

Site Plan for City Council

# North Maple Road Apartments

A Multi-Family Residential Development  
City of Ann Arbor, Washtenaw County, Michigan



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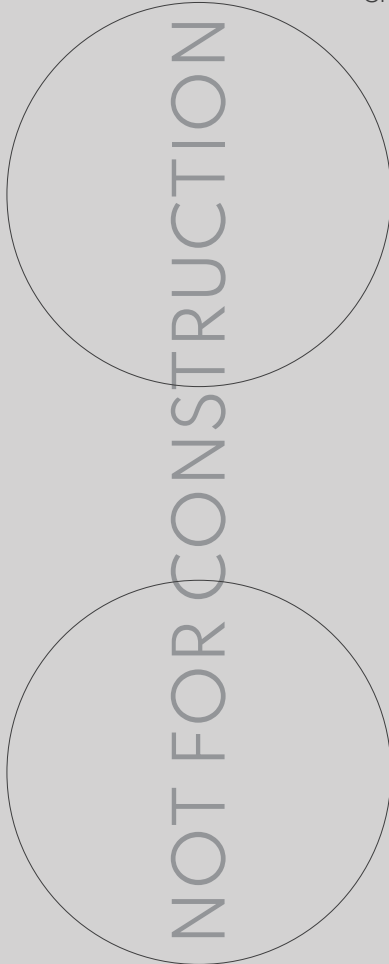
## North Maple Road Apartments

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Address



Project # 210302  
PUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # SP22-004

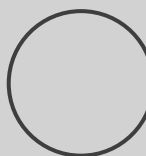


Revisions		
Date	By	For
01.27.2022	A2	City of Ann Arbor
04.15.2022	A2	City of Ann Arbor
07.07.2022	A2	City of Ann Arbor
08.10.2022	A2	City of Ann Arbor

Owner / Applicant  
A2 North Maple Properties, LLC  
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Ann Arbor, MI 48104

Site Design  
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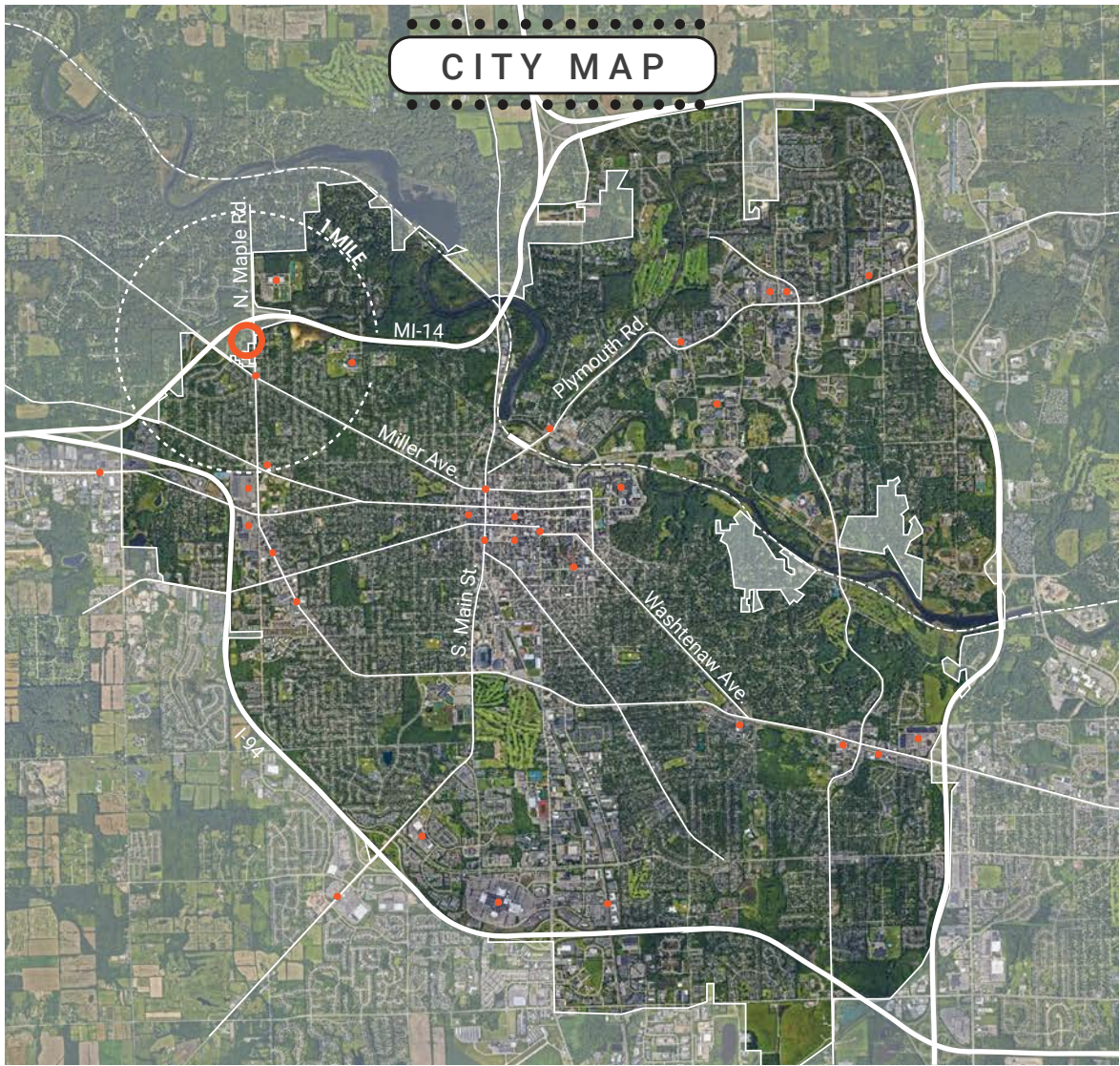
Project North



Scale:

Graphic Cover

# GO.0



Required Statements

a. Identification of associated applications:

- Annexation of three (3) parcels to the city of Ann Arbor
- PUD Zoning District Petition
- Zoning of the three (3) parcels to be annexed and the rezoning of the one (1) existing parcel to PUD. Conditions including density, height, setbacks, affordable housing, as noted in the zoning application.
- City of Ann Arbor storm water review

b. Proposed Development Description:

Existing:

This Planned Unit Development (PUD) rezoning petition (Project # Z22-002) consists of four (4) parcels that front the west side of Maple Road and are just within the M-14 east-west state trunkline highway. Three (3) of the parcels are currently in Scio Township (1855 N. Maple, 1875 N. Maple and 1921 Calvin Street) while parcel 1815 N. Maple is already under Ann Arbor jurisdiction.

The three (3) Scio Township parcels would be annexed to the city concurrently with the PUD rezoning petition in accordance with the annexation agreement between Ann Arbor and Scio Township.

Lot 1921 Calvin Street ( Parcel ID: H-08-24-125-033) was recently established under approved Scio Township Land Combination Application Number 22002. This parcel was previously four (4) distinct parcels (H-08-24-125-001, -002, -003 and -004).

The site is currently zoned as R1-B (Single Family Residential).

The site is unique in that its size (3.14 Acres) has only 3 single family residential units of approximately 1200 Square Feet in size each. These units are aging and in poor condition with soils that are problematic for ongoing septic field maintenance.

The Development:

Changing conditions to existing zoning would include:

- (1) increased unit density
- (2) increased building height
- (3) modified building setbacks
- (4) the inclusion of affordable housing units
- (5) the incorporation of sustainability elements.
- (6) protected mid-block crosswalk

The Development would result in the removal of the three (3) existing single family residential units including their respective outbuildings. Following removal, these units would be replaced by one (1) low-rise apartment building of approximately 75,217 Square Feet and one (1) single-story recreation/community building of approximately 1560 Square feet providing seventy-nine (79) new residential units.

The Development would be "all-electric" and would not directly utilize fossil fuels for its energy needs

The two (2) existing on site wells and two (2) existing on site septic tanks would also be permanently removed.

The development will be served by 64 new on-site parking spaces and 66 new bike spaces. The Parking lot will include 56 EV-R ready spaces and 7 EV-I spaces

The project includes the removal of three (3) residences, including outbuildings, and the construction of one (1) low-rise apartment building, one (1) single-story recreation/community building, and a parking lot. Existing on site wells (if any), and septic fields will be removed.

The project will create a protected mid-block pedestrian crossing connecting west North Maple Road with the east, and the respective parks, bus stops, shops, and trails.

The Apartments:

The development includes the construction of 75,217sqft. of apartment building, and 1,560 sqft. of recreation/community building (total area = 76,777 sqft.). The low-rise apartment building will include 79 dwelling units with 95 bedrooms on four (4) floors of the building that can be accessed via. one (1) elevator, or two (2) egress stairs. The development will be served by 64 new on-site parking spaces.

The housing project includes a mixture of affordable housing units and market rate housing units. 15%, or 12, of the total housing units will be affordable (79 \* 0.15 = 11.85 units). The 79 units will be contained in a four (4) story apartment building with a lobby, mailroom, leasing office, storage center, and a lounge. The building will have highly efficient Energy Star appliances and plumbing fixtures. With a highly insulated envelope and a majority of the power coming from solar panels on the roof of the building.

The Club House:

The club house building will contain a small flex space for the residents and twenty-two (22) class 'A' bike parking/e-bike chargers.

Location Information

The site is located in West Ann Arbor within the M-14 loop, in place of three single family homes. The site acts as a gateway into Ann Arbor, and is a vital connection to existing paths on the west side. The area is an existing single family neighborhood with a mixture of commercial, corner stores, and medium/low-rise apartment buildings. The neighborhood is aprox. a 5 min drive and 12 min bike ride from downtown Ann Arbor.

Site Details

Existing Zoning:  
R1B - Single Family Low Density Residential

Proposed Zoning:  
PUD (Planned Unit Development)

Existing Use:  
Single Family Residential

Proposed Use:  
Multi-Family Residential

Total Site Area

1875 = 36,302.55 sf (0.83 acres)  
1855 = 26,454.97 sf (0.61 acres)  
1815 = 32,533.94 sf (0.75 acres)  
1921 = 40,902.66 sf (0.94 acres)  
Site Area: 136,194.12 SF  
(3.13 acre)

Parcel Information

1875 North Maple Road,  
Scio Township (R-2)  
H -08-24-125-029  
To Be Annexed

1855 North Maple Road,  
Scio Township (R-2)  
H -08-24-125-028  
To Be Annexed

1815 North Maple Road,  
City of Ann Arbor (R1B)  
09-08-24-107-007

1921 Calvin Street,  
Scio Township (R-2)  
H-08-24-125-033  
To Be Annexed

The Site:

The project includes a proposed protected crosswalk at North Maple Road. The crosswalk will include signals and a raised median to protect the pedestrians at the crossing. This will facilitate the ease of access to the existing and to be improved bus stop.

The development will be constructed in a single phase consisting of the apartment building as well as the recreation/community building. Site work could commence as early as fall of 2022 with vertical construction to begin immediately thereafter. Current project timelines estimate a project completion date sometime in 2023.

Site Data Comparison Chart

	Existing	Similar	Proposed
Zoning:	R1B - Single Family Low Density Residential	R4D - Multi Family High Density Residential	PUD (Planned Unit Development)
Land Use:	Single Family Residential	Multi-Family Residential	Multi-Family Residential

Total Floor Area:	N/A	N/A	76,777 SF
Total Dwelling Units:	3	75	79*
FAR (Floor Area Ratio):	N/A	N/A	0.57
Min. Lot Area Per Dwelling Unit (SQ. FT.)	10,000 SF	1,740 SF	1,600 SF*
Maximum Density Dwelling Units per Acre	N/A	25	25.24*
Building Spacing	(C)	20 ft.	30 ft.
Minimum Open Space (% Of Lot Area)	N/A	50%	58%(80,092 SF)
Minimum Active Open Space Per Dwelling Unit	N/A	300 SF/Unit	318 SF/Unit
			1,764 SF Balconies 7,139 SF Paths 7,073 SF Picnic West 10,454 SF Picnic North

Setback Requirements:			
Minimum Front Setback	30 ft.(A)	15 ft.	10 ft.*
Maximum Front	N/A	40 ft.	15 ft.*
Minimum on One Side	5 ft.	57.75 ft.	20 ft.*
		(A = 57" and B = 23 ft.)	
Minimum Total Two Sides	14 ft.	N/A	40 ft.*
Minimum Rear	40 ft.	53 ft.	20 ft.*
		(A = 57" )(B = 23 ft.)	
North Setback	5 ft.	57.75 ft.	20 ft.*
East Setback	15 ft.	15 ft.	10 ft.*
South Setback	5 ft.	57.75 ft.	20 ft.*
West Setback	40 ft.	53 ft.	20 ft.*

Maximum Height	30 ft. (2 sotries)	120 ft. (N/A stories)	58 ft.* (4 stories)*
Minimum Gross Lot Area	10,000 SF	83,000 ft.	136,200 ft.
Minimum Gross Lot Width	70 ft.	200 ft.	+/- 387 ft.

R4D

(A): The minimum Required Side Setback as set forth above, shall be increased 3 inches for each foot of Building Height above 35 feet and 1.5 inches for each foot of Building length over 50 feet. The minimum Required Rear Setback, as set forth above, shall be increased 1.5 inches for each foot of Building Height over 35 feet and 1.5 inches for each foot of Building width over 50 feet. The Building length shall be the dimension of that side, which is parallel to the Side Lot Line, of a rectangle within which the Building may be located. The Building width shall be the dimension of that side which is parallel to the Front Lot Line, of a rectangle within which the Building may be located.

(B): Plus one foot of additional Setback for each foot of Building Height above 30 feet when abutting residentially zoned land.

Site Plan for City Council

# North Maple Road Apartments

## A Multi-Family Residential Development City of Ann Arbor, Washtenaw County, Michigan

Application List

- 1) Annexation Application:  
(1855, 1875, and 1921 Parcels)
- 2) PUD - Combined Zoning and Site Plan Application with City Stormwater Review



Site Data Comparison Chart

	Existing	Similar	Proposed
Zoning:	R1B - Single Family Low Density Residential	R4D - Multi Family High Density Residential	PUD (Planned Unit Development)
Land Use:	Single Family Residential	Multi-Family Residential	Multi-Family Residential

Off-Street Vehicle Parking	1.0 per dwelling	1.5 per dwelling	0.81 per dwelling (64)*
EV-I	0%	10%	10% (7)*
EV-R	100%	25%	90% (56)*
EV-C	0%	65%	0% (0)
Barrier Free	None	3/75 spaces (3)	3/75 spaces (3)
Barrier Free Van	None	1/6 barrier free spaces (1)	1/6 barrier free spaces (1)
Bike Parking	None	1/5 dwellings	1/1 dwelling (79)
Class A	N/A	9 spaces (50%)	35 spaces (44%)
Class B	N/A	0%	0%
Class C	N/A	9 spaces (50%)	44 spaces (56%)

R1B

(A): Also see additional regulations in Section 5.18.5 (Averaging an Established Front Building Line).

(B): Where more than one residential Structure is to be constructed on a Lot in the R2 districts, or where dwellings are served by a private street under the provisions of Section 5.21 , the following placement regulations shall also be applied: (a) The minimum spacing between Buildings shall be twice the minimum required side setback dimension of the zoning district in which the Lots is located; (b) A minimum rear setback of 30 feet must be provided between the rear of a residential Structure and the adjacent (nearest) Lot Line; (c) A minimum front setback of ten feet must be provided between all Structures and the private street pavement.

(C): Where more than 1 residential Structure is to be constructed on a Lot in the R1 districts, or where dwellings are served by a private street under the provisions of Section 5.21 , the following placement regulations shall also be applied:

(a) The minimum spacing between Buildings shall be twice the minimum required side setback dimension of the zoning district in which the Lots is located; (b) A minimum rear setback of 30 feet must be provided between the rear of a residential Structure and the adjacent (nearest) Lot Line; (c) A minimum front setback of ten feet must be provided between all Structures and the private street pavement.

\* indicates proposed PUD deviation

### North Maple Road Apartments - Sustainability Notes

The site's solar supply does not fully account for the total energy consumption. **430sf of basement space will be allocated to on-site energy storage (batteries).** The batteries will provide the backup energy needs for residents should there be a temporary power outage. The project will include a **~90 kW STC solar panel system** size on the apartment building to help generate the building's energy needs.

The buildings and parking lighting will be equipped with high efficiency LEDs. This will conform to the suggestions of the Office of Sustainability and Innovation. The appliances of the building will be Energy Star appliances to reduce power consumption of the buildings, and **no natural gas lines will be connected to the building.**

To encourage alternate means of transit we are **proposing an AAATA bus stop enclosure on site.**

**We have exceeded bike storage requirements and are designing a 1:1 bike to unit ratio.** We have reduced parking on site to promote alternative means of transportation. The proposal extends the sidewalks to connect Ann Arbor's path network with the development, closing a sidewalk gap for the city, and the site is close enough to allow residents to bike and walk to grocery stores, restaurants, and other leisure amenities. **Our proposed site plan promotes reduced vehicle reliance.**

Contacts

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Ann Arbor, MI 48108

Mechanical/Electrical Engineering  
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Berkley, MI 4807

Sheets

Graphic Cover	G0.0
Cover Sheet	G1.0
Community Analysis	G1.1

ALTA/NSPS Land Title Survey	AL.3
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Existing Tree List	ES2.0
Existing Natural Features Plan	ES3.0

Demolition and Removals Plan	D1.0
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Alternate Analysis	AS1.0
Layout Plan	AS2.0
Layout Plan	AS2.1
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Landscape Plan	L1.0
Landscape Plan Details	L1.1
Landscape Plan Details	L1.2
Apartment - First Floor Plan	A1.0
Apartment - Second, Third, and Fourth Floor Plan	A1.1
Apartment - Roof Plan	A1.2
Apartment - North, and South Elevation	A2.0
Apartment - East, and West Elevation	A2.1
Community Center - First Floor Plan	A3.0
Community Center - North, East, South, and West Elevation	A4.0
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Architecture Renderings	A9.2
Architecture Renderings	A9.3
Architecture Renderings	A9.4
Architecture Renderings	A9.5
Architecture Renderings	A9.6
Architecture Renderings	A9.7

Aerial Natural Features Overlay Plan	AS3.0
Fire Protection Plan	AS4.0
Aerial Access Ladder Section	AS4.1
Solid Waste Plan	AS5.0
Photometric Plan	AS6.0

Grading and SESC Plan	C1.1
SESC Details	C1.2
Utility Plan	C2.0
Stormwater Managment Plan	C3.0
Existing Stormwater Drainage	C3.1
Stormwater Calculations	C3.2
Underground Detention Details	C3.3

### EXISTING SITE CONDITIONS

Total Lot Size:	136,207.8 SF (3.13 acres)
Ground	
Total Wetland Area:	0 SF
Submerged Land:	0 SF
Existing Structures (Ground Floor)	5,143.9 SF
Existing Impervious Surface	15,480.0 SF

Trees	
Existing Landmark Trees:	38
Existing Other Trees:	101

### PROPOSED SITE CONDITIONS (Pre Development)

Total Lot Size:	136,207.8 SF (3.13 acres)
Ground	
Total Wetland Area:	0 SF
Submerged Land:	0 SF
Proposed Structures (Ground Floor)	18,607 SF
Proposed Impervious Surface	55,001 SF

Trees	
Saved Landmark Trees:	16
Saved Other Trees:	72

### OPEN SPACE CALCULATIONS - PUD (Planned Unit Development)

PUD Lot Size:	136,207.8 SF
Designated Open Space:	80,092 SF
Total Open Space:	80,092 SF 58.8%

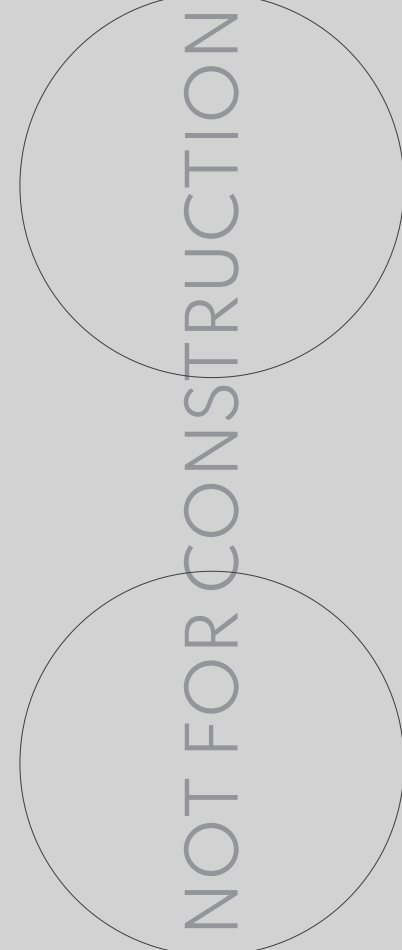


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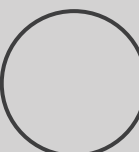


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Project North



Scale: \_\_\_\_\_

Cover Sheet

# G1.0

## Master Plan Code Review

This 26.5-acre site is comprised of the entire Calvin Street neighborhood. It is bounded by North Maple Road, Miller Avenue and M-14. The single-family residential neighborhood consists of lots ranging from 0.75 acres to 1.0 acres with the majority in Scio Township. Most of the land across M-14 to the northwest is also in Scio Township. Across Miller Road to the south is the single and twofamily Kelly Green neighborhood, as well as the smaller Miller Maple Townhouse complex. Two of the corners at the Miller/Maple intersection contain auto service stations. A neighborhood commercial district is located on the east side of Maple Road, and across North Maple Road to the east are singlefamily residential uses. Since most of the neighborhood is in the township, septic tanks and wells predominate. An annexation agreement between the City and township states that when these systems fail, the homes will be connected to City utilities and the properties will be annexed into the City. It will be difficult for the City to provide utilities because the logical location for placement of utilities is in Calvin Street. Calvin Street is held by the owners as joint indivisible property which means each owner must approve the utilities easement. It may be challenging to get the consent of each homeowner. This plan will have no impact on the neighborhood until the annexations occur.

Adjacent to the Calvin Street neighborhood is a 3.3-acre site located along the west side of North Maple Road, running north approximately 825 feet from the Miller Road intersection and anchored on the north by an auto repair and salvage business. The site is in Scio Township and contains several parcels, including the towing and auto repair service, four single-family homes and two vacant lots. The auto salvage yard, anchoring the north end of the site, effectively isolates the residential uses between it and the Miller/Maple intersection. The shopping center across the street further contributes to the commercial character that reduces the desirability of the residential uses.

While the area north of Miller on Maple historically has been used for residential purposes, pressure to convert the area to more intense land uses has been experienced. Although housing remains the preferred use for this site, the changing conditions in the area must be acknowledged and land use alternatives anticipated, since this area has been planned and zoned for residential use for decades without experiencing further residential development. Thus, office uses are considered appropriate for the site from the corner of Miller and Maple to the auto repair facility on the north only if the demand for residential use continues to decline. Office is considered an acceptable alternative to residential uses because it will buffer the Calvin Street neighborhood from noise and traffic on Maple Road and from the commercial uses at and north of the Miller/Maple intersection, it will create an aesthetically pleasing entrance into the City, and it will provide opportunities for office uses which are very limited in the West Area. Proximity to M-14 make this site particularly desirable for office use. Encroachment of this office district any further west than the depth of these lots is prohibited so that the residential character of the Calvin Street neighborhood is not disturbed. Again, existing or new residential uses are preferred, but changing conditions also support other low intensity office uses.

North Maple Road Apartments would not negatively impact the air or water quality of the surrounding areas. The development would provide for on site energy needs through an all-electric utility connection that would not directly involve the use of fossil fuels. Through tree plantings, a proposed berm and associated landscaping, an improved buffer would be created between the entire neighborhood and the M-14 east-west state trunk-line. This additional natural buffer would be expected to improve air quality and decrease off site storm water runoff. Furthermore, storm water management within the development and surrounding areas would be improved through the utilization of two (2) modern underground water detention basins that would be integrated into the existing city storm water system and designed to meet a 100 year storm event.

North Maple Road Apartments would provide a PUD rezoning consistent with the mixed zoning typologies in the area. Current neighborhood zonings include single-family residential within the surrounding neighborhoods (R1B and R1C), multi-family residential (O and R4A) at Maple Cove Apartments and Maple Miller Townhomes, as well as retail and commercial (C1 and C3) at the corner of Maple and Miller.

North Maple Road Apartments would provide improved year round pedestrian and bike connectivity between all adjacent parcels (residential and commercial) through the sidewalk connection to Maple Cove Apartments and the addition of a pedestrian crosswalk linking Garden Homes Park with the adjacent neighborhood.

Standard sidewalk repair at maintenance note per Chapter 49, Section 4:58 of the City of Ann Arbor Unified Development Code states that "all sidewalks shall be kept and maintained in good repair by the owner of the land adjacent to and abutting the same. Prior to the issuance of the final certificate of occupancy for this site, all existing sidewalks in need of repair must be repaired in accordance with city standards." The North Maple Road site does not include an existing sidewalk. Our project would meet this standard through the construction of a new city compliant sidewalk that would extend south along Maple Road to where it would meet at Maple Cove Apartments.

Natural Features General Descriptions and Impacts: Natural Features General Descriptions and Impacts: A brief summary of the Natural Features (Woodlands, Wetlands, water courses, Landmark Trees, Steep Slopes and Endangered Species Habitat) found on the Site. A detailed report of the quality, character and health of all existing Natural Features, and identification of all proposed impacts.

The North Maple Road Apartment site does not contain any wetlands. There are no identified water courses within the proposed development. The existing wetland and associated setback identified on parcel H-08-24-125-007 directly to the west will be entirely preserved with no impact on the existing grade or natural features.

The North Maple Road Apartment site includes 38 landmark trees of which 22 will be removed. Great care was taken to preserve as many landmark trees as possible while still allowing for site specific design constraints. Our courtyard feature was integral to early design decisions and aimed at saving trees integral to the project. Of the other landmark trees marked for removal, they have been identified to be past their peak ability for carbon sequestration. Replacement of those trees with newly planted mitigation trees will provide for greater lifespan carbon sequestration on site.

- There are two identified woodlands on site.
- There are no identified water courses.
- The development contains 38 landmark trees and will remove and mitigate for 22 landmark trees.
- There are two identified woodlands no site (one woodland will be impacted).
- There are no identified steep slopes.
- There are no identified endangered species, roosts or habitats on site, but should any be identified during the construction process, all recommendation of the U.S. Fish and Wildlife Service and Michigan Department of Natural Resources (MDNR) regulations would be followed as per the city of Ann Arbor's zoning ordinance (Section 5.23.3.B)

Please reference sheet (ES3.0) for more information on the site's natural features, and also refer to the accompanying environmental impact report prepared by Barr Engineering Co.

By adding a protected crossing at our site's location we can connect the west side of North Maple Road with the east, where further trails, parks and other amenities can be directly accessed. This would provide residents with a convenient, safe access point, without having to first walk south along Maple Road in the street or bike lane to reach a safe crossing point at Maple Cove.

**Appropriately sized and selected street trees and landscaping along North Maple.** We are proposing a series of street trees and landscaping that will be maintained and manicured to promote a more pedestrian centered and friendly environment.

**Creation of an improved buffer area along M-14.** A series of evergreen trees over a berm will buffer sound and light pollution generated from the M-14 highway. This buffer will shield the surrounding neighborhood with multilayered landscaping.

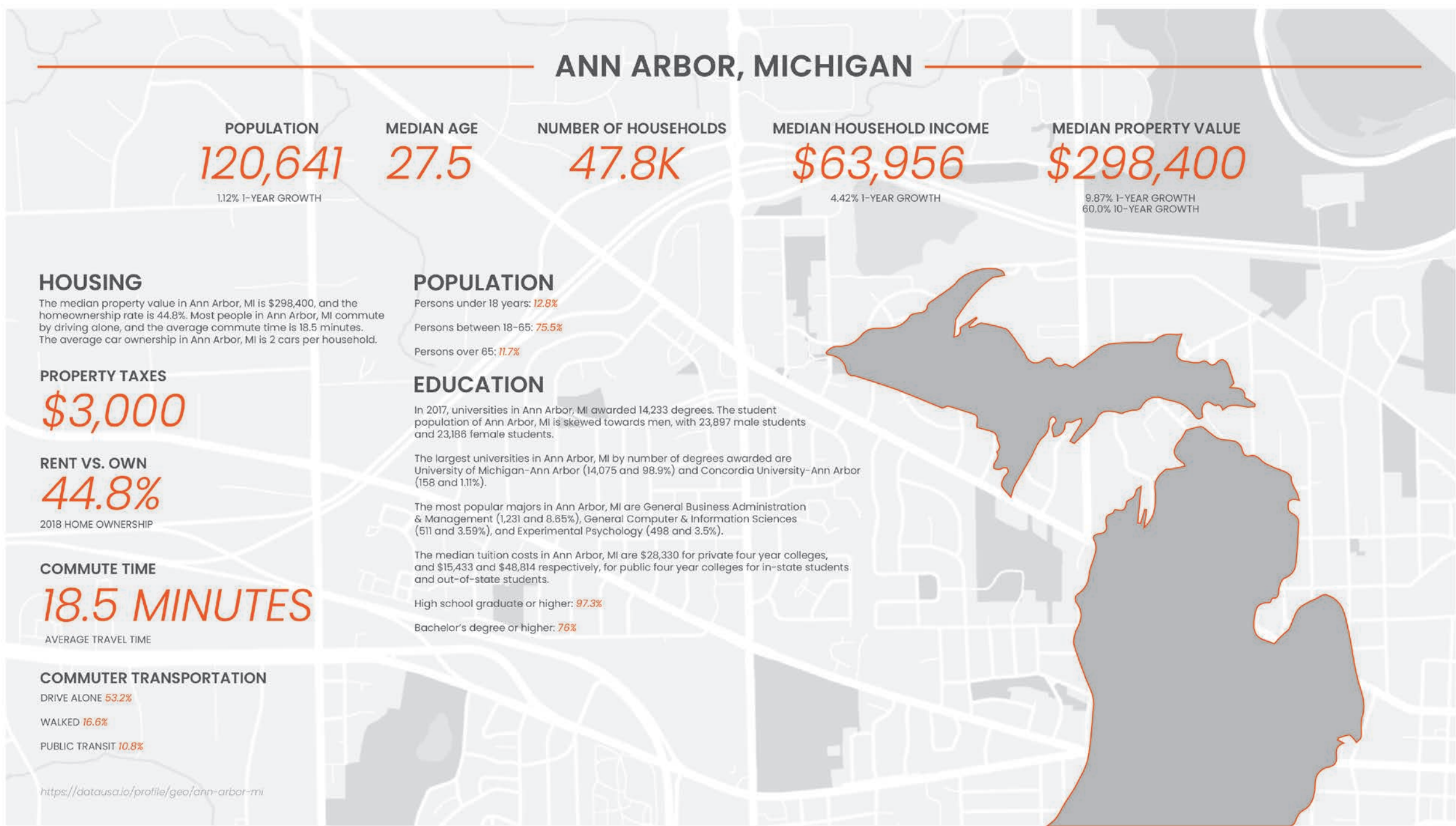
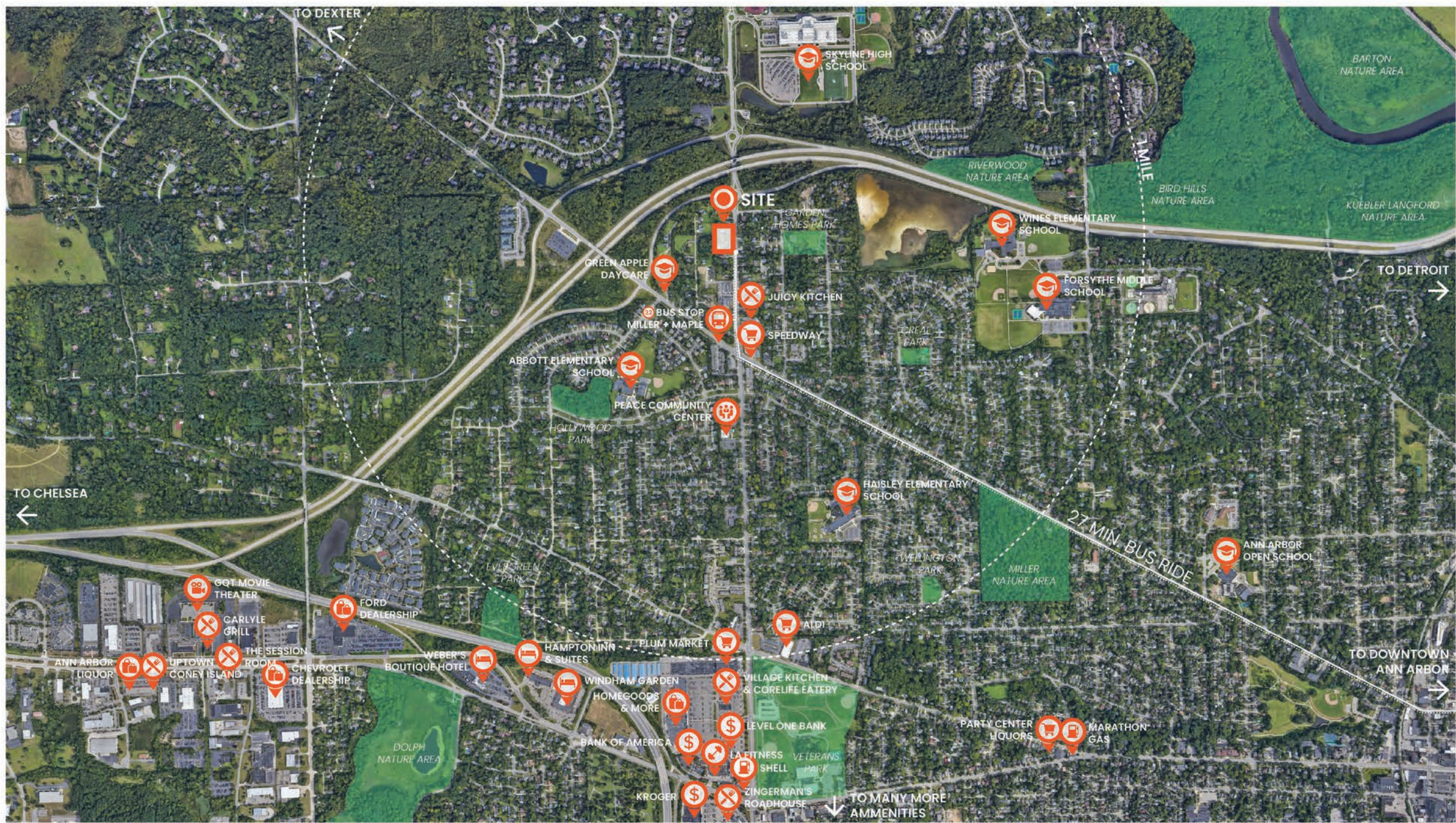
**Our site plan preserves 16 landmark trees as well as an existing 72 other trees that provides shade, visual interest, and wind break to the neighborhood.**

**Preservation of 58% open space throughout the site.** This ensures a pleasant green space that buffers the development from the neighbors while preserving the suburban character of landscaped lawns and yards. Additionally, our site preserves a green courtyard buffer between our parking area and the residential building.

**Utility access with water extension to Calvin Street.** There is currently no opportunity for public water extension to residents on Calvin Street, West of Maple Road. Our proposal will offer the opportunity for Calvin Street Residents to connect to city provided water services.

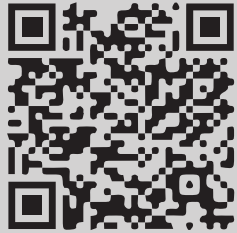
**15% Affordable Housing.** Our proposal offers improved housing opportunities for current and future residents in Ann Arbor. It is our hope that we are able to alleviate the current housing shortage within the city, and to foster an equitable opportunity for residential growth consistent with the City's long term goals and Master Plan.

**Our development will not be reliant on natural gas** and will instead promote and explore the use of alternative clean energy sources, such as solar. We propose removing and capping existing gas lines to remove the risk of dangerous gas leaks and other harmful byproducts typically associated with natural gas use. Our proposal anticipates an all electric future that is sustainable and in line with the city's A2Zero 2030 Caron Initiative.



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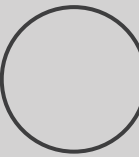
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Scale: 

## Community Analysis

# G1.1

## TITLE INFORMATION

The Title Description and Schedule B items herein are from Liberty Title Agency, Commitment Number:LIB154648, Dated: May 7, 2021.

## TITLE DESCRIPTION

1815 N. Maple:

The land referred to in this Commitment is located in the City of Ann Arbor, County of Washtenaw, State of Michigan, and described as follows:

Commencing at the Northwest corner of East half of Northeast quarter of Section 24 thence South 86 degrees 56 minutes 20 seconds East 10.23 feet on section line; thence South 1 degree 33 minutes 40 seconds West 49.5 feet for a place of beginning; thence South 84 degrees 56 minutes 20 seconds East 206.02 feet; thence South 2 degrees 47 minutes 19 seconds West 164.94 feet; thence North 86 degrees 36 minutes 20 seconds West 202.44 feet; thence North 1 degree 33 minutes 40 seconds East 165 feet to the place of beginning, being part of East half of Northeast quarter Section 24, Scio Township, Washtenaw County, Michigan, excepting a strip of land conveyed to board of county road commissioners in liber 273 Washtenaw County Records, page 575 (also known as Lot 38, Garden Homes Subdivision an unrecorded plat)

## SCHEDULE B - SECTION II NOTES

- Easement/Agreement/Restrictions in favor of The Detroit Edison Company and Michigan Bell Telephone Company as recorded in Liber 1472, page 37, Washtenaw County Records. **Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**
- Release of Right of Way in favor of Board of County Road Commissioners of the County of Washtenaw, as recorded in Liber 273, page 575, Washtenaw County Records. **Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**
- Terms and conditions contained in Agreement as recorded in Liber 2541, page 151, Washtenaw County Records. **Not a survey matter.**
- Terms and conditions contained in Affidavit as recorded in Liber 2563, page 177, Washtenaw County Records. **Not a survey matter.**

## TITLE INFORMATION

The Title Description and Schedule B items herein are from Liberty Title Agency, Commitment Number: LIB154657, Dated: May 7, 2021.

## TITLE DESCRIPTION

1855 N. Maple:

The land referred to in this Commitment is located in the Township of Scio, County of Washtenaw, State of Michigan, and described as follows:

Commencing at a point 62 rods East and 22 rods South of the Northwest corner of the East 1/2 of the Northeast 1/4 of Section 24 and running thence East 201.88 feet; thence South 131.96 feet; thence West 199.02 feet; thence North 132 feet to the place of beginning. Being a part of the Northeast 1/4 of Section 24, Town 2 South, Range 5 East and also known as Lot 39, Garden Homes Subdivision, an unrecorded plat.

## SCHEDULE B - SECTION II NOTES

- Easement/Agreement/Restrictions in favor of The Detroit Edison Company and Michigan Bell Telephone Company as recorded in Liber 1472, page 37, Washtenaw County Records. **Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**
- Release of Right of Way in favor of Board of County Road Commissioners of the County of Washtenaw, as recorded in Liber 273, page 575, Washtenaw County Records. **Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**

## TITLE INFORMATION

The Title Description and Schedule B items herein are from Liberty Title Agency, Commitment Number:LIB154652, Dated: May 7, 2021.

## TITLE DESCRIPTION

1875 N. Maple:

The land referred to in this Commitment is located in the Township of Scio, County of Washtenaw, State of Michigan, and described as follows:

Lot 40 in the UNRECORDED Garden Homes Subdivision, being a part of Section 24 in T2S, R5E, more specifically described as commencing at a point 62 rods east and 10 rods south of the northwest corner of the east half of the northeast quarter of said section and running thence east 213.19 feet; thence south 197.93 feet; thence west 208.88 feet; thence north 198 feet to the place of beginning, excepting and reserving therefrom 7 feet along the entire east side thereof for the widening of the public highway.

## SCHEDULE B - SECTION II NOTES

- Easement/Agreement/Restrictions in favor of The Detroit Edison Company and Michigan Bell Telephone Company as recorded in Liber 1472, page 37, Washtenaw County Records. **Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**
  - Terms and conditions contained in Highway Easement Release as recorded in Liber 780, page 556, Washtenaw County Records. **The easement described in this document is shown on this survey.**
  - Terms and conditions contained in Judgment Confirming Verdict of Jury as recorded in Liber 1053, page 403, Washtenaw County Records. **Not a survey matter.**
  - Terms and conditions contained in Verdict of Jury as recorded in Liber 1050, page 2, Washtenaw County Records. **Right of way takings have been applied.** Reserved driveway has been shown.
- Amendment(s) to the above item as recorded in Liber 1059, page 49, Washtenaw County Records. **Said taking is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**
- Release of Right of Way in favor of Board of County Road Commissioners of the County of Washtenaw, as recorded in Liber 273, page 575, Washtenaw County Records. **Said easement is not on, does not touch, and/or - based on the description contained in the record document - does not affect the surveyed property.**

## SURVEYOR'S CERTIFICATION

To Liberty Title Agency:

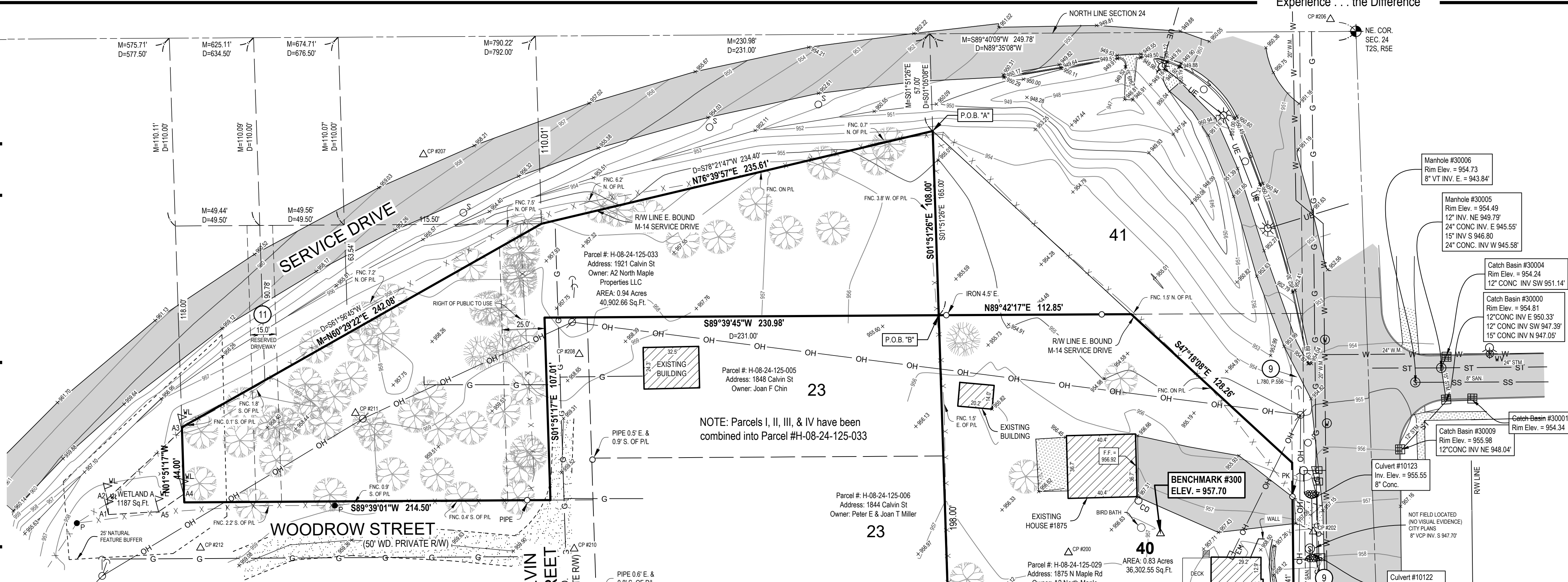
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 9, 11, 13, 18, & 19 of Table A thereof. The fieldwork was completed on July 22, 2021.

Date of Plat or Map: May 12, 2022



Brandon G. Parent  
Professional Surveyor No. 4001063096  
Nederveld, Inc.  
bparent@nederveld.com

NOTE: Parcels I, II, III, & IV have been combined into Parcel #H-08-24-125-033



## TITLE INFORMATION

The Title Description and Schedule B items herein are from Liberty Title Agency, Commitment Number: LIB159666, dated July 20, 2021.

## TITLE DESCRIPTION

The land referred to in this Commitment is located in the Township of Scio, County of Washtenaw, State of Michigan, and described as follows:

Parcel I

Commencing at a point 35 rods East of the Northwest corner of the East 1/2 of the Northeast 1/4 of Section 24, and 110 feet South for a Place of Beginning; thence East 49.5 feet; thence South 162 feet; thence West 49.5 feet; thence North 162 feet to the Place of Beginning, being a part of the Northeast 1/4 of Section 24, Town 2 South, Range 5 East, Scio Township, Washtenaw County, Michigan, reserving a portion thereof described as follows: The right to use in common with other owners of Lot 9 in the Garden Homes Subdivision, unrecorded, a driveway 15 feet wide extending from the South line of Lot 9 North a distance of 162 feet, said driveway to be located in the exact middle of said Lot 9 and for the purpose of said driveway a strip of land 7.5 feet wide and 162 feet long is reserved from the last described land, excepting therefrom that part taken by the Michigan State Highway as described in Liber 1050, page 2, Washtenaw County Records.

Parcel II

All that part of a parcel of land described as: Beginning at a point 634.5 feet East and 110 feet South of the Northwest corner of the East 1/2 of the Northeast 1/4 of Section 24, Town 2 South, Range 5 East, Scio Township, Washtenaw County, Michigan, and running thence East 42 feet; thence South 162 feet; thence West 42 feet; thence North 162 feet to the Place of Beginning, which lies Southerly of a line described as: Beginning at a point on the North line of said Section 24 which is North 89 degrees 35 minutes 08 seconds West a distance of 249.78 feet from the Northeast corner of said Section 24; thence South 01 degrees 05 minutes 08 seconds East a distance of 57 feet; thence South 78 degrees 21 minutes 47 seconds West a distance of 234.40 feet; thence South 61 degrees 56 minutes 45 seconds West a distance of 400 feet to the Point of Ending.

Parcel III

A portion of Lot 10 in the Garden Homes Subdivision, unrecorded, being a part of Section 24, Town 2 South, Range 5 East, Scio Township, Washtenaw County, Michigan, more specifically described as commencing at a point 35 rods East of the Northwest corner of the East 1/2 of the Northeast 1/4 of Section 24, Town 2 South, Range 5 East, Scio Township, Washtenaw County, Michigan, and running thence East 42 feet; thence South 162 feet; thence West 42 feet; thence North 162 feet to the Place of Beginning, which lies Southerly of a line described as: Beginning at a point on the North line of said Section 24, which is North 89 degrees 35 minutes 08 seconds West a distance of 249.78 feet from the Northeast corner of said Section 24; thence South 01 degrees 05 minutes 08 seconds East a distance of 57 feet; thence South 78 degrees 21 minutes 47 seconds West a distance of 234.40 feet to the Point of Ending.

Parcel IV

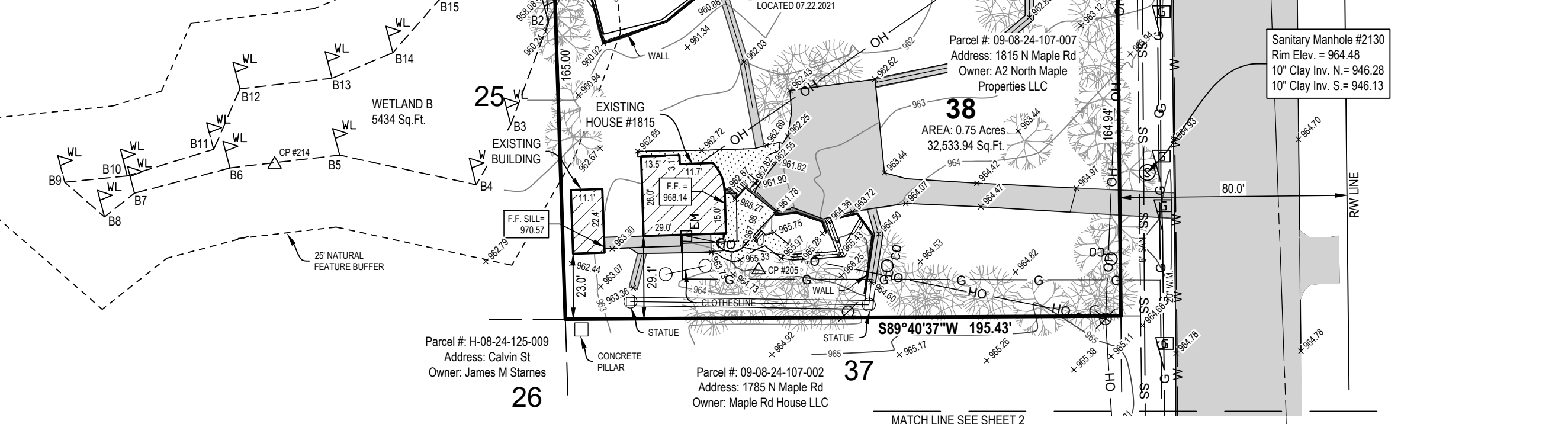
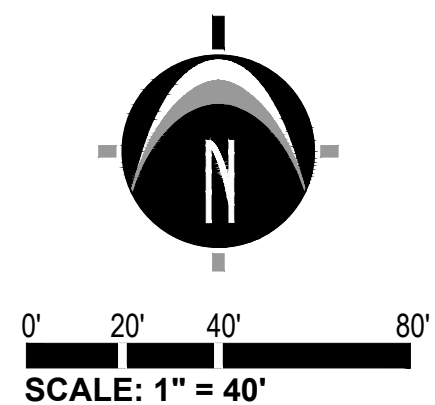
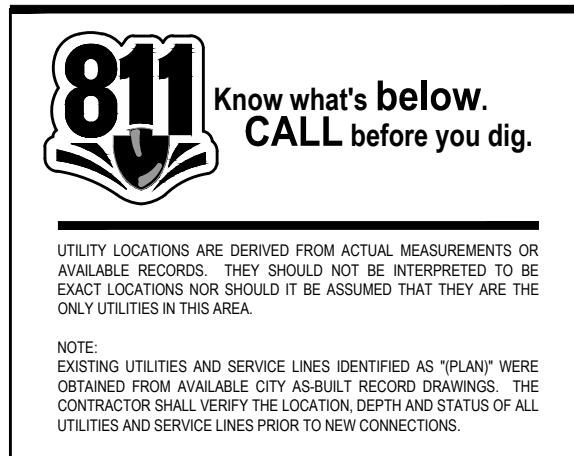
All that part of a parcel of land in the Northeast 1/4 of Section 24, Town 2 South, Range 5 East, Scio Township, Washtenaw County, Michigan, described as: Beginning 792 feet East of the Northwest corner of the East 1/2 of the Northeast 1/4 of said Section 24; thence East 231 feet; thence South 165 feet to the Point of Beginning, which lies Southerly of a line described as: Beginning at a point on the North line of Section 24, which is North 89 degrees 35 minutes 08 seconds West a distance of 249.78 feet from the Northeast corner of said Section 24; thence South 01 degrees 05 minutes 08 seconds East a distance of 57 feet; thence South 78 degrees 21 minutes 47 seconds West a distance of 300 feet to the Point of Ending.

## SCHEDULE B - SECTION II NOTES

No easements listed.

## SURVEYOR'S NOTES

- ALTA TABLE "A" ITEM NO. 1 - Existing and placed monuments at all major corners of the boundary of the property have been shown.
- ALTA TABLE "A" ITEM NO. 2 - Address of the surveyed property is 1815, 1855, 1875 N. Maple Road and 1921 Calvin Street, Ann Arbor, MI 48103.
- ALTA TABLE "A" ITEM NO. 3 - Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260537, Map Number 26161C0241E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X (subject to map scale uncertainty). No field surveying was performed to determine this zone.
- ALTA TABLE "A" ITEM NO. 4 - Gross Land Area: 136,194.12 Square Feet / 3.12 Acres
- ALTA TABLE "A" ITEM NO. 5 - Vertical relief shown per ground survey at 1' contour interval, NAVD83 Datum.
- ALTA TABLE "A" ITEM NO. 7(a) - **Exterior dimensions of all permanent buildings at ground level have been shown.**
- ALTA TABLE "A" ITEM NO. 8 - Substantial features observed in the process of conducting fieldwork have been shown.
- ALTA TABLE "A" ITEM NO. 9 - Parking Information  
**No parking spaces observed at time of survey.**
- ALTA TABLE "A" ITEM NO. 11 - See Note 14 below.
- ALTA TABLE "A" ITEM NO. 13 - Names of adjoining owners have been shown according to current tax records.
- ALTA TABLE "A" ITEM NO. 18 - Any plottable offsite easements or servitudes disclosed in documents provided to or obtained by the surveyor as part of the survey have been shown.
- Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.6.N. to develop a view of underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- Basis of Bearing: NAD83 Michigan State Planes, South Zone, International Foot. AAGRS is also NAD83 MI State Plane.
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- Tree List and Wetland Flagging provided by Barr Engineering Co., Project No. 22811005.00



## DESCRIPTION

PARCEL "1921 CALVIN" DESCRIPTION: Part of Lots 9, 10, and 23, Plat of Garden Homes Subdivision, unrecorded, being part of the Northeast 1/4 of Section 24, Town 2 South, Range 5 East, Scio Township, Washtenaw County, Michigan, described as: Commencing at the Northeast corner of said Section; thence S89°40'09"W 249.78 feet along the North line of said Section; thence S01°51'26"E 57.00 feet to the Point of Beginning; thence continuing S01°51'26"E 108.00 feet; thence S89°39'45"W 230.98 feet; thence S01°51'17"E 107.01 feet; thence S89°39'01"W 214.50 feet along the North right-of-way line of Woodrow Street; thence N01°51'17"W 44.00 feet; thence N60°29'22"E 242.08 feet along the right-of-way line of East bound M-14 Service Drive; thence N76°39'57"E 235.61 feet along said East bound M-14 Service Drive to the Point of Beginning. Contains 0.94 acres. Subject to any and all easements, restrictions, right-of-way of record.

## BENCHMARKS

**BENCHMARK #300 ELEV. = 957.70 (NAVD88/AAGRS)**  
HUB, located 13' +/- Southwest of edge of pavement for driveway to House #1855 and 95' +/- West of edge of pavement for N. Maple Road.

**BENCHMARK #301 ELEV. = 960.50 (NAVD88/AAGRS)**  
Nail in North side of power pole, located 16.5' +/- West of edge of pavement for N. Maple Road and 24' +/- Southeast of the Southeast corner of House #1875.

NAVD88 = AAGRS (ANN ARBOR GEODETIC REFERENCE SYSTEM)

## LOCATION MAP

NOT TO SCALE



**NEDERVELD**  
www.nederveld.com  
800.222.1868  
**ANN ARBOR**  
3037 Miles Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963  
**CHICAGO**  
**COLUMBUS**  
**GRAND RAPIDS**  
**HOLLAND**  
**INDIANAPOLIS**  
**ST. LOUIS**

## PREPARED FOR:

A2 North Maple Properties LLC  
Jeff Wilkerson

2370 East Stadium  
Suite 305  
Ann Arbor, MI 48103

## CREATED:

Drawn: R.Parmo Date: 07.22.21

## REVISIONS:

Rev. Add wetland tags and area	Date: 08.24.21
Drawn: RP	
Rev. Revise parcel owners of all parcels to A2	Date: 09.15.21
Drawn: RP	
Rev. Additional topo	Date: 11.24.21
Drawn: RP	
Rev. Client Revisions	Date: 1.10.22
Drawn: BP	
Rev. Revise inverts	Date: 1.26.22
Drawn: RP	
Rev. Revisions per client	Date: 04.14.22
Drawn: RP	
Rev. Revisions per client - show 1921 Calvin as one parcel	Date: 05.12.22
Drawn: RP	

## N. MAPLE ROAD & CALVIN STREET

### ALTANSPS Land Title Survey

1815, 1855, 1875 North Maple Road & 1921 Calvin Street, Ann Arbor, MI 48103  
GARDEN HOMES SUBDIVISION, PART OF THE NORTHEAST 1/4 OF SECTION 24, T2S, R5E, SCIO TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

## STAMP:

**PROJECT NO:**  
21500151

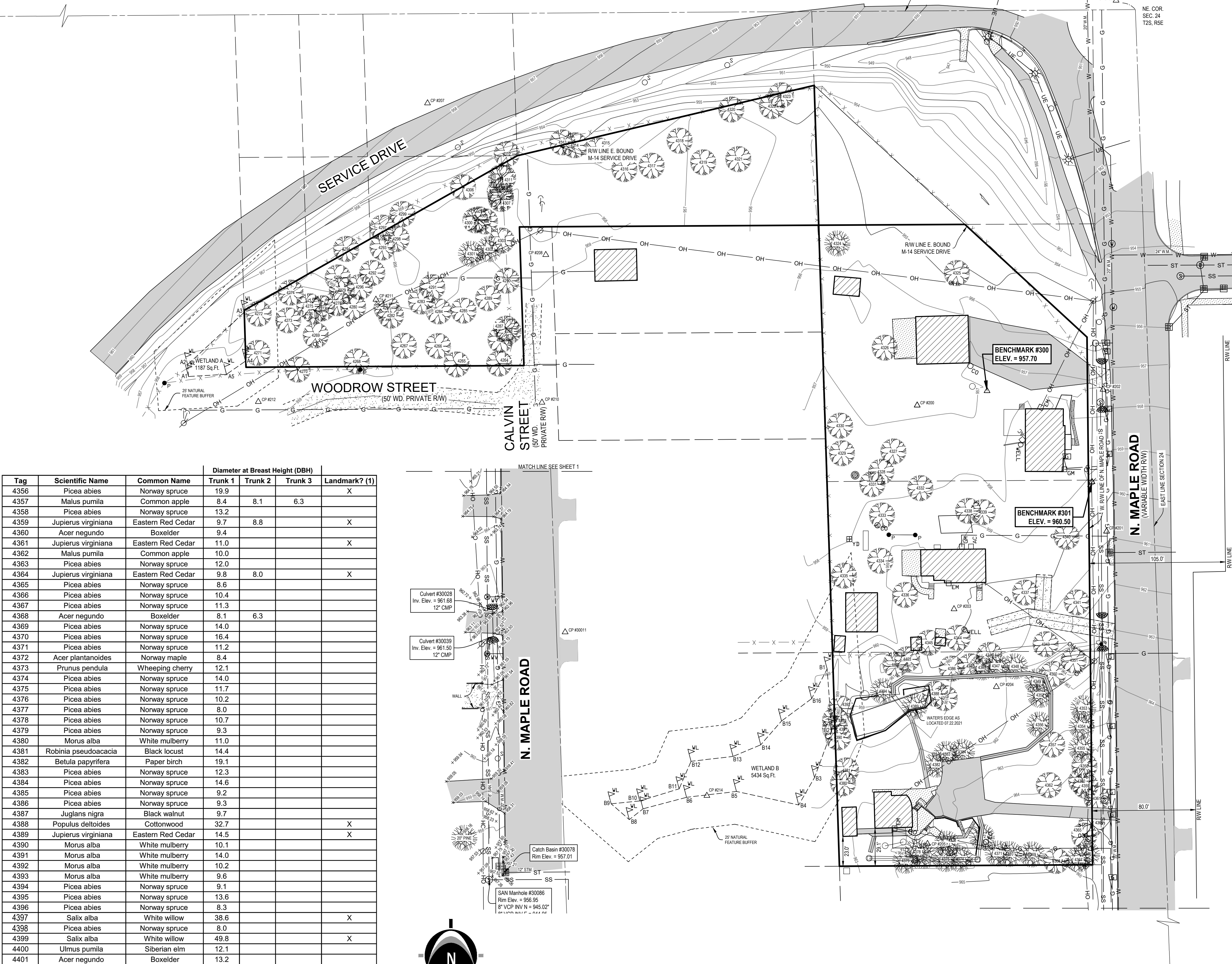
**SHEET NO:**

**AL.5**

**SHEET: 1 OF 2**

Tag	Scientific Name	Common Name	Diameter at Breast Height (DBH)			Landmark? (1)
			Trunk 1	Trunk 2	Trunk 3	
4264	Acer plantanoides	Norway maple	15.2	9.6	9.3	
4265	Acer plantanoides	Norway maple	10.3			
4266	Quercus velutina	Black oak	24.3			X
4267	Tilia americana	Basswood	19.2			X
4268	Quercus bicolor	Swamp white oak	8.1			
4269	Populus deltoides	Cottonwood	19.2			
4270	Acer plantanoides	Norway maple	8.2			
4271	Quercus bicolor	Swamp white oak	29.6			X
4272	Quercus bicolor	Swamp white oak	25.8			X
4273	Quercus bicolor	Swamp white oak	26.3			X
4274	Populus deltoides	Cottonwood	17.2			
4275	Populus deltoides	Cottonwood	12.3			
4276	Populus deltoides	Cottonwood	16.6			
4277	Populus deltoides	Cottonwood	10.2			
4278	Populus deltoides	Cottonwood	18.1			
4279	Populus deltoides	Cottonwood	15.2			
4280	Populus deltoides	Cottonwood	13.3			
4281	Carya ovata	Shagbark hickory	15.2			
4282	Carya ovata	Shagbark hickory	16.2			X
4283	Quercus alba	White oak	20.2			X
4284	Carya glabra	Pignut hickory	11.7			
4285	Acer plantanoides	Norway maple	15.6			
4286	Acer rubrum	Red maple	25.4	13.3		X
4287	Quercus rubra	Red oak	11.7			
4288	Quercus rubra	Red oak	8.1			
4289	Acer plantanoides	Norway maple	8.3			
4290	Ulmus americana	American elm	11.6			
4291	Carya ovata	Shagbark hickory	14.3			
4292	Ulmus americana	American elm	9.4			
4293	Quercus bicolor	Swamp white oak	28.3			X
4294	Quercus bicolor	Swamp white oak	27.8			X
4295	Ulmus americana	American elm	9.4			
4296	Quercus bicolor	Swamp white oak	28.1			X
4297	Acer plantanoides	Norway maple	11.8			
4298	Quercus bicolor	Swamp white oak	26.8			X
4299	Quercus bicolor	Swamp white oak	23.8			X
4300	Acer plantanoides	Norway maple	9.1			
4301	Picea abies	Norway spruce	18.1			X
4302	Picea abies	Norway spruce	12.6			
4303	Acer plantanoides	Norway maple	20.3			X
4304	Populus deltoides	Cottonwood	29.8			
4305	Acer plantanoides	Norway maple	9.1			
4306	Acer plantanoides	Norway maple	10.6	9.0		
4307	Acer plantanoides	Norway maple	8.7			
4308	Acer plantanoides	Norway maple	8.5			
4309	Acer plantanoides	Norway maple	11.2			

Tag	Scientific Name	Common Name	Diameter at Breast Height (DBH)			Landmark? (1)
			Trunk 1	Trunk 2	Trunk 3	
4310	Acer plantanoides	Norway maple	8.4			
4311	Acer plantanoides	Norway maple	9.0			
4312	Acer plantanoides	Norway maple	9.4			
4313	Acer plantanoides	Norway maple	8.0			
4314	Acer plantanoides	Norway maple	8.1			
4315	Juglans nigra	Black walnut	16.1			
4316	Acer plantanoides	Norway maple	10.6			
4317	Acer plantanoides	Norway maple	13.2			
4318	Acer plantanoides	Norway maple	9.3			
4319	Acer plantanoides	Norway maple	8.4			
4320	Acer plantanoides	Norway maple	10.2			
4321	Salix matsudana	Corkscrew willow	10.1			
4322	Populus grandidentata	Big-toothed aspen	9.3			
4323	Acer negundo	Boxelder	11.7	9.3	8.2	
4324	Pinus sylvestris	Scotch pine	12.8	9.4		
4325	Acer negundo	Boxelder	16.6			X
4326	Acer negundo	Boxelder	14.6			
4327	Acer saccharum	Silver maple	20.3			X
4328	Acer saccharum	Silver maple	11.6	10.4	7.9	
4329	Salix alba	White willow	38.7			X
4330	Salix alba	White willow	43.7			X
4331	Acer saccharum	Silver maple	12.2	10.8		
4332	Populus deltoides	Cottonwood	25.7			X
4333	Acer saccharum	Silver maple	35.1			X
4334	Catalpa speciosa	Northern catalpa	11.4			
4335	Salix alba	White willow	29.8			X
4336	Robinia pseudoacacia	Black locust	14.4	11.7	9.3	
4337	Acer saccharum	Silver maple	20.0	17.1	12.1	X
4338	Acer saccharum	Silver maple	22.0			X
4339	Acer saccharum	Silver maple	26.1			X
4340	Acer rubrum	Red maple	23.0			X
4341	Picea abies	Norway spruce	8.1			
4342	Picea abies	Norway spruce	15.0			
4343	Picea abies	Norway spruce	10.7			
4344	Acer saccharum	Silver maple	13.3			
4345	Populus deltoides	Cottonwood	26.3			X
4346	Acer plantanoides	Norway maple	16.2			X
4347	Picea abies	Norway spruce	8.1			
4348	Picea abies	Norway spruce	12.3			
4349	Picea abies	Norway spruce	11.0			
4350	Malus pumila	Common apple	10.3			
4351	Picea abies	Norway spruce	9.1			X
4352	Picea abies	Norway spruce	19.0			
4353	Jupierus virginiana	Eastern Red Cedar	10.4	9.3		
4354	Malus pumila	Common apple	10.3			
4355	Jupierus virginiana	Eastern Red Cedar	9.3	8.8	8.2	X



Tag	Scientific Name	Common Name	Diameter at Breast Height (DBH)			Landmark? (1)
			Trunk 1	Trunk 2	Trunk 3	
4356	Picea abies	Norway spruce	19.9			X
4357	Malus pumila	Common apple	8.4	8.1	6.3	
4358	Picea abies	Norway spruce	13.2			
4359	Jupierus virginiana	Eastern Red Cedar	9.7	8.8		X
4360	Acer negundo	Boxelder	9.4			
4361	Jupierus virginiana	Eastern Red Cedar	11.0			X
4362	Malus pumila	Common apple	10.0			
4363	Picea abies	Norway spruce	12.0			
4364	Jupierus virginiana	Eastern Red Cedar	9.8	8.0		X
4365	Picea abies	Norway spruce	8.6			
4366	Picea abies	Norway spruce	10.4			
4367	Picea abies	Norway spruce	11.3			
4368	Acer negundo	Boxelder	8.1	6.3		
4369	Picea abies	Norway spruce	14.0			
4370	Picea abies	Norway spruce	16.4			
4371	Picea abies	Norway spruce	11.2			
4372	Acer plantanoides	Norway maple	8.4			
4373	Prunus pendula	Wheeping cherry	12.1			
4374	Picea abies	Norway spruce	14.0			
4375	Picea abies	Norway spruce	11.7			
4376	Picea abies	Norway spruce	10.2			
4377	Picea abies	Norway spruce	8.0			
4378	Picea abies	Norway spruce	10.7			
4379	Picea abies	Norway spruce	9.3			
4380	Morus alba	White mulberry	11.0			
4381	Robinia pseudoacacia	Black locust	14.4			
4382	Betula papyrifera	Paper birch	19.1			
4383	Picea abies	Norway spruce	12.3			
4384	Picea abies	Norway spruce	14.6			
4385	Picea abies	Norway spruce	9.2			
4386	Picea abies	Norway spruce	9.3			
4387	Juglans nigra	Black walnut	9.7			
4388	Populus deltoides	Cottonwood	32.7			X
4389	Jupierus virginiana	Eastern Red Cedar	14.5			X
4390	Morus alba	White mulberry	10.1			
4391	Morus alba	White mulberry	14.0			
4392	Morus alba	White mulberry	10.2			
4393	Morus alba	White mulberry	9.6			
4394	Picea abies	Norway spruce	9.1			
4395	Picea abies	Norway spruce	13.6			
4396	Picea abies	Norway spruce	8.3			
4397	Salix alba	White willow	38.6			X
4398	Picea abies	Norway spruce	8.0			
4399	Salix alba	White willow	49.8			X
4400	Ulmus pumila	Siberian elm	12.1			
4401	Acer negundo	Boxelder	13.2			

Tag	Scientific Name	Common Name	Diameter at Breast Height (DBH)			Landmark? (1)
			Trunk 1	Trunk 2	Trunk 3	
4402	Acer negundo	Boxelder	11.1			
4403	Ulmus americana	American elm	9.1			

(1) Landmark as per City of Ann Arbor ordinance. Refer to Tree Health/Condition Factors forms for additional Landmark Tree evaluations.

NOTE: TREE #S 4342, 4376, 4395, 4396, 4400, & 4402 were unable to be field located.

**811** Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**LEGEND**

AC	Air Conditioner	WELL	Water Well	ST	Storm
△	Benchmark / Control Point	YD	Yard Drain	W	Watermain
○	Catch Basin - Round	UE	Underground Electric	X - X - X	Fence
□	Catch Basin - Square	OH	Overhead Utility	ASPH	Asphalt
CO	Cleanout	G	Gas	CONC	Concrete
EM	Culvert	SS	Sanitary	EXIST	Existing Building
EM	Electric Meter				
GM	Gas Meter				
GA	Guy Anchor				
Hydrant	Hydrant				
Iron - Set	Iron - Set				
Iron - Found	Iron - Found				
Light Pole	Light Pole				
Miss Dig Flag - Gas	Miss Dig Flag - Gas				
Post	Post				
Section Corner	Section Corner				
Sign	Sign				
Utility Pole	Utility Pole				
Wetland Marker	Wetland Marker				





Wetland Natural Features Setback:  
Identified Wetland 'B' is located just off the south end of the site and has a 25 foot natural features setback (as shown in the drawing). Approximately +/- 1,140 sqft. of this wetland setback will be included in the conflicting land use buffer. Our development will protect the wetland boundary with silt fences during removals and construction phases. The area located adjacent to the parking and within the wetland setback will be planted with similar plants to encourage the maintenance of the wetland habitat.



Natural features listed in the Natural Features Summary are referenced from Ann Arbor's UDC 6th Edition (Effective as of November 21, 2021).




















No habitats, roosts, or endangered species have been identified on site during the survey process or have previously been identified according to U.S. Fish and Wildlife Service. Any discovery or identification of endangered species, habitats, or roosts will be conserved/protected according to the U.S. Fish and Wildlife Service and Michigan Department of Natural Resources (MDNR) regulations as per the city of Ann Arbor's zoning ordinance (Section 5.23.3.B).

Michigan is within the range of both the Indiana Bat and the Northern Long-Eared Bat, which utilize trees for roosting and/or maternity sites. Forested habitat is limited within the site and the preferred habitat for Indiana Bat, and Northern Long-Eared Bat were not identified during site reconnaissance. Additionally, the adjacent areas include a multi-lane highway, urban residential housing and commercial which are not considered ideal habitat for these species. There is also minimal direct connective habitat from the site to other more suitable habitat, including larger woodlots with wetlands or ponds available.

3) Woodlands: Two  
According to the tree survey conducted on July 22nd, 2021 there were two woodlands located on the parcels. One woodland was identified on the four (4) parcels to the North (Parcel 1921, I, II, III, and IV). This woodland appears to qualify for the City of Ann Arbor's definition of 'Urban Woodland'. However, the woodland will not be impacted by the proposed development, and will be increased in size due to mitigation efforts to create a tree buffer along M-14. A second woodland was identified on the South side of the development (parcel 1815 and 1855). This woodland appears to qualify for the City of Ann Arbor's definition of 'Urban Woodland' as suburban landscaping trees grew larger. This woodland will be impacted by this development but it will be mitigated for on and off site.

5) Steep Slopes: None  
According to a topographic survey conducted on July 22nd, 2021 there were no steep slopes identified.

Wetland A: Wetland A is a small PFO wetland located in the western portion of the AOI. The on-site portion of Wetland A is approximately 0.03 acres in size. The vegetation identified within the wetland included species such as common buckthorn (*Rhamnus cathartica*), and swamp white oak (*Quercus bicolor*). Primary and secondary wetland hydrology indicators and hydric soil were observed in Wetland A. The boundaries of this wetland were identified using flags A1 through A5.

	Air Conditioner	
	Benchmark / Control Point	
	Catch Basin - Round	
	Catch Basin - Square	
	Cleanout	
	Culvert	
	Electric Meter	
	Gas Meter	
	Guy Anchor	
	Woodland	

Hydrant

Iron - Set

Iron - Found

Light Pole

Miss Dig Flag - Gas

Post

Section Corner

Sign

Utility Pole

Diagram labels: B9, WL, B10, WL, WL, B11, WL

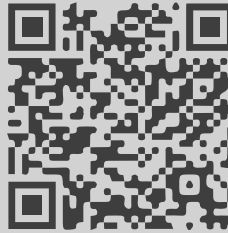
Landmark Trees: 38  
Existing = 38  
Preserved = 16

83 dwelling units x .0125 acres (the amount desired to keep pace with existing parkland density) x \$50,000/acre (the average cost for parkland/acre) = \$51,875



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Address



Project #	21030
PUD Zoning Etrakit #	Z22-00
	SP22-00

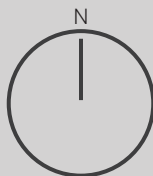
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Revisions		
Date	By	For
01.27.2022	A2	City of Ann Arbor
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07.07.2022	A2	City of Ann Arbor
08.10.2022	A2	City of Ann Arbor

Owner / Applicant  
A2 North Maple Properties, LLC  
Jeff Wilkerson  
2370 E. Stadium Blvd. #305  
Ann Arbor, MI 48104

Site Design  
A2 Collaborative, LLC  
1510 Eisenhower Place  
Ann Arbor, MI 48108

Project North



Scale: 0' 30' 60'

## Natural Features Plan

# ES3.0

A2 Collaborative 202



# North Maple Road Apartments

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Address



Project # 210302  
PLUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # SP22-004

NOT FOR CONSTRUCTION

Revisions		
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01.27.2022	A2	City of Ann Arbor
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Project North

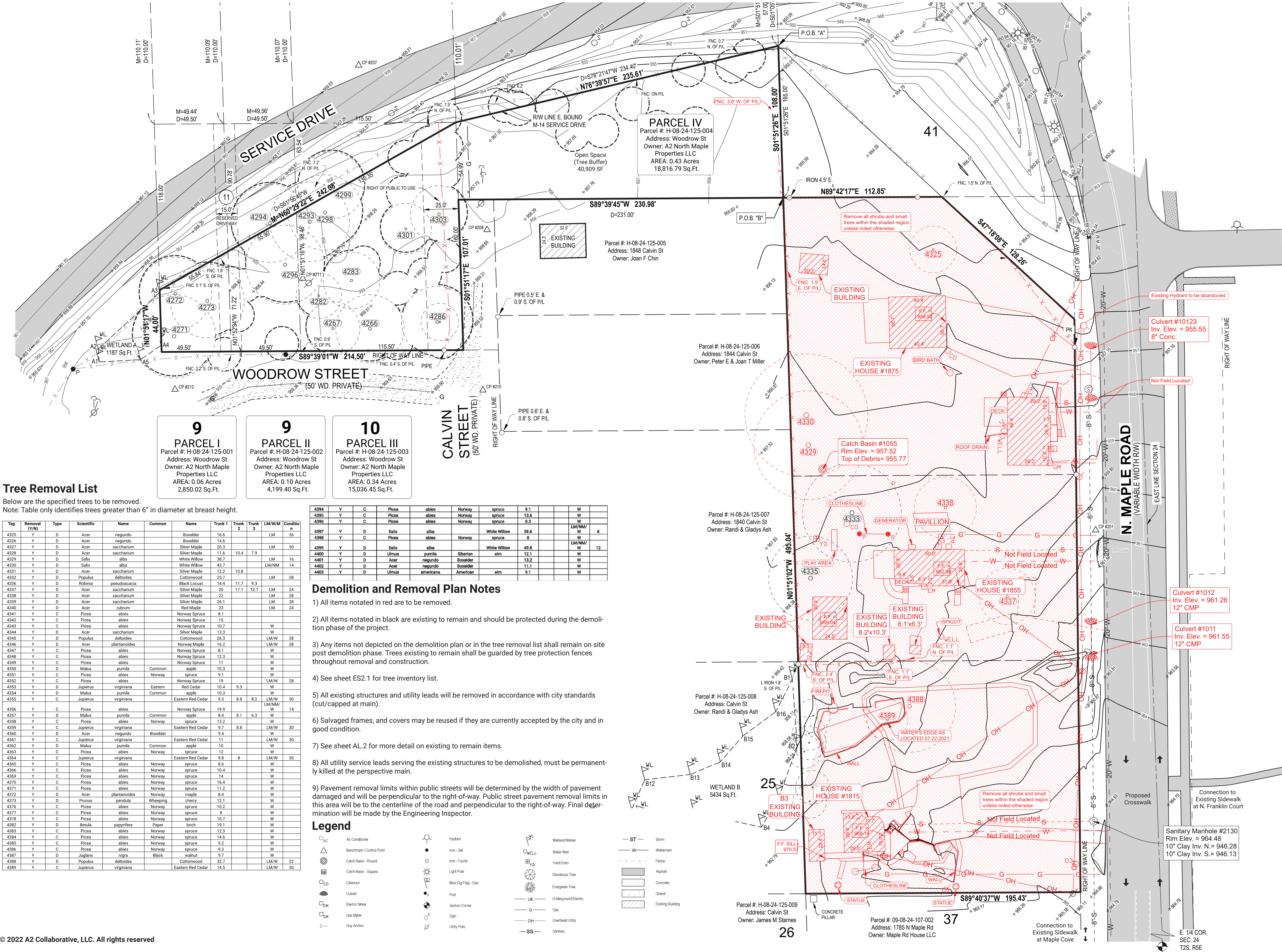


Scale: 0' 30' 60'

Demolition and Removals Plan

D1.0

A2 Collaborative 2022



## Tree Removal List

Below are the specified trees to be removed.  
Note: Table only identifies trees greater than 6" in diameter at breast height.

Tag	Removal (Y/N)	Type	Scientific	Name	Common	Name	Trunk 1	Trunk 2	Trunk 3	LM/W/M	Condition
4325	Y	D	Acer	negundo		Boxelder	16.6			LM	26
4326	Y	D	Acer	negundo		Boxelder	14.6			LM	30
4327	Y	D	Acer	saccharum		Silver Maple	20.3			LM	30
4328	Y	D	Acer	saccharum		Silver Maple	11.6	10.4	7.9	LM	30
4329	Y	D	Salix	alba		White Willow	38.7			LM	16
4330	Y	D	Salix	alba		White Willow	43.7			LM/NM	14
4331	Y	D	Acer	saccharum		Silver Maple	12.2	10.8		LM	28
4332	Y	D	Populus	deltoides		Cottonwood	25.7			LM	28
4336	Y	D	Robinia	pseudacacia		Black Locust	14.4	11.7	9.3	LM	28
4337	Y	D	Acer	saccharum		Silver Maple	20	17.1	12.1	LM	24
4338	Y	D	Acer	saccharum		Silver Maple	22			LM	28
4339	Y	D	Acer	saccharum		Silver Maple	26.1			LM	28
4340	Y	D	Acer	rubrum		Red Maple	23			LM	24
4341	Y	C	Picea	abies		Norway Spruce	8.1			W	
4342	Y	C	Picea	abies		Norway Spruce	15			W	
4343	Y	C	Picea	abies		Norway Spruce	10.7			W	
4344	Y	D	Acer	saccharum		Silver Maple	13.3			W	
4345	Y	D	Populus	deltoides		Cottonwood	26.3			LM/W	28
4346	Y	D	Acer	plantanoides		Norway Spruce	16.2			LM/W	28
4347	Y	C	Picea	abies		Norway Spruce	8.1			W	
4348	Y	C	Picea	abies		Norway Spruce	12.3			W	
4349	Y	C	Picea	abies		Norway Spruce	11			W	
4350	Y	D	Malus	pumila	Common	apple	10.3			W	
4351	Y	C	Picea	abies		Norway Spruce	9.1			W	
4352	Y	C	Picea	abies		Norway Spruce	19			LM/W	28
4353	Y	D	Jupierus	virginiana	Eastern	Red Cedar	10.4	9.3		W	
4354	Y	D	Malus	pumila	Common	apple	10.3			W	
4355	Y	C	Jupierus	virginiana	Common	Eastern Red Cedar	9.3	8.8	8.2	LM/W	30
4356	Y	C	Picea	abies		Norway Spruce	19.9			LM/NM	14
4357	Y	D	Malus	pumila	Common	apple	8.4	8.1	6.3	W	
4358	Y	C	Picea	abies		Norway Spruce	13.2			W	
4359	Y	C	Jupierus	virginiana	Eastern	Red Cedar	9.7	8.8		LM/W	30
4360	Y	D	Acer	negundo		Boxelder	9.4			W	
4361	Y	C	Jupierus	virginiana	Eastern	Red Cedar	11			LM/W	30
4362	Y	D	Malus	pumila	Common	apple	10			W	
4363	Y	C	Picea	abies		Norway Spruce	12			LM/W	30
4364	Y	C	Jupierus	virginiana	Eastern	Red Cedar	9.8	8		LM/W	30
4365	Y	C	Picea	abies		Norway Spruce	8.6			W	
4366	Y	C	Picea	abies		Norway Spruce	10.4			W	
4369	Y	C	Picea	abies		Norway Spruce	14			W	
4370	Y	C	Picea	abies		Norway Spruce	16.4			W	
4371	Y	C	Picea	abies		Norway Spruce	11.2			W	
4372	Y	D	Acer	plantanoides		Norway Spruce	8.4			W	
4373	Y	D	Prunus	penicillata		cherry	12.1			W	
4376	Y	C	Picea	abies		Norway Spruce	10.2			W	
4377	Y	C	Picea	abies		Norway Spruce	8			W	
4378	Y	C	Picea	abies		Norway Spruce	10.7			W	
4382	Y	D	Betula	papyrifera		Paper Birch	19.1			W	
4383	Y	C	Picea	abies		Norway Spruce	12.3			W	
4384	Y	C	Picea	abies		Norway Spruce	14.6			W	
4385	Y	C	Picea	abies		Norway Spruce	9.2			W	
4386	Y	C	Picea	abies		Norway Spruce	9.3			W	
4387	Y	D	Juglans	nigra		Black Walnut	8.2			W	
4388	Y	D	Populus	deltoides		Cottonwood	32.7			LM/W	22
4389	Y	C	Jupierus	virginiana		Eastern Red Cedar	14.5			LM/W	30

## Demolition and Removal Plan Notes

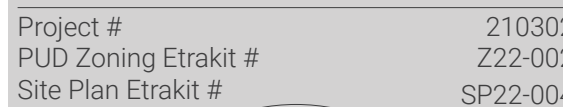
- 1) All items notated in red are to be removed.
- 2) All items notated in black are existing to remain and should be protected during the demolition phase of the project.
- 3) Any items not depicted on the demolition plan or in the tree removal list shall remain on site post demolition phase. Trees existing to remain shall be guarded by tree protection fences throughout removal and construction.
- 4) See sheet ES2.1 for tree inventory list.
- 5) All existing structures and utility leads will be removed in accordance with city standards (cut/capped at main).
- 6) Salvaged frames, and covers may be reused if they are currently accepted by the city and in good condition.
- 7) See sheet AL.2 for more detail on existing to remain items.
- 8) All utility service leads serving the existing structures to be demolished, must be permanently killed at the perspective main.
- 9) Pavement removal limits within public streets will be determined by the width of pavement damaged and will be perpendicular to the right-of-way. Public street pavement removal limits in this area will be to the centerline of the road and perpendicular to the right-of-way. Final determination will be made by the Engineering Inspector.

## Legend

AC	Air Conditioner	Hydrant	Well	Welland Marker
CP	Benchmark / Control Point	Iron - Set	Water Well	Water Well
CB	Catch Basin - Round	Iron - Found	Yard Drain	Yard Drain
CS	Catch Basin - Square	Light Pole	Deciduous Tree	Deciduous Tree
CD	Cleanout	Miss Dig Flag - Gas	Evergreen Tree	Evergreen Tree
CU	Culvert	Post	Underground Electric	Underground Electric
EM	Electric Meter	Section Corner	Gas	Gas
GM	Gas Meter	Sign	Overhead Utility	Overhead Utility
GA	Gray Anchor	Utility Pole	Sanitary	Sanitary



Address



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Revisions		
Date	By	For
01.27.2022	A2	City of Ann Arbor
04.15.2022	A2	City of Ann Arbor
07.07.2022	A2	City of Ann Arbor
08.10.2022	A2	City of Ann Arbor

Site Design  
A2 Collaborative, LLC  
1510 Eisenhower Place  
Ann Arbor, MI 48108

Project North

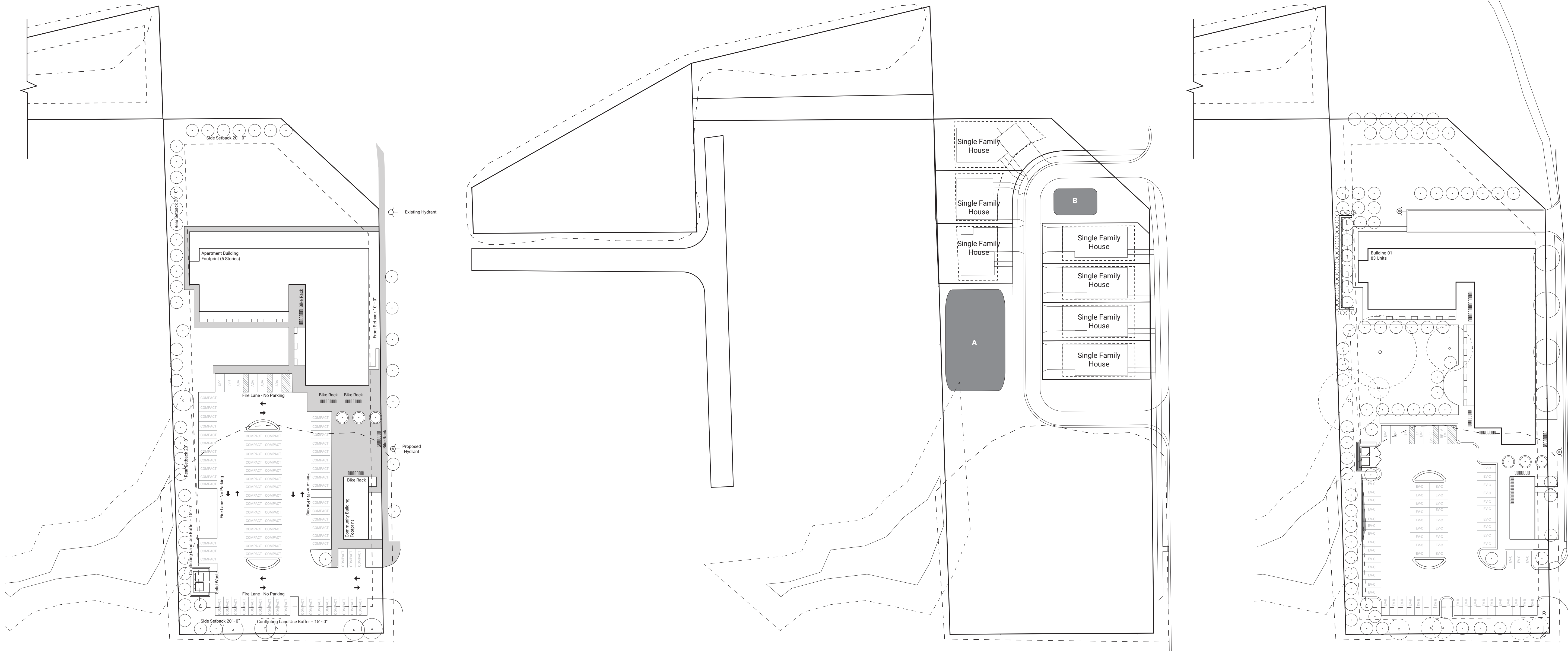


### Alternate Analysis

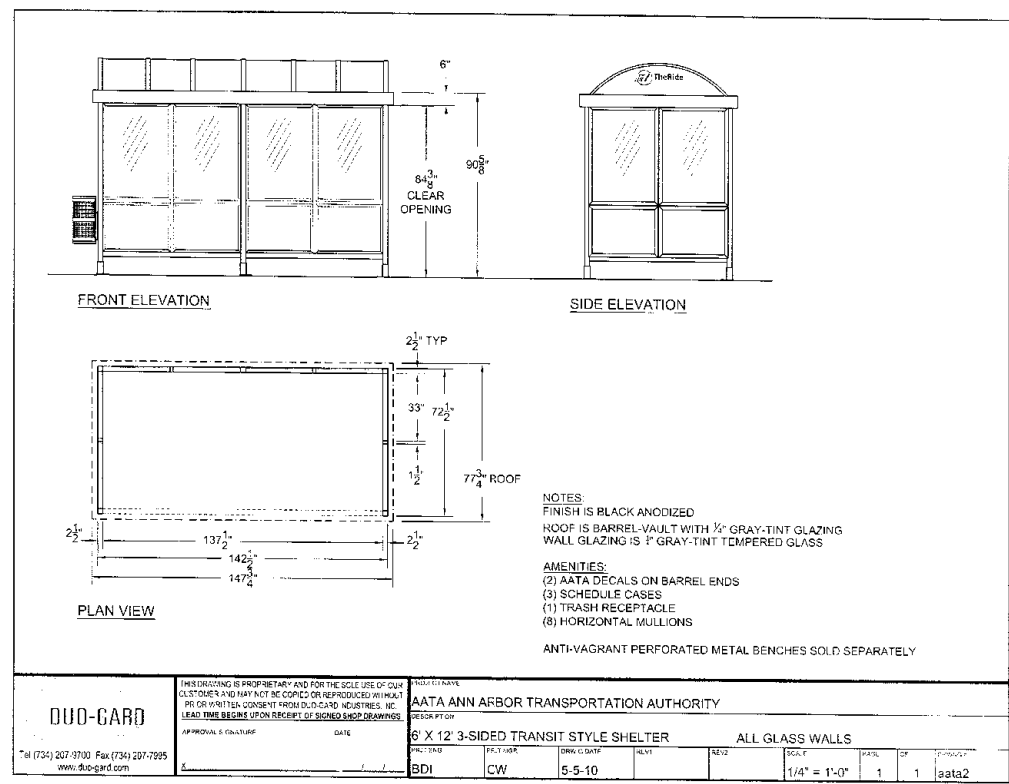
# AS1.0

A2 Collaborative

202

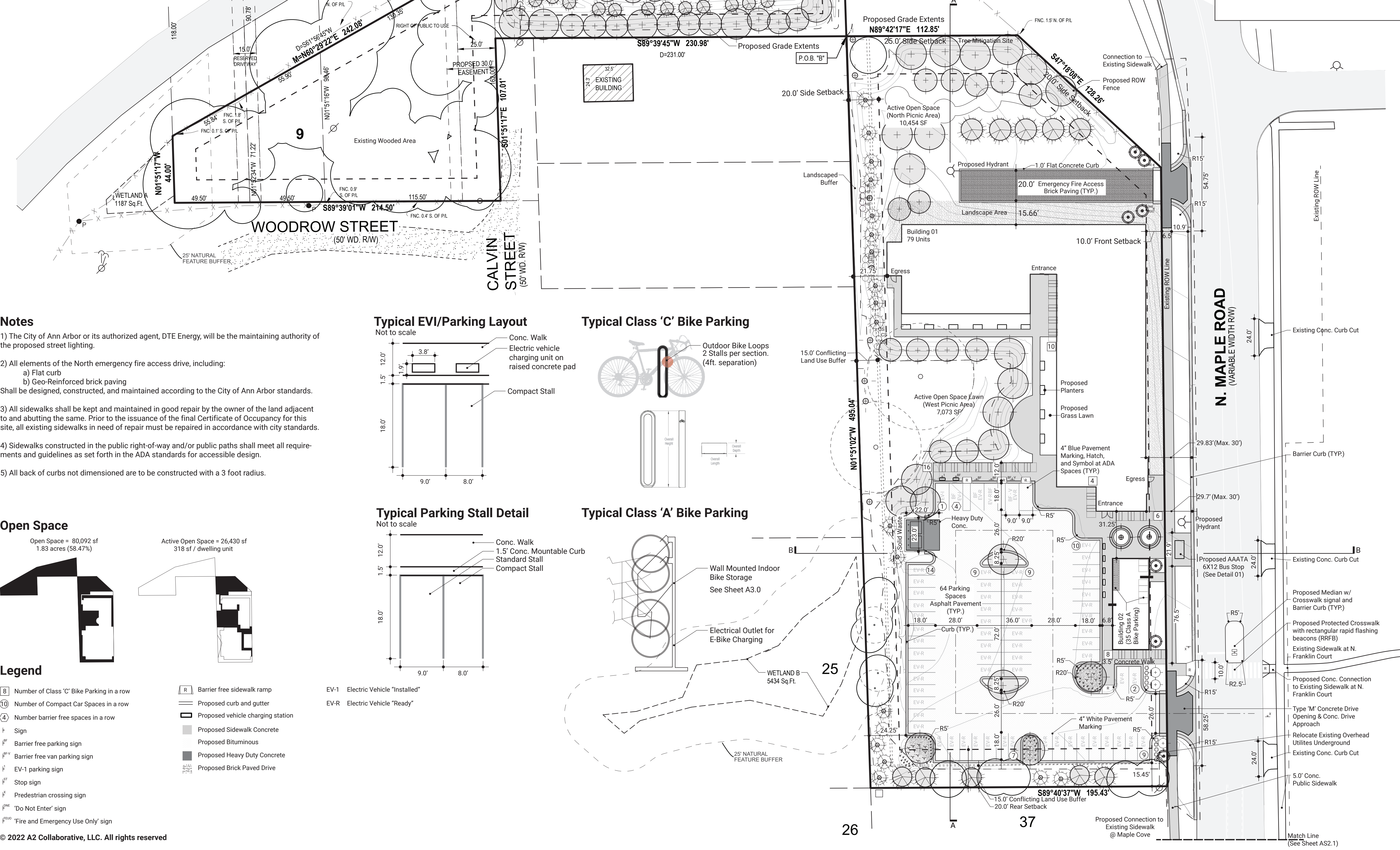


**Original Proposed Impervious Cover:**  
Asphalt = 23,609 sf  
Building = 15,346 sf



AAATA 6' X 12' Transit Shelter

AAATA 6' X 12' Bus Stop  
Detail 01  
Scale 1" = 10'



# North Maple Road Apartments

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Address

Project # 210302  
PUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # Z22-004

Revisions

Date	By	For
04.15.2022	A2	City of Ann Arbor
05.20.2022	A2	City of Ann Arbor
07.07.2022	A2	City of Ann Arbor
08.10.2022	A2	City of Ann Arbor

Owner / Applicant  
A2 North Maple Properties, LLC  
Jeff Wilkerson  
2370 E. Stadium Blvd. #305  
Ann Arbor, MI 48104

Site Design  
A2 Collaborative, LLC  
1510 Eisenhower Place  
Ann Arbor, MI 48108

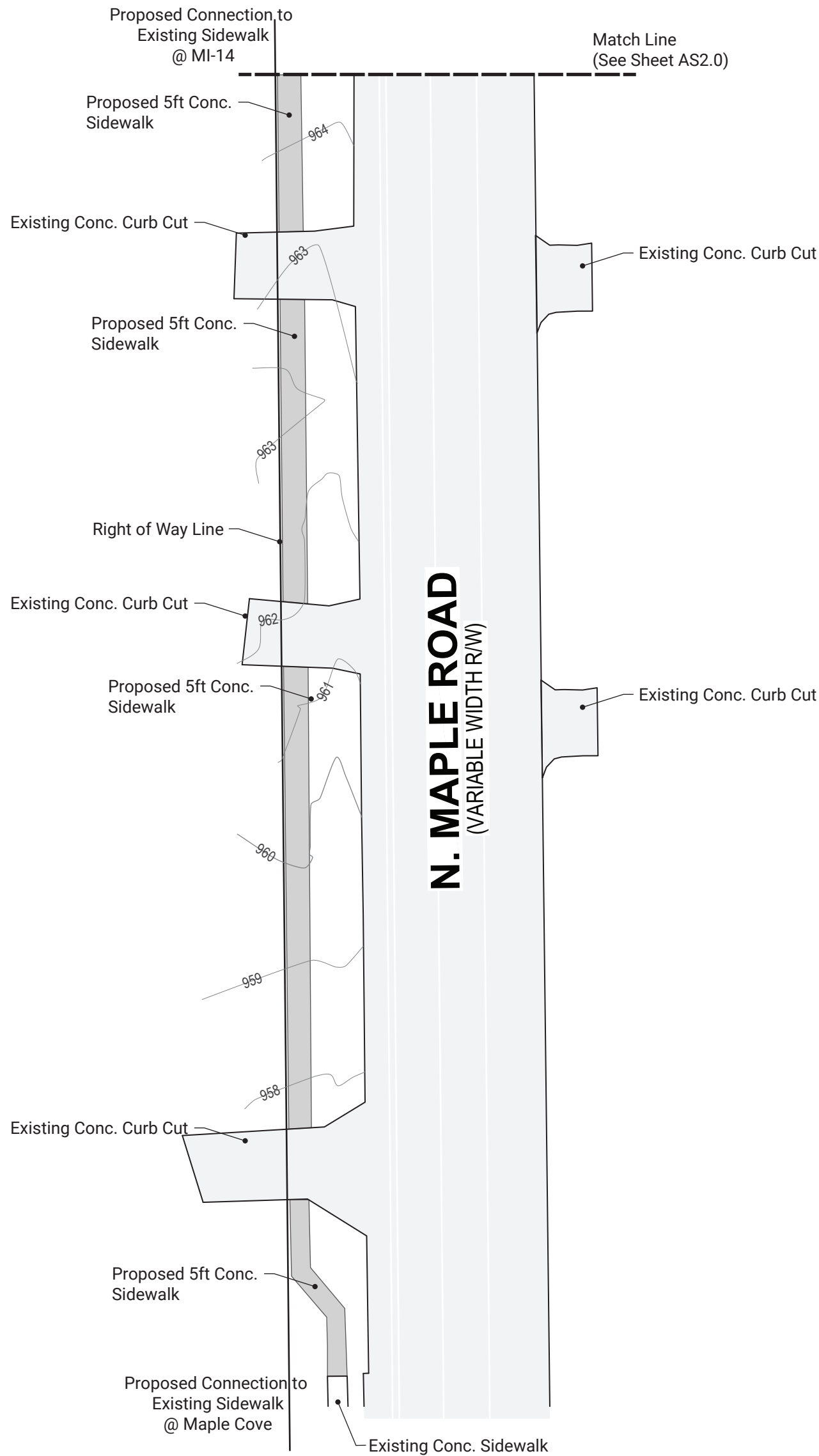
Project North

Scale: 0' 30' 60'

Layout Plan

# AS2.0

A2 Collaborative 2022



## Notes

1) The City of Ann Arbor or its authorized agent, DTE Energy, will be the maintaining authority of the proposed street lighting.

2) All elements of the North emergency fire access drive, including:

- a) Flat curb
- b) Geo-Reinforced brick paving

Shall be designed, constructed, and maintained according to the City of Ann Arbor standards. Lorem ipsum

3) All sidewalks shall be kept and maintained in good repair by the owner of the land adjacent to and abutting the same. Prior to the issuance of the final Certificate of Occupancy for this site, all existing sidewalks in need of repair must be repaired in accordance with city standards.

4) Sidewalks constructed in the public right-of-way and/or public paths shall meet all requirements and guidelines as set forth in the ADA standards for accessible design.

5) All back of curbs not dimensioned are to be constructed with a 3 foot radius.

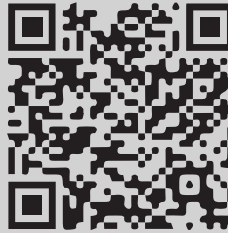
6) Sidewalks constructed in the public right-of-way shall meet all requirements and guidelines as set forth in the ADA Standards for Accessible Design.



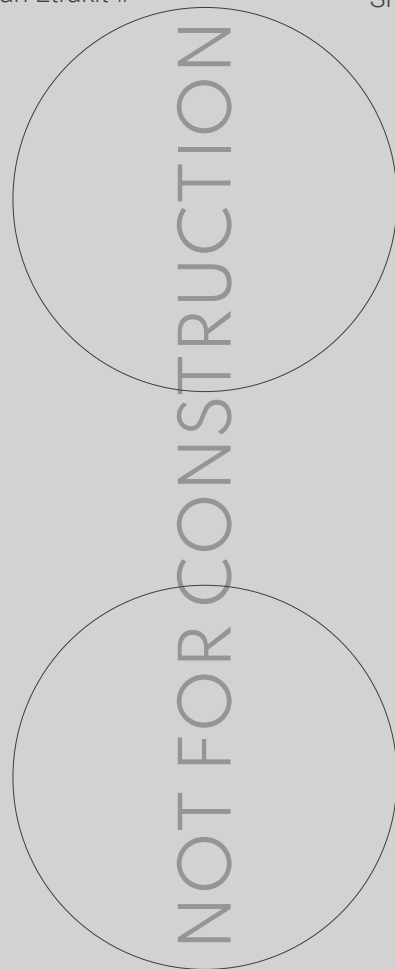
# North Maple Road Apartments

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Address



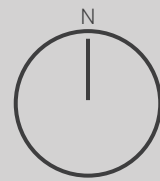
Project # 210302  
PUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # SP22-004



Revisions			
Date	By	For	
01.27.2022	A2	City of Ann Arbor	
04.15.2022	A2	City of Ann Arbor	
07.07.2022	A2	City of Ann Arbor	
08.10.2022	A2	City of Ann Arbor	


Owner / Applicant A2 North Maple Properties, LLC Jeff Wilkerson 2370 E. Stadium Blvd. #305 Ann Arbor, MI 48104
Site Design A2 Collaborative, LLC 1510 Eisenhower Place Ann Arbor, MI 48108

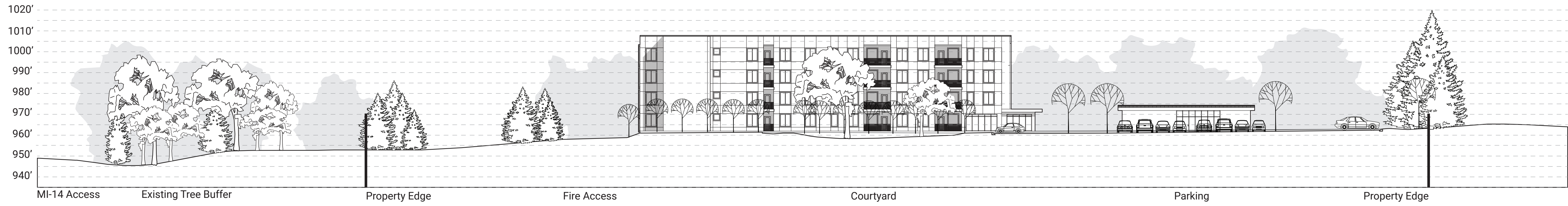
Project North



Scale: 0' 30' 60'

Layout Plan

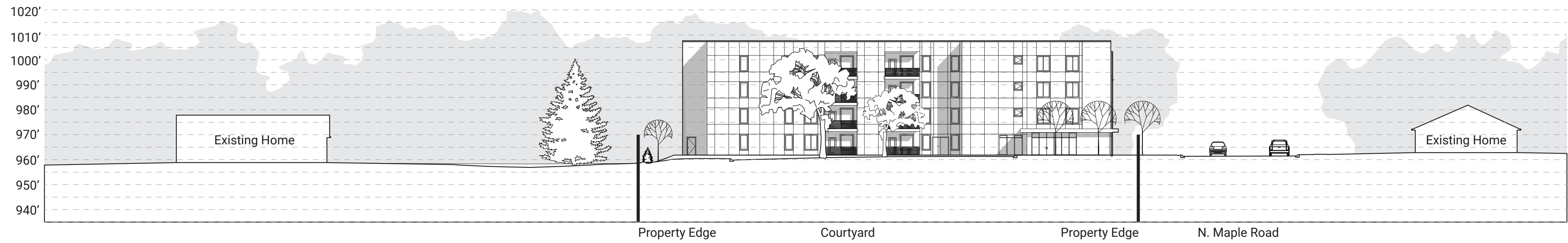
# AS2.1



Section 'A'



Section 'A' Rendering



Section 'B'



Section 'B' Rendering



# North Maple Road Apartments

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Address



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PUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # SP22-004

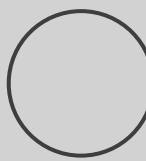
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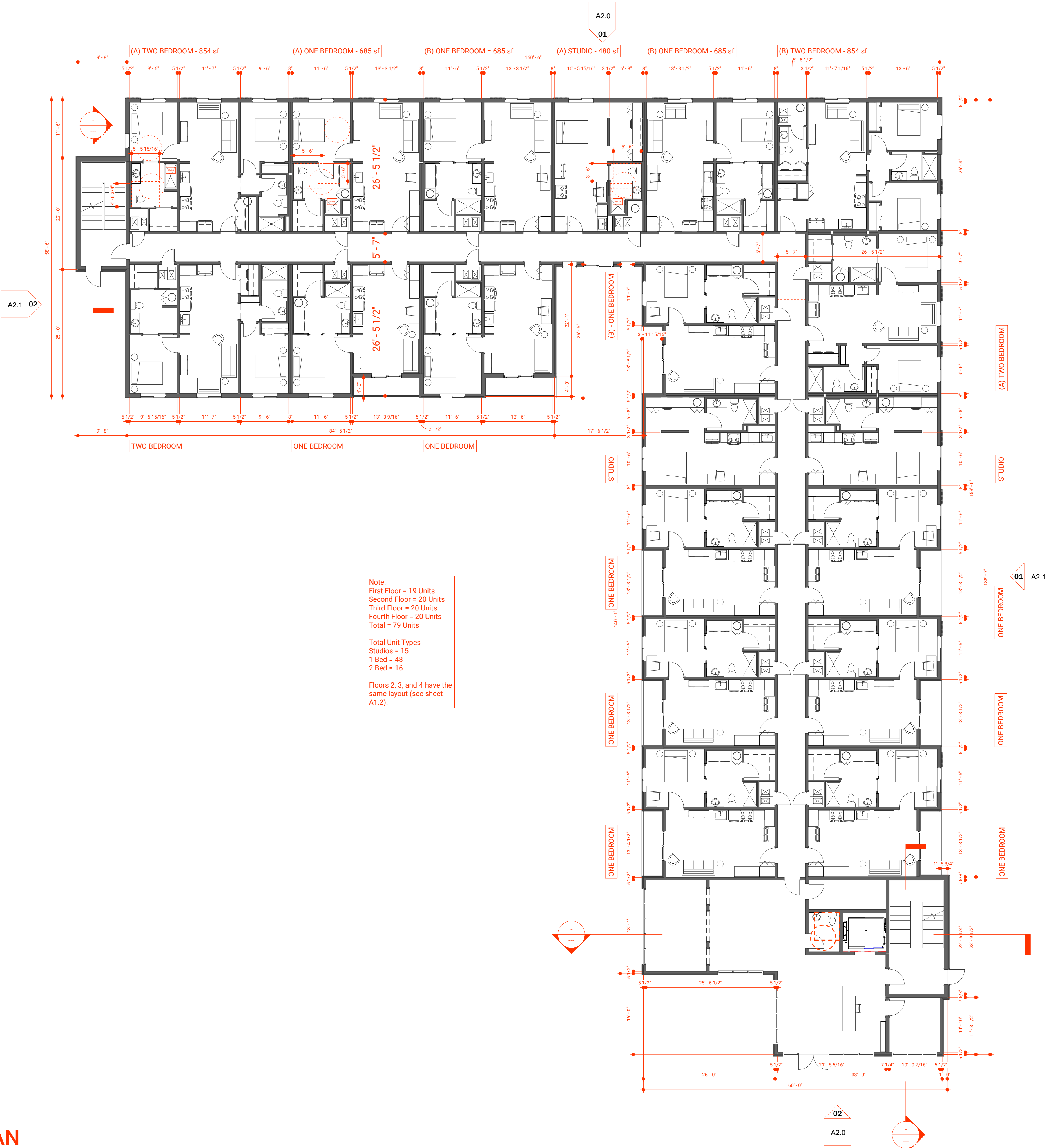
Scale: 0' 30' 60'

Site Sections

AS2.2

01

FIRST FLOOR PLAN



North Maple Road Apartments - Architecture

Exterior Material:  
Most of the building will have EIFS as the primary exterior material. This is a durable, and insulated exterior material.

The secondary facade material will be a composite wood siding. This will provide a colorful accent to the building and give natural textures/warmth to the facade. This material will be located around balconies and verticle elements of the building.

Louver Panel Facade:  
The aluminum louvered panels will be fixed at the fenestrations of the facade. These louvered panels will create a unique texture to the facade that visually breaks up the massing.

Windows:  
Many of the exterior windows will be operable (sliding, or swing). This will allow occupants to enjoy the cool nights and warm days that Michigan experiences in the Fall and Spring. The large operable windows are uncommon in apartments, and are an attractive quality of life feature for residents.

Sign:  
Sign is a placeholder and must be approved by the city before use.



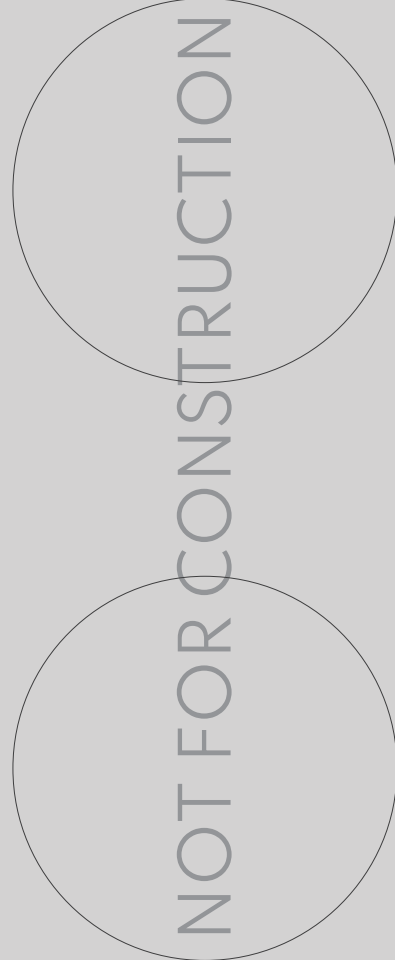
North Maple Road Apartments

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Address



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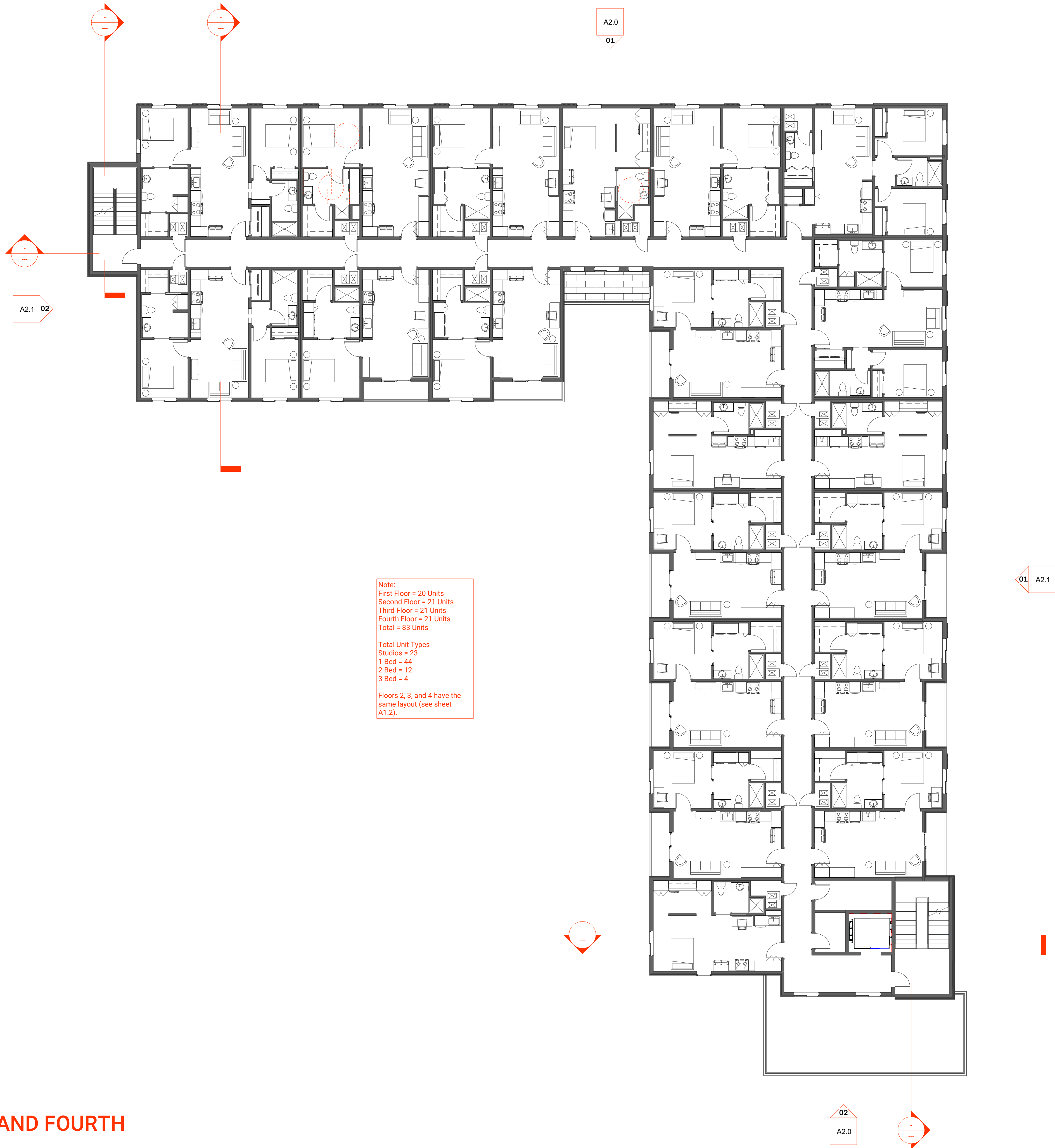
Project North



Scale: 0' 10.6' 21.3'

Apartment - First Floor Plan

A1.0



Note:  
First Floor = 20 Units  
Second Floor = 21 Units  
Third Floor = 21 Units  
Fourth Floor = 21 Units  
Total = 83 Units

Total Unit Types  
Studios = 23  
1 Bed = 44  
2 Bed = 12  
3 Bed = 4

Floors 2, 3, and 4 have the  
same layout (see sheet  
A1.2).

North Maple Road Apartments - Architecture

Exterior Material:  
Most of the building will have EIFS as the primary exterior material. This is a durable, and insulated exterior material.

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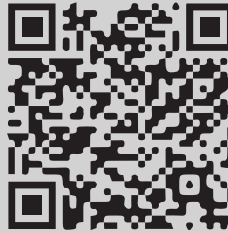
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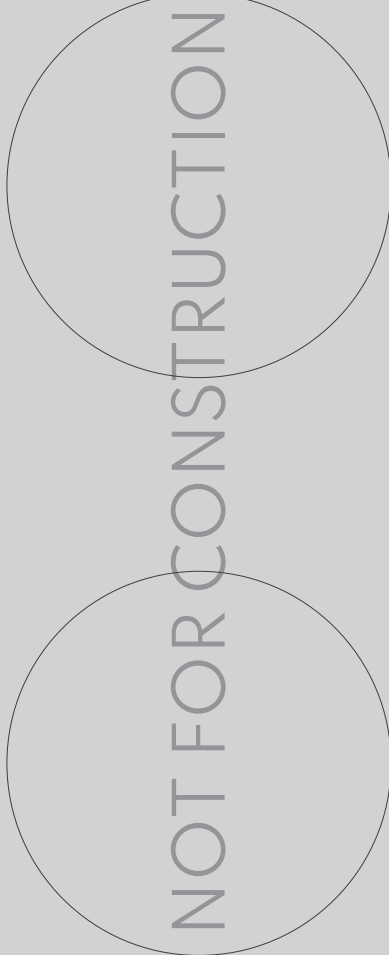
North Maple Road Apartments

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Address



Project # 210302  
PUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # SP22-004



Revisions		
Date	By	For
01.27.2022	A2	City of Ann Arbor
04.15.2022	A2	City of Ann Arbor
07.07.2022	A2	City of Ann Arbor
08.10.2022	A2	City of Ann Arbor

Owner / Applicant  
A2 North Maple Properties, LLC  
Jeff Wilkerson  
2370 E. Stadium Blvd. #305  
Ann Arbor, MI 48104

Site Design  
A2 Collaborative, LLC  
1510 Eisenhower Place  
Ann Arbor, MI 48108

Project North



Scale: 0' 10.6' 21.3'

Apartment - Second, Third, and Fourth Floor Plan

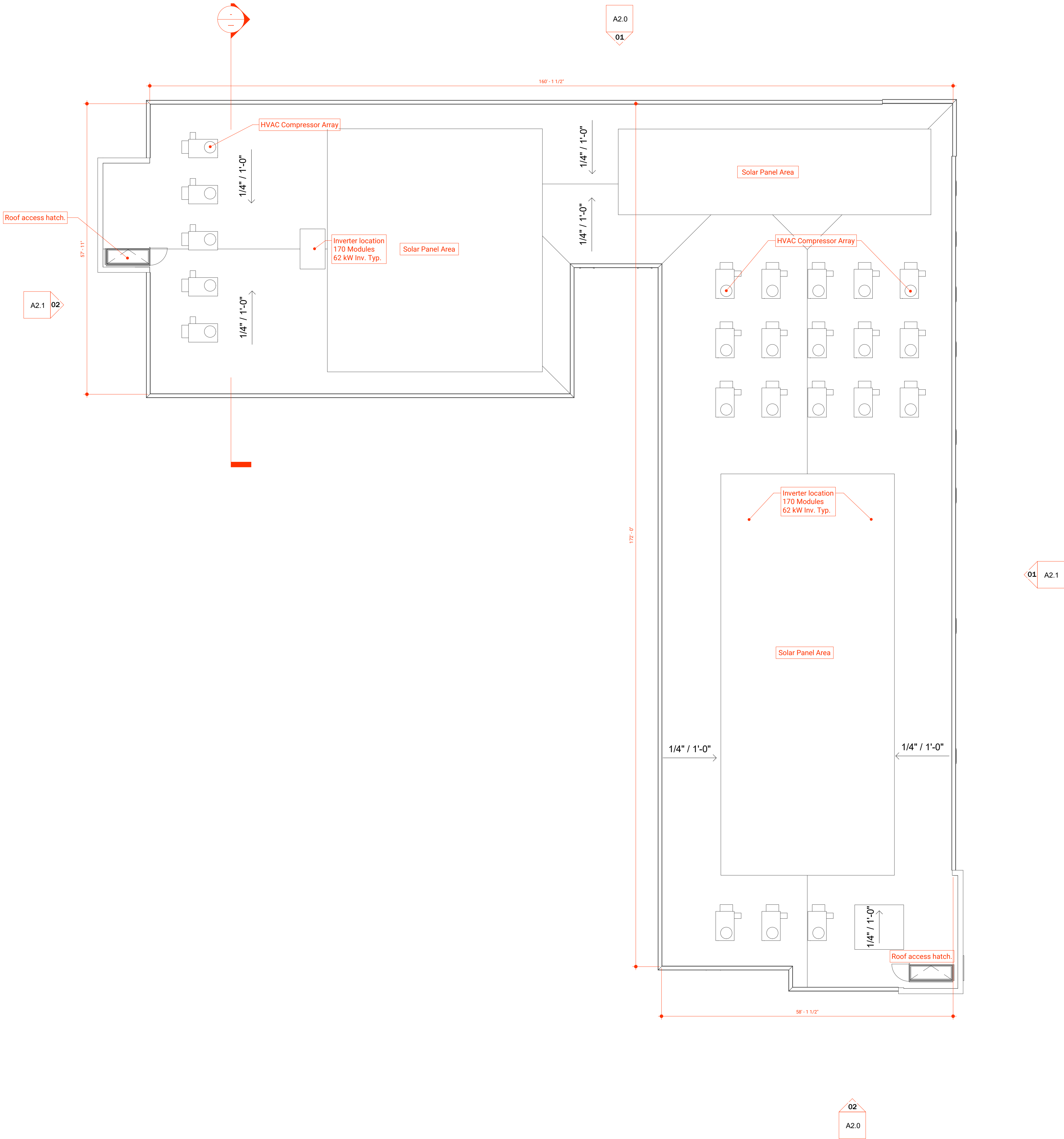
A1.1

SECOND, THIRD, AND FOURTH FLOOR PLAN

01

01

ROOF PLAN



North Maple Road Apartments - Architecture

Exterior Material:  
Most of the building will have EIFS as the primary exterior material. This is a durable, and insulated exterior material.

The secondary facade material will be a composite wood siding. This will provide a colorful accent to the building and give natural textures/warmth to the facade. This material will be located around balconies and verticle elements of the building.

Louver Panel Facade:  
The aluminum louvered panels will be fixed at the fenestrations of the facade. These louvered panels will create a unique texture to the facade that visually breaks up the massing.

Windows:  
Many of the exterior windows will be operable (sliding, or swing). This will allow occupants to enjoy the cool nights and warm days that Michigan experiences in the Fall and Spring. The large operable windows are uncommon in apartments, and are an attractive quality of life feature for residents.

Sign:  
Sign is a placeholder and must be approved by the city before use.



COLLABORATIVE

North Maple  
Road  
Apartments

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Project North



Scale: 0' 10.6' 21.3'

Apartment - Roof Plan

A1.2



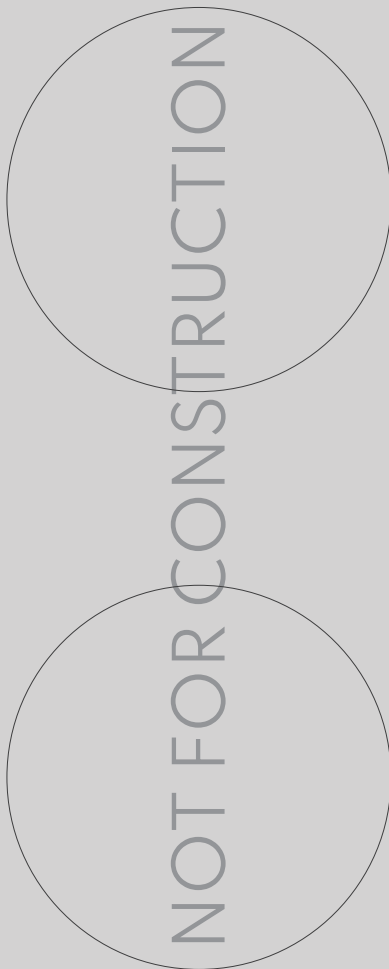
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Ann Arbor, MI 48108

Project North



Scale: 0' 10.6' 21.3'

Apartment - North and South Elevations

# A2.0

## North Maple Road Apartments - Architecture

**Exterior Material:**  
Most of the building will have dark color brick as the primary exterior material, and EIFS or Stucco on the top floor. The brick will create a nice texture at the human scale, and the ligh EIFS/Stucco will soften the monumentality of the building.

The secondary facade material will be a earthy composite wood siding. This will provide a colorful accent to the building and give natural textures/warmth to the facade. This material will be located around balconies and verticle elements of the building.

**Louver Panel Facade:**  
The aluminum and wood louvered panels will be fixed at the fenestrations of the facade. These louvered panels will create a unique texture to the facade that visually breaks up the massing and calls attention to the fenestrations.

**Windows:**  
All of the exterior windows will be operable (sliding, or swing) except the storefront windows on the first floor. This will allow occupants to enjoy the cool nights and warm days that Michigan experiences in the Fall and Spring. The large operable windows are uncommon in apartments, and are an attractive quality of life feature for residents.

**Sign:**  
Sign is a placeholder and must be approved by the city before use.



## 01 ELEVATION - NORTH



## 02 ELEVATION - SOUTH

North Maple Road Apartments - Architecture

Exterior Material:  
Most of the building will have dark color brick as the primary exterior material, and EFIS or Stucco on the top floor. The brick will create a nice texture at the human scale, and the ligh EFIS/Stucco will soften the monumentality of the building.

The secondary facade material will be a earthy composite wood siding. This will provide a colorful accent to the building and give natural textures/warmth to the facade. This material will be located around balconies and verticle elements of the building.

Louver Panel Facade:  
The aluminum and wood louvered panels will be fixed at the fenestrations of the facade. These louvered panels will create a unique texture to the facade that visually breaks up the massing and calls attention to the fenestrations.

Windows:  
All of the exterior windows will be operable (sliding, or swing) except the windows called out in the drawing. This will allow occupants to enjoy the cool nights and warm days that Michigan experiences in the Fall and Spring. The large operable windows are uncommon in apartments, and are an attractive quality of life feature for residents.

Sign:  
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Glass storefront wall.

Brick veneer facade.

EIFS or Stucco facade.

6'-0" Fixed louver panels.

The fixed louver system only occurs on the North and East side to create a variability in the facade.

Parapet +47' - 0"  
Roof +42' - 0"  
Fourth Floor +31' - 6"  
Third Floor +21' - 0"  
Second Floor +10' - 6"  
First Floor +0' - 0"  
Basement Floor -10' - 6"  
Elevator Pit -15' - 6"

29' - 0"

First finish floor to be located at the elevation of 962' - 0" above sea level (all level tags are based at 962' - 0" first finish floor height).

Existing grade change on site (this does not indicate final grading of the site).

01 ELEVATION - EAST

Horizontal wood facade on CMU wall.

EIFS or Stucco facade.

The fixed louver system only occurs on the North and East side to create a variability in the facade.

Parapet +47' - 0"  
Roof +42' - 0"  
Fourth Floor +31' - 6"  
Third Floor +21' - 0"  
Second Floor +10' - 6"  
First Floor +0' - 0"  
Basement Floor -10' - 6"  
Elevator Pit -15' - 6"

First finish floor to be located at the elevation of 962' - 0" above sea level (all level tags are based at 962' - 0" first finish floor height).

Existing grade change on site (this does not indicate final grading of the site).

Glass storefront wall.

02 ELEVATION - WEST



North Maple Road Apartments

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Site Plan Etrakit # SP22-004

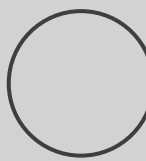
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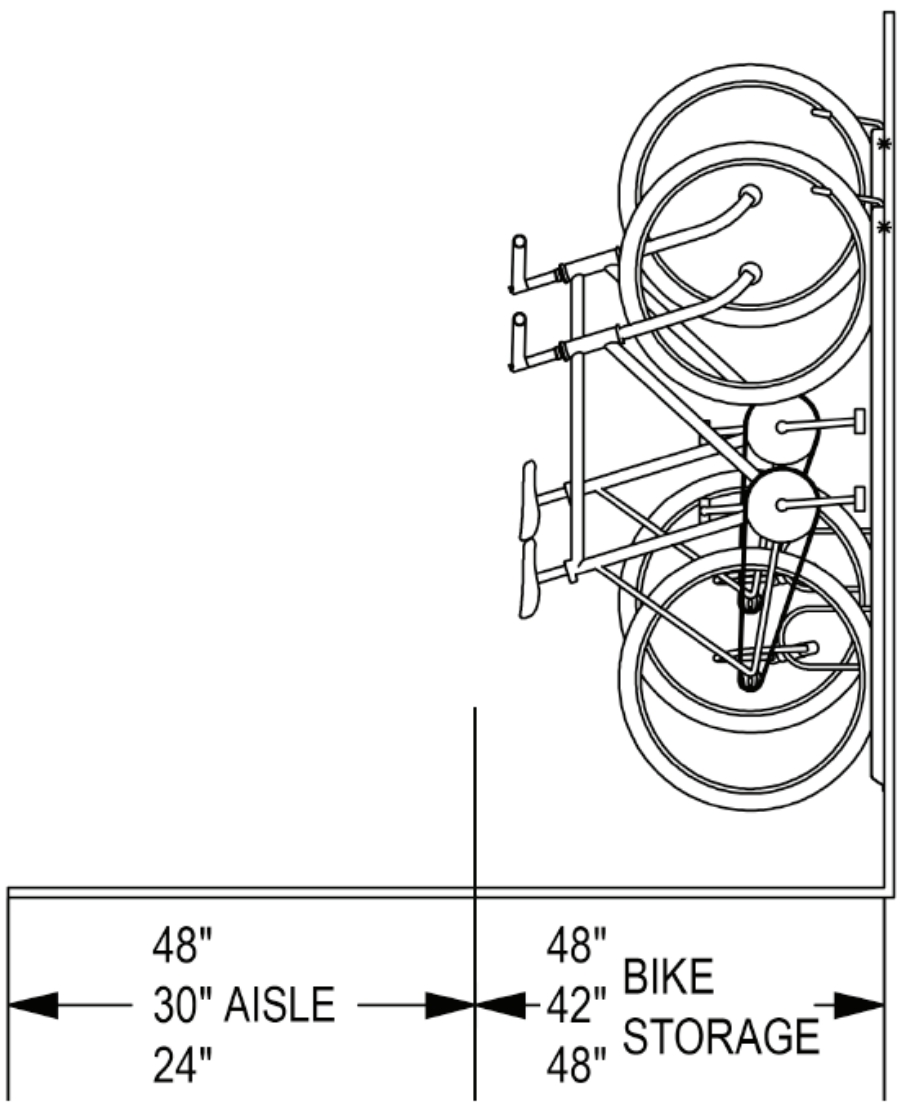
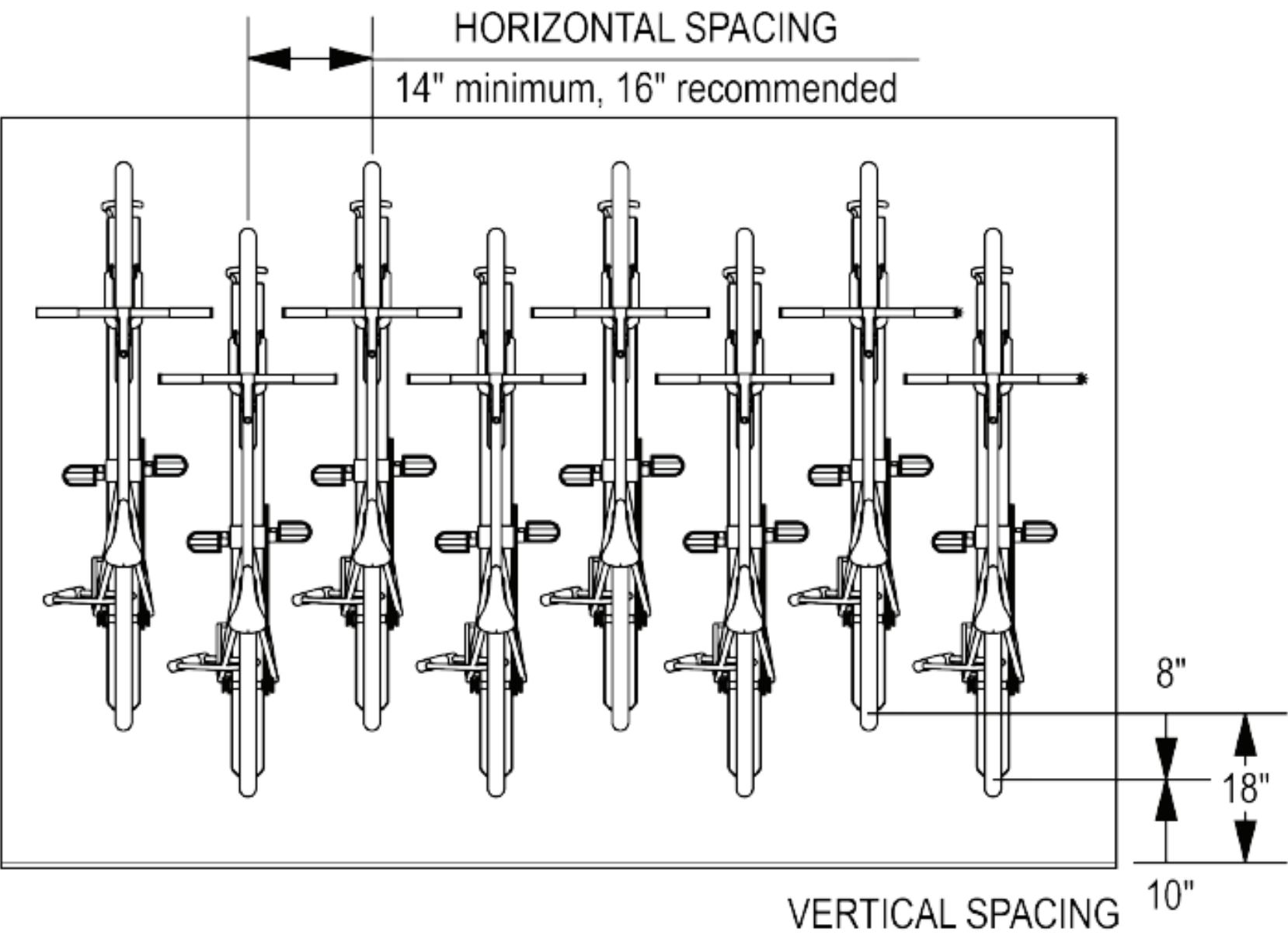
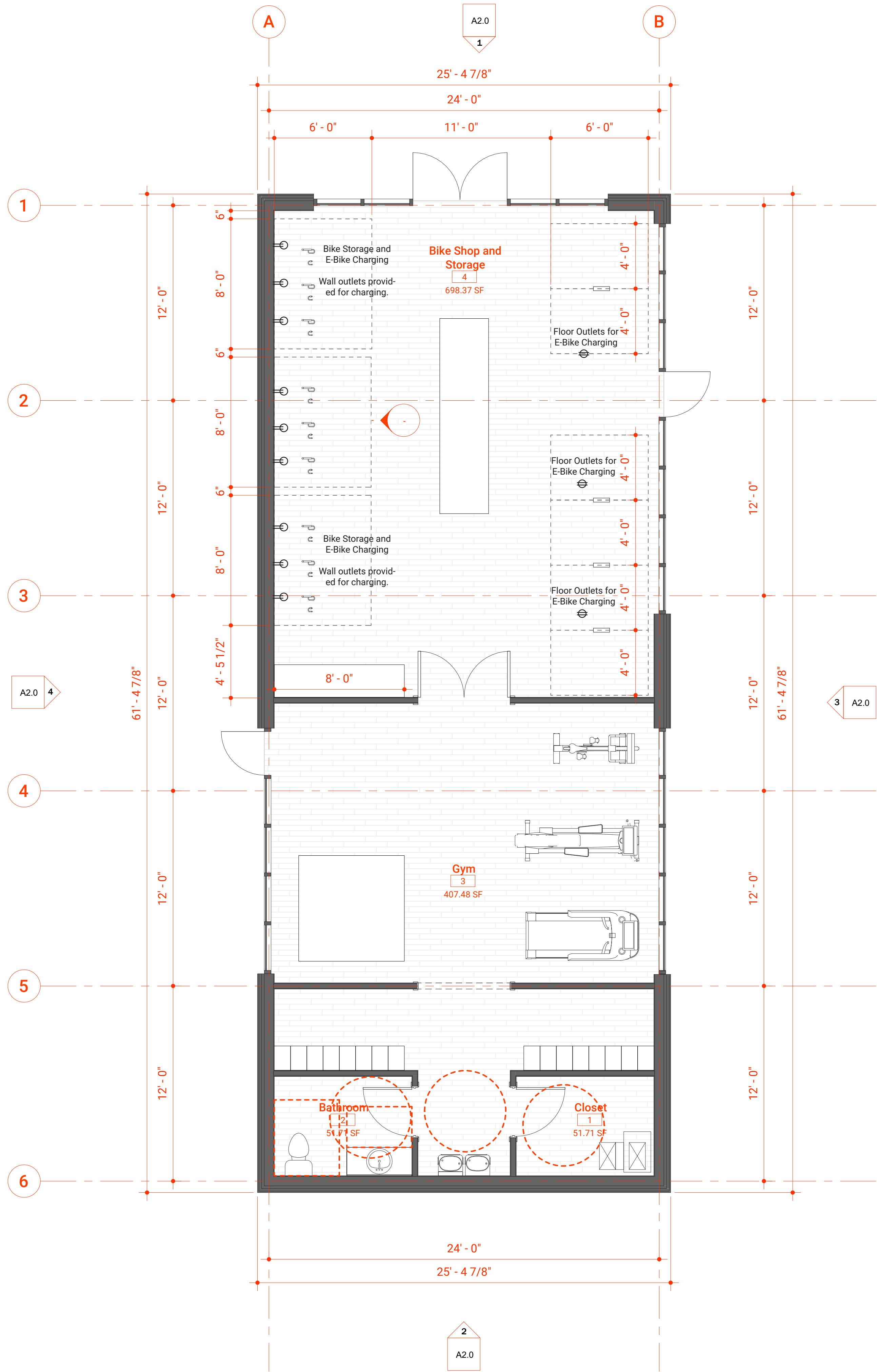
Project North



Scale: 0' 10.6' 21.3'

Apartment - East and West Elevations

A2.1

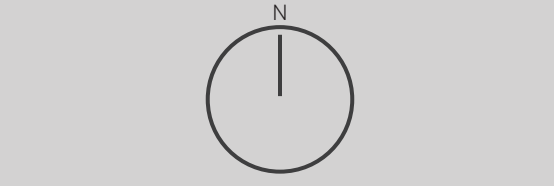


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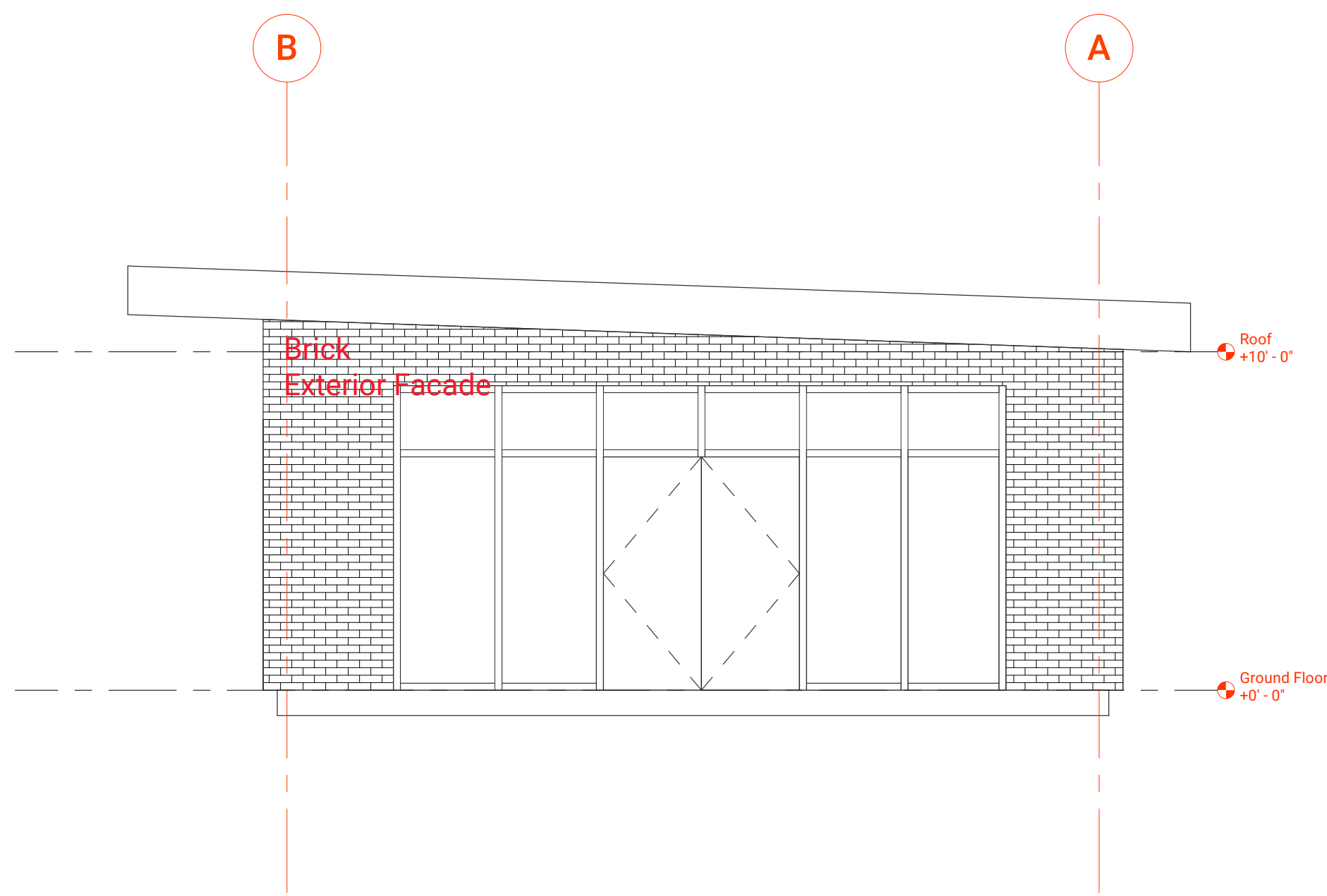
Site Design  
A2 Collaborative, LLC  
1510 Eisenhower Place  
Ann Arbor, MI 48108

Project North

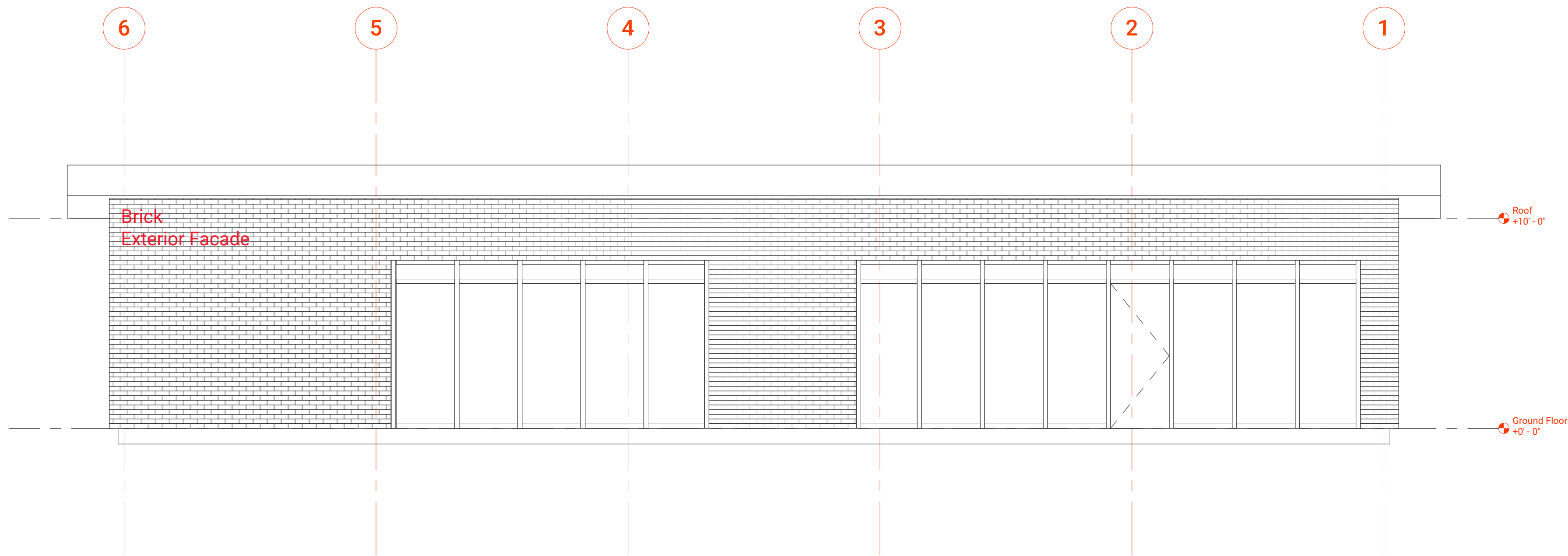


Scale: 0' 10.6' 21.3'

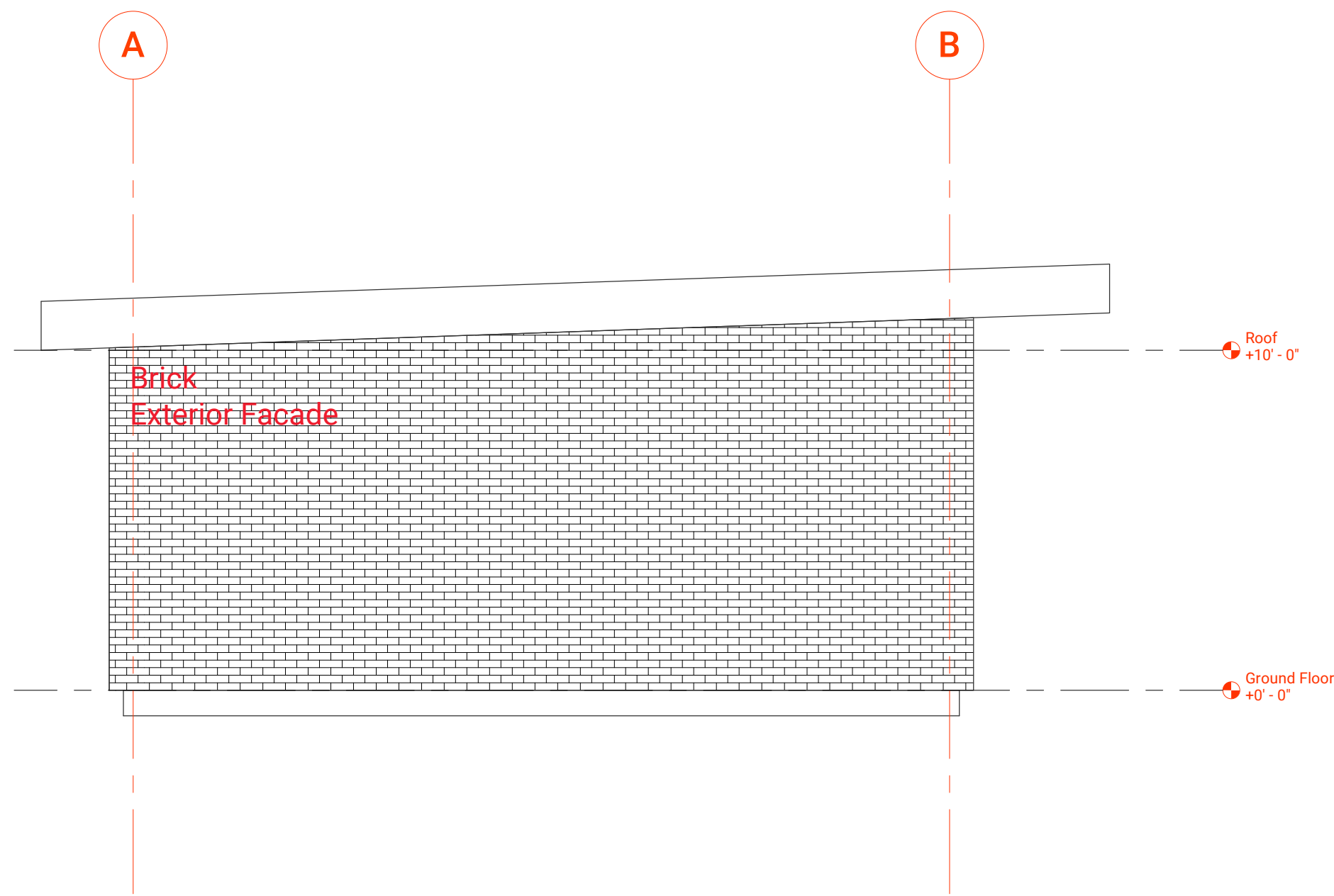
Community Center - First Floor Plan



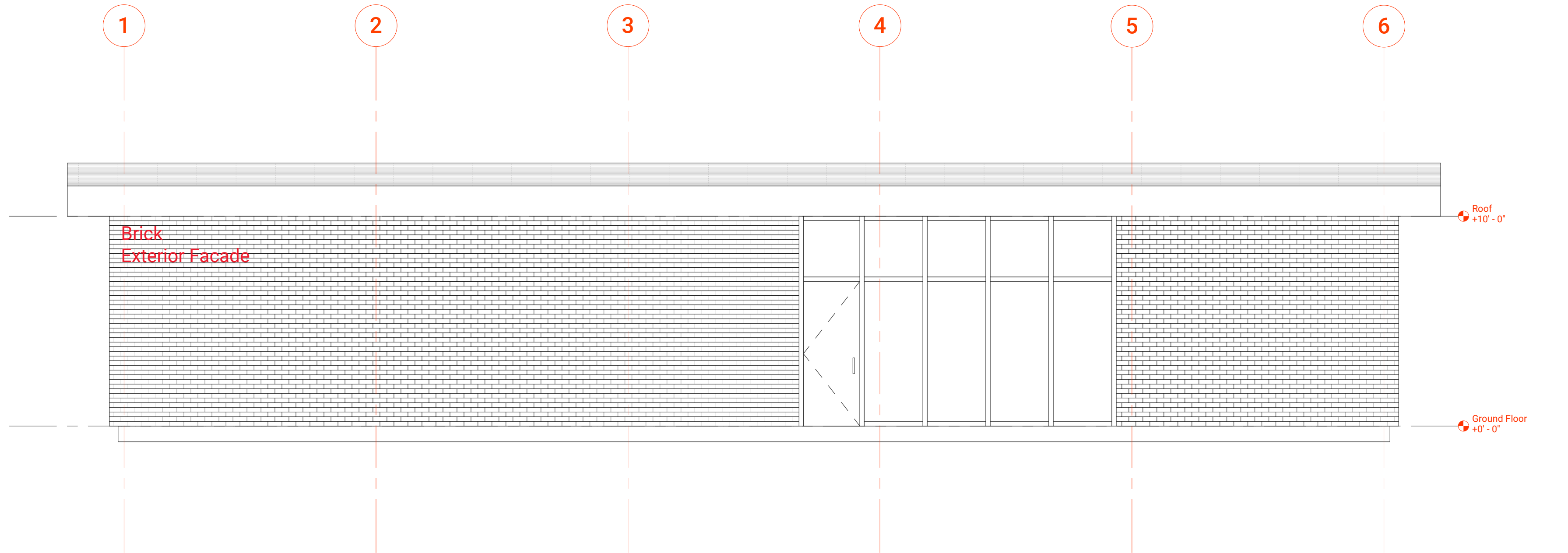
1 North Elevation



3 East Elevation



2 South Elevation



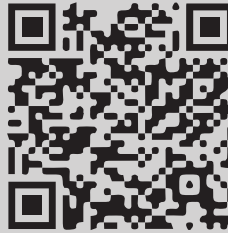
4 West Elevation



# North Maple Road Apartments

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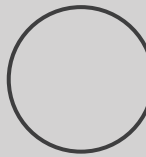
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Ann Arbor, MI 48104

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A2 Collaborative, LLC  
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Ann Arbor, MI 48108

Project North



Scale: 0' 10.6' 21.3'

Community Center - North, East, South, and West Elevations

# A4.0

The renderings depicted on sheets A9.0 - A9.9 are representations of the final building design. These images do not perfectly represent the final product, but they are meant to convey materiality, massing, and position relating to the site plan submission.



Signage for the building (this is a placeholder sign and name, and it may not be the final text on the sign).

Composite wood exterior facade.

EIFS/Stucco exterior facade (dark blue/grey).

Fixed composite wood and aluminum louver panels.

Operable windows.

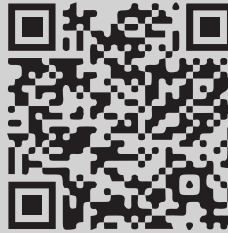
Brick facade.



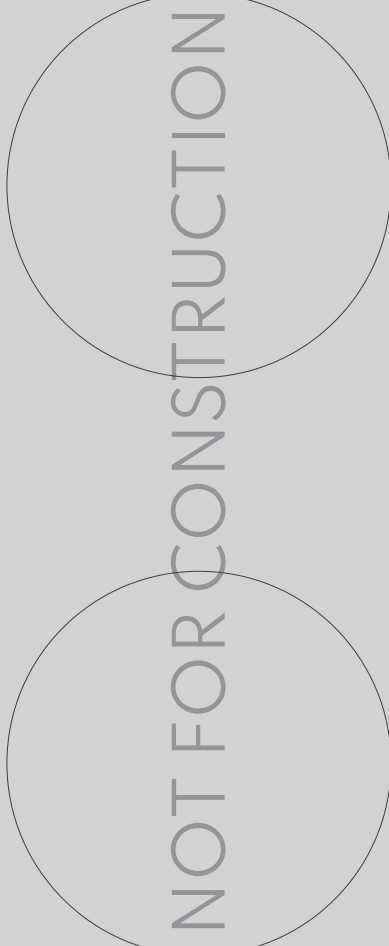
# North Maple Road Apartments

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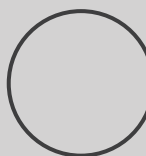


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Project North



Scale:   
Architecture Renderings

# A9.0

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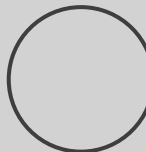
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# A9.1

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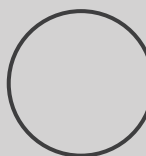
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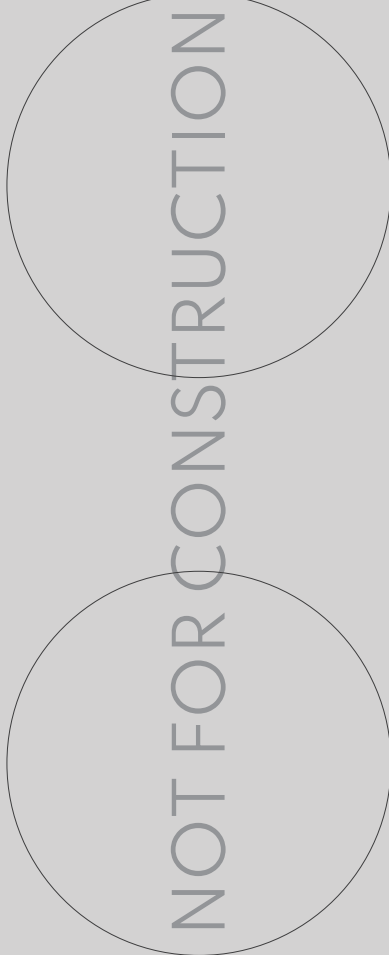
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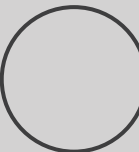


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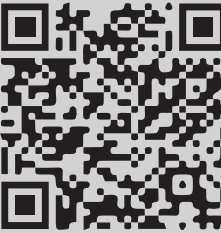
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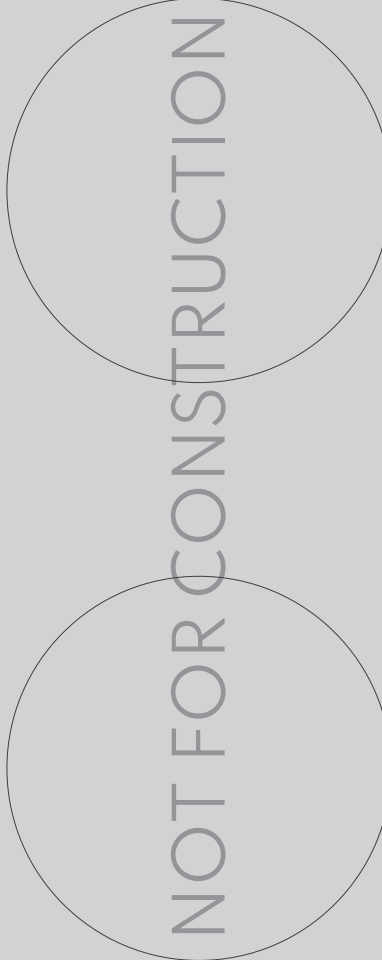
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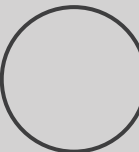


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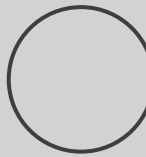
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Project North



Scale:   
Architecture Renderings

# A9.5

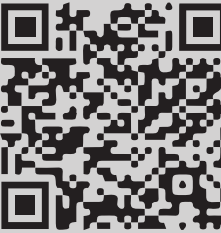
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Site Design A2 Collaborative, LLC 1510 Eisenhower Place Ann Arbor, MI 48108

Project North



Scale:   
Architecture Renderings

The renderings provided on sheet A9.7 are artistic representations of the final building design. These images do not necessarily represent the final building design. They are meant to provide a general massing, and are not intended to be used for any other purpose relating to the site plan submission.



# North Maple Road Apartments

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Address



Project # 210302  
PUD Zoning Etrakit # Z22-002  
Site Plan Etrakit # SP22-004

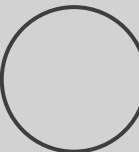
NOT FOR CONSTRUCTION

Revisions		
Date	By	For
01.27.2022	A2	City of Ann Arbor
04.15.2022	A2	City of Ann Arbor
07.07.2022	A2	City of Ann Arbor
08.10.2022	A2	City of Ann Arbor

Owner / Applicant  
A2 North Maple Properties, LLC  
Jeff Wilkerson  
2370 E. Stadium Blvd. #305  
Ann Arbor, MI 48104

Site Design  
A2 Collaborative, LLC  
1510 Eisenhower Place  
Ann Arbor, MI 48108

Project North



Scale:   
Architecture Renderings

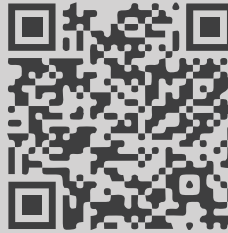
# A9.7



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Scale: 0' 30' 60'

Aerial Natural Features Overlay

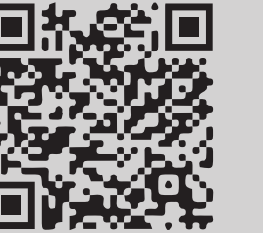
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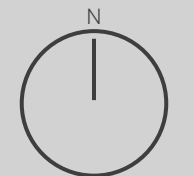
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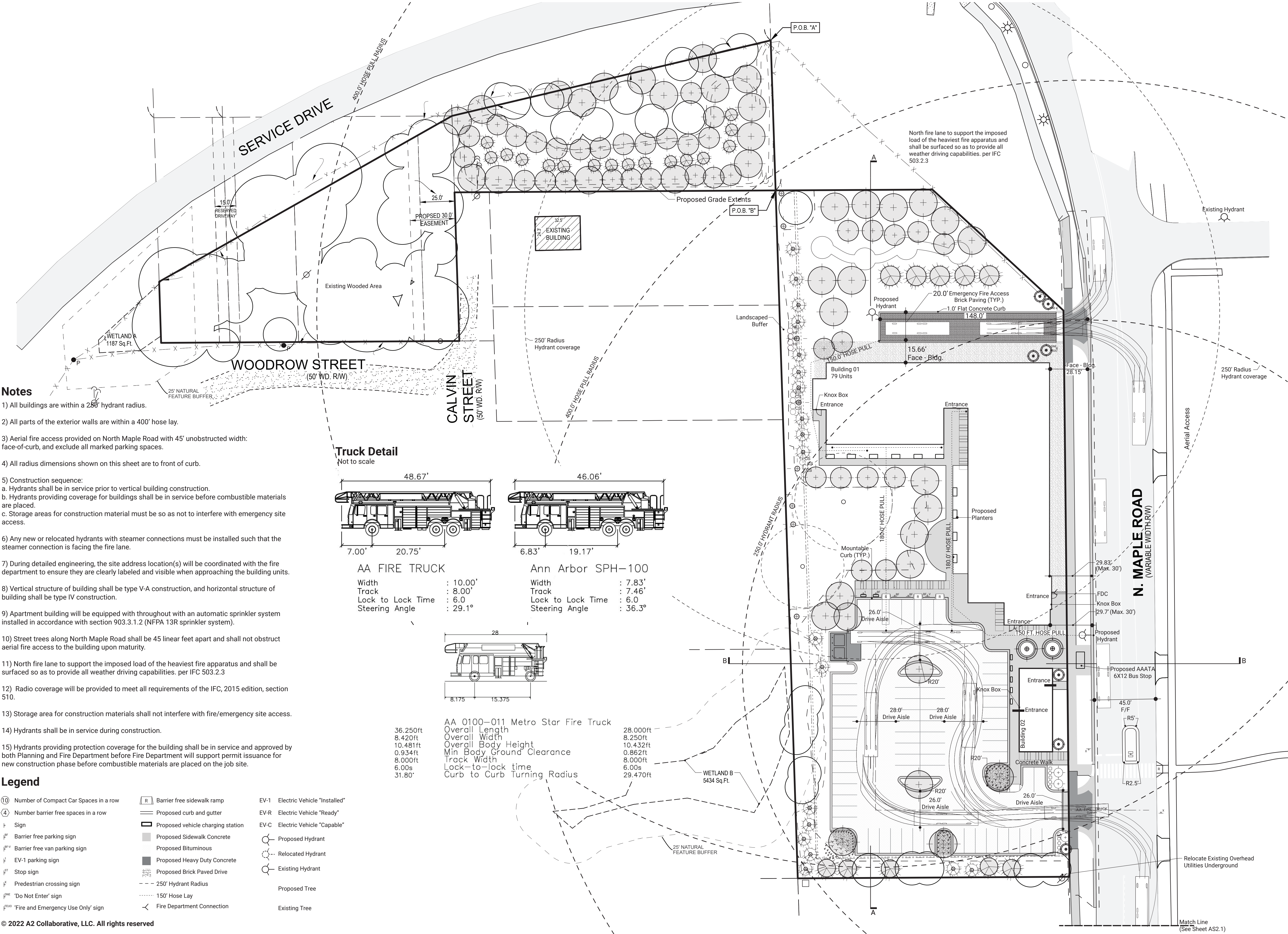


Scale: 0' 30' 60'

Fire Protection Plan

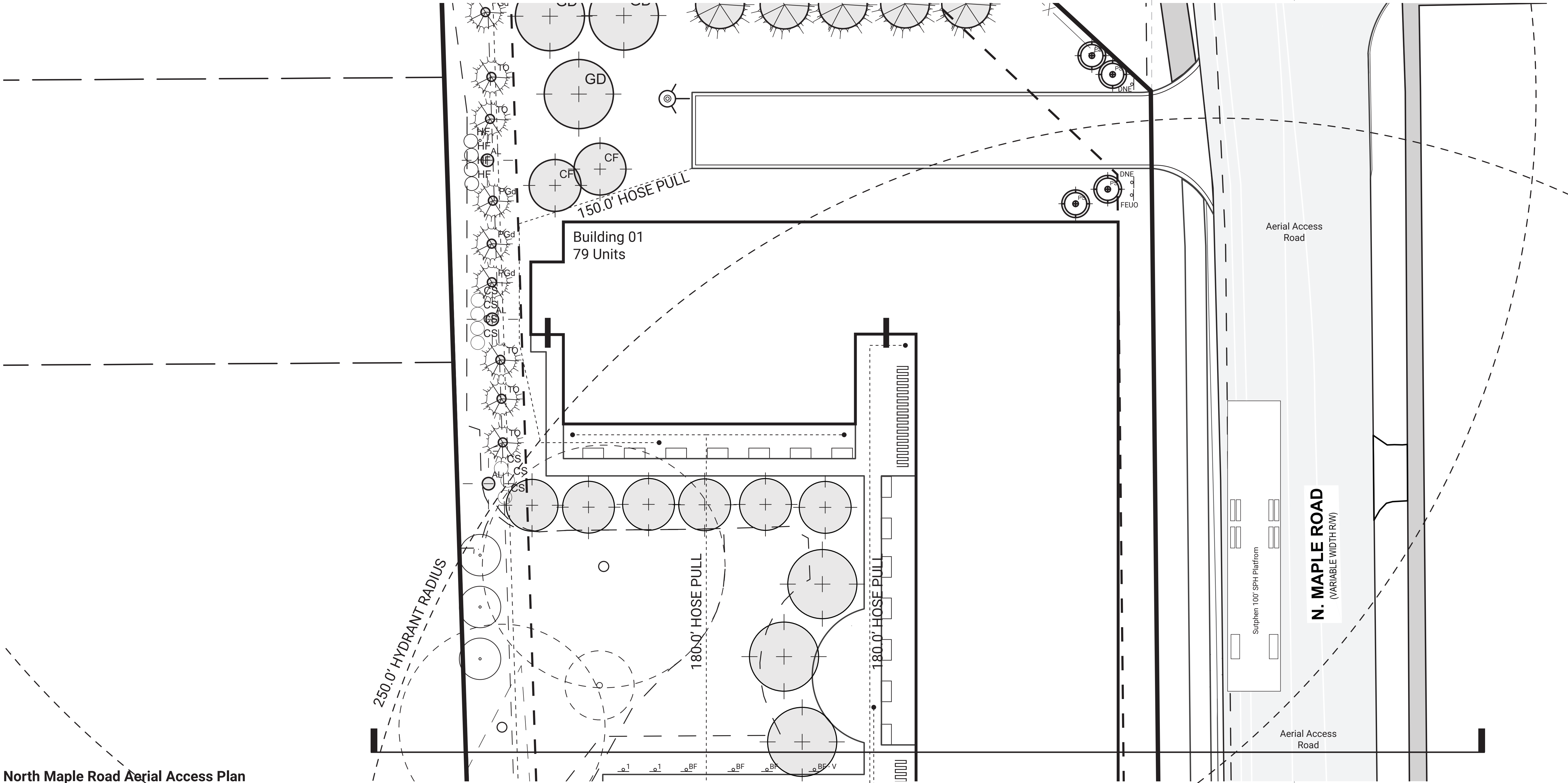
AS4.0

A2 Collaborative 2022





North Maple Road Aerial Access Section



North Maple Road Aerial Access Plan

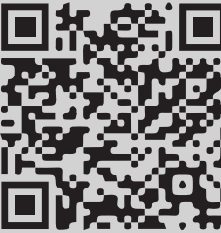
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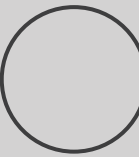
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Scale: 0' 15' 30'

Aerial Access Ladder Sections

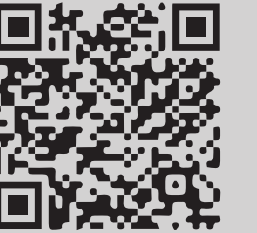
AS4.1



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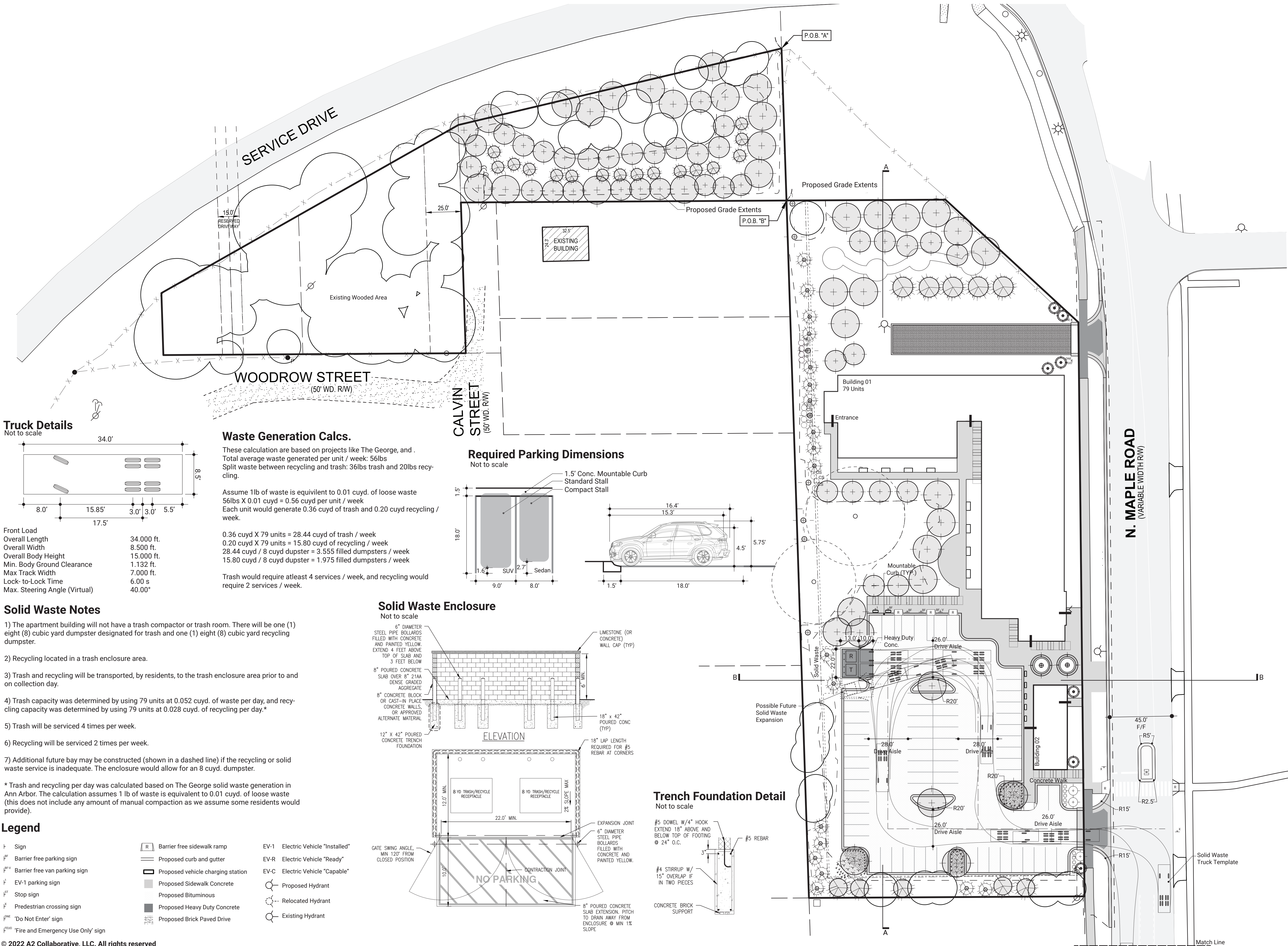


Scale: 0' 30' 60'

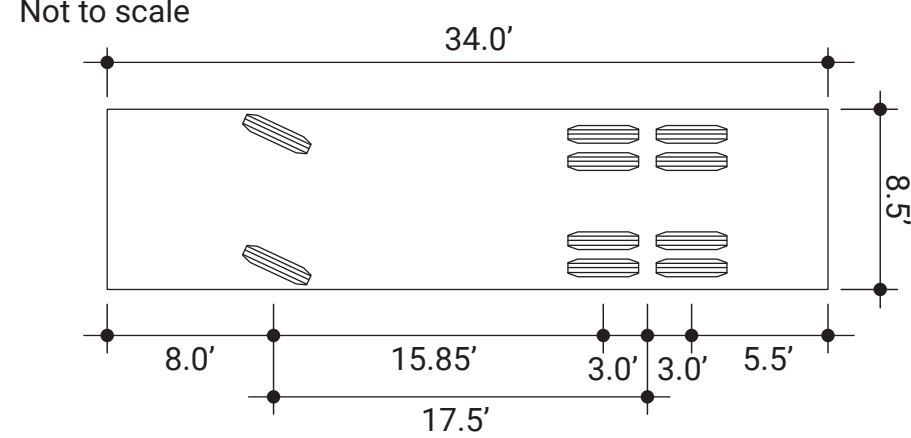
Solid Waste Plan

AS5.0

A2 Collaborative 2022



## Truck Details



Front Load	34.000 ft.
Overall Length	8.500 ft.
Overall Width	15.000 ft.
Overall Body Height	1.132 ft.
Min. Body Ground Clearance	7.000 ft.
Max Track Width	6.00 s
Lock-to-Lock Time	40.00°
Max. Steering Angle (Virtual)	

## Waste Generation Calcs.

These calculation are based on projects like The George, and .  
Total average waste generated per unit / week: 56lbs  
Split waste between recycling and trash: 36lbs trash and 20lbs recycling.

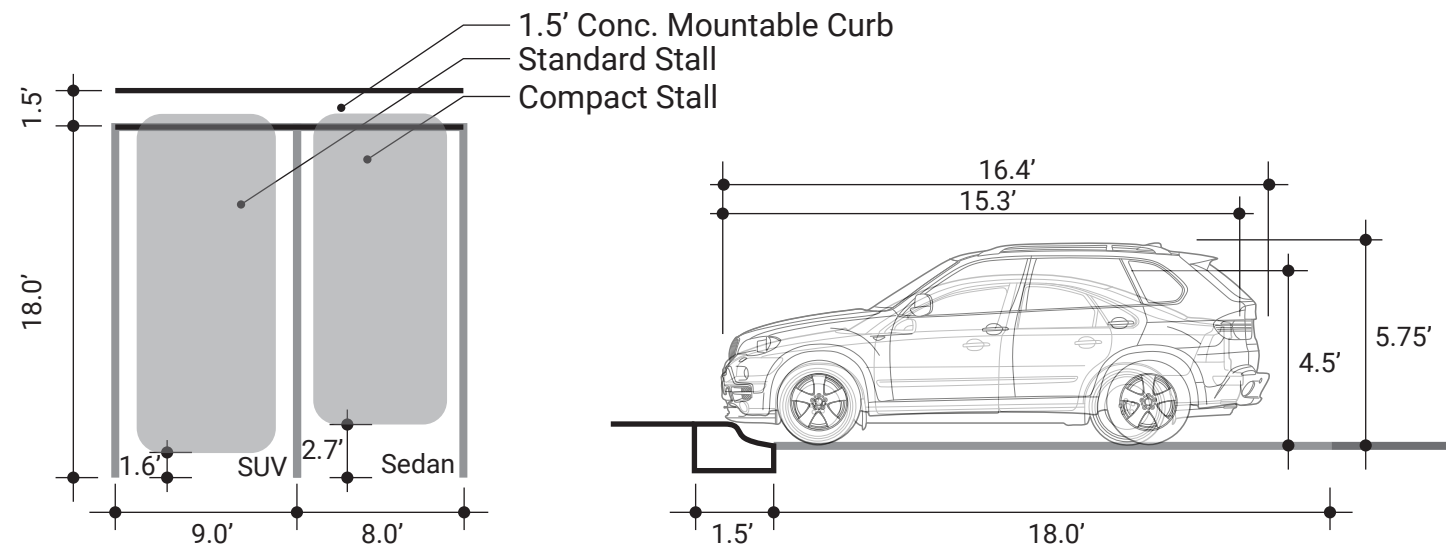
Assume 1lb of waste is equivalent to 0.01 cu yd. of loose waste  
56lbs X 0.01 cu yd = 0.56 cu yd per unit / week  
Each unit would generate 0.36 cu yd of trash and 0.20 cu yd recycling / week.

0.36 cu yd X 79 units = 28.44 cu yd of trash / week  
0.20 cu yd X 79 units = 15.80 cu yd of recycling / week  
28.44 cu yd / 8 cu yd dumpster = 3.555 filled dumpsters / week  
15.80 cu yd / 8 cu yd dumpster = 1.975 filled dumpsters / week

Trash would require atleast 4 services / week, and recycling would require 2 services / week.

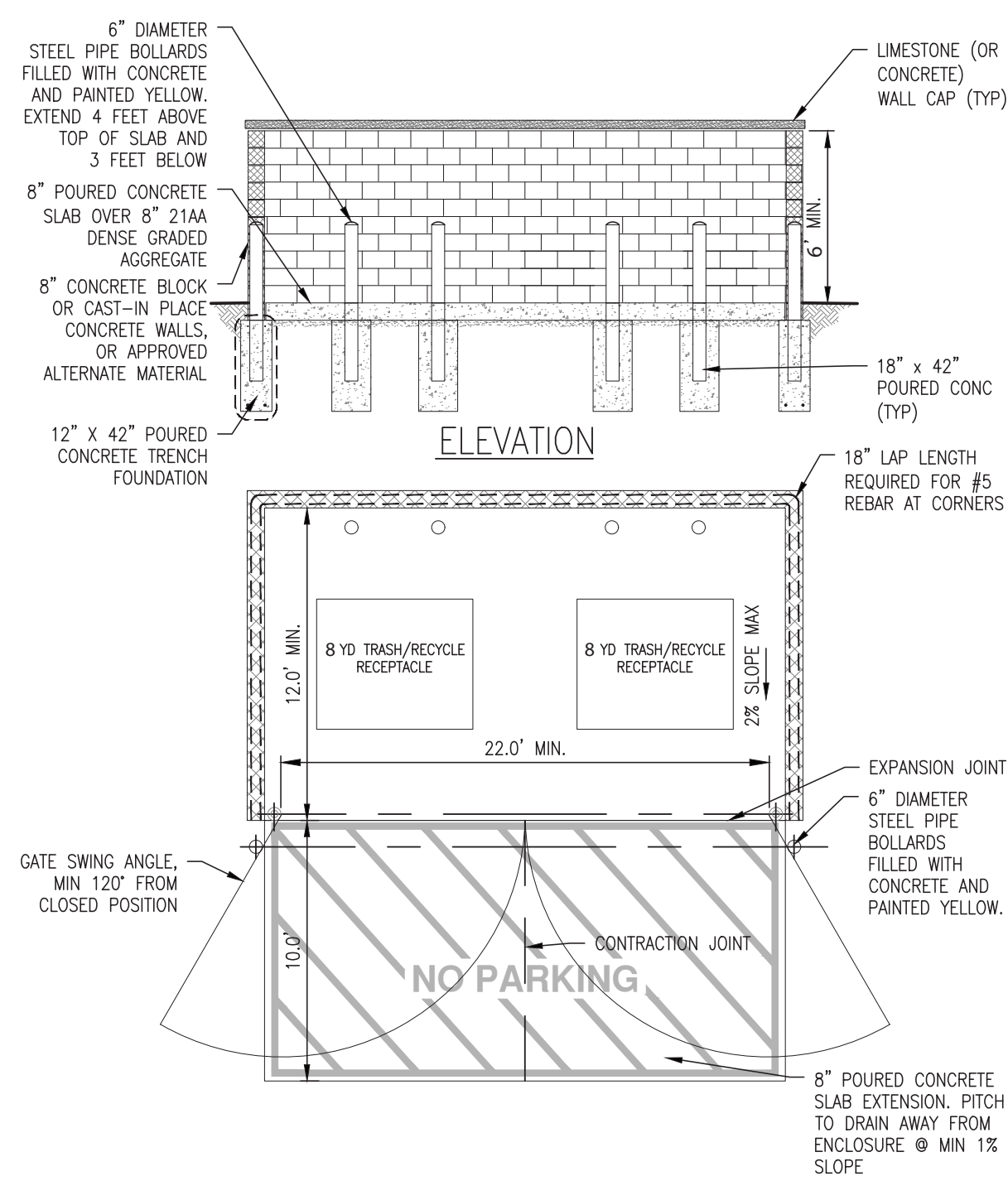
## Required Parking Dimensions

Not to scale



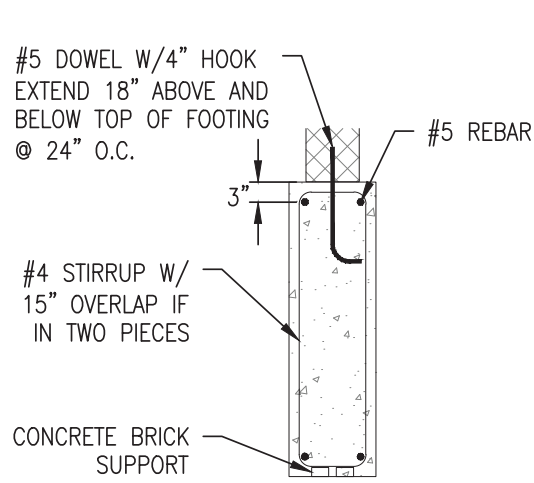
## Solid Waste Enclosure

Not to scale



## Trench Foundation Detail

Not to scale



## Solid Waste Notes

- 1) The apartment building will not have a trash compactor or trash room. There will be one (1) eight (8) cubic yard dumpster designated for trash and one (1) eight (8) cubic yard recycling dumpster.
- 2) Recycling located in a trash enclosure area.
- 3) Trash and recycling will be transported, by residents, to the trash enclosure area prior to and on collection day.
- 4) Trash capacity was determined by using 79 units at 0.052 cu yd. of waste per day, and recycling capacity was determined by using 79 units at 0.028 cu yd. of recycling per day.\*
- 5) Trash will be serviced 4 times per week.
- 6) Recycling will be serviced 2 times per week.

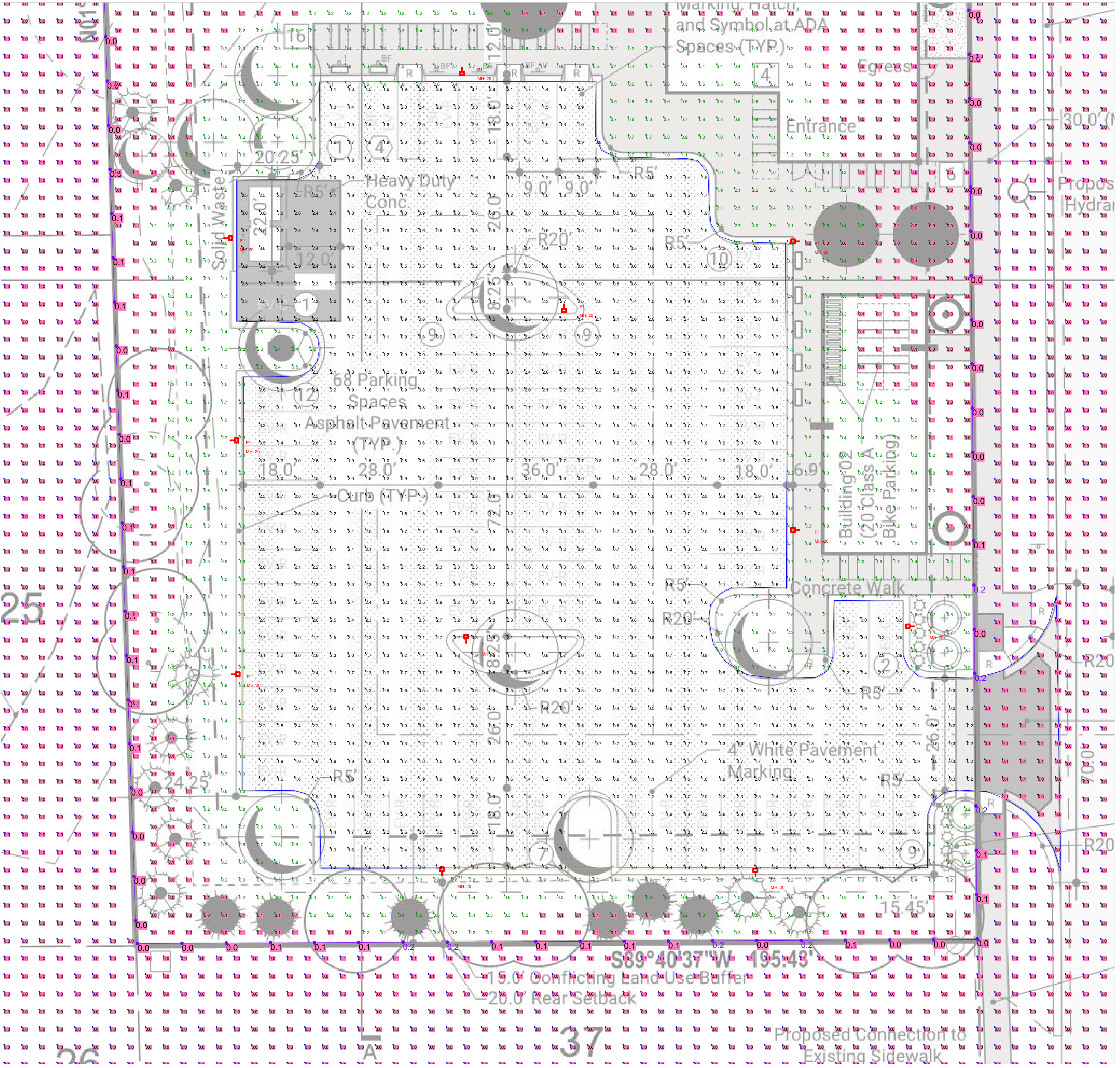
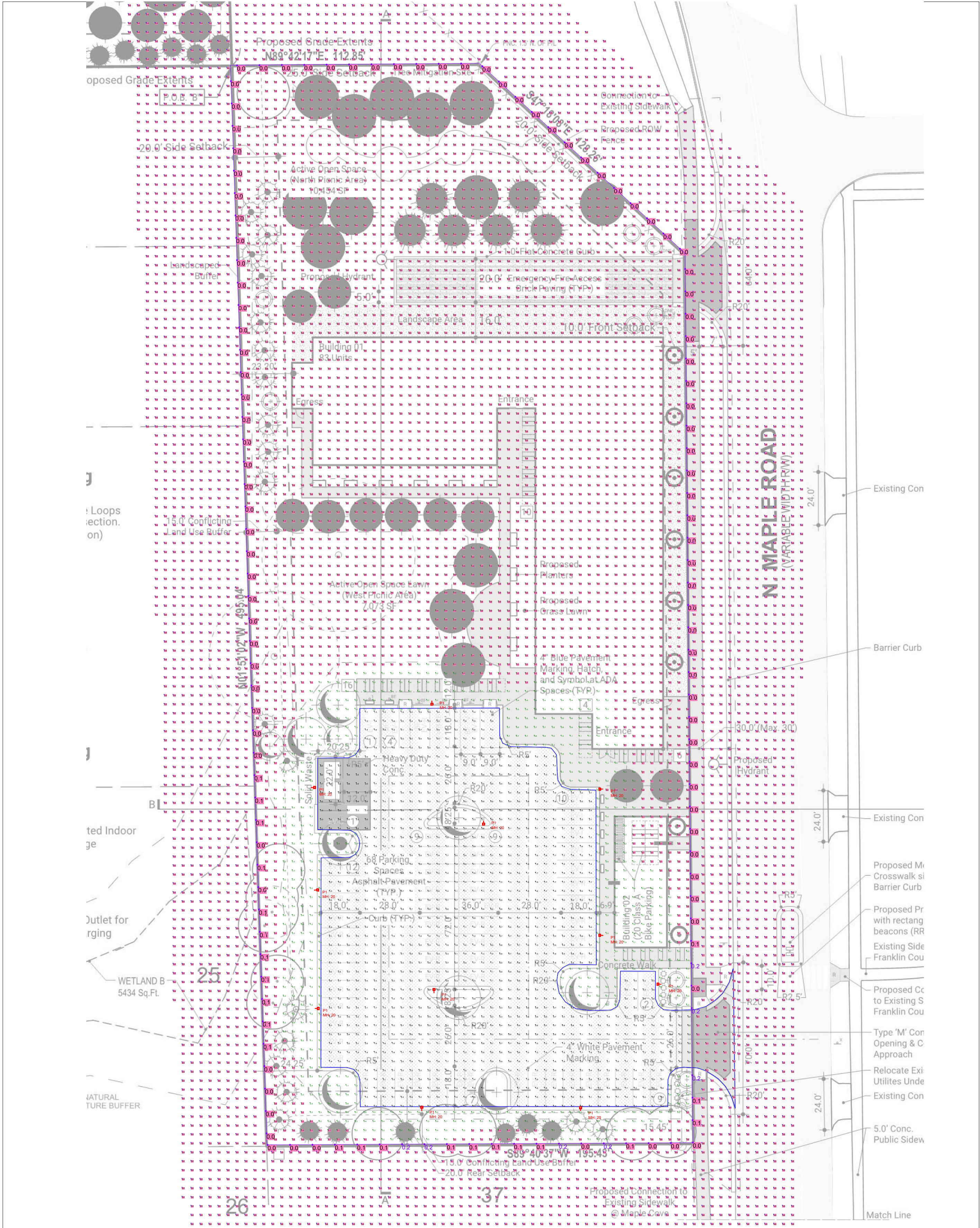
7) Additional future bay may be constructed (shown in a dashed line) if the recycling or solid waste service is inadequate. The enclosure would allow for an 8 cu yd. dumpster.

\* Trash and recycling per day was calculated based on The George solid waste generation in Ann Arbor. The calculation assumes 1 lb of waste is equivalent to 0.01 cu yd. of loose waste (this does not include any amount of manual compaction as we assume some residents would provide).

## Legend

↳ Sign	[R] Barrier free sidewalk ramp
↳ Barrier free parking sign	Proposed curb and gutter
↳ Barrier free van parking sign	Proposed vehicle charging station
↳ EV-1 parking sign	Proposed Sidewalk Concrete
↳ Stop sign	Proposed Bituminous
↳ Pedestrian crossing sign	Proposed Heavy Duty Concrete
↳ 'Do Not Enter' sign	Proposed Brick Paved Drive
↳ Fire and Emergency Use Only' sign	

EV-1 Electric Vehicle "Installed"
EV-R Electric Vehicle "Ready"
EV-C Electric Vehicle "Capable"
Proposed Hydrant
Relocated Hydrant
Existing Hydrant



Schedule						
Symbol	Qty	Manufacturer	Catalog Number	Light Loss Factor	Lumens Per Lamp	Watts
	11	LITHONIA DSX1 1	DSX1 LED P1 30K T4M MVOLT HS	0.900	4910	S4

Statistics					
Description	Avg fc	Max fc	Min fc	Avg/Min (:1)	Max/Min (:1)
AREA OUTSIDE PERIMETER 5FT AFF	0.00	0.1	0.0	N.A.	N.A.
LANDSCAPE AREA 5FT AFF	0.19	4.2	0.0	N.A.	N.A.
OUTSIDE PROPERTY LINE 5FT AFF	0.03	0.2	0.0	N.A.	N.A.
OVERALL SITE 5FT AFF	1.58	3.7	0.0	N.A.	N.A.

PLAN VIEW: NOT TO SCALE

GENERAL NOTE  
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.  
2. CALCULATIONS ARE SHOWN IN FOOT CANDLES AT: 0' - 0", FOOD SERVICE AREA AT: 2' - 6", TREES SHOWN AT BOTTOM OF LEAVES  
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

- THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS.  
THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.  
ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

- THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY.  
THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.  
- UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROL REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.  
- FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.  
- THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.  
- MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

MAPLE ROAD APARTMENTS PHOTOMETRIC PLAN

PREPARED FOR: A2 NORTH PROPERTIES LLC  
GASSER BUSH ASSOCIATES

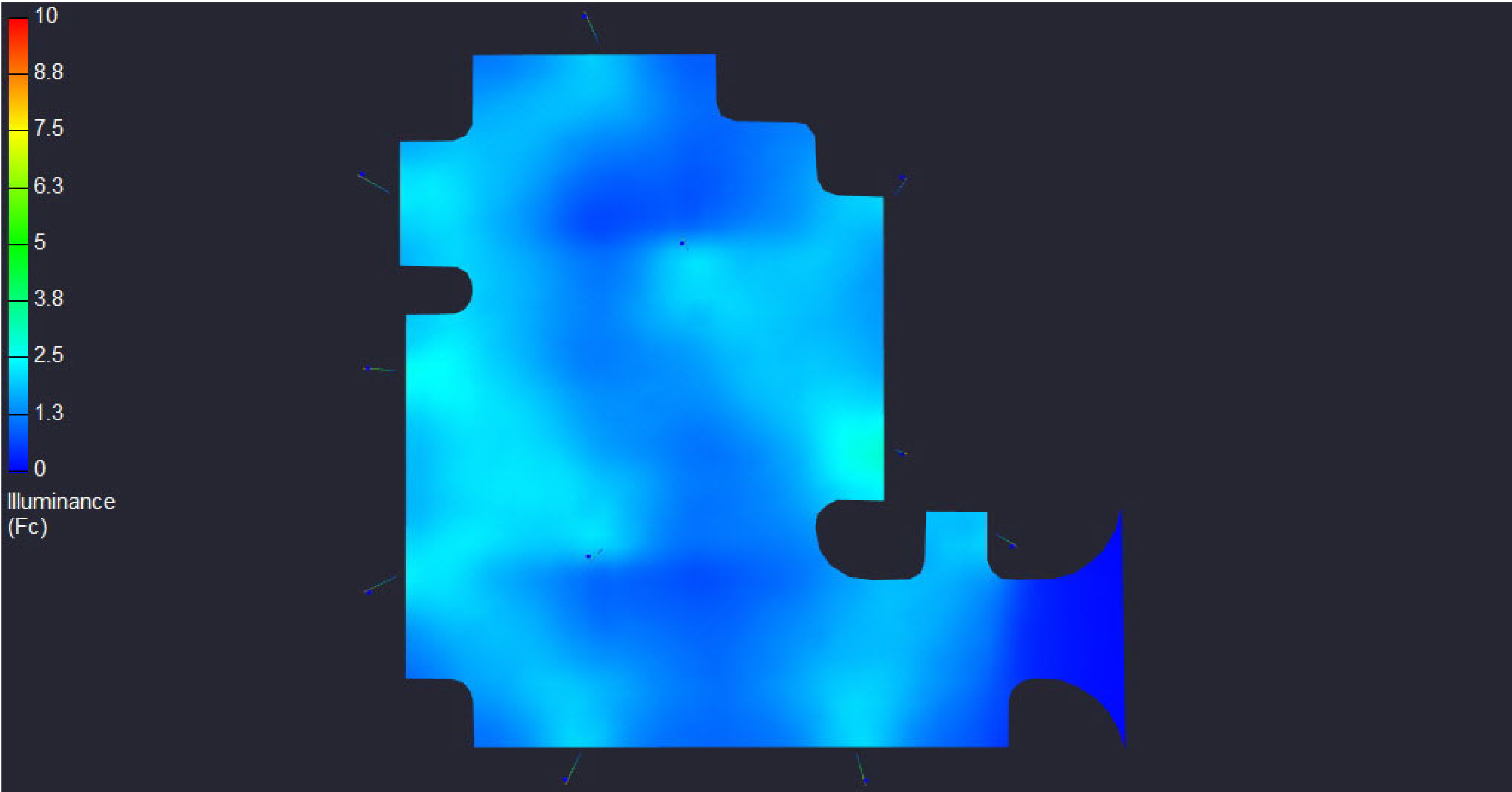
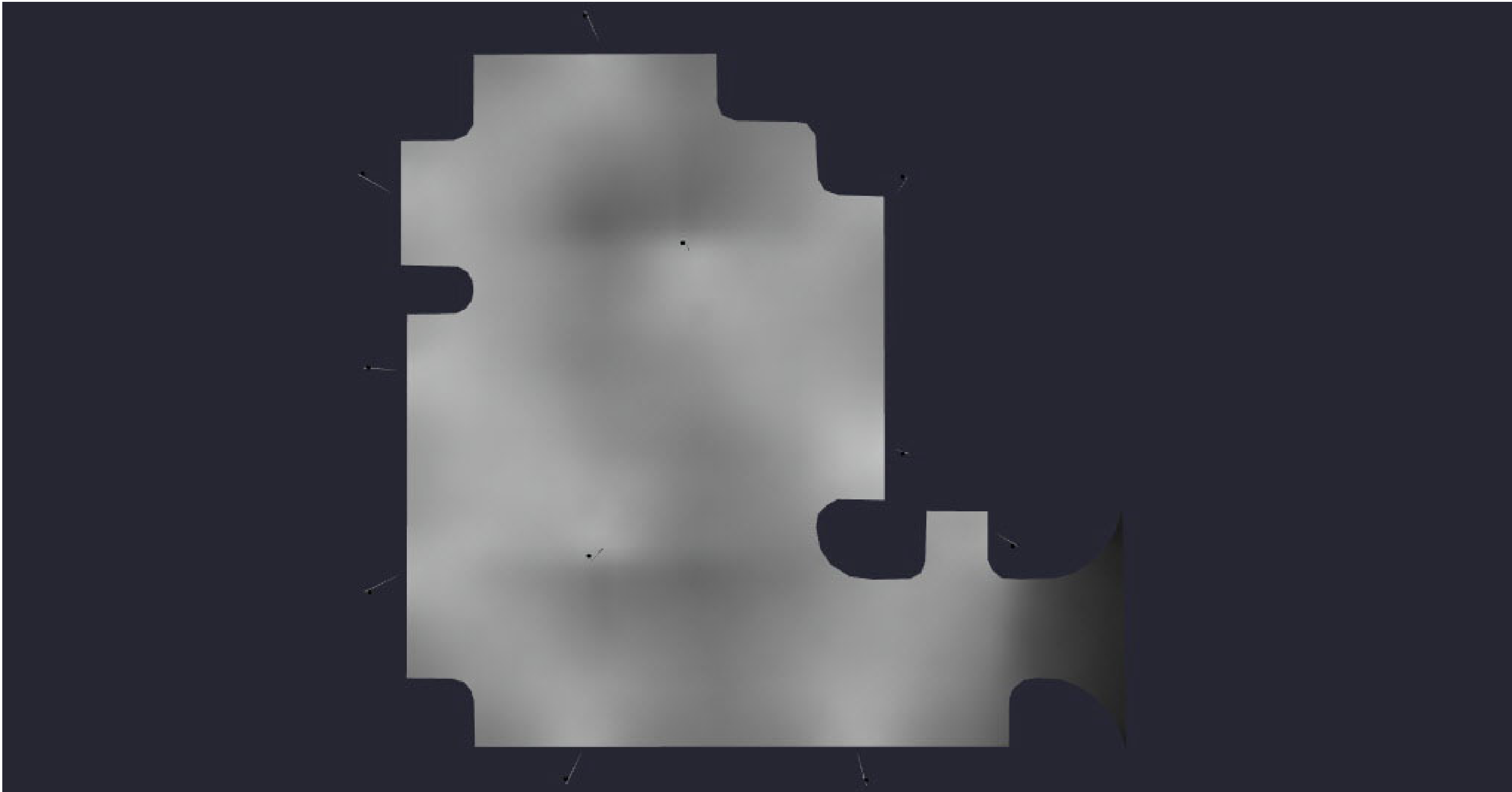
WWW.GASSERBUSH.COM

DESIGNER: JC3  
DATE: 4.12.2022  
REV. DATE: TBD  
SCALE: NOT TO SCALE

DRAWING NO: #22-71159 V2

AS6.0

GBA  
GASSER BUSH ASSOCIATES



ISOMETRIC VIEWS: CONTRAST & PSEUDO COLOR

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GASSER BUSH ASSOCIATES


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AS6.1



Schedule							
Symbol	Qty	Manufacturer	Catalog Number	Light Loss Factor	Lumens Per Lamp	Watts	Label
	11	LITHONIA DSX1 1	DSX1 LED P1 30K T4M MVOLT HS	0.900	4910	54	P1

SPECIFICATION SHEETS

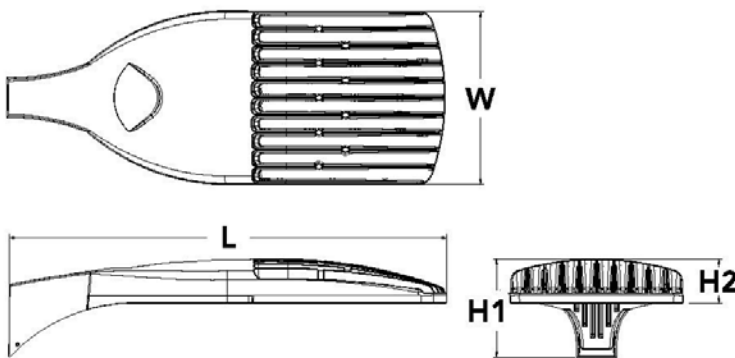


## D-Series Size 1 LED Area Luminaire



### Specifications

EPA:	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (191 mm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Catalog Number

Notes

Type

Use the tab key or mouse over the page to see all interactive elements.

### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information						EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD					
DSX1 LED											
Series	LEDs	Color temperature		Distribution		Voltage		Mounting			
DSX1 LED	<b>Forward optics</b>		30K	3000 K	T1S	Type I short (Automotive)	TSVS	Type V very short <sup>1</sup>	MVOLT <sup>1</sup>	<b>Shipped included</b>	
	P1	P4 <sup>1</sup>	P7 <sup>1</sup>	40K	4000 K	T2S	Type V short <sup>1</sup>	TSS	Type V short <sup>1</sup>	SPA	Square pole mounting
	P2	P5 <sup>1</sup>	P8	50K	5000 K	T2S	Type II short	TSM	Type V medium <sup>1</sup>	RPA	Round pole mounting <sup>10</sup>
	P3	P6 <sup>1</sup>	P9 <sup>1</sup>			T2M	Type II medium	TSW	Type V wide <sup>1</sup>	WBA	Wall bracket <sup>1</sup>
	<b>Rotated optics</b>				T3S	Type III short	BLC	Backlight control <sup>4</sup>	208 <sup>2</sup>	SPUMBA	Square pole universal mounting adaptor <sup>11</sup>
	P10 <sup>1</sup>	P12 <sup>1</sup>			T3M	Type III medium	LCCO	Left corner cutoff <sup>4</sup>	240 <sup>2</sup>	RPUMBA	Round pole universal mounting adaptor <sup>11</sup>
	P11 <sup>1</sup>	P13 <sup>1,2</sup>			T4M	Type IV medium	RCCO	Right corner cutoff <sup>4</sup>	277 <sup>2</sup>	<b>Shipped separately</b>	
					TFM	Forward throw medium			347 <sup>2</sup>	KMA8 DDBXD 0	West arm mounting bracket adaptor (Specify finish) <sup>12</sup>
									480 <sup>2</sup>		
Control options						Other options		Finish (optional)			
<b>Shipped installed</b>						<b>Shipped installed</b>		<b>Finish (optional)</b>			
NLTAIR2	nLight AIR generation 2 enabled <sup>13</sup>					PIR	High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 56 <sup>20,21</sup>	HS	House-side shield <sup>22</sup>	DDBXD	Dark bronze
PIRHN	Network, high/low motion/ambient sensor <sup>14</sup>					PIRH	High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 56 <sup>20,21</sup>	SF	Single fuse (120, 277, 347V) <sup>4</sup>	DBLXD	Black
PER	NEMA twist-lock receptacle only (controls ordered separate) <sup>15</sup>					PIR1FC3V	High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16 <sup>20,21</sup>	DF	Double fuse (208, 240, 480V) <sup>4</sup>	DNAXD	Natural aluminum
PER5	Five-pin receptacle only (controls ordered separate) <sup>15,16</sup>					PIR1FC3V	High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16 <sup>20,21</sup>	L90	Left rotated optics <sup>3</sup>	DWBXD	White
PER7	Seven-pin receptacle only (controls ordered separate) <sup>16,18</sup>					PIR1FC3V	High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16 <sup>20,21</sup>	R90	Right rotated optics <sup>3</sup>	DOBXD	Textured dark bronze
DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>17</sup>					PIR1FC3V	High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16 <sup>20,21</sup>	HA	50°C ambient operations <sup>1</sup>	DBLXD	Textured black
DS	Dual switching <sup>18,19,20</sup>					FAO	Field adjustable output <sup>20,21</sup>	BAA	Buy America(n) Act Compliant	DNATXD	Textured natural aluminum
								<b>Shipped separately</b>		DWHGXD	Textured white
								BS	Bird spikes <sup>4</sup>		
								EGS	External glare shield		



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)

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DSX1-LED

Rev. 07/19/21

Page 1 of 8

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THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.  
- UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.  
- FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.  
- THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.  
- MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

MAPLE ROAD APARTMENTS PHOTOMETRIC PLAN

PREPARED FOR: A2 NORTH PROPERTIES LLC  
GASSER BUSH ASSOCIATES

WWW.GASSERBUSH.COM

DESIGNER: JC3  
DATE: 4.12.2022  
REV. DATE: TBD  
SCALE: NOT TO SCALE

AS6.2

DRAWING NO: #22-71159 V2

