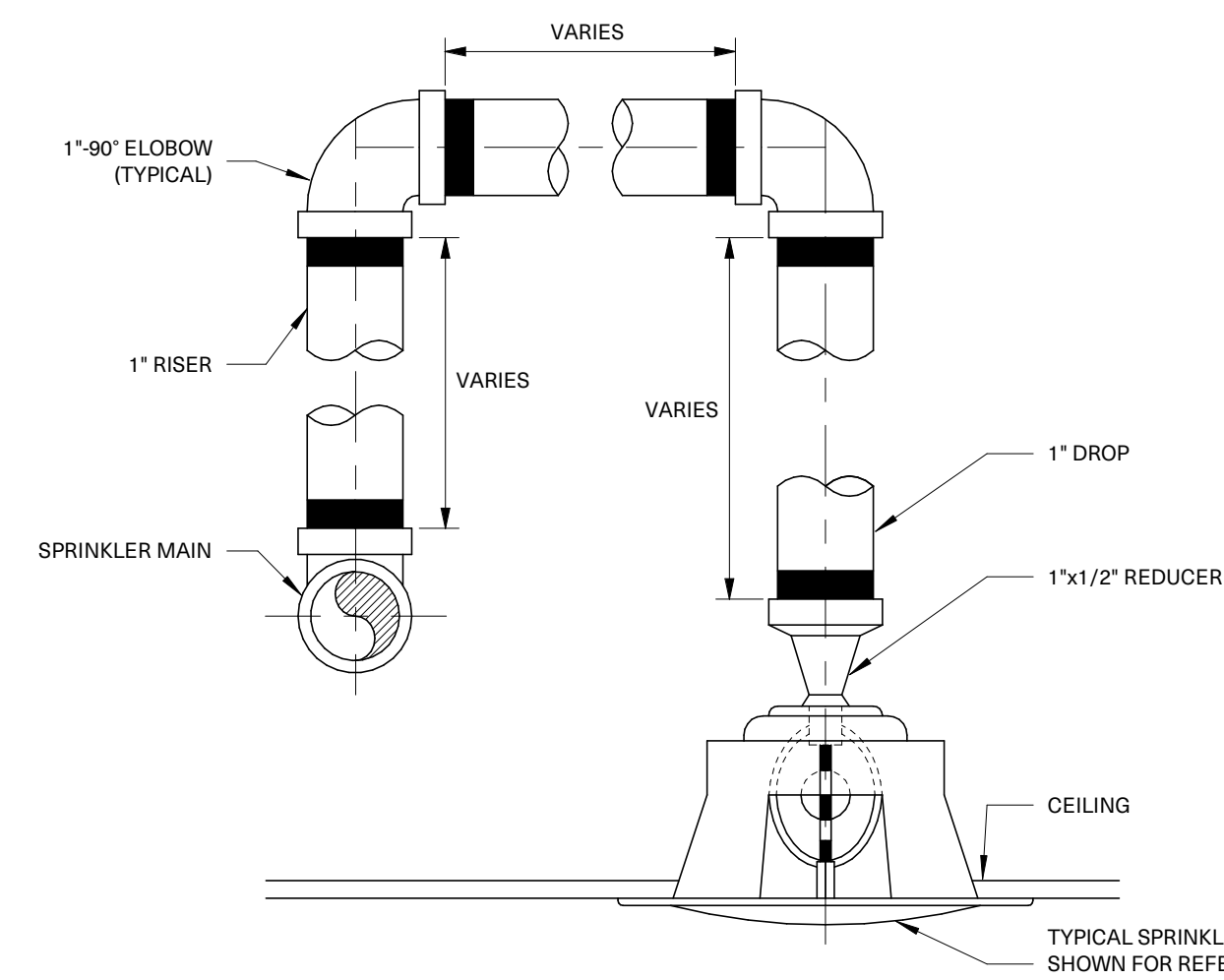
MADRAX
by Gruber Manufacturing, Inc.



32 ON GROUND
48 ON MADRAX SYSTEM

20 ON GROUND

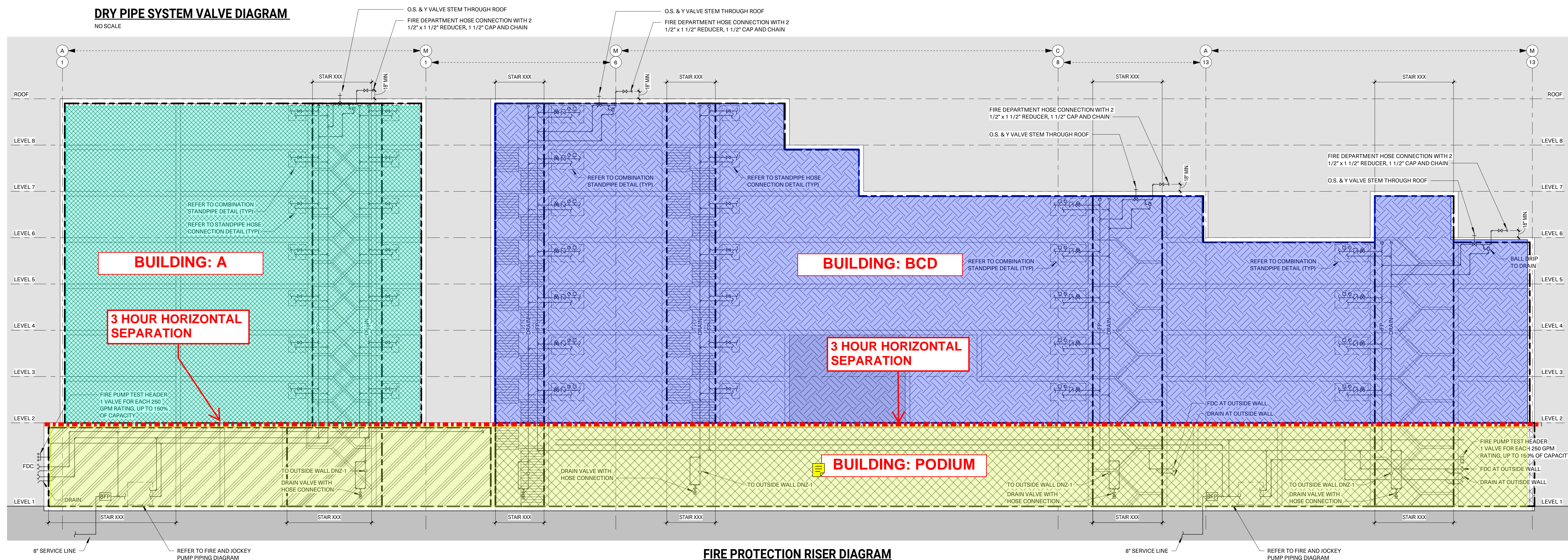
4/24/2023 1:49:28 PM



FIRE FLOW TEST DATA SCHEDULE	
STATIC	63
RESIDUAL	60
FLOW	1957
TEST DATE	4/13/2023
FLOW TEST BY	Brown/Newirk
PRESSURE AT FIRE PROTECTION FLOW	62
ESTIMATED PRESSURE AT 150% PUMP FLOW	61

PRELIMINARY FIRE PUMP CALCULATIONS 1000 GPM	
PRESSURE AVAILABLE AT FULL FLOW (RESIDUAL)	60 psi
10% SAFETY	6 psi
PRESSURE LOSS FROM FLOWING HYDRANT TO BUILDING	11 psi
REDUCED PRESSURE DETECTOR ASSEMBLY LOSS	11 psi
SUCTION AVAILABLE AT PUMP	42 psi
LINEAR DISTANCE FROM PUMP TO REMOTE HOSE CONNECTION	250 ft.
LINE LOSS FROM PUMP TO REMOTE HOSE CONNECTION	16.5 ft. H ₂ O (8psi)
PRESSURE REQUIRED AT REMOTE HOSE CONNECTION	100 psi
HEIGHT TO HIGHEST HOSE CONNECTION	85 ft
STATIC LOSS TO HIGHEST HOSE CONNECTION	37 psi
DISCHARGE PRESSURE AT PUMP	145 psi
PUMP TON	103 psi
PUMP CHURN PRESSURE	

PRELIMINARY FIRE PUMP CALCULATIONS 750 GPM	
PRESSURE AVAILABLE AT FULL FLOW (RESIDUAL)	60 psi
10% SAFETY	6.0 psi
PRESSURE LOSS FROM FLOW HYDRANT TO BUILDING	6.0 psi
REDUCED PRESSURE DETECTOR ASSEMBLY LOSS	11 psi
SUCTION AVAILABLE AT PUMP	42 psi
LINEAR DISTANCE FROM PUMP TO REMOTE HOSE CONNECTION	125 ft
LINE LOSS FROM PUMP TO REMOTE HOSE CONNECTION	4 psi
LINE LOSS REQUIRED AT REMOTE HOSE CONNECTION	100 psi
HEIGHT TO HIGHEST HOSE CONNECTION	37 ft
STATIC LOSS TO HIGHEST HOSE CONNECTION	85 psi
DISCHARGE PRESSURE AT PUMP	141 psi
PUMP TON	99 psi
PUMP CHURN PRESSURE	



SYNECDOCHE

1342 N MAIN ST. #11
ANN ARBOR, MI 48104
INFO@SYNECDCOHEDESIGN.COM
734.926.5593

SEAL

GENERAL FIRE PROTECTION NARRATIVE: PODIUM BUILDING TO BE SERVED BY A ZONED FIRE SUPPRESSION SYSTEM WITH DRY PIPES THROUGH PARKING GARAGE. TWO SEPARATE FIRE PUMPS SERVE BUILDING A AND BCD RESPECTIVELY. FIRE PUMPS ARE LOCATED AT NORTHWEST CORNER AND SOUTHEAST CORNERS OF SITE. FIRE DEPARTMENT CONNECTIONS LOCATED THROUGH EXTERIOR WALL FOR FIRE PUMPS AND PODIUM LEVEL FIRE SUPPRESSION SYSTEM.

[illegible]

<Project Address>

SOUTHTOWN FIRE PROTECTION DETAILS

PROJECT NUMBER	2022-00
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DATE	Issue Date
------	------------

FP-500

SCALE	As indicated
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F0030000 F-4 C-10 DM