



750 Forest Ave. - Suite 101
Birmingham, MI 48009
T.: 248.594.3220

LEGEND

- = Existing Tree To Remain
- = Proposed Conflicting Land Use Buffer Tree
- = Proposed Private Street & Shared Drive Tree
- = Proposed Public R.O.W. Tree
- = Proposed Woodland Replacement Deciduous Tree
- = Proposed Woodland Replacement Evergreen Tree



■ sheet title:

Overall Landscape Plan

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
2502 Lake Lansing Rd.
Lansing, MI 48912

Phone: 517.371.5300

■ job number:

18004

■ date:

06.01.2021

■ drawn by:

EMJ

■ checked by:

WTK

■ revisions:

10.11.2021	Per Municipal Review
01.20.2022	Per Municipal Review
03.31.2022	Per Municipal Review
06.15.2022	Per Municipal Review
08.22.2022	Per PC Comments



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sheet no.

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Landscape Requirements Summary

Interior Landscape Islands

Required: Vehicular Use Areas above 3,300 SF shall receive 1 SF of Landscape Area per 20 SF of Vehicular Use Area and 1 Shade Tree per 250 SF of required Landscape Area
Vehicular Use Area: 26,252 SF Total (see Sheets 33-37)
Required: No Vehicular Use Area exceeds 3,300 SF

Conflicting Land Use Buffers

Required: Min. 15' Buffer between Vehicular Use Area or Refuse/Recycling Container and Public Park or Land Zoned for Residential
Length off Buffers: 1 Tree per 15 LF of required Buffer
Required: 18.5 LF (See Sheet 34 for Buffer location)
Proposed: 1 Tree

Street Trees

Required: 1 Deciduous Tree per 30 LF of street frontage
Street Frontage Total: 13,690 LF
Required: 457 Trees
Proposed: 457 Trees

Refuse / Recycling Container Screening

Required: Container shall be screened by min. 6' ht. wall or fence
Proposed: 6' ht. Screen Wall

Public R.O.W. Street Trees

Required: 1 Tree per 45 LF of public R.O.W.
Pontiac Trail R.O.W.: 308 LF
Pontiac Trail Required: 7 Trees
Pontiac Trail Proposed: 7 Trees
Dhu Varren R.O.W.: 330 LF
Dhu Varren Required: 8 Trees
Dhu Varren Proposed: 8 Trees (6 Proposed & 2 Existing)

Woodland Replacement Summary

Landmark Trees

Total Trees Surveyed: 182
Total Trees Removed: 114
Total DBH Removed: 2,477.00"
Replacement Required: 1,238.50"

Woodland Trees

Total Trees Surveyed: 1,289
Total Trees Removed: 981
Total DBH Removed: 6,749.00"
Replacement Required: 3,375.00"

Total Replacement Required

Total DBH Required: 4,613.50"
Total Replacement Provided: 3,993.00"

*Note: It is intended that the remaining 620.50" of required replacement shall be paid into the Ann Arbor Tree Fund at the rate of \$200.00 per replacement inch not planted on site. This total amounts to \$124,100.00.

Vehicular Use Areas (VUA) Legend

= Areas Identified as Streets

= Areas Identified as Vehicular Use Areas

Notes:

- Areas identified as VUAs meet the definition of Vehicular Use Area as written in the Ann Arbor Code of Ordinances Article VIII. Definitions (see below).
- Areas identified as Streets shall not be considered a part of a VUA per the below definition.
- Areas not designated either as VUA or Street are considered paved areas to facilitate the movement of vehicles between VUAs and Streets, and are not counted as VUAs per the definition.

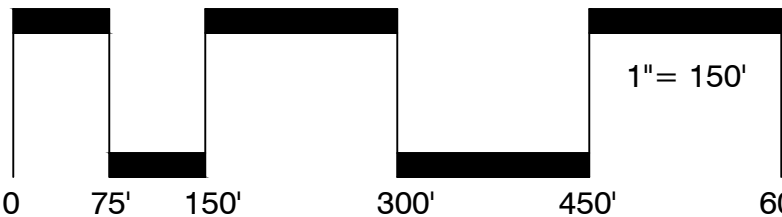
Vehicular Use Area Definition per Ann Arbor Unified Development Code

Vehicular Use Area

Any area of 1,200 square feet or more of a property that is not located within an enclosed Structure and that is devoted to a use by or for motor vehicles, including parking (accessory or non-accessory) or storage of Automobiles, trucks or other vehicles, loading areas, service areas and drives. The area within a carport is considered part of the Vehicular Use Area. Any paved area designed to be used solely for access between the street and the Vehicular Use Area shall not be considered part of the Vehicular Use Area.

General Landscape Notes

- Utility box locations are unknown at this time. Once the box locations are known they will be screened on 3 sides. See detail on Sheet 33.
- Disturbed areas shall be sodded or seeded.
- Landscape areas shall be irrigated.
- Snow shall be stored along streets. Storage shall not include detention areas or landscaped areas.
- Trees shall be planted a min. 5'-8" from utility leads. Trees shall be planted such that a 1:1 trench could be dug to access utility leads.
- Trees shall be planted a min. 10' from Water Main & Sanitary Sewer
- All deciduous trees shall be planted a min. 15' o.c. Evergreen trees shall be planted a min. 12' o.c.
- Trees shall be planted a min. 15' from fire hydrants
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■ sheet title:

Landscape Plan - Area 1

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
2502 Lake Lansing Rd.
Lansing, MI 48912

Phone: 517.371.5300

■ job number:

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06.01.2021

■ drawn by:

EMJ

■ checked by:

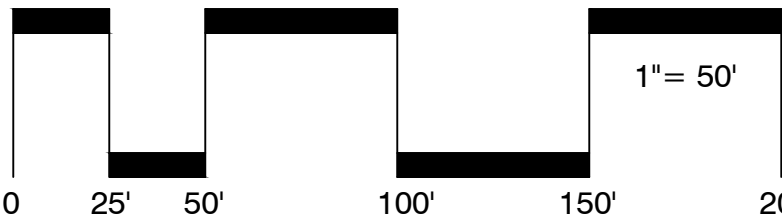
WTK

■ revisions:

10.11.2021	Per Municipal Review
01.20.2022	Per Municipal Review
03.31.2022	Per Municipal Review
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08.22.2022	Per PC Comments



Know what's below.
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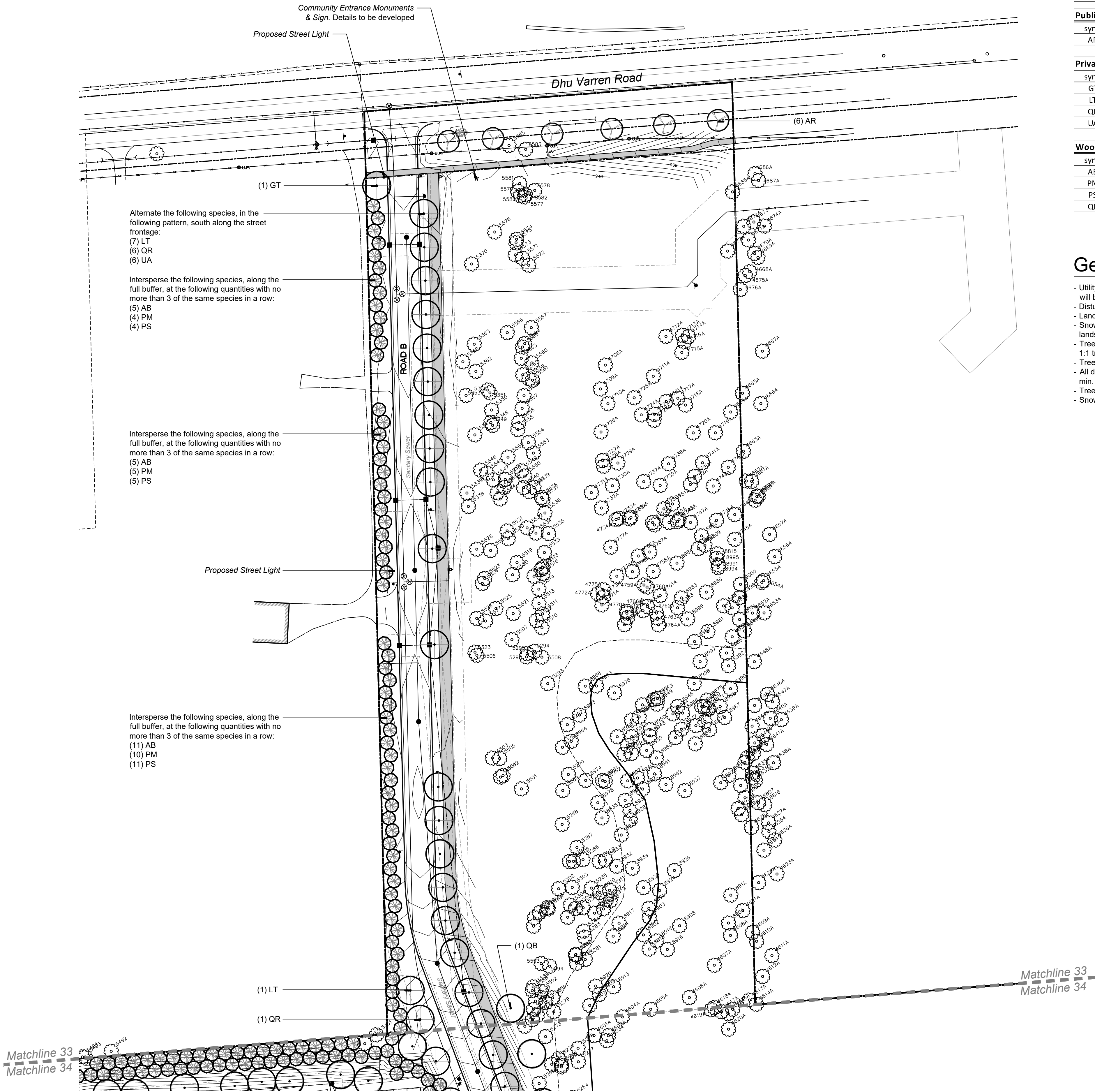
33

Plant Schedule This Sheet

Public R.O.W. Trees					
sym.	qty.	botanical name	common name	size	spacing
AR	6	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	2.5" cal.	per plans
Private Street & Shared Drive Trees					
sym.	qty.	botanical name	common name	size	spacing
GT	1	<i>Gleditsia triacanthos</i>	Honeylocust	2.5" cal.	per plans
LT	8	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5" cal.	per plans
QR	7	<i>Quercus rubra</i>	Red Oak	2.5" cal.	per plans
UA	6	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2.5" cal.	per plans
Woodland Replacement Trees					
sym.	qty.	botanical name	common name	size	spacing
AB	21	<i>Abies balsamea</i>	Balsam Fir	8' ht.	per plans
PM	19	<i>Picea mariana</i>	Black Spruce	8' ht.	per plans
PS	20	<i>Pinus strobus</i>	White Pine	8' ht.	per plans
QB	1	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans

General Landscape Notes

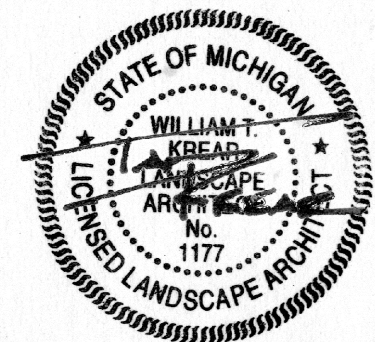
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■ sheet title:

Landscape Plan - Area 2

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
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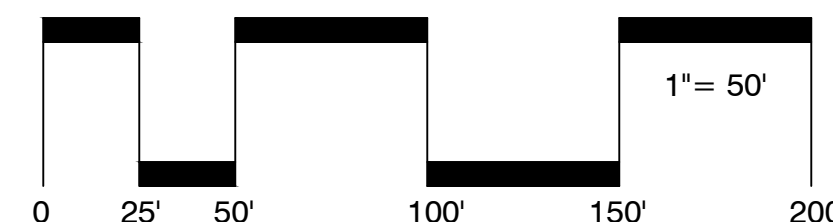
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■ revisions:

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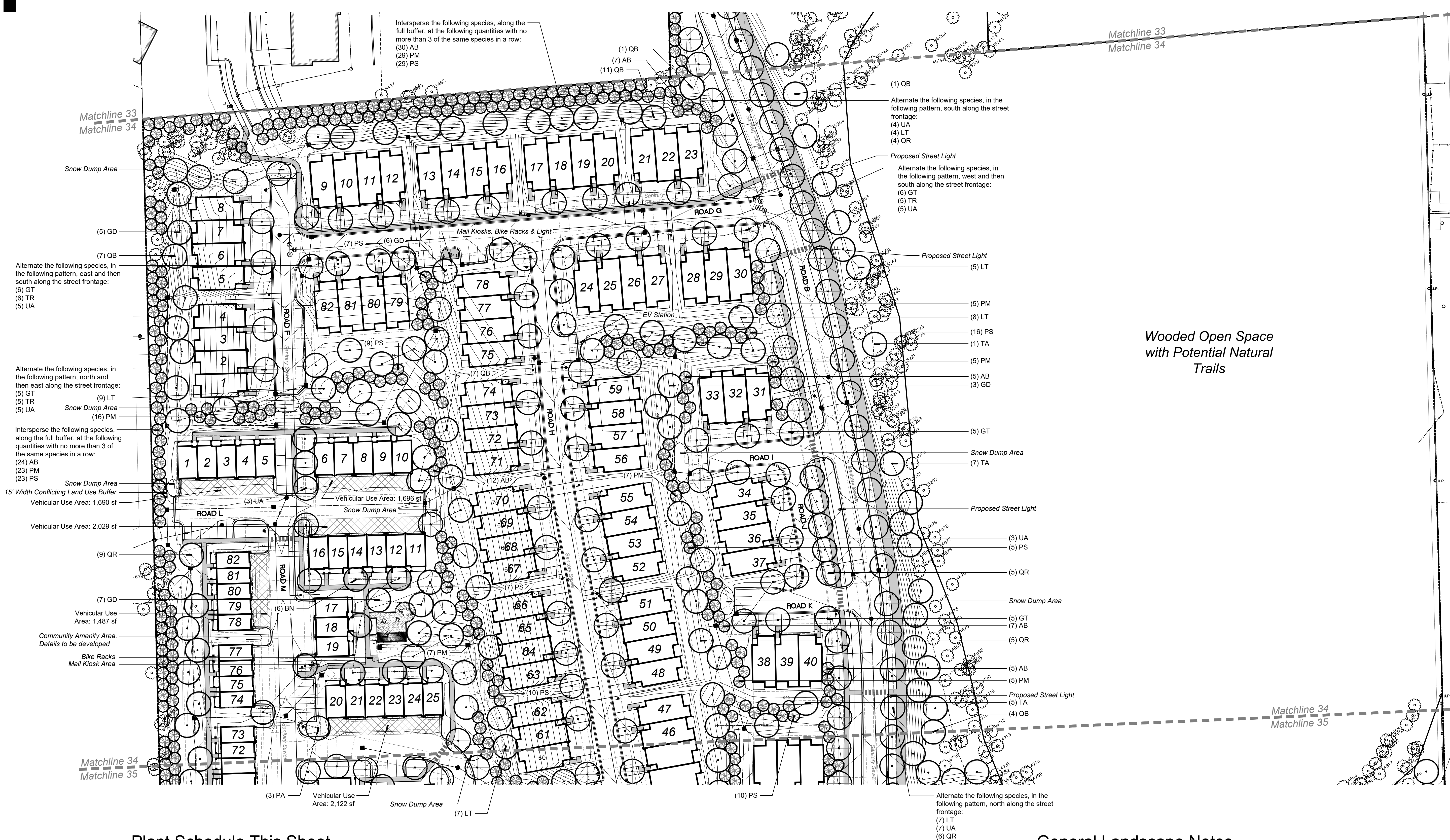


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34



Plant Schedule This Sheet

Conflicting Land Use Buffer Trees						
sym.	qty.	botanical name	common name	size	spacing	root
AB	1	<i>Abies balsamea</i>	Balsam Fir	8' ht.	per plans	B&B
Private Street & Shared Drive Trees						
sym.	qty.	botanical name	common name	size	spacing	root
GT	27	<i>Gleditsia triacanthos</i> var. <i>Inermis</i>	Thornless Honeylocust	2.5" cal.	per plans	B&B
LT	12	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5" cal.	per plans	B&B
PA	3	<i>Platanus x acerifolia</i> 'Exclamation'	Exclamation London Planetree	2.5" cal.	per plans	B&B
QB	2	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans	B&B
QR	10	<i>Quercus rubra</i>	Red Oak	2.5" cal.	per plans	B&B
TR	16	<i>Tilia americana</i> 'Redmond'	Redmond Linden	2.5" cal.	per plans	B&B
UA	32	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2.5" cal.	per plans	B&B

Woodland Replacement Trees						
sym.	qty.	botanical name	common name	size	spacing	root
AB	89	<i>Abies balsamea</i>	Balsam Fir	8' ht.	per plans	B&B
BN	6	<i>Betula nigra</i>	River Birch	3" cal.	per plans	B&B
GD	21	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3" cal.	per plans	B&B
LT	28	<i>Liriodendron tulipifera</i>	Tulip Tree	3" cal.	per plans	B&B
PM	97	<i>Picea mariana</i>	Black Spruce	8' ht.	per plans	B&B
PS	116	<i>Pinus strobus</i>	White Pine	8' ht.	per plans	B&B
QB	29	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans	B&B
QR	19	<i>Quercus rubra</i>	Red Oak	3" cal.	per plans	B&B
TA	13	<i>Tilia americana</i>	Basswood	3" cal.	per plans	B&B

General Landscape Notes

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■ sheet title:

Landscape Plan - Area 3

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
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■ drawn by:

EMJ

■ checked by:

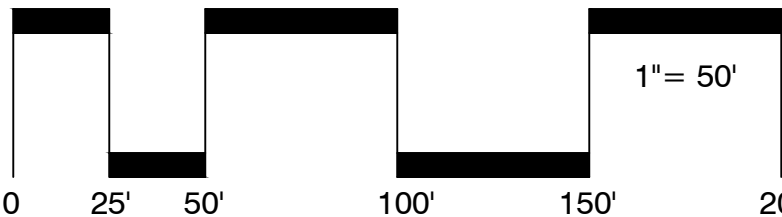
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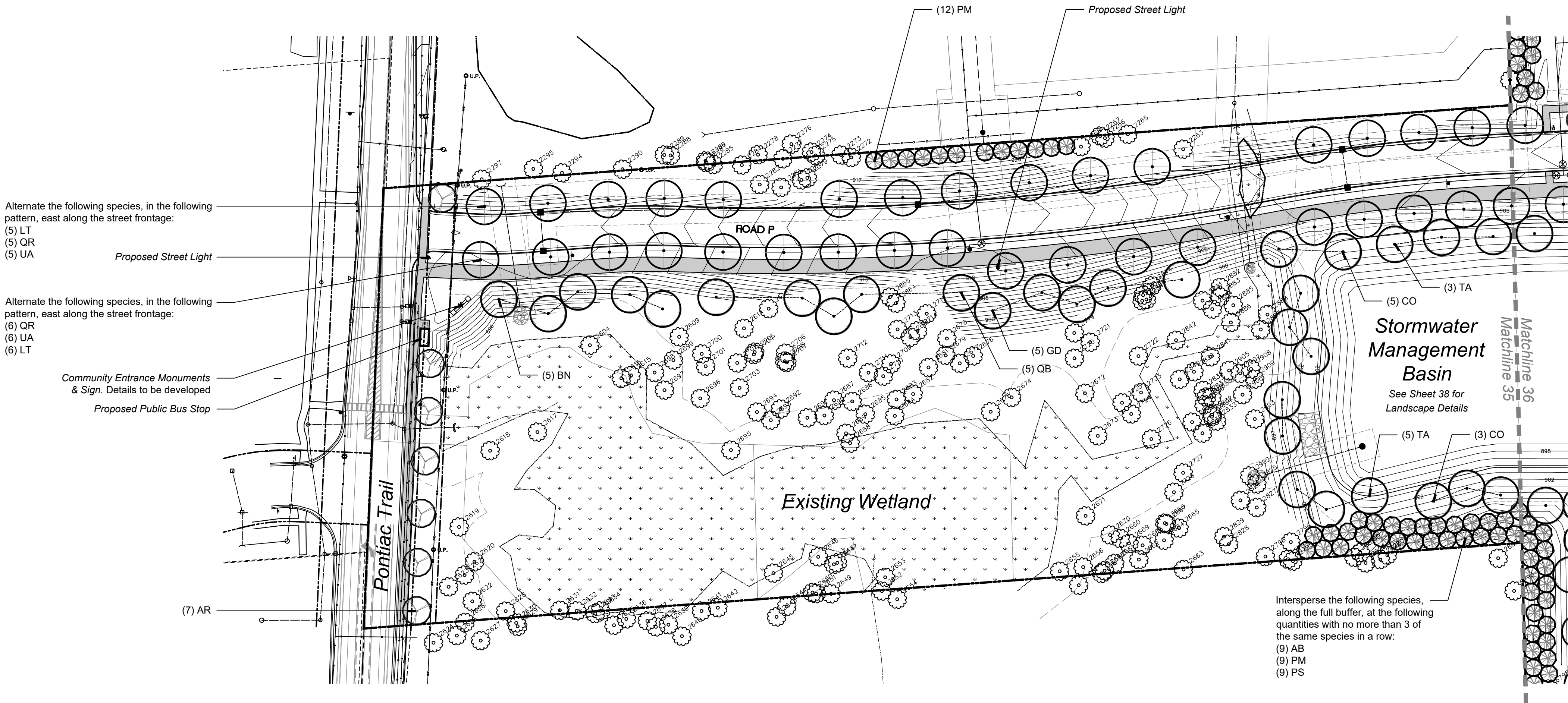


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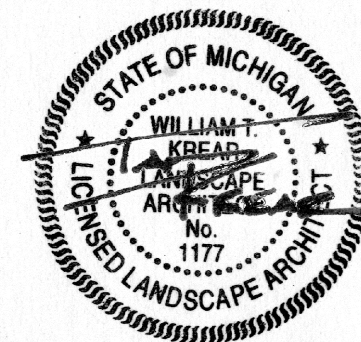
Private Street & Shared Drive Trees						
sym.	qty.	botanical name	common name	size	spacing	root
LT	11	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5" cal.	per plans	B&B
QR	11	<i>Quercus rubra</i>	Red Oak	2.5" cal.	per plans	B&B
UA	11	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2.5" cal.	per plans	B&B
Public R.O.W. Trees						
sym.	qty.	botanical name	common name	size	spacing	root
AR	7	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	2.5" cal.	per plans	B&B
Woodland Replacement Trees						
sym.	qty.	botanical name	common name	size	spacing	root
AB	9	<i>Abies balsamea</i>	Balsam Fir	8' ht.	per plans	B&B
BN	5	<i>Betula nigra</i>	River Birch	3" cal.	per plans	B&B
CO	8	<i>Celtis occidentalis</i>	Hackberry	3" cal.	per plans	B&B
GD	5	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3" cal.	per plans	B&B
PM	21	<i>Picea mariana</i>	Black Spruce	8' ht.	per plans	B&B
PS	9	<i>Pinus strobus</i>	White Pine	8' ht.	per plans	B&B
QB	5	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans	B&B
TA	8	<i>Tilia americana</i>	Basswood	3" cal.	per plans	B&B

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■ sheet title:

Landscape Plan - Area 4

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
2502 Lake Lansing Rd.
Lansing, MI 48912

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■ drawn by:

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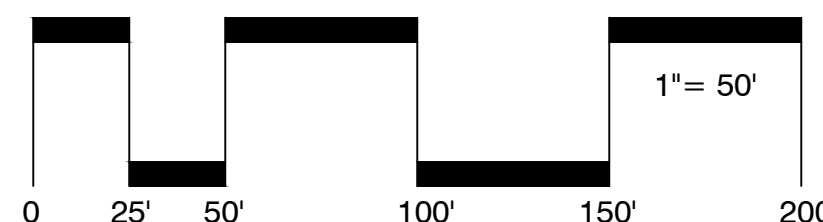
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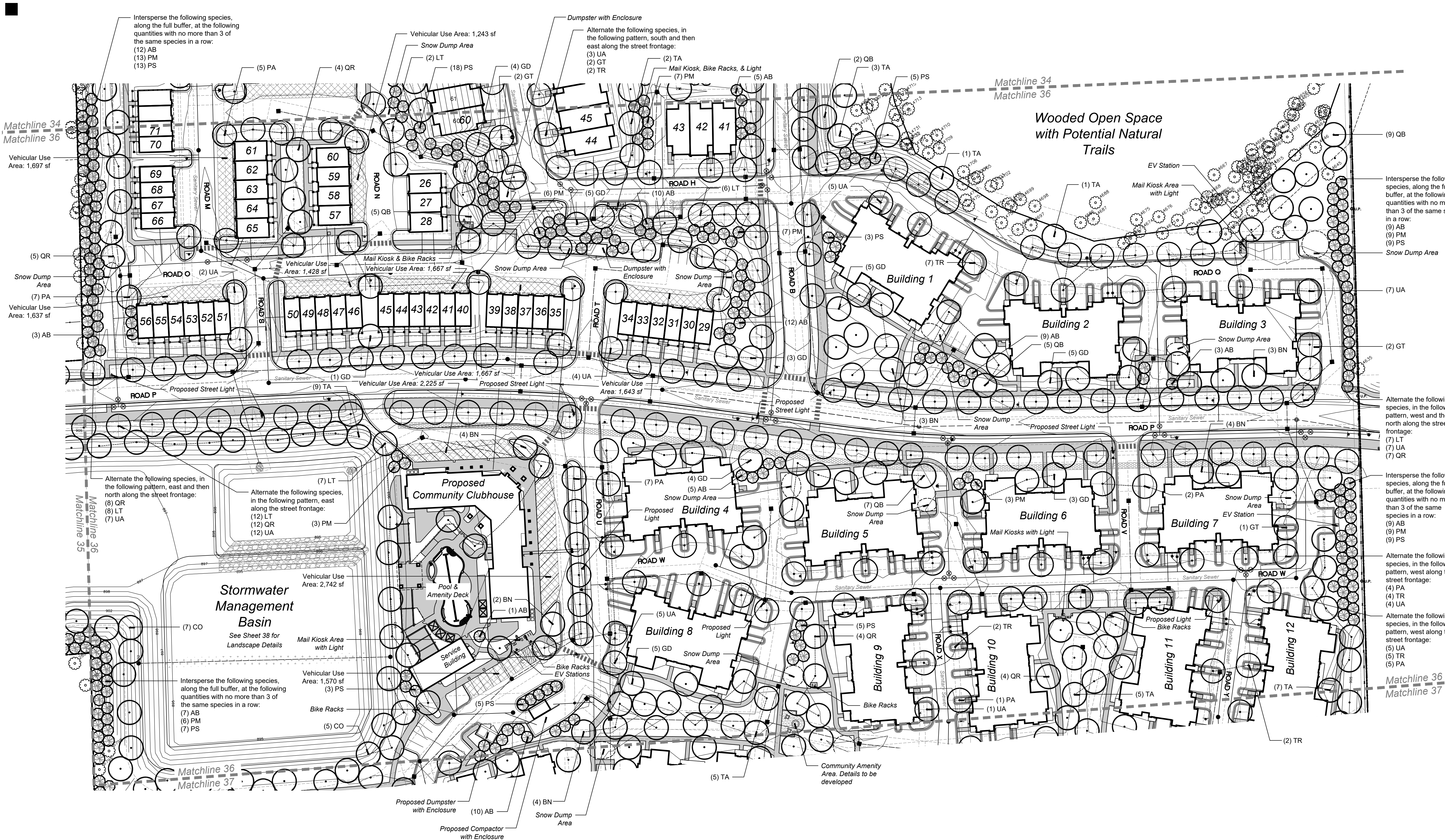


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Plant Schedule This Sheet

Private Street & Shared Drive Trees						
sym.	qty.	botanical name	common name	size	spacing	root
GD	2	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3" cal.	per plans	B&B
GT	7	<i>Gleditsia triacanthos</i> var. <i>Inermis</i>	Thornless Honeylocust	2.5" cal.	per plans	B&B
LT	35	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5" cal.	per plans	B&B
PA	31	<i>Platanus x acerifolia</i> 'Exclamation'	Exclamation London Planetree	2.5" cal.	per plans	B&B
QB	3	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans	B&B
QR	27	<i>Quercus rubra</i>	Red Oak	2.5" cal.	per plans	B&B
TR	22	<i>Tilia americana</i> 'Redmond'	Redmond Linden	2.5" cal.	per plans	B&B
UA	62	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2.5" cal.	per plans	B&B

Woodland Replacement Trees						
sym.	qty.	botanical name	common name	size	spacing	root
AB	95	<i>Abies balsamea</i>	Balsam Fir	8' ht.	per plans	B&B
BN	20	<i>Betula nigra</i>	River Birch	3" cal.	per plans	B&B
CO	12	<i>Celtis occidentalis</i>	Hackberry	3" cal.	per plans	B&B
GD	33	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3" cal.	per plans	B&B
LT	7	<i>Liriodendron tulipifera</i>	Tulip Tree	3" cal.	per plans	B&B
PM	63	<i>Picea mariana</i>	Black Spruce	8' ht.	per plans	B&B
PS	77	<i>Pinus strobus</i>	White Pine	8' ht.	per plans	B&B
QB	25	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans	B&B
QR	17	<i>Quercus rubra</i>	Red Oak	3" cal.	per plans	B&B
TA	33	<i>Tilia americana</i>	Basswood	3" cal.	per plans	B&B

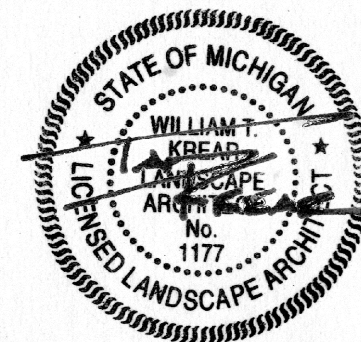
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■ sheet title:

Landscape Plan - Area 5

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

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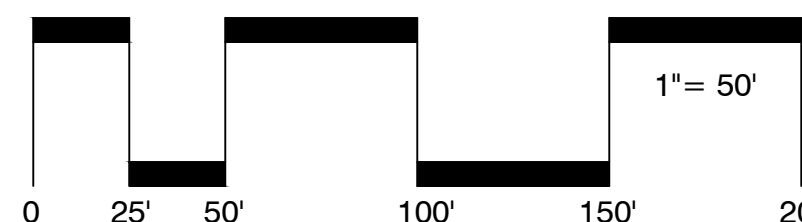
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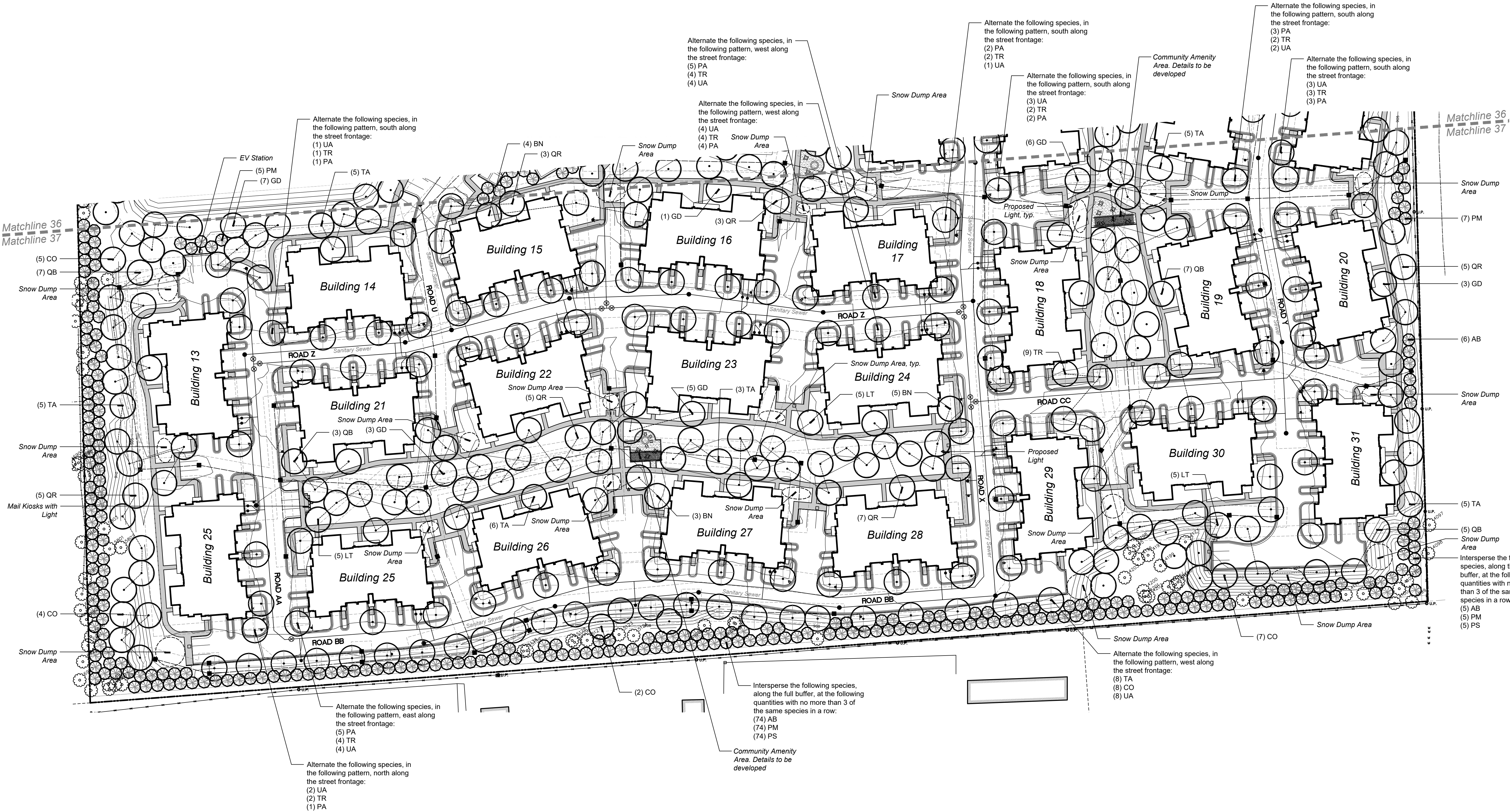


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Plant Schedule This Sheet

Private Street & Shared Drive Trees						
sym.	qty.	botanical name	common name	size	spacing	root
CO	8	<i>Celtis occidentalis</i>	Hackberry	2.5" cal.	per plans	B&B
GD	2	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3" cal.	per plans	B&B
PA	26	<i>Platanus x acerifolia</i> 'Exclamation'	Exclamation London Planetree	2.5" cal.	per plans	B&B
QR	2	<i>Quercus rubra</i>	Red Oak	3" cal.	per plans	B&B
TA	8	<i>Tilia americana</i>	Basswood	2.5" cal.	per plans	B&B
TR	33	<i>Tilia americana</i> 'Redmond'	Redmond Linden	2.5" cal.	per plans	B&B
UA	32	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2.5" cal.	per plans	B&B

Woodland Replacement Trees						
sym.	qty.	botanical name	common name	size	spacing	root
AB	85	<i>Abies balsamea</i>	Balsam Fir	8' ht.	per plans	B&B
BN	12	<i>Betula nigra</i>	River Birch	3" cal.	per plans	B&B
CO	18	<i>Celtis occidentalis</i>	Hackberry	3" cal.	per plans	B&B
GD	23	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	3" cal.	per plans	B&B
LT	15	<i>Liriodendron tulipifera</i>	Tulip Tree	3" cal.	per plans	B&B
PM	91	<i>Picea mariana</i>	Black Spruce	8' ht.	per plans	B&B
PS	79	<i>Pinus strobus</i>	White Pine	8' ht.	per plans	B&B
QB	22	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	per plans	B&B
QR	26	<i>Quercus rubra</i>	Red Oak	3" cal.	per plans	B&B
TA	29	<i>Tilia americana</i>	Basswood	3" cal.	per plans	B&B

General Landscape Notes

- Utility box locations are unknown at this time. Once the box locations are known they will be screened on 3 sides. See detail on Sheet 33.
- Disturbed areas shall be sodded or seeded.
- Landscape areas shall be irrigated.
- Snow shall be stored along streets. Storage shall not include detention areas or landscaped areas.
- Trees shall be planted a min. 5'-8' from utility leads. Trees shall be planted such that a 1:1 trench could be dug to access utility leads.
- Trees shall be planted a min. 10' from Water Main & Sanitary Sewer
- All deciduous trees shall be planted a min. 15' o.c. Evergreen trees shall be planted a min. 12' o.c.
- Trees shall be planted a min. 15' from fire hydrants
- Snow Storage Areas shall be a min. 15' from fire hydrants



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LEGEND

- = Existing Tree To Remain
- = Proposed Conflicting Land Use Buffer Tree
- = Proposed Private Street & Shared Drive Tree
- = Proposed Public R.O.W. Tree
- = Proposed Woodland Replacement Deciduous Tree
- = Proposed Woodland Replacement Evergreen Tree



■ sheet title:

Stormwater Basin Landscape

■ project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

■ prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
2502 Lake Lansing Rd.
Lansing, MI 48912

Phone: 517.371.5300

■ job number:

18004

■ date:

06.01.2021

■ drawn by:

EMJ

■ checked by:

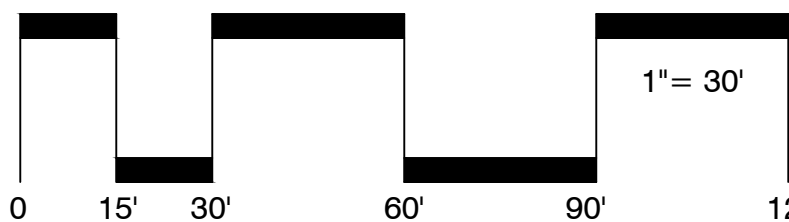
WTK

■ revisions:

10.11.2021	Per Municipal Review
01.20.2022	Per Municipal Review
03.31.2022	Per Municipal Review
06.15.2022	Per Municipal Review
08.22.2022	Per PC Comments



Know what's below.
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sheet no.

38

Infiltration Basin Summary

Slope Zone - 902' to Basin Floor Areas

45,748 s.f.
Application Rate: 40.0 lbs. / Ac.
42.00 lbs. of Storm Water Seed Mix
3"-6" of Composted Organic Material
shall be placed in this area.

Seed Mix available from Nativescape
- www.nativescapellc.com
- 517.456.9696
- info@nativescapellc.com

Wet Meadow Plug Zone - Basin Floor Areas

70,919 s.f. Total
Plug Plant Schedule

Live Plugs				
qty.	botanical name	common name	spacing	Root
2,533	<i>Acorus americanus</i>	Sweet Flag	24" o.c.	Live Plug
2,533	<i>Asclepias incarnata</i>	Swamp Milkweed	24" o.c.	Live Plug
2,533	<i>Campanula americana</i>	Tall Bellflower	24" o.c.	Live Plug
2,533	<i>Eupatorium maculatum</i>	Joe Pye Weed	24" o.c.	Live Plug
2,533	<i>Potamogeton pectinatus</i>	Sago Pondweed	24" o.c.	Live Plug
2,533	<i>Sagittaria latifolia</i>	Common Arrowhead	24" o.c.	Live Plug
2,533	<i>Silphium terebinthaceum</i>	Prairie Dock	24" o.c.	Live Plug

Note:
Landscape Contractor shall mix species of plugs together as installation occurs to ensure no area is overwhelmingly one species of plug.

Infiltration Basin Seed Mix



Detention Basin Mix

This mix contains at least (10) of the Flowers, (4) of the Grasses & Sedges		
Common Name	Scientific Name	#/acre
Temporary Grasses 50%		
Seed Oats	<i>Avena sativa</i>	14.0
Annual Rye	<i>Lolium multiflorum</i>	6.0
Native Grasses 30%		
Big Bluestem Grass	<i>Andropogon gerardi</i>	3.0
Fringed Sedge	<i>Carex crinita</i>	0.5
Fox Sedge	<i>Carex vulpinoidea</i>	0.5
Canada Wild Rye	<i>Elymus canadensis</i>	3.5
Dark Green Bulrush	<i>Scirpus atrovirens</i>	1.0
Indian Grass	<i>Sorghastrum nutans</i>	3.0
Prairie Cord Grass	<i>Sporina pectinata</i>	0.5
Native Wildflowers 20%		
Calico Aster	<i>Aster laterifolius</i>	0.2
New England Aster	<i>Aster novae-angliae</i>	0.3
Pink Indian Plantain	<i>Cassia alpicolorata</i>	0.2
Turtlehead	<i>Chelone glabra</i>	0.2
Jossey Weed	<i>Eupatorium maculatum</i>	0.3
Roanet	<i>Eupatorium perfoliatum</i>	0.2
Ox Eye Sunflower	<i>Helianthus helianthoides</i>	0.6
Dense Blazingstar	<i>Liatris spicata</i>	0.3
Cardinal Flower	<i>Lobelia cardinalis</i>	0.2
Ornate Blue Lobelia	<i>Lobelia siphilitica</i>	0.2
Yellow Coneflower	<i>Rudbeckia hirta</i>	1.8
Black-eyed Susan	<i>Rudbeckia hirta</i>	2.0
Green-headed Coneflower	<i>Rudbeckia laciniata</i>	0.2
Other Plants 10%		
Ohio Goldenrod	<i>Solidago ohioensis</i>	0.2
Ridgely's Goldenrod	<i>Solidago rigida</i>	0.2
Blue Vervain	<i>Verbena hastata</i>	0.5
Culver's Root	<i>Veronicastrum virginicum</i>	0.2
Ironweed	<i>Veronica gigantea</i>	0.2
Total Pounds Per Acre		40 lbs

Note:
Notify Seed Supplier that *Silphium perfoliatum* (Cupplant) cannot be used in the specified seed mix due to being a Threatened Species

*Quantities are determined by availability of seed at the time of ordering and are subject to change. Species shown in the table, with the exception of *Silphium perfoliatum*, will not change

Infiltration Basin Notes

No chemicals are allowed in Stormwater Features or Buffer Zones with the following exception:
Invasive species may be treated with chemicals by a certified applicator. Mowing is allowed only twice a year.

Soils must be amended with a composted organic material. Soils must be free of construction debris and subsoils. Soils must contain 20%-30% compost.

At the time of plant and seed delivery, a WCWRC Landscape Reviewer must be present. The quantity and species delivered will be reviewed on site. Contact Catie Wytychack at wytychack@washtenaw.org or 734.222.6813 to coordinate.



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LEGEND

City of Ann Arbor Notes

Continuing Care
Landscaping shall be kept in neat, orderly, and healthy growing condition, free from debris and refuse. All landscape material shall be maintained by a regular program or mowing, watering, weeding, feeding, and pruning. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning shall assure proper maturation of plants to achieve their approved purpose.

Replenishment
All dead or diseased plant material shall be removed and replaced within six (6) months after it dies, or in the next planting season, whichever occurs first.

Watering
This shall be accomplished by installation of an underground irrigation system to provide water for the landscape areas specified on the landscape plan.

Clay Soils
Construct earth bed to required grade and trim. Prior to placement of topsoil or compost, harrow all earth beds to a minimum of 3" depth.

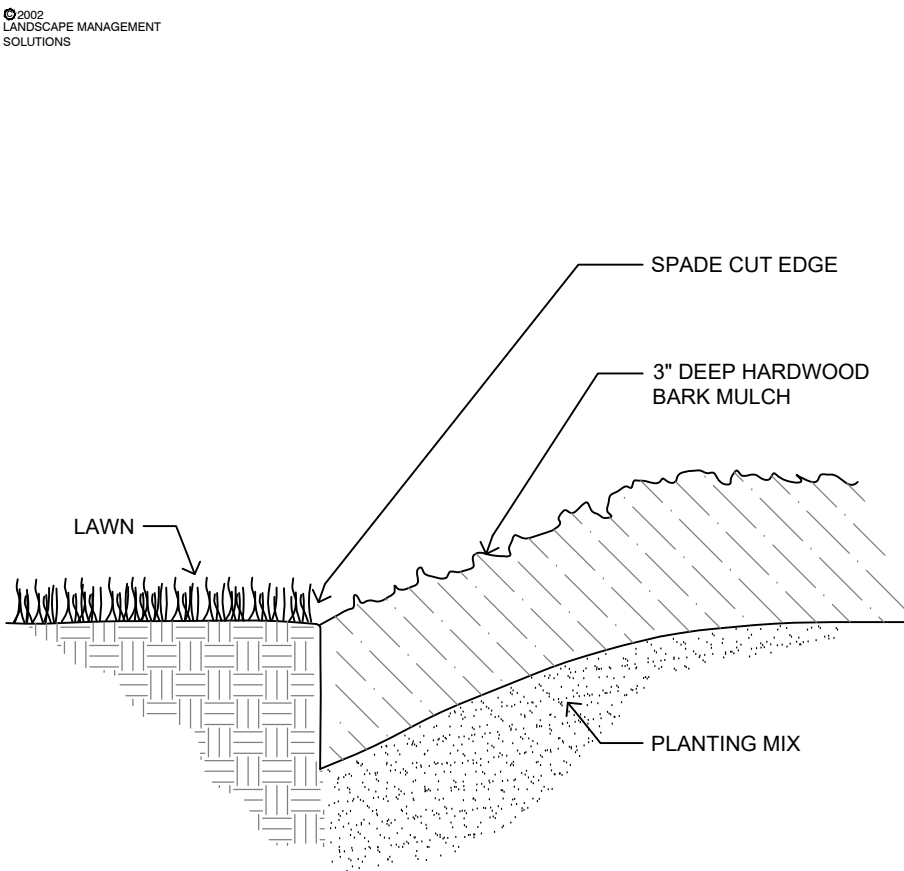
Fertilizer
Beyond initial fertilization, all future fertilizer applications shall not contain phosphorus.

Landscape Notes

- Tree stakes, guy wires and tree wrap shall be removed after one year.
- All trees shall be planted no closer than 15' to fire hydrants.
- All plant material shall be true to name and free from physical damage and wind burn.
- Plants shall be full, well-branched, and in a healthy, vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized, and mulched and shall be guaranteed to exhibit a normal growth cycle for at least one (1) full year following planting. All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, or stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand, and 1/3 peat.
- All plantings shall be mulched with shredded hardwood bark, spread to a minimum depth of 3". Mulch is to be free from debris and foreign material and shall contain no pieces of inconsistent size.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect or Owner's representative.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right at any stage of the installation to reject any work or material that does not meet the requirements of the plan and specifications, if requested by the owner.
- The Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly to all planting beds prior to mulching.
- The Developer and Landscape Architect reserve the right to change location of plant material and alter plant species/variety at the time of installation based upon availability and quantity of material as well as site conditions. Materials will be of similar size, appearance and growth habit. All species deviations from the approved site plan must be approved by the City of Ann Arbor in writing prior to installation.
- All Lawn areas shall be Seeded or Sodded

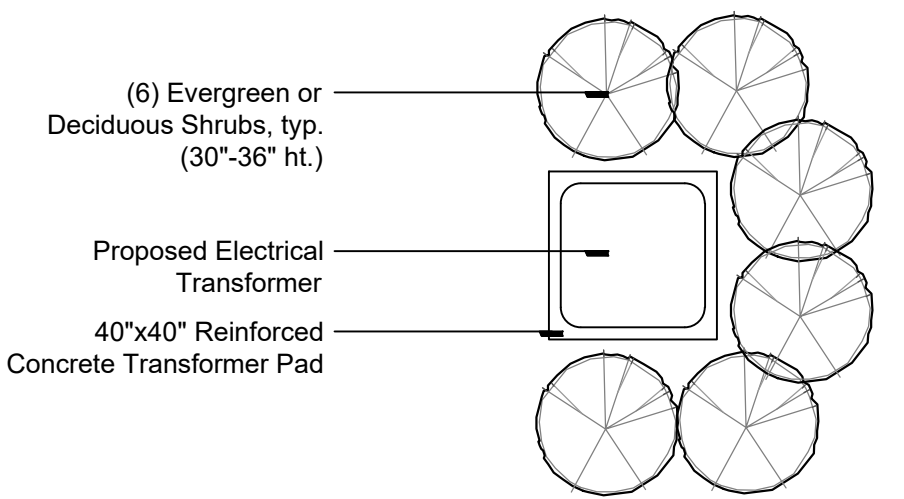
Evergreen Tree Planting Detail - 10' Ht. and Under

Scale: NTS



Spade Cut Edging Detail

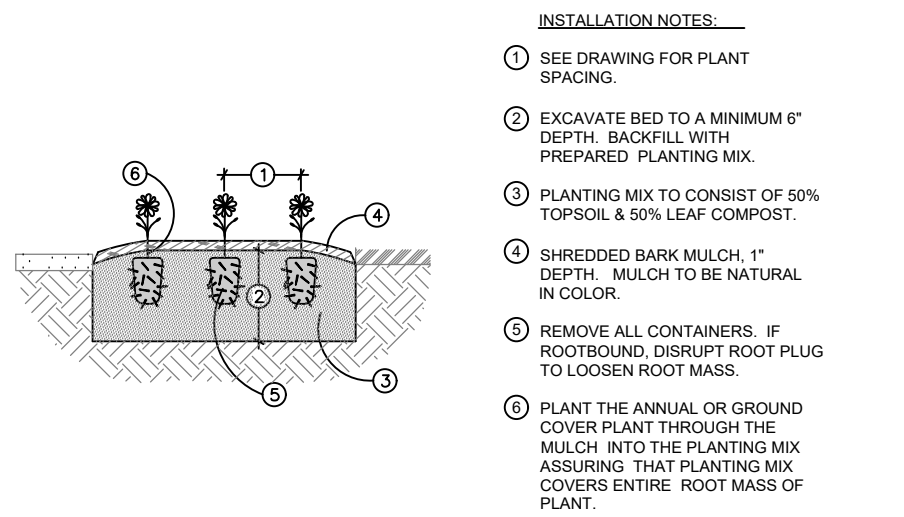
NTS



*Notes:
- Transformer Pad shall be screened on a minimum of three sides
- Actual Pad and Plant Locations shall be determined in the field, based on actual construction, orientation, and desired screening

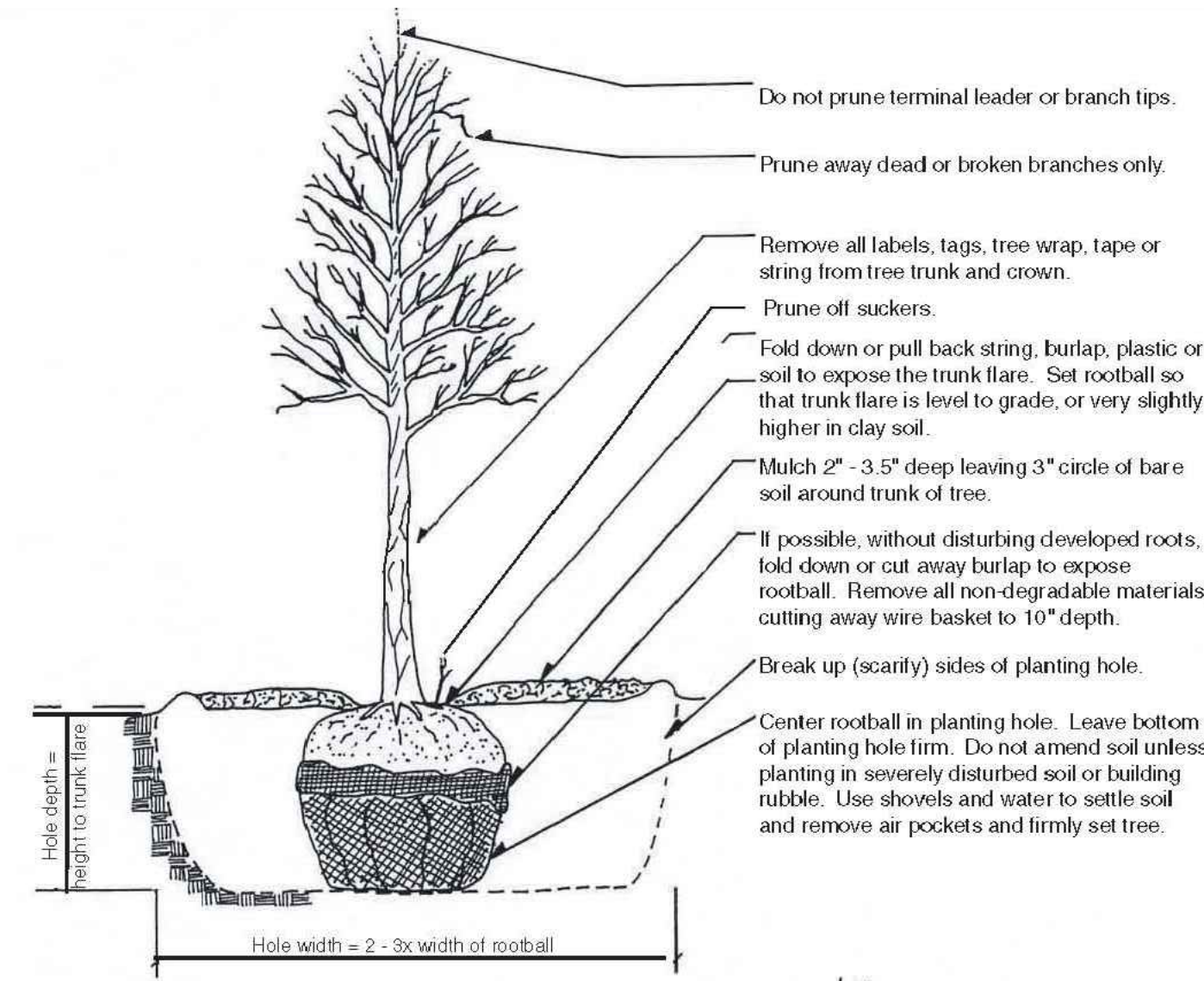
Optional Transformer Screening Detail

Scale: 1/4" = 1'



Annual & Ground Cover Planting Detail

Scale: NTS



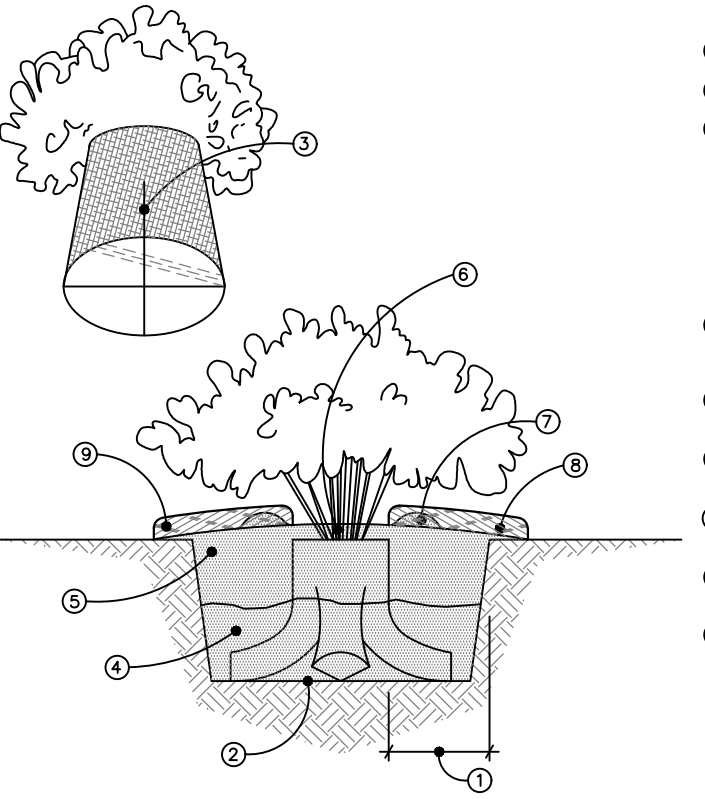
Do not stake unless in heavy clay soil, windy conditions, 3" or greater diameter tree trunk or large crown. If staking is needed due to these conditions:

- Stake with 2 x 2 hardwood stakes, or approved equal, driven 6" - 8" outside of rootball.
- Loosely stake tree trunk to allow for trunk flexing.
- Stake trees just below first branch with 2" - 3" wide belt-like, nylon or plastic straps (2 per tree on opposite sides of tree, connect from tree to stake horizontally. Do not use rope or wire through a hose.)
- Remove all staking materials after 1 year.

TREE PLANTING DETAIL

SCALE: NO SCALE

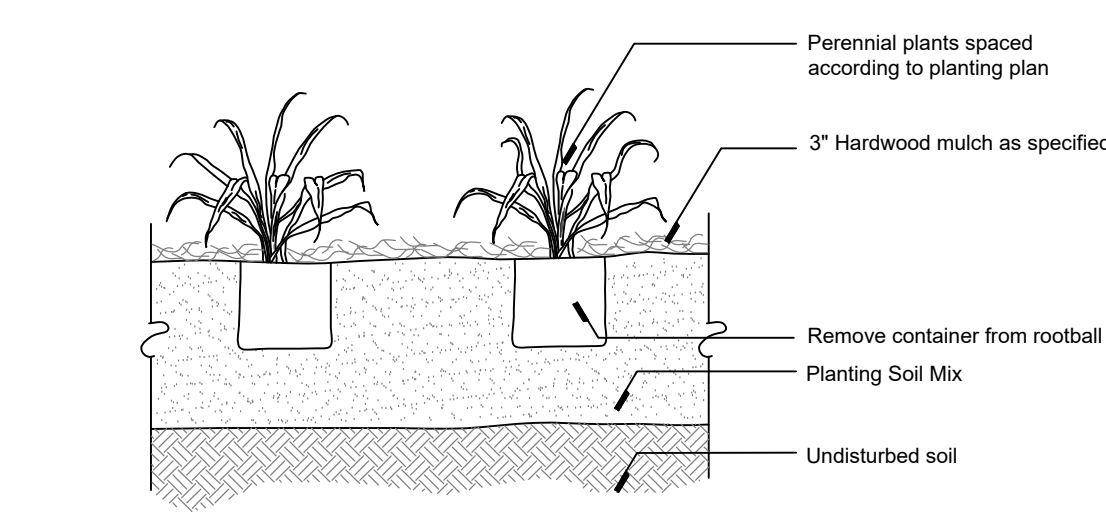
Original: Dr. Borella Appleton, Virginia Polytechnic Institute and State University, modified by the Michigan Department of Natural Resources, Forest Management Division, and the City of Ann Arbor.



- INSTALLATION NOTES:
- DIG PLANT POCKET 6" WIDER THAN EDGE OF ROOTBALL.
 - THOROUGHLY COMPACT BOTTOM OF PLANT POCKET.
 - REMOVE PLANT FROM CONTAINER AND EXAMINE ROOTMASS. IF ROOTMASS IS LOOSE, INTEGRATE PLANT ROOTS & POTTING MEDIA WITH PLANTING MIX. IF A ROOTBOUND CONDITION EXISTS, DISRUPT THE ROOTMASS BY CUTTING THROUGH BOTTOM HALF OF ROOTMASS. ROTATE ROOTMASS 90° AND CUT AGAIN, FORMING FOUR (4) LOBES. SPREAD THE FOUR LOBES, DISRUPTING ROOTMASS AND INTEGRATE PLANT ROOTS & POTTING MEDIA WITH PLANTING MIX. PLACE PLANT IN POCKET SLIGHTLY ABOVE GRADE.
 - BACKFILL PLANT POCKET 1/2 WITH PLANTING MIX CONSISTING OF 50% TOPSOIL & 50% NATIVE SOIL, ASSURING SHRUB IS STRAIGHT.
 - BACK FILL REMAINING 1/2 OF PLANT POCKET WITH PLANTING MIX & COMPACT THOROUGHLY, ASSURING SHRUB IS STILL STRAIGHT.
 - SPREAD 1" OF PLANTING MIX OVER TOP OF CONTAINER ROOTBALL, SLOPE GRADE AWAY FROM SHRUB.
 - IF PLANTED IN NON-IRRIGATED AREAS, FORM A SAUCER WITH SOIL AT OUTSIDE EDGE OF ROOTBALL.
 - SHREDDED BARK MULCH, 3" DEPTH. MULCH TO BE NATURAL IN COLOR. LEAVE 1-2" RING EXPOSED AT BASE OF PLANT.
 - IF NOT PLANTED WITHIN A LANDSCAPE BED, MULCH RINGS TO BE CONSISTENT IN SIZE WITH PLANT TYPESIZE THROUGHOUT PROJECT.

Shrub Planting Detail - Container

Scale: NTS



Perennial Planting Detail

NTS



Landscape Details & Notes

project title:

Village of Ann Arbor

City of Ann Arbor, Michigan

prepared for:

Robertson Brothers Co.
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

DTN Management Company
2502 Lake Lansing Rd.
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EMJ

checked by:

WTK



revisions:

10.11.2021	Per Municipal Review
01.20.2022	Per Municipal Review
03.31.2022	Per Municipal Review
06.15.2022	Per Municipal Review
08.22.2022	Per PC Comments

sheet no.



UTILITY NOTES:

1. PROPOSED UTILITIES ARE TO MEET THE REQUIREMENTS OF THE CITY OF ANN ARBOR.
2. UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH CITY OF ANN ARBOR DIV X STANDARD DETAILS.
3. WATER LEADS SHALL CONTAIN 5.5' OF FINAL GRADE COVER (5'-6.5' ALLOWABLE TOLERANCE).
4. A MINIMUM HORIZONTAL CLEARANCE FROM WATERMAINS OF 10' FOR SANITARY & STORM SEWERS AND 5' FOR ALL OTHER UTILITIES SHALL BE MAINTAINED.
5. A MINIMUM VERTICAL SEPARATION FROM WATERMAINS OF 18" FOR SEWERS AND 12" FOR ALL OTHER UTILITIES SHALL BE PROVIDED. WATER MAIN BELL SHALL NOT BE LOCATED AT POINT OF CROSSING.
6. MINIMUM COVER FOR SEWER LEADS IS 4 FEET.
7. DOWNSPOUTS, WEEPTILE, FOOTING DRAINS, SUMP PUMP DISCHARGES, OR ANY OTHER CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO SANITARY SEWER SERVICE LEADS OR LATERAL SEWER.
8. ALL PROPOSED WATERMAIN SHALL BE 12" OR 8" DUCTILE IRON, AS NOTED.
9. ALL PROPOSED SANITARY SEWER SHALL BE 8" PVC SDR 26.
10. WATER LEADS TO BE 2" TYPE K COPPER, UNLESS OTHERWISE NOTED.
11. SANITARY LEADS SHALL BE 6" PVC.
12. LINE STOPS SHALL BE INSTALLED WHERE EXISTING WATER MAINS CANNOT BE SUFFICIENTLY ISOLATED TO COMPLETE THE WORK. THE COST OF ANY LINE STOP INSTALLATION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR.
13. WATER SERVICE METERING SHALL OCCUR AT THE POINT THE SERVICE LEADS ENTER THE BUILDINGS.
14. PROPOSED INVERT AND RIM INFORMATION PROVIDED ON THE UTILITY PLANS ARE PRELIMINARY FOR SITE PLAN PURPOSES. THESE ELEVATIONS ARE TO BE CONFIRMED DURING CONSTRUCTION PLAN AND UTILITY PROFILE PREPARATION.
15. SUMP PUMPS SHALL DISCHARGE TO THE PIPED STORM SEWER COLLECTION SYSTEM.
16. NO PART OF A BUILDING SHALL BE LOCATED WITH PUBLIC UTILITY EASEMENTS.
17. THE TOWNHOUSE UNITS ARE TO BE SEPARATED BY TWO-HOUR RATED FIRE BARRIERS, NOT A FIREWALLS. FIREWALLS ARE NOT PROPOSED FOR ANY BUILDING TYPES.
18. WATER BOOSTER PUMPS ARE NOT ANTICIPATED. FINAL DETERMINATION WILL BE MADE ONCE WATER SYSTEM MODELING IS AVAILABLE.
19. ANY EXISTING PIPE PROPOSED TO BE REUSED SHALL BE JETTED AND VIDEOED AND REVIEWED BY THE CITY DURING THE CONSTRUCTION PLAN REVIEW PHASE. ANY NECESSARY REPAIRS TO THE PIPE WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
20. THE EIGHTY TWO TWO-STORY TOWNHOMES ARE PROPOSED TO HAVE BASEMENTS. OTHER BUILDINGS TO BE SLAB ON GRADE FOUNDATIONS. SEWER LEADS SHALL BE DEEP ENOUGH TO PROVIDE GRAVITY SERVICE TO BASEMENTS.
21. NO SHOWERING FACILITIES ARE PROPOSED WITHIN THE CLUBHOUSE.

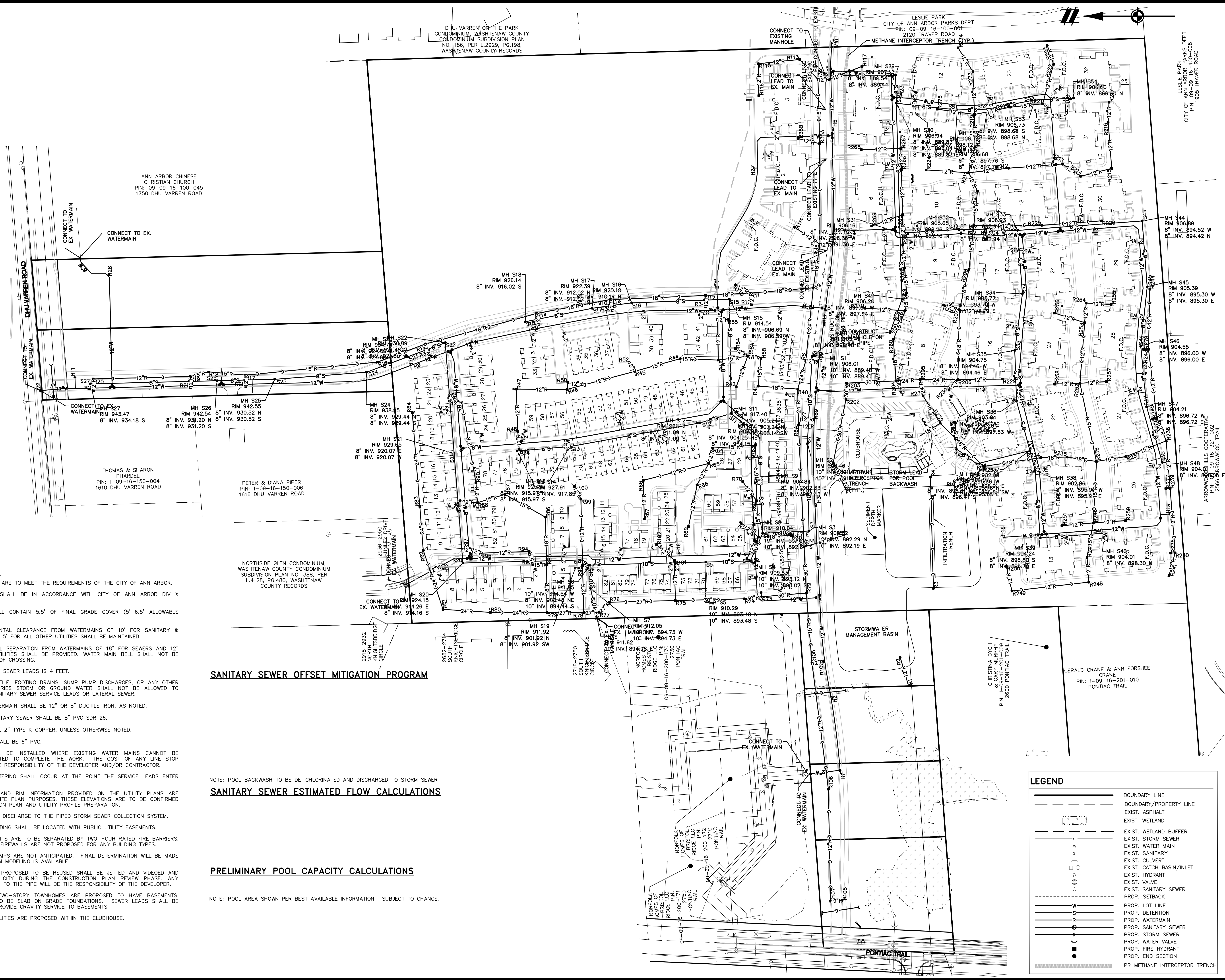
SANITARY SEWER OFFSET MITIGATION PROGRAM

NOTE: POOL BACKWASH TO BE DE-CHLORINATED AND DISCHARGED TO STORM SEWER

SANITARY SEWER ESTIMATED FLOW CALCULATIONS

PRELIMINARY POOL CAPACITY CALCULATIONS

NOTE: POOL AREA SHOWN PER BEST AVAILABLE INFORMATION. SUBJECT TO CHANGE.



LEGEND

	BOUNDARY LINE
	BOUNDARY/PROPERTY LINE
	EXIST. ASPHALT
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. STORM SEWER
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. DETENTION
	PROP. WATERMAIN
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. WATER VALVE
	PROP. FIRE HYDRANT
	PROP. END SECTION
	PR METHANE INTERCEPTOR TRENCH

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

OVERALL UTILITY PLAN

DATE: JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	REV. PHOTOMETRICS
2022-07-12	REV. CITY
2022-08-22	REV. CITY

REVISIONS

SCALE: 0 50 100
1" = 100 FEET

DR. SK CH. SS

P.M. MB

BOOK NA

JOB 18002264

SHEET NO. 40



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THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
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SECTION 16

SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP


CLIENT
ROBERTSON BROTHERS CO

DOBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR

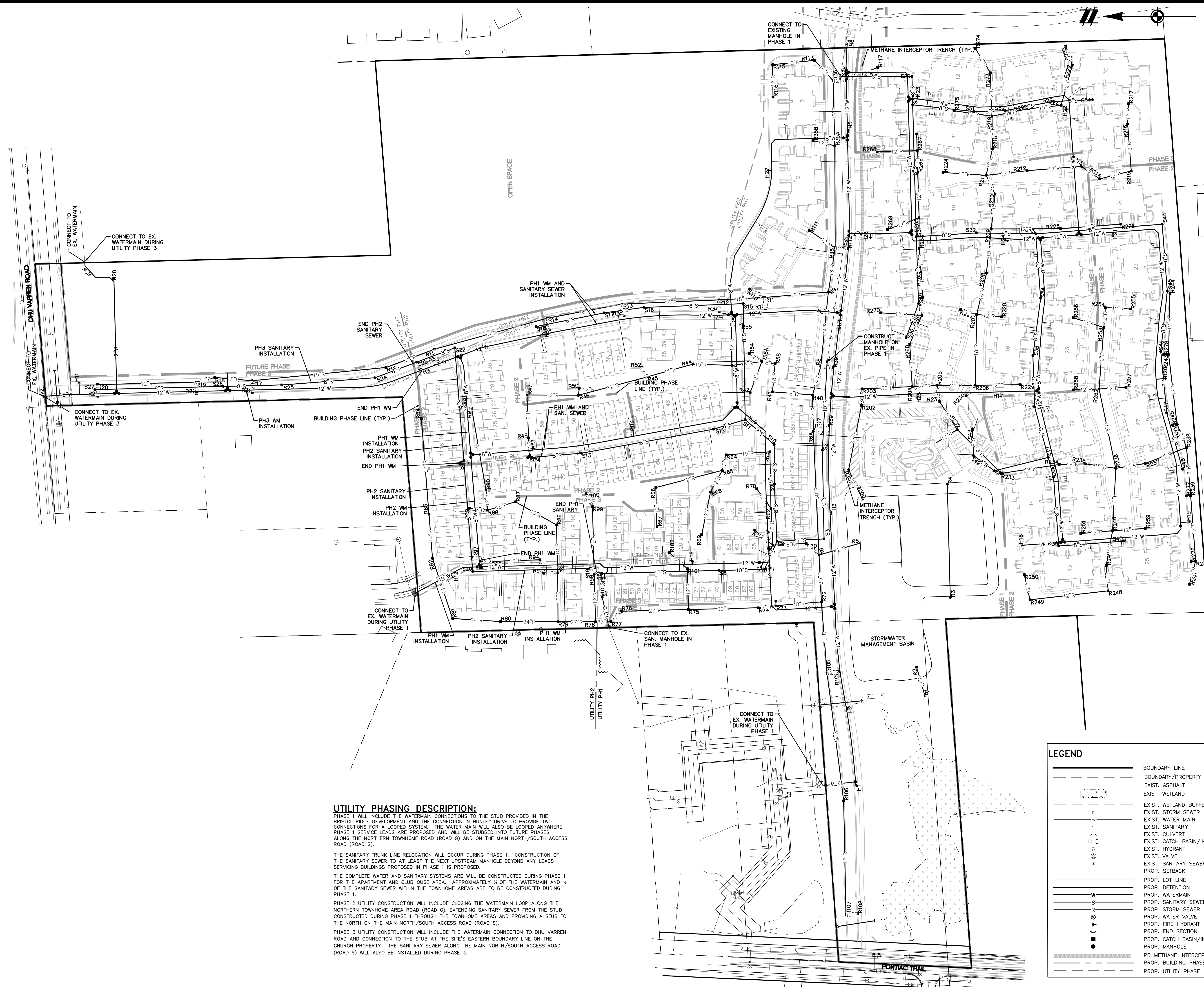
BERTSON BROTHERS CCC
 VILLAGE OF ANN ARBOR
 SITE PLAN
 UTILITY PHASING PLAN

DATE
JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS			
SCALE	0	50	100
			
1" = 100 FEET			
DR.	SK	CH.	SS
P.M. MB			
BOOK		NA	
JOB		18002264	
SHEET NO.			

41





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SECTION 16

TOWN 2 SOUTH RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY MICHIGAN

T
ROBERTSON BROTHERS CO

WILLAGE OF ANN ARBOR

SITE PLAN

PHASE 1: UTILITY DIAMETER

DATE _____

JUNE 7, 2021

2021-10-11 PER CITY AND WCWR

2022-01-19 PER CITY AND WCWR

2022-03-31 PER CITY AND WCWR

2022-06-06 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 50 100

1" = 100 FEET

DR.	SK	CH.	SS
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P.M. MB

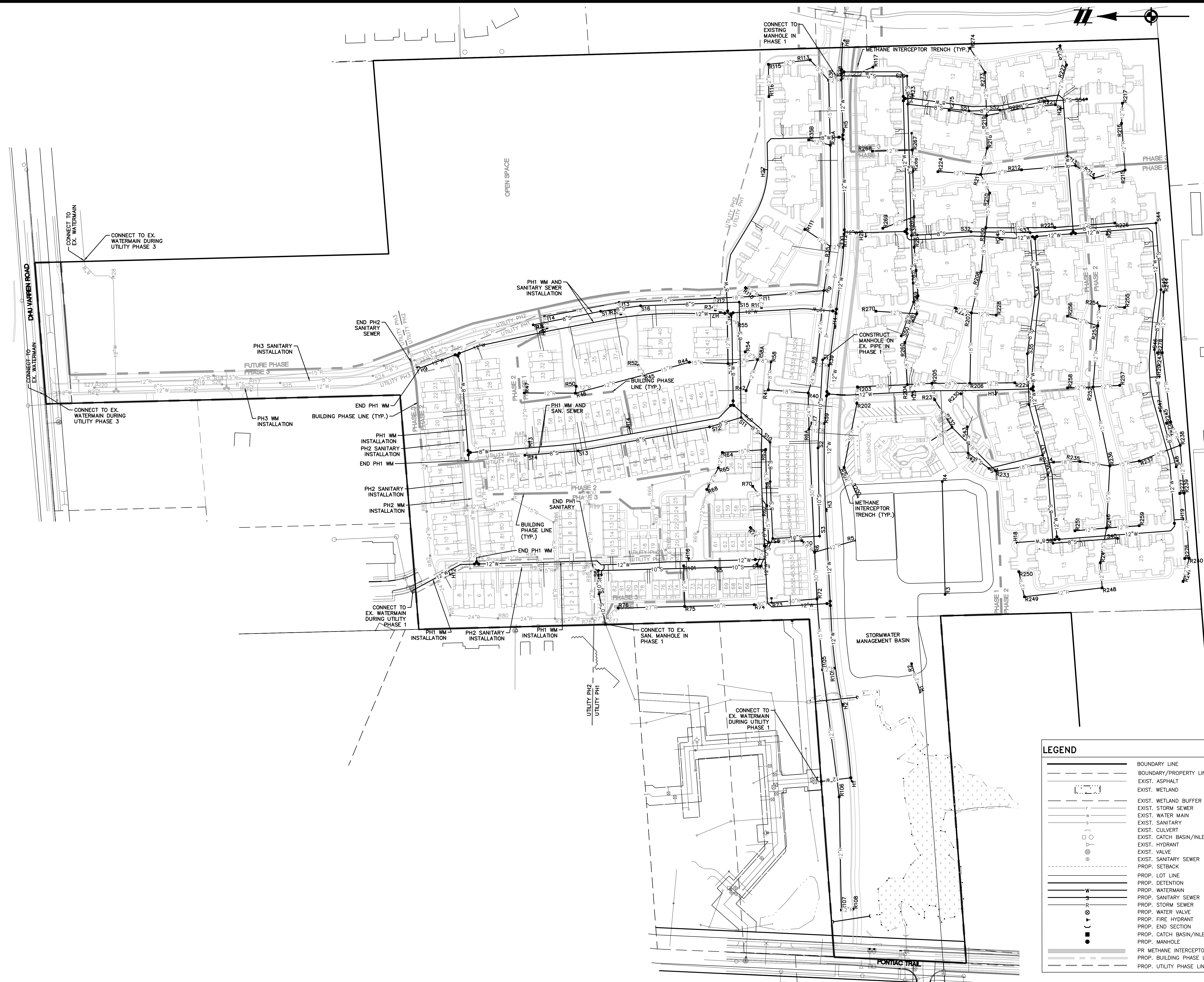
BOOK	NA
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JOB 18002264

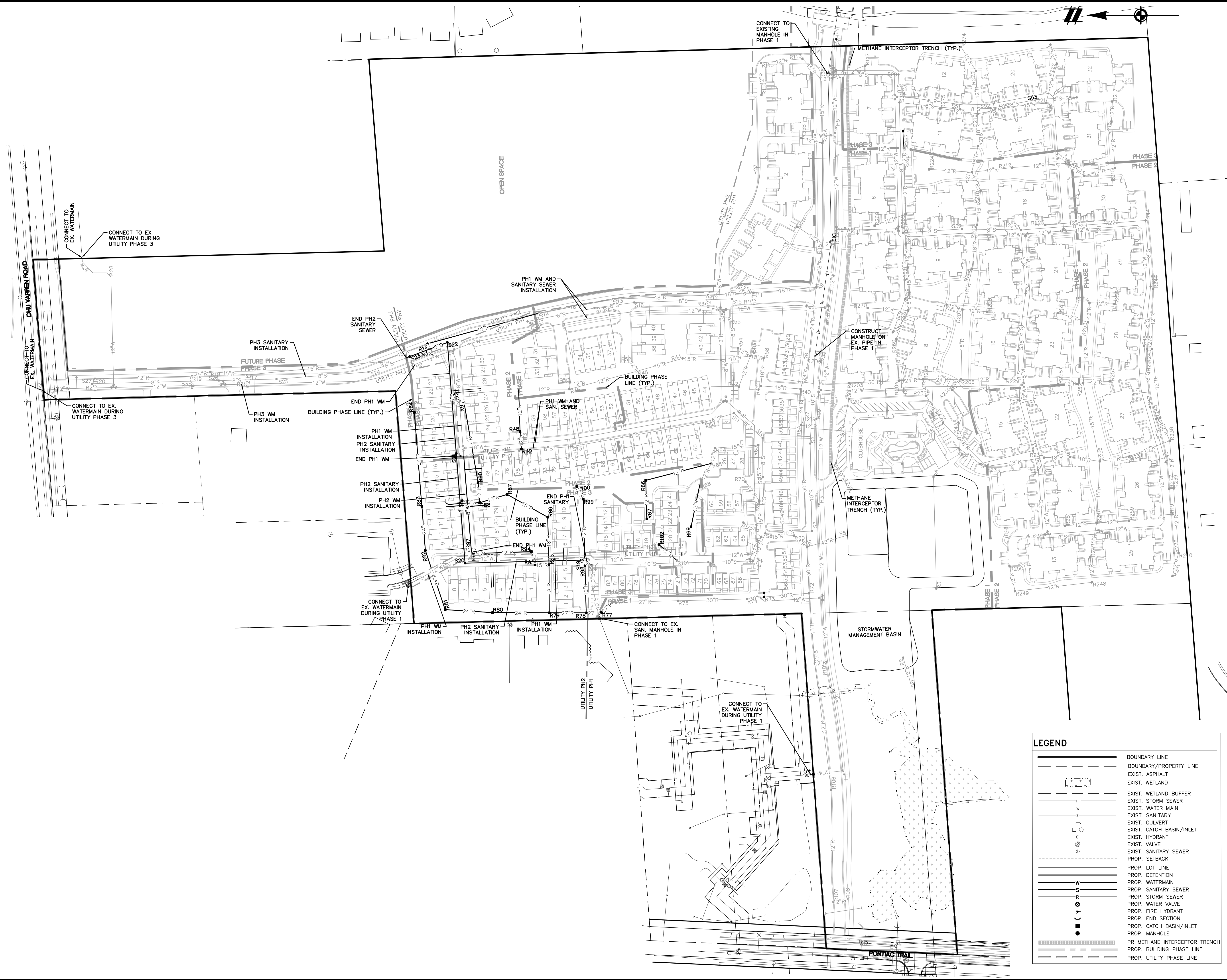
SHEET NO. 11

42

42



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LEGEND

	BOUNDARY LINE
	BOUNDARY/PROPERTY LINE
	EXIST. ASPHALT
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. STORM SEWER
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. DETENTION
	PROP. WATERMAIN
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. FIRE HYDRANT
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PR METHANE INTERCEPTOR TRENCH
	PROP. BUILDING PHASE LINE
	PROP. UTILITY PHASE LINE

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN

PHASE 2 UTILITY PLAN

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCWRC
2022-01-19 PER CITY AND WCWRC
2022-03-31 PER CITY AND WCWRC
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS

SCALE 0 50 100
1" = 100 FEET

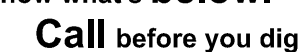
DR. SK GH. SS

P.M. MB

BOOK NA

JOB 18002264

SHEET NO. 43



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SECTION 16

TOWN 2 SOUTH RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY MICHIGAN

CLIENT
ROBERTSON BROTHERS CO

WILLAGE OF ANN ARBOR

SITE PLAN

PLATE 3 UTILITY DIAMETER

DATE _____

JUNE 7, 2021

2021-10-11 PER CITY AND WCWR

2022-01-19 PER CITY AND WCWR

2022-03-31 PER CITY AND WCWR

2022-06-06 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 50 100

1" = 100 FEET

DR.	SK	CH.	SS
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P.M. MB

BOOK	NA
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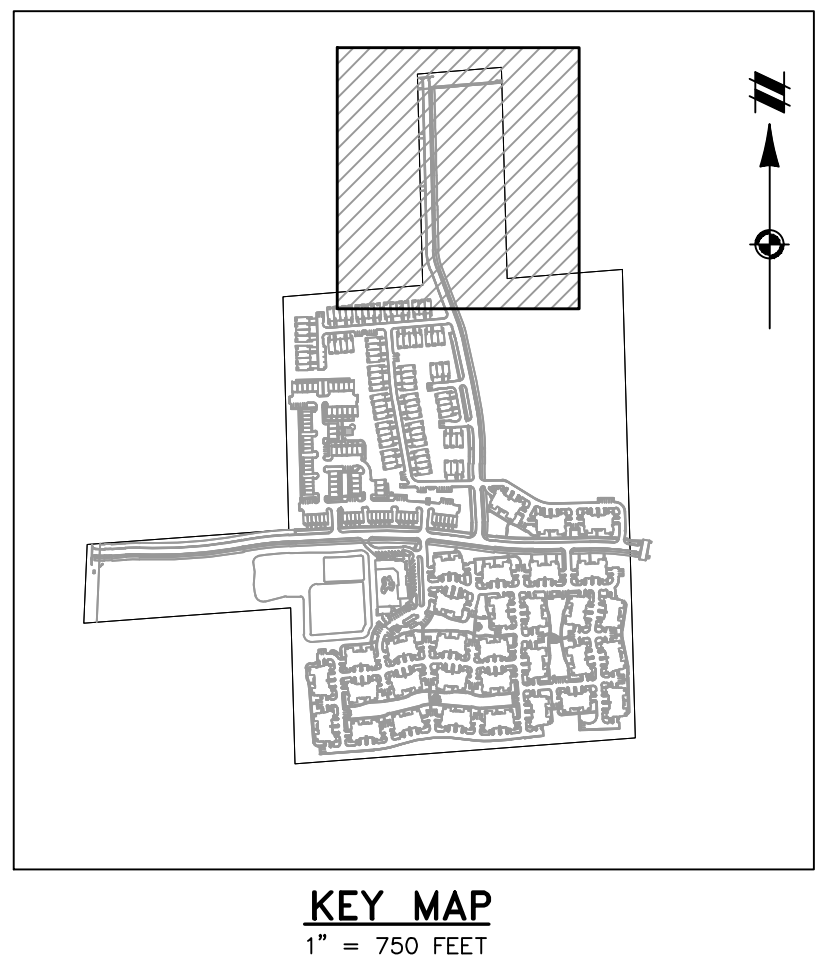
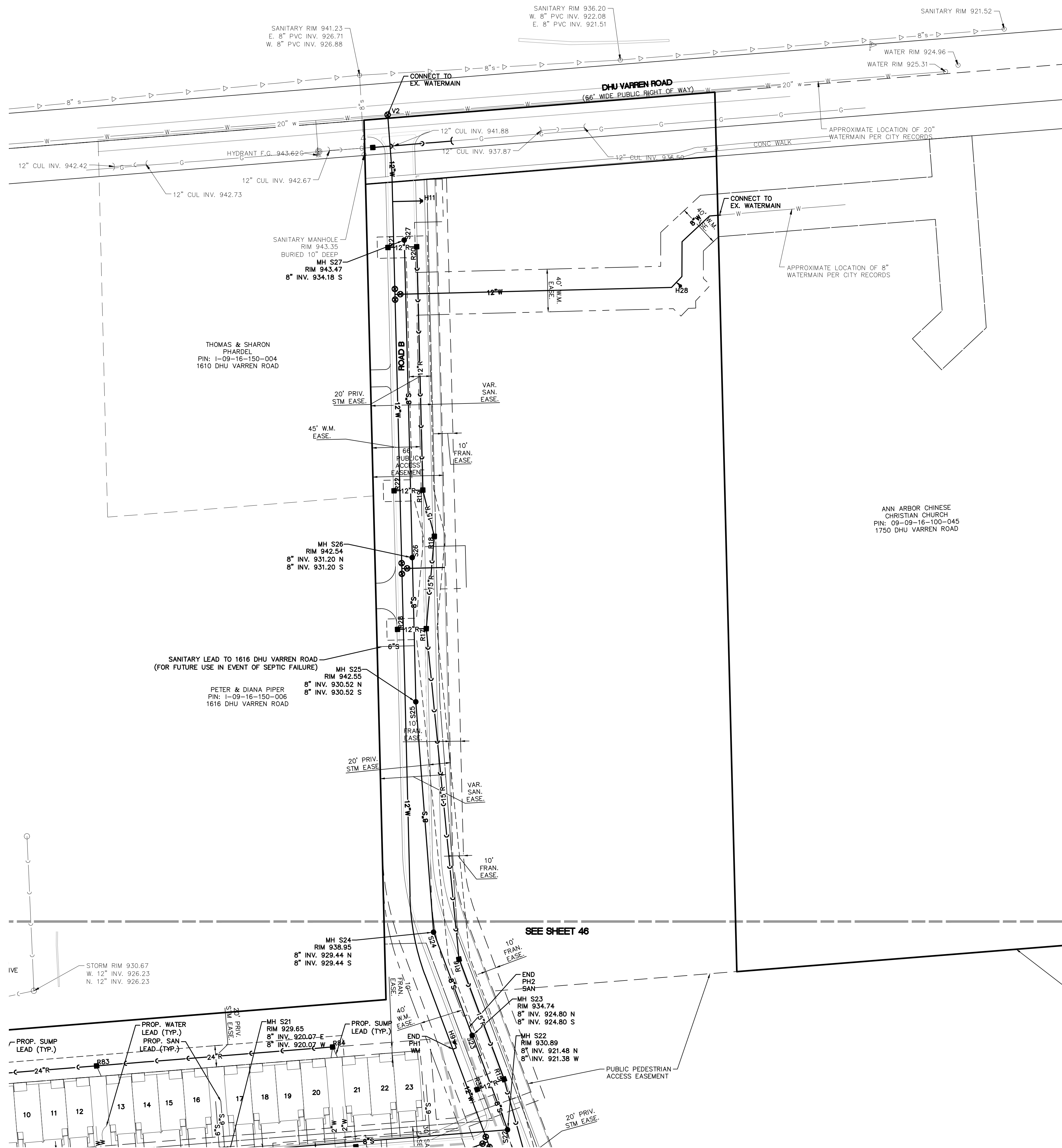
JOB 18002264

SHEET NO. 11

44



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LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	MATCHLINE
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. STORM SEWER
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	EX. WETLAND BUFFER
	PROP. FRANCHISE EASEMENT
	PROP. BUILDING
	PROP. ASPHALT
	PROP. WALK
	PROP. LOT LINE
	PROP. DETENTION
	PROP. WATERMAIN
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. WATER VALVE
	PROP. FIRE HYDRANT
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT

ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

UTILITY PLAN - AREA 1

DATE

JUNE 7, 2021

2021-10-11 PER CITY AND WCMRO

2022-01-19 PER CITY AND WCMRO

2022-03-31 PER CITY AND WCMRO

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-07-12 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

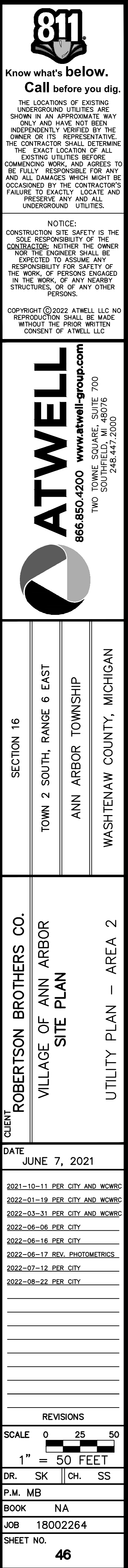
DR. SK GH. SS

P.M. MB

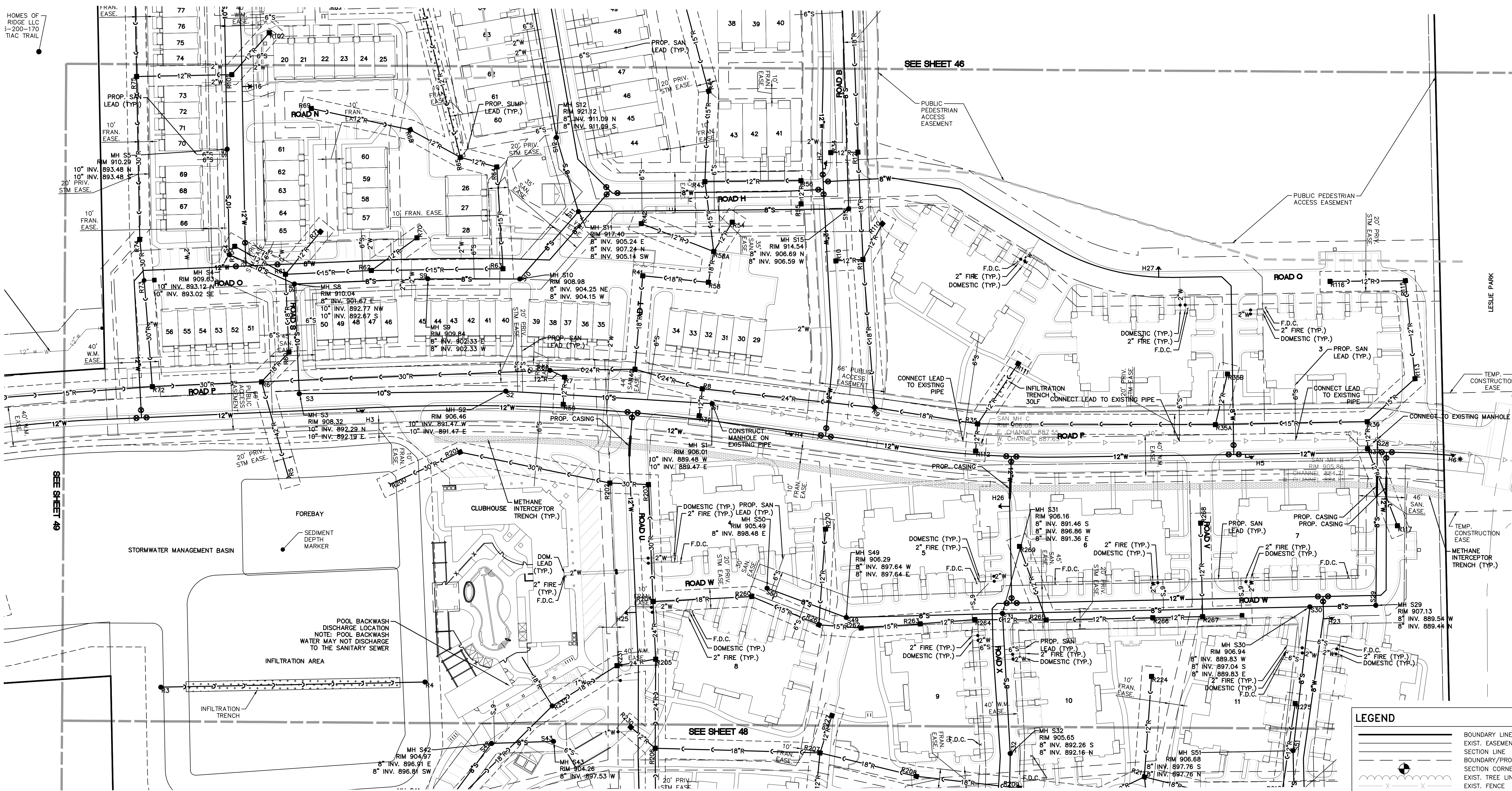
BOOK NA

JOB 18002264

SHEET NO. 45



HOMES OF
RIDGE LLC
3-200-170
TAC TRAIL

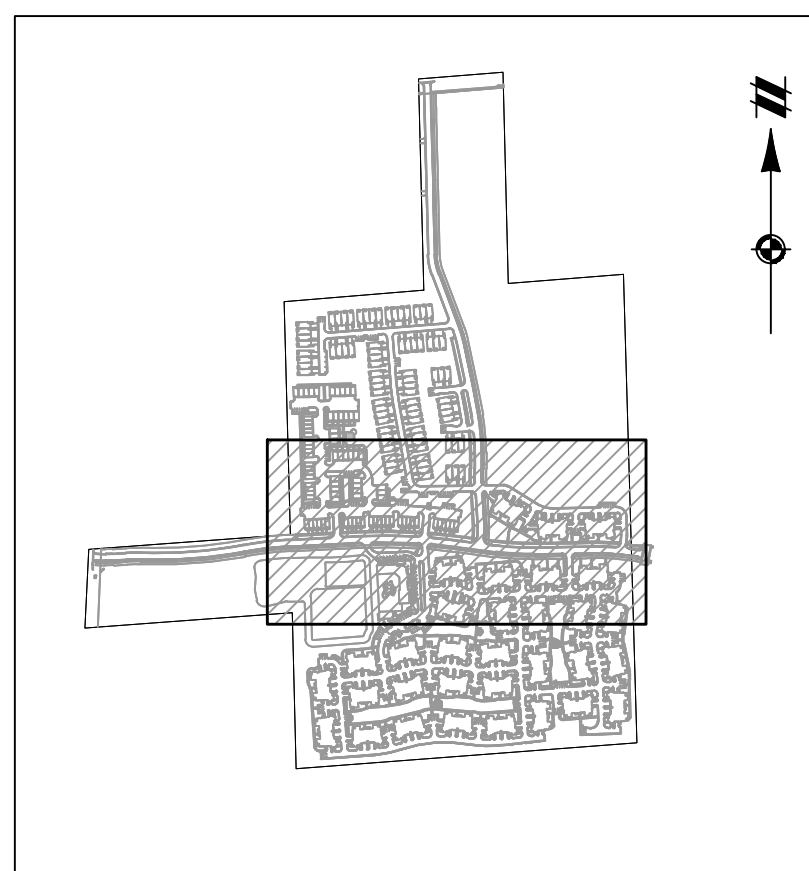


SEE SHEET 49

SEE SHEET 46

SEE SHEET 48

NOTE: ANY EXISTING SANITARY PIPE PROPOSED TO BE REUSED SHALL BE
JETTED, VIDEOED AND REVIEWED BY THE CITY DURING THE CONSTRUCTION
PLAN REVIEW PHASE. ANY NECESSARY REPAIRS TO THE PIPE WILL BE THE
RESPONSIBILITY OF THE DEVELOPER.



KEY MAP
1" = 750 FEET

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	MATCHLINE
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. STORM SEWER
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	EX. WETLAND BUFFER
	PROP. FRANCHISE EASEMENT
	PROP. BUILDING
	PROP. ASPHALT
	PROP. WALK
	PROP. LOT LINE
	PROP. DETENTION
	PROP. WATERMAIN
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. WATER VALVE
	PROP. FIRE HYDRANT
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

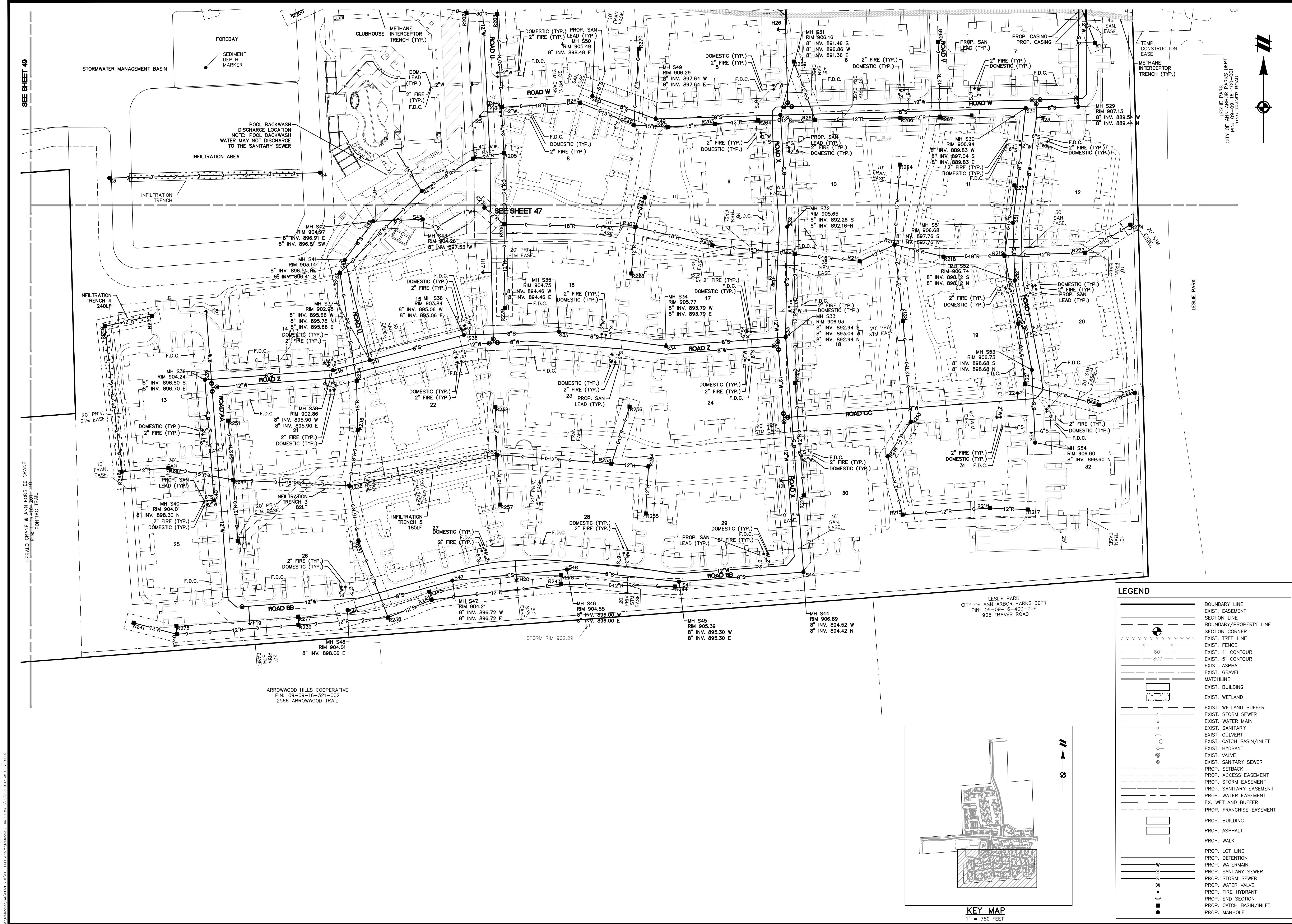
UTILITY PLAN - AREA 3

DATE

JUNE 7, 2021

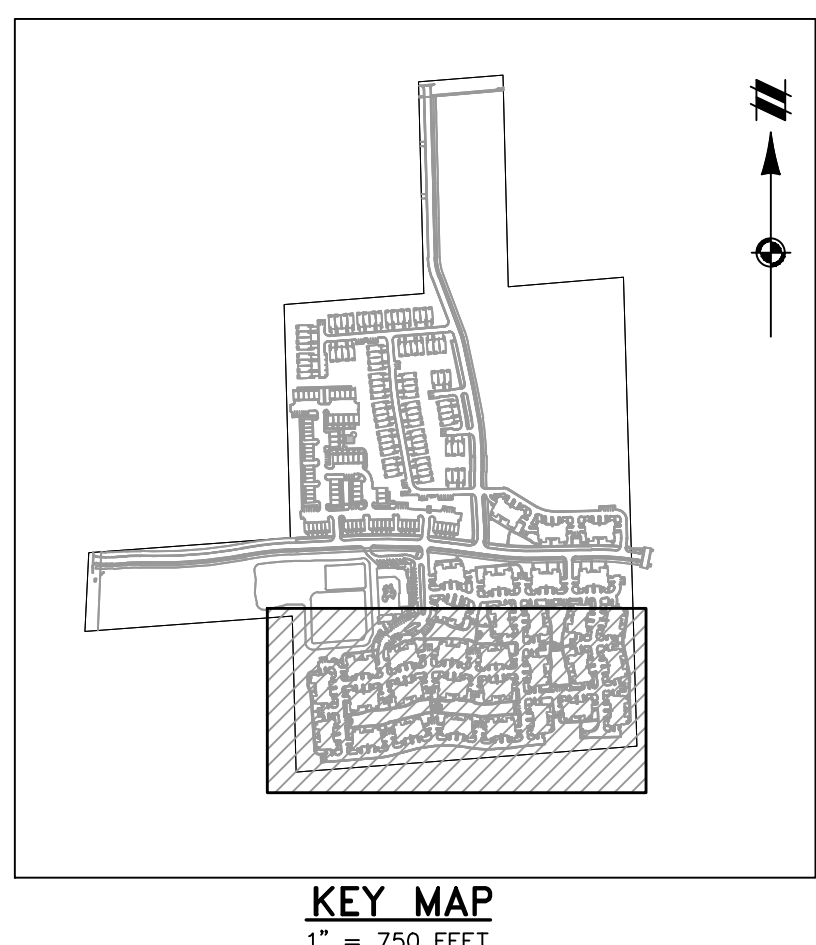
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2022-01-19 PER CITY AND WCMRO
2022-03-31 PER CITY AND WCMRO
2022-06-06 PER CITY
2022-06-18 PER CITY
2022-07-12 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS
SCALE 0 25 50
1" = 50 FEET
DR. SK GH. SS
P.M. MB
BOOK NA
JOB 18002264
SHEET NO. 47



LEGEND

[Symbol]	BOUNDARY LINE
[Symbol]	EXIST. EASEMENT
[Symbol]	SECTION LINE
[Symbol]	BOUNDARY/PROPERTY LINE
[Symbol]	SECTION CORNER
[Symbol]	EXIST. TREE LINE
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. 1" CONTOUR
[Symbol]	EXIST. 5" CONTOUR
[Symbol]	EXIST. ASPHALT
[Symbol]	EXIST. GRAVEL
[Symbol]	MATCHLINE
[Symbol]	EXIST. BUILDING
[Symbol]	EXIST. WETLAND
[Symbol]	EXIST. WETLAND BUFFER
[Symbol]	EXIST. STORM SEWER
[Symbol]	EXIST. WATER MAIN
[Symbol]	EXIST. SANITARY
[Symbol]	EXIST. CULVERT
[Symbol]	EXIST. CATCH BASIN/INLET
[Symbol]	EXIST. HYDRANT
[Symbol]	EXIST. VALVE
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	PROP. SETBACK
[Symbol]	PROP. ACCESS EASEMENT
[Symbol]	PROP. STORM EASEMENT
[Symbol]	PROP. SANITARY EASEMENT
[Symbol]	PROP. WATER EASEMENT
[Symbol]	EX. WETLAND BUFFER
[Symbol]	PROP. FRANCHISE EASEMENT
[Symbol]	PROP. BUILDING
[Symbol]	PROP. ASPHALT
[Symbol]	PROP. WALK
[Symbol]	PROP. LOT LINE
[Symbol]	PROP. DETENTION
[Symbol]	PROP. WATERMAIN
[Symbol]	PROP. SANITARY SEWER
[Symbol]	PROP. STORM SEWER
[Symbol]	PROP. WATER VALVE
[Symbol]	PROP. FIRE HYDRANT
[Symbol]	PROP. END SECTION
[Symbol]	PROP. CATCH BASIN/INLET
[Symbol]	PROP. MANHOLE



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SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
UTILITY PLAN - AREA 4

DATE: JUNE 7, 2021

2021-10-11	PER CITY AND WCMR
2022-01-19	PER CITY AND WCMR
2022-03-31	PER CITY AND WCMR
2022-06-06	PER CITY
2022-06-18	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE	0	25	50
1" =	50 FEET		
DR.	SK	GH	SS
P.M.	MB		
BOOK	NA		
JOB	18002264		
SHEET NO.	48		

SEE SHEET 49
GERALD CRANE & ANN FOSKUE CRANE
PIN: PONTIAC TRAIL
ARROWWOOD HILLS COOPERATIVE
PIN: 09-09-16-321-002
2566 ARROWWOOD TRAIL
K:\PROJECTS\UTILITY\PLAN\REVISED\PRELIMINARY\18002264.dwg - DWG 8/26/2022 8:47 AM STEVE GULLS

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SECTION 16


SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

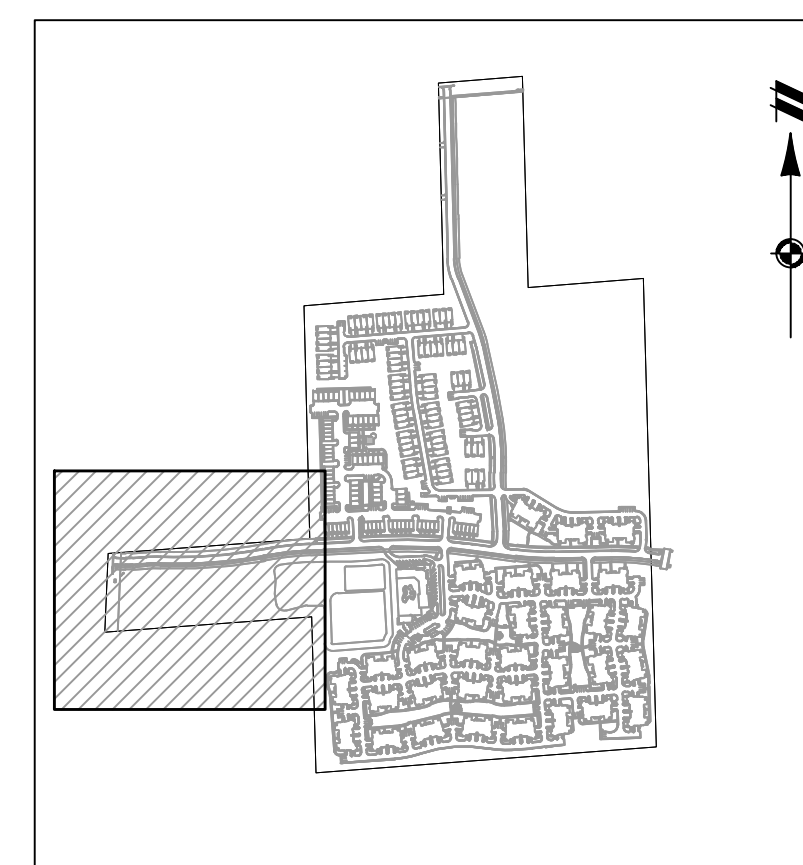
ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR

DATE
JUNE 7, 2021

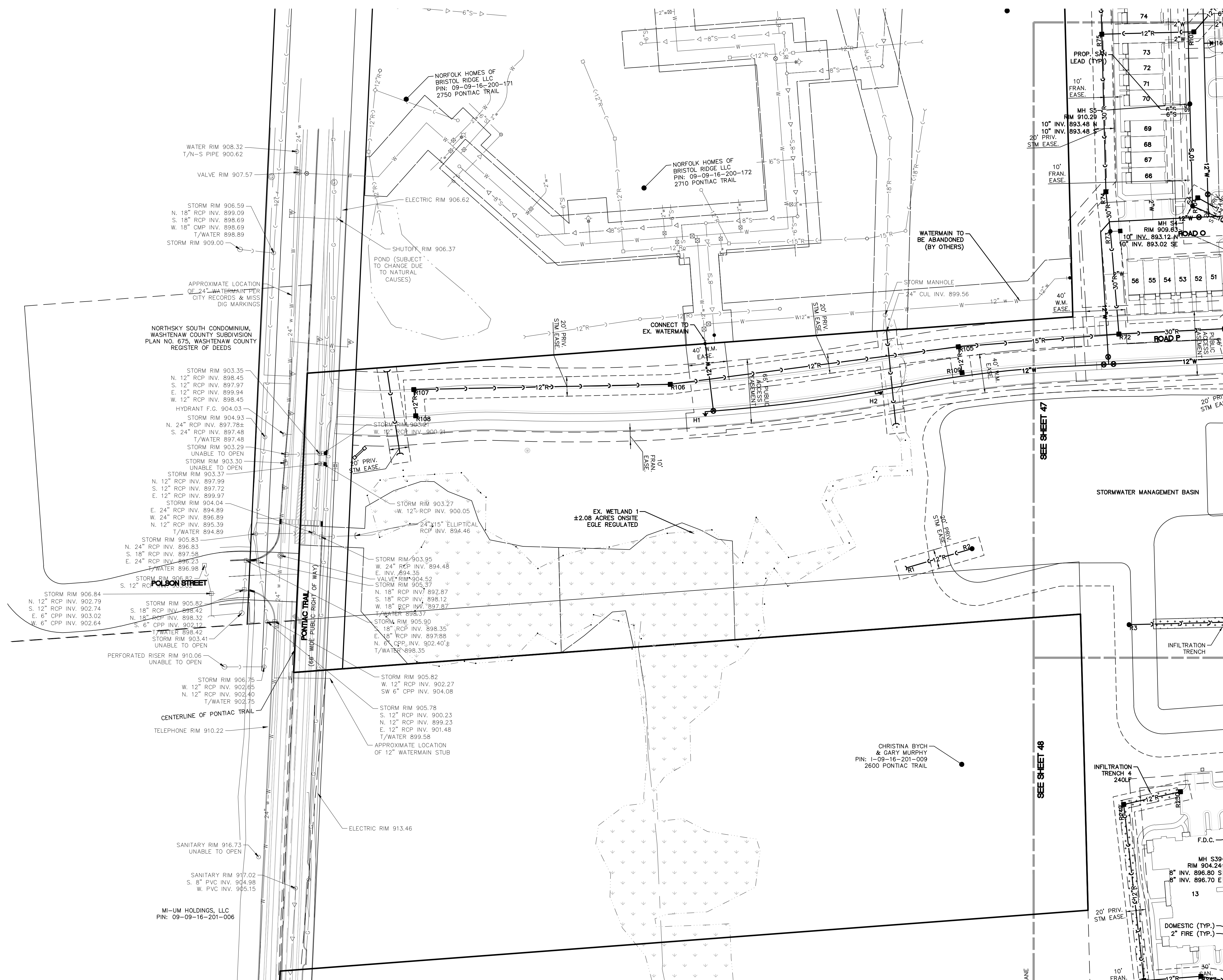
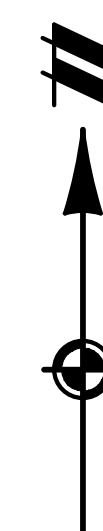
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2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS			
SCALE	0	25	50
			
1" = 50 FEET			
DR.	SK	CH.	SS
P.M. MB			
BOOK		NA	
JOB		18002264	
SHEET NO.			

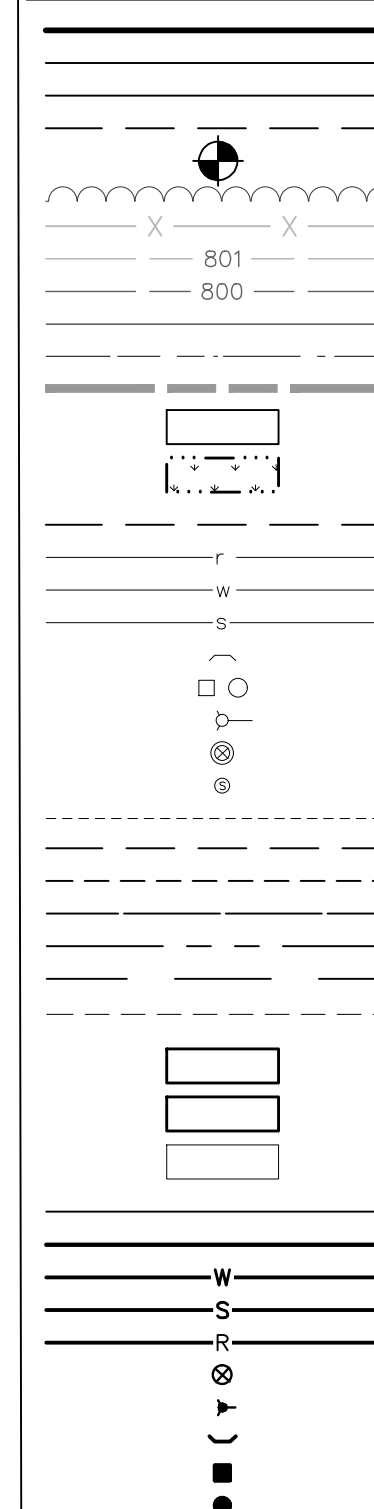
49



KEY MAP
1" = 750 FEET



LEGEND



BOUNDARY LINE
EXIST. EASEMENT
SECTION LINE
BOUNDARY/PROPERTY LINE
SECTION CORNER
EXIST. TREE LINE
EXIST. FENCE
EXIST. FENCE
EXIST. 1' CONTOUR
EXIST. 5' CONTOUR
EXIST. ASPHALT
EXIST. GRVEL
MATCHLINE
EXIST. BUILDING
EXIST. WETLAND
EXIST. WETLAND BUFFER
EXIST. STORM SEWER
EXIST. WATER MAIN
EXIST. SANITARY
EXIST. CULVERT
EXIST. CATCH BASIN/INLET
EXIST. HYDRANT
EXIST. VALVE
EXIST. SANITARY SEWER
PROP. SETBACK
PROP. ACCESS EASEMENT
PROP. STORM EASEMENT
PROP. SANITARY EASEMENT
PROP. WATER EASEMENT
EX. WETLAND BUFFER
PROP. FRANCHISE EASEMENT
PROP. BUILDING
PROP. ASPHALT
PROP. WALK
PROP. LOT LINE
PROP. DETENTION
PROP. WATERMAIN
PROP. SANITARY SEWER
PROP. STORM SEWER
PROP. WATER VALVE
PROP. FIRE HYDRANT
PROP. EX. SECTION
PROP. CATCH BASIN/INLET
PROP. MANHOLE

REVISION

SCALE 0 25 50
1" = 50 FEET

DR.	SK	CH.	SS
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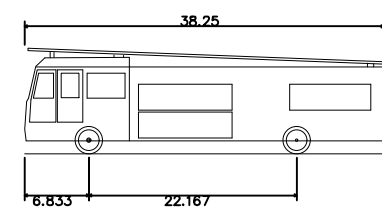
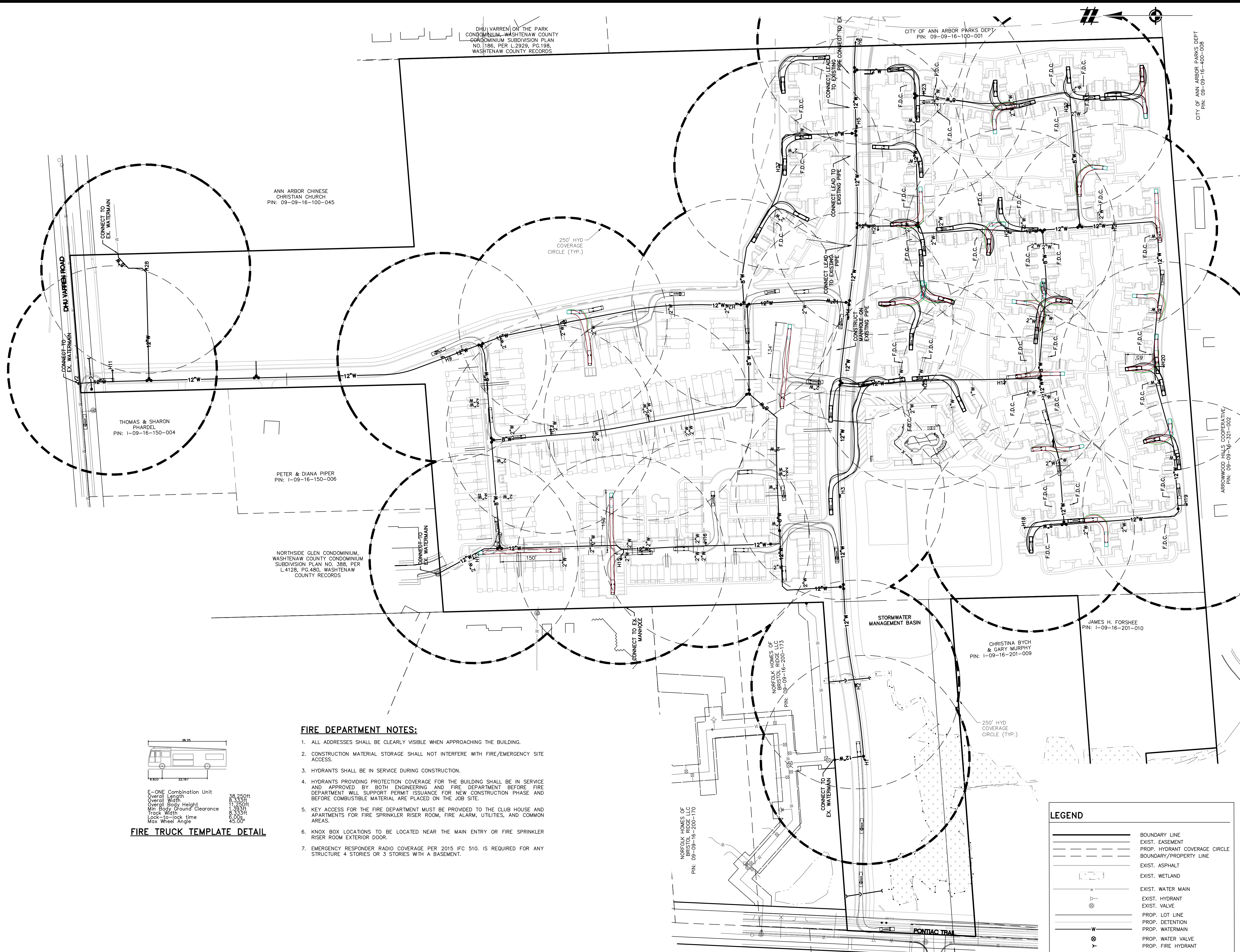
P.M. MB

BOOK	NA
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JOB 18002264

SHEET NO.

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FIRE TRUCK TEMPLATE DETAIL

FIRE DEPARTMENT NOTES:

1. ALL ADDRESSES SHALL BE CLEARLY VISIBLE WHEN APPROACHING THE BUILDING.
2. CONSTRUCTION MATERIAL STORAGE SHALL NOT INTERFERE WITH FIRE/EMERGENCY SITE ACCESS.
3. HYDRANTS SHALL BE IN SERVICE DURING CONSTRUCTION.
4. HYDRANTS PROVIDING PROTECTION COVERAGE FOR THE BUILDING SHALL BE IN SERVICE AND APPROVED BY BOTH ENGINEERING AND FIRE DEPARTMENT BEFORE FIRE DEPARTMENT WILL SUPPORT PERMIT ISSUANCE FOR NEW CONSTRUCTION PHASE AND BEFORE COMBUSTIBLE MATERIAL ARE PLACED ON THE JOB SITE.
5. KEY ACCESS FOR THE FIRE DEPARTMENT MUST BE PROVIDED TO THE CLUB HOUSE AND APARTMENTS FOR FIRE SPRINKLER RISER ROOM, FIRE ALARM, UTILITIES, AND COMMON AREAS.
6. KNOX BOX LOCATIONS TO BE LOCATED NEAR THE MAIN ENTRY OR FIRE SPRINKLER RISER ROOM EXTERIOR DOOR.
7. EMERGENCY RESPONDER RADIO COVERAGE PER 2015 IFC 510. IS REQUIRED FOR ANY STRUCTURE 4 STORIES OR 3 STORIES WITH A BASEMENT.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	PROP. HYDRANT COVERAGE CIRCLE
	BOUNDARY/PROPERTY LINE
	EXIST. ASPHALT
	EXIST. WETLAND
	EXIST. WATER MAIN
	EXIST. HYDRANT
	EXIST. VALVE
	PROP. LOT LINE
	PROP. DETENTION
	PROP. WATERMAIN
	PROP. WATER VALVE
	PROP. FIRE HYDRANT

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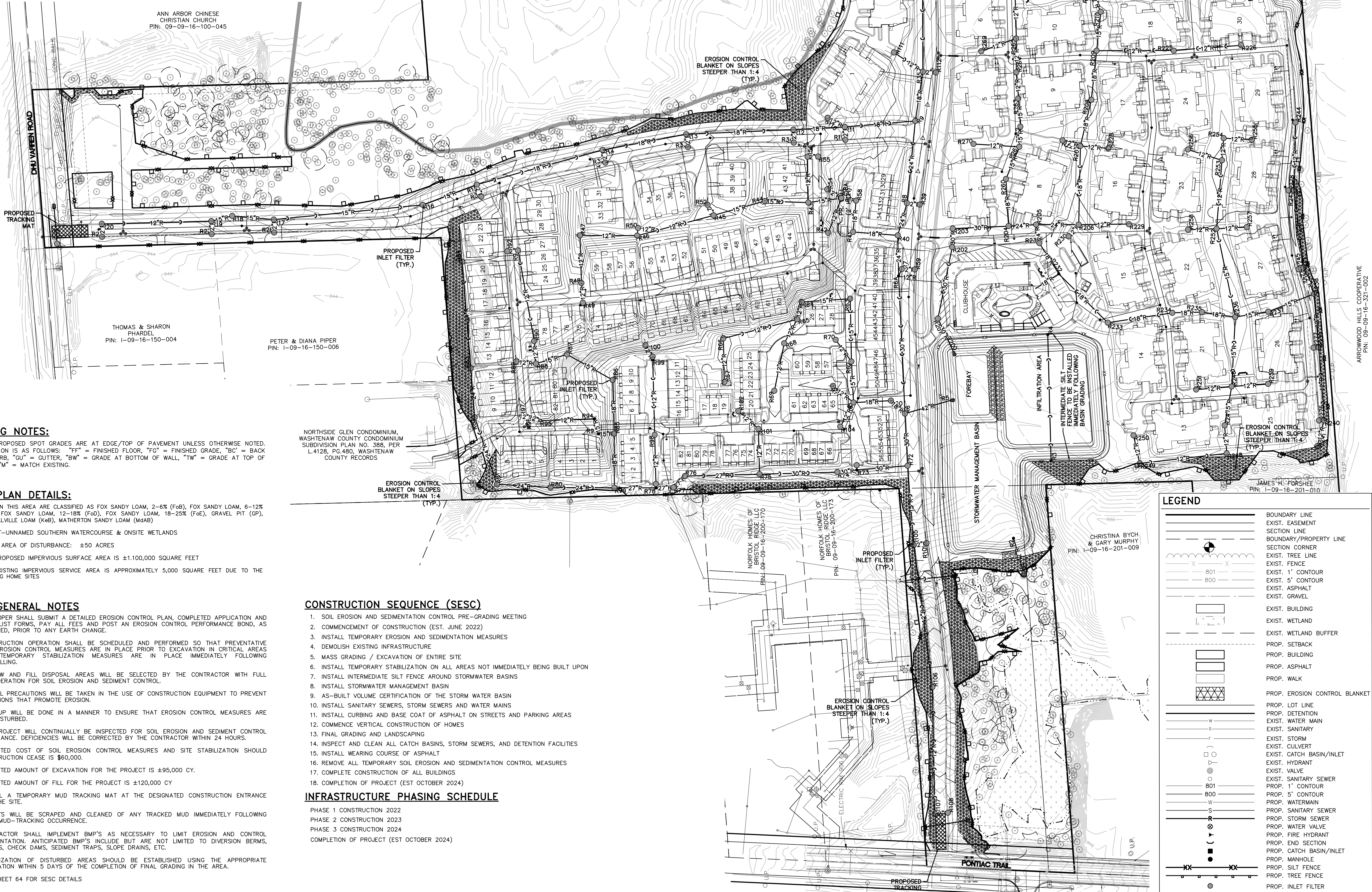
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248.447.2000

CLIENT ROBERTSON BROTHERS CO. VILLAGE OF ANN ARBOR SITE PLAN	SECTION 16
	TOWN 2 SOUTH, RANGE 6 EAST
	ANN ARBOR TOWNSHIP
FIRE PROTECTION PLAN	WASHTENAW COUNTY, MICHIGAN

DATE JUNE 7, 2021
2021-10-11 PER CITY AND WCWRO
2022-01-19 PER CITY AND WCWRO
2022-03-31 PER CITY AND WCWRO
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY
REVISIONS
SCALE 0 50 100 1" = 100 FEET
DR. SK CH. SS
P.M. MB
BOOK NA
JOB 18002264
SHEET NO. 50

CONSTRUCTION TASK	2022												2023												2024											
	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11						
1 SESC Pre-Grading Meeting	X																																			
2 Commence Construction	X																																			
3 Install Temporary SESC Measures	X																																			
4 Demolition of Existing Infrastructure		X	X																																	
5 Mass Grading / Excavation of Entire Site		X	X																																	
6 Temporary Stabilization			X																																	
7 Install Intermediate SESC Measures			X																																	
8 Install Stormwater Management Basin				X																																
9 As-built Volume Certification of Basin				X																																
10 Install underground utilities			X	X								X	X												X	X										
11 Install curbing and base coat pavement				X	X								X													X										
12 Construct Buildings					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X					
13 Final Grading and Landscaping																													X	X						
14 Inspect and Clean Stormwater System																													X							
15 Install wearing course pavement																													X							
16 Remove Temporary SESC Measures																														X						
17 Project Completion																															X					



GRADING NOTES:

- ALL PROPOSED SPOT GRADES ARE AT EDGE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. NOTATION IS AS FOLLOWS: "FF" = FINISHED FLOOR, "FG" = FINISHED GRADE, "BC" = BACK OF CURB, "GU" = GUTTER, "BW" = GRADE AT BOTTOM OF WALL, "TW" = GRADE AT TOP OF WALL, "M" = MATCH EXISTING.

SESC PLAN DETAILS:

- SOILS IN THIS AREA ARE CLASSIFIED AS FOX SANDY LOAM, 2-6% (FoS), FOX SANDY LOAM, 6-12% (FoS), FOX SANDY LOAM, 12-18% (FoS), FOX SANDY LOAM, 18-25% (FoS), GRAVEL PIT (GP), KENDALLVILLE LOAM (Ks), MATHERTON SANDY LOAM (Msb)
- OUTLET-UNNAMED SOUTHERN WATERCOURSE & ONSITE WETLANDS
- TOTAL AREA OF DISTURBANCE: ±50 ACRES
- THE PROPOSED IMPERVIOUS SURFACE AREA IS ±1,100,000 SQUARE FEET
- THE EXISTING IMPERVIOUS SERVICE AREA IS APPROXIMATELY 5,000 SQUARE FEET DUE TO THE EXISTING HOME SITES

SESC GENERAL NOTES

- DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN, COMPLETED APPLICATION AND CHECKLIST FORMS, PAY ALL FEES AND POST AN EROSION CONTROL PERFORMANCE BOND, AS REQUIRED, PRIOR TO ANY EARTH CHANGE.
- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING.
- BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED BY THE CONTRACTOR WITH FULL CONSIDERATION FOR SOIL EROSION AND SEDIMENT CONTROL.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
- ESTIMATED COST OF SOIL EROSION CONTROL MEASURES AND SITE STABILIZATION SHOULD CONSTRUCTION CEASE IS \$60,000.
- ESTIMATED AMOUNT OF EXCAVATION FOR THE PROJECT IS ±95,000 CY.
- ESTIMATED AMOUNT OF FILL FOR THE PROJECT IS ±120,000 CY
- INSTALL A TEMPORARY MUD TRACKING MAT AT THE DESIGNATED CONSTRUCTION ENTRANCE FOR THE SITE.
- STREETS WILL BE SCRAPED AND CLEANED OF ANY TRACKED MUD IMMEDIATELY FOLLOWING EACH MUD-TRACKING OCCURRENCE.
- CONTRACTOR SHALL IMPLEMENT BMP'S AS NECESSARY TO LIMIT EROSION AND CONTROL SEDIMENTATION. ANTICIPATED BMP'S INCLUDE BUT ARE NOT LIMITED TO DIVERSION BERMS, SWALES, CHECK DAMS, SEDIMENT TRAPS, SLOPE DRAINS, ETC.
- STABILIZATION OF DISTURBED AREAS SHOULD BE ESTABLISHED USING THE APPROPRIATE VEGETATION WITHIN 5 DAYS OF THE COMPLETION OF FINAL GRADING IN THE AREA.
- SEE SHEET 64 FOR SESC DETAILS

CONSTRUCTION SEQUENCE (SESC)

- SOIL EROSION AND SEDIMENTATION CONTROL PRE-GRADING MEETING
- COMMENCEMENT OF CONSTRUCTION (EST. JUNE 2022)
- INSTALL TEMPORARY EROSION AND SEDIMENTATION MEASURES
- DEMOLISH EXISTING INFRASTRUCTURE
- MASS GRADING / EXCAVATION OF ENTIRE SITE
- INSTALL TEMPORARY STABILIZATION ON ALL AREAS NOT IMMEDIATELY BEING BUILT UPON
- INSTALL INTERMEDIATE SILT FENCE AROUND STORMWATER BASINS
- INSTALL STORMWATER MANAGEMENT BASIN
- AS-BUILT VOLUME CERTIFICATION OF THE STORM WATER BASIN
- INSTALL SANITARY SEWERS, STORM SEWERS AND WATER MAINS
- INSTALL CURBING AND BASE COAT OF ASPHALT ON STREETS AND PARKING AREAS
- COMMENCE VERTICAL CONSTRUCTION OF HOMES
- FINAL GRADING AND LANDSCAPING
- INSPECT AND CLEAN ALL CATCH BASINS, STORM SEWERS, AND DETENTION FACILITIES
- INSTALL WEARING COURSE OF ASPHALT
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
- COMPLETE CONSTRUCTION OF ALL BUILDINGS
- COMPLETION OF PROJECT (EST OCTOBER 2024)

INFRASTRUCTURE PHASING SCHEDULE

PHASE 1 CONSTRUCTION 2022
PHASE 2 CONSTRUCTION 2023
PHASE 3 CONSTRUCTION 2024
COMPLETION OF PROJECT (EST OCTOBER 2024)



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP

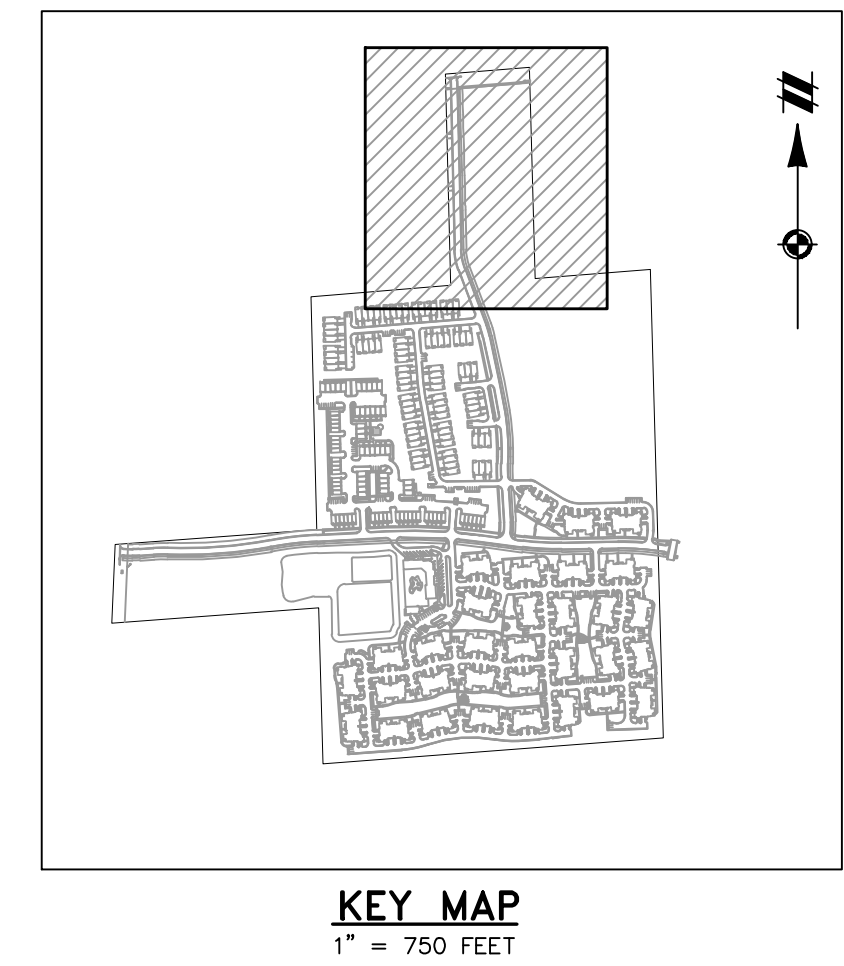
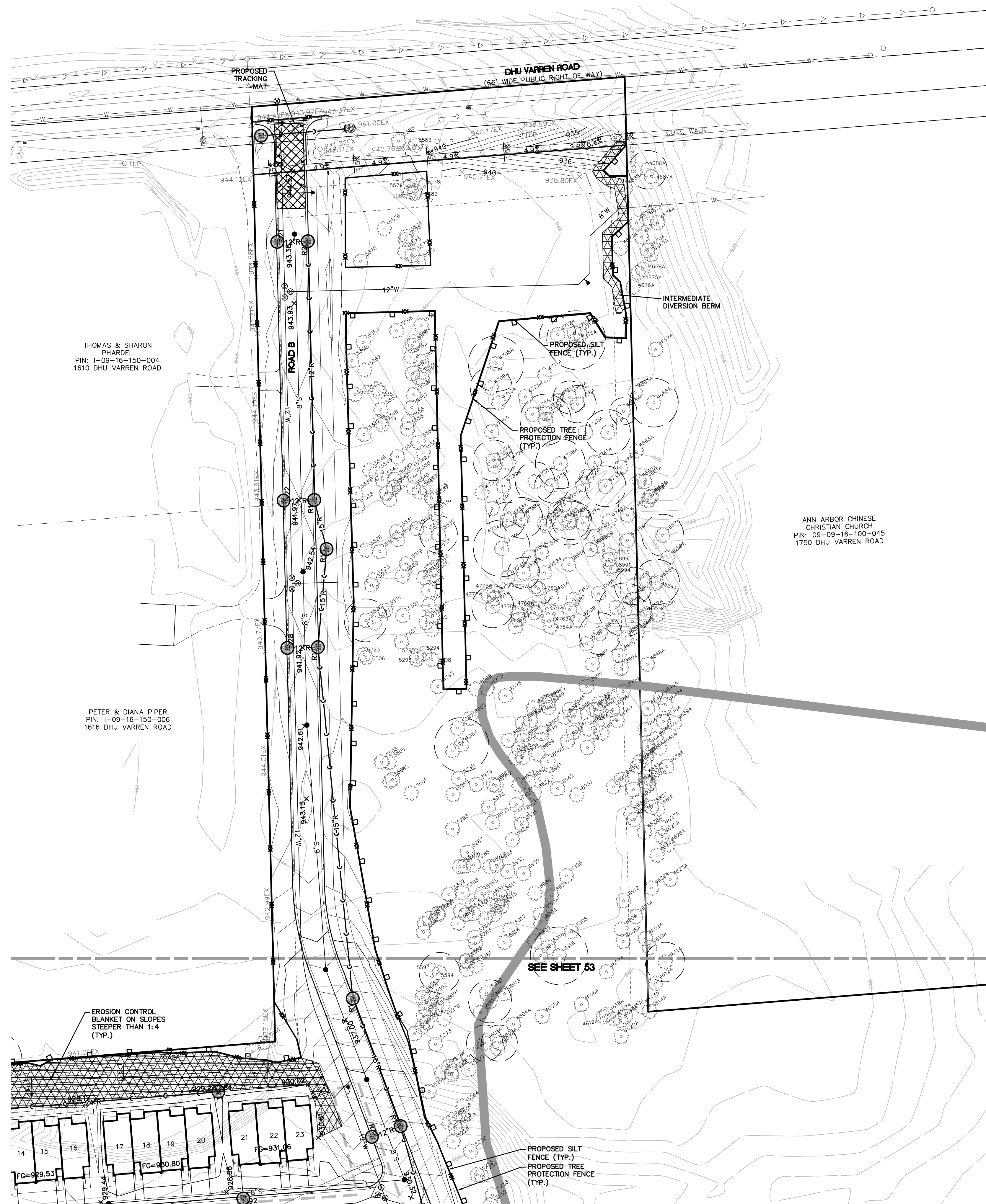
CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN

DATE

JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC
2022-01-19 PER CITY AND WCMRC
2022-03-31 PER CITY AND WCMRC
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

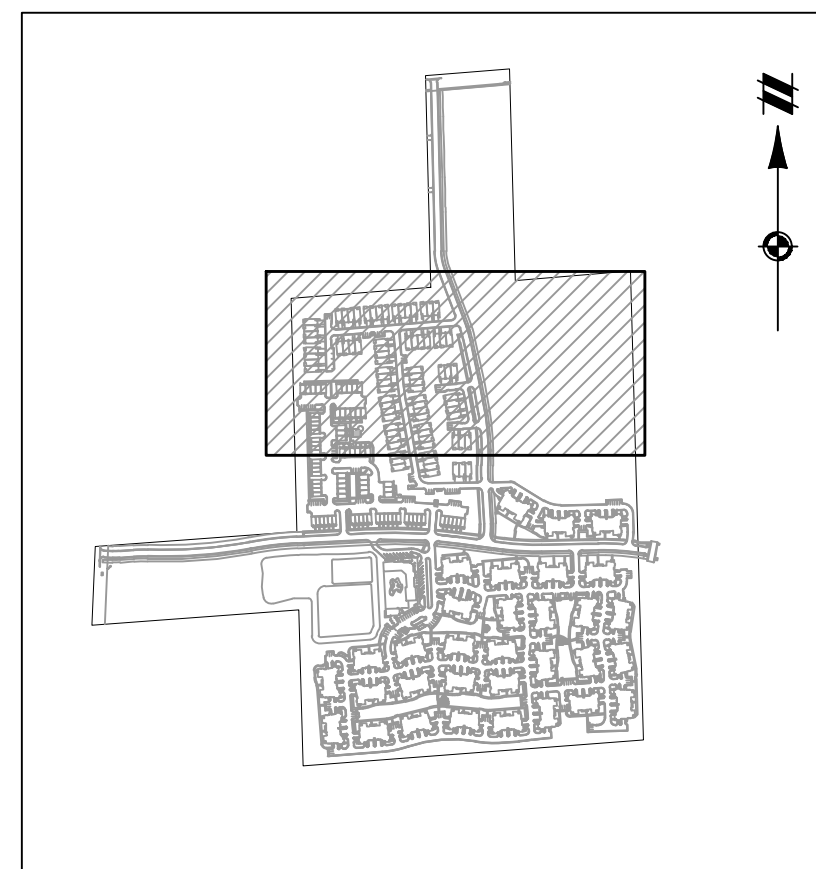
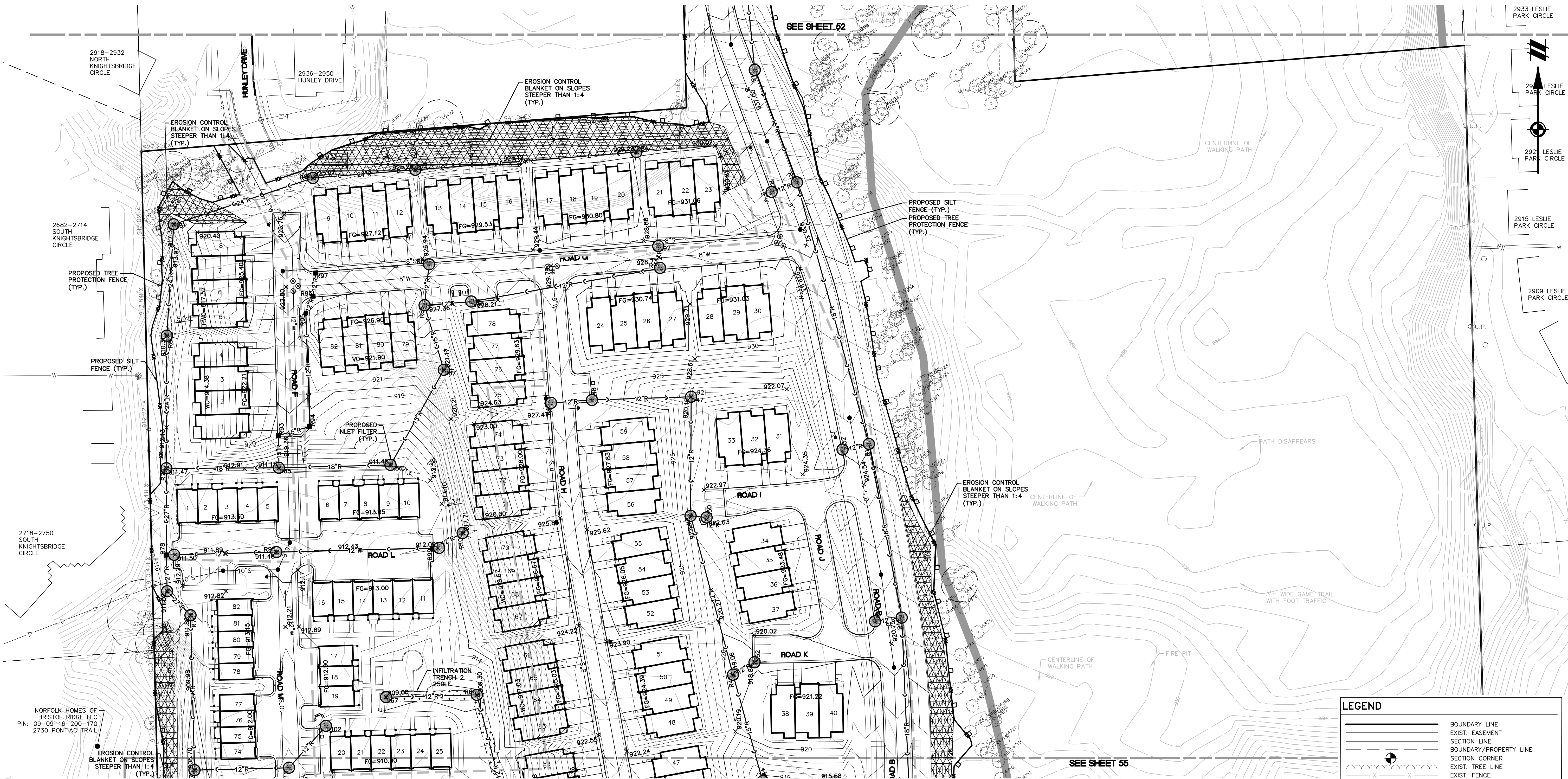
REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. SK GH. SS
P.M. MB
BOOK NA
JOB 18002264
SHEET NO. 51



LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	MATCHLINE
	EXIST. ASPHALT
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. BUILDING
	PROP. ASPHALT
	PROP. WALK
	PROP. EROSION CONTROL BLANKET
	PROP. LOT LINE
	PROP. DETENTION
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	PROP. 5' CONTOUR
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. STORM
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. WATERMAIN
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. WATER VALVE
	PROP. FIRE HYDRANT
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. SILT FENCE
	PROP. TREE FENCE
	PROP. INLET FILTER

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KEY MAP
1" = 750 FEET

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

GRADING & SESC PLAN - AREA 2

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC

2022-01-19 PER CITY AND WCMRC

2022-03-31 PER CITY AND WCMRC

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

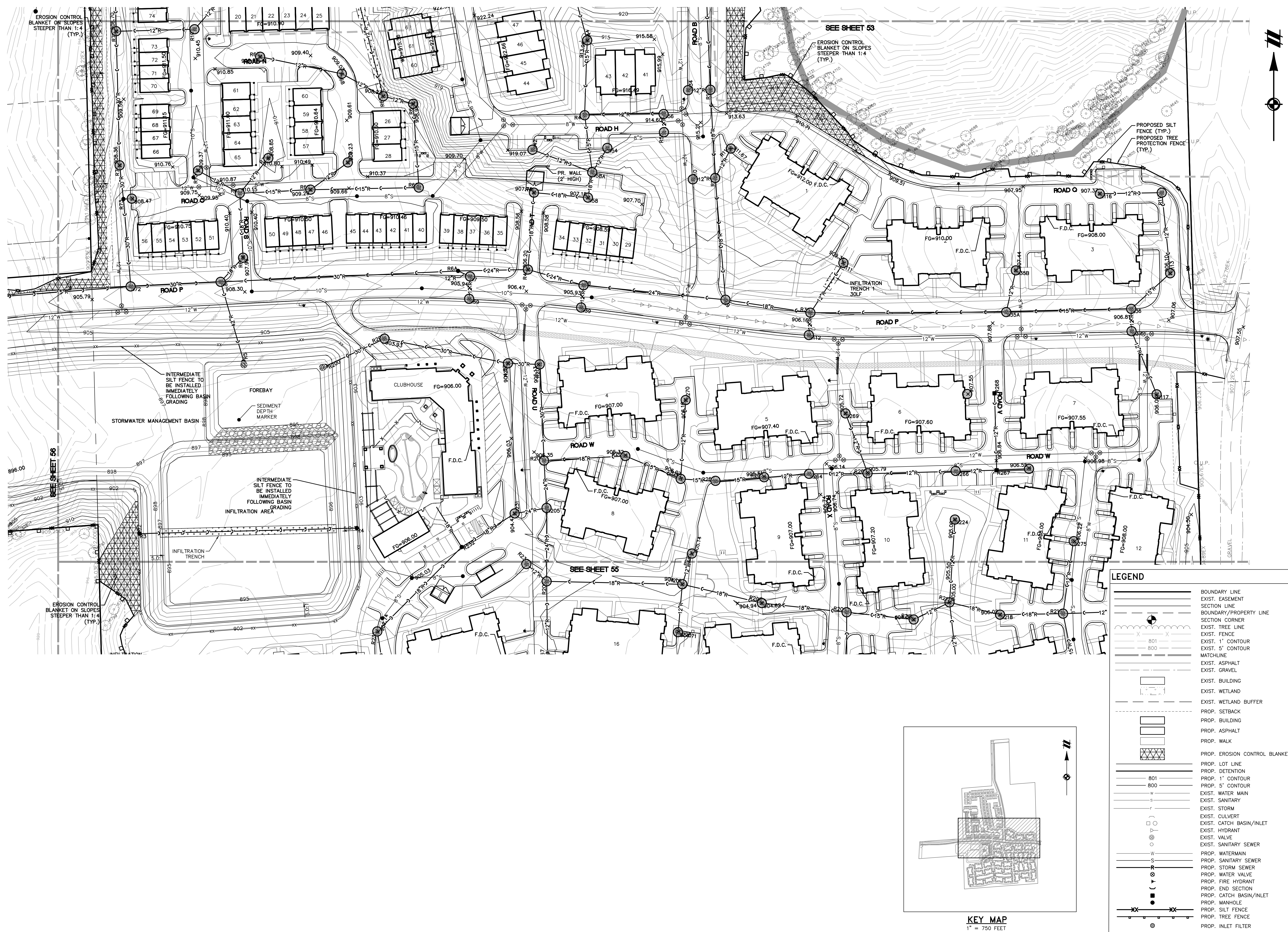
DR. SK GH. SS

P.M. MB

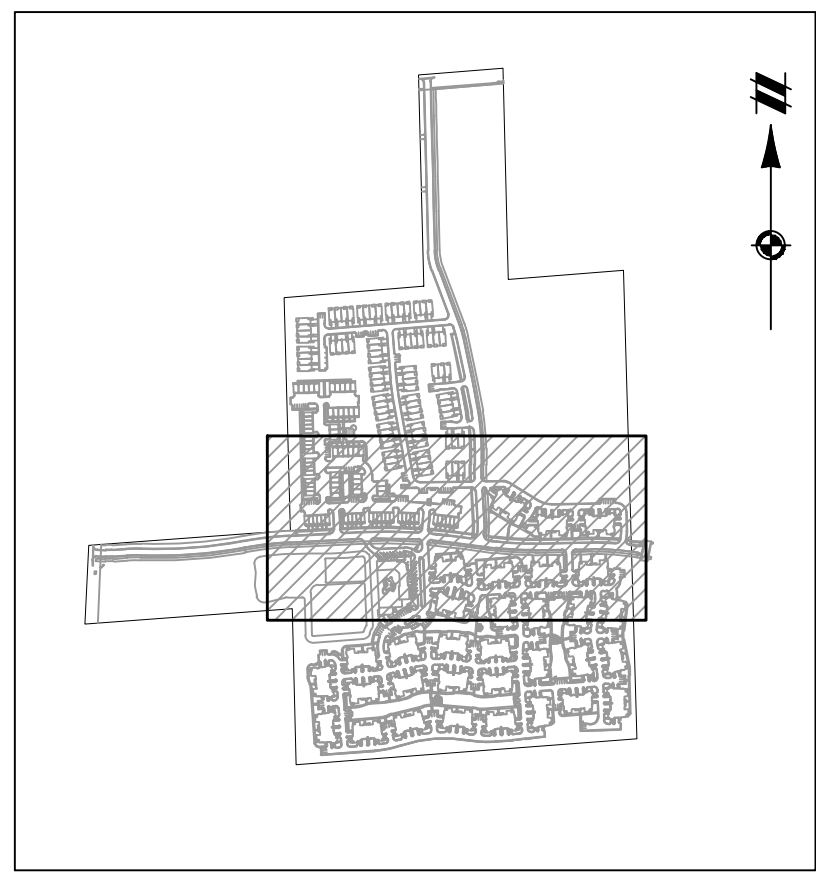
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LEGEND	
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	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	MATCHLINE
	EXIST. ASPHALT
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
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ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT
ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR

SITE PLAN

GRADING & SESC PLAN - AREA 4

DATE
JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC
2022-01-19 PER CITY AND WCMRC
2022-03-31 PER CITY AND WCMRC
2022-06-06 PER CITY
2022-06-18 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50
1" = 50 FEET

DR. SK GH. SS

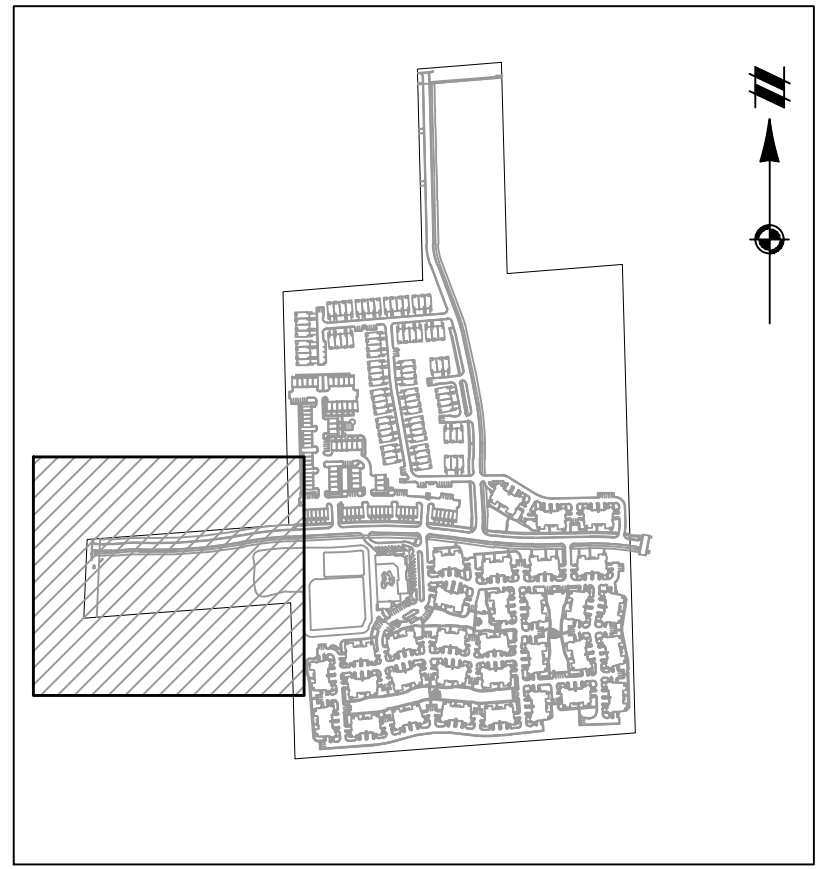
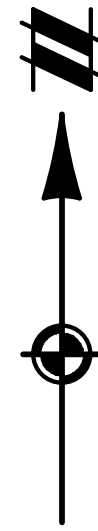
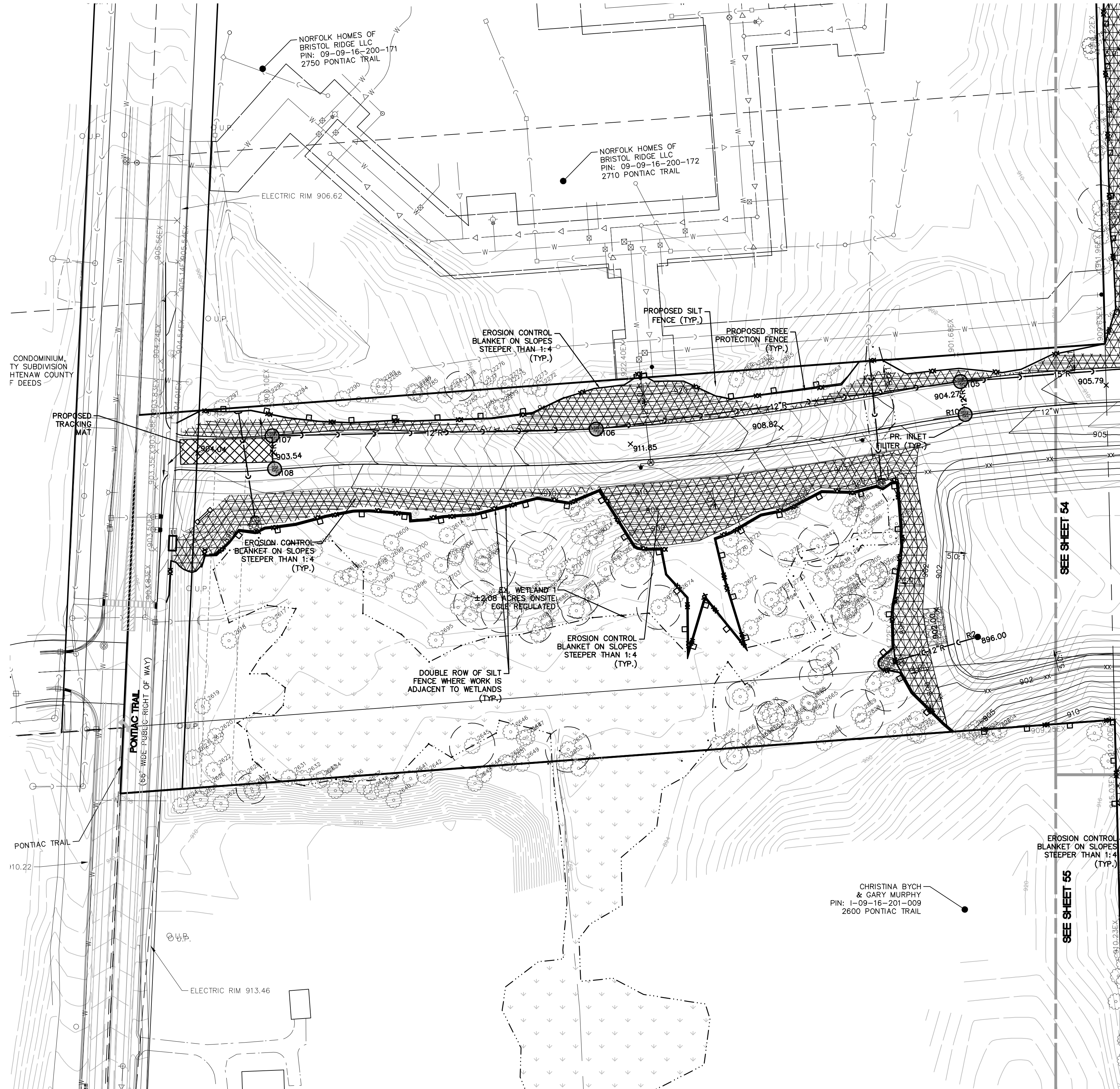
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SHEET NO. 55

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KEY MAP
1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

GRADING & SESC PLAN - AREA 5

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCWR

2022-01-19 PER CITY AND WCWR

2022-03-31 PER CITY AND WCWR

2022-06-06 PER CITY

2022-06-18 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

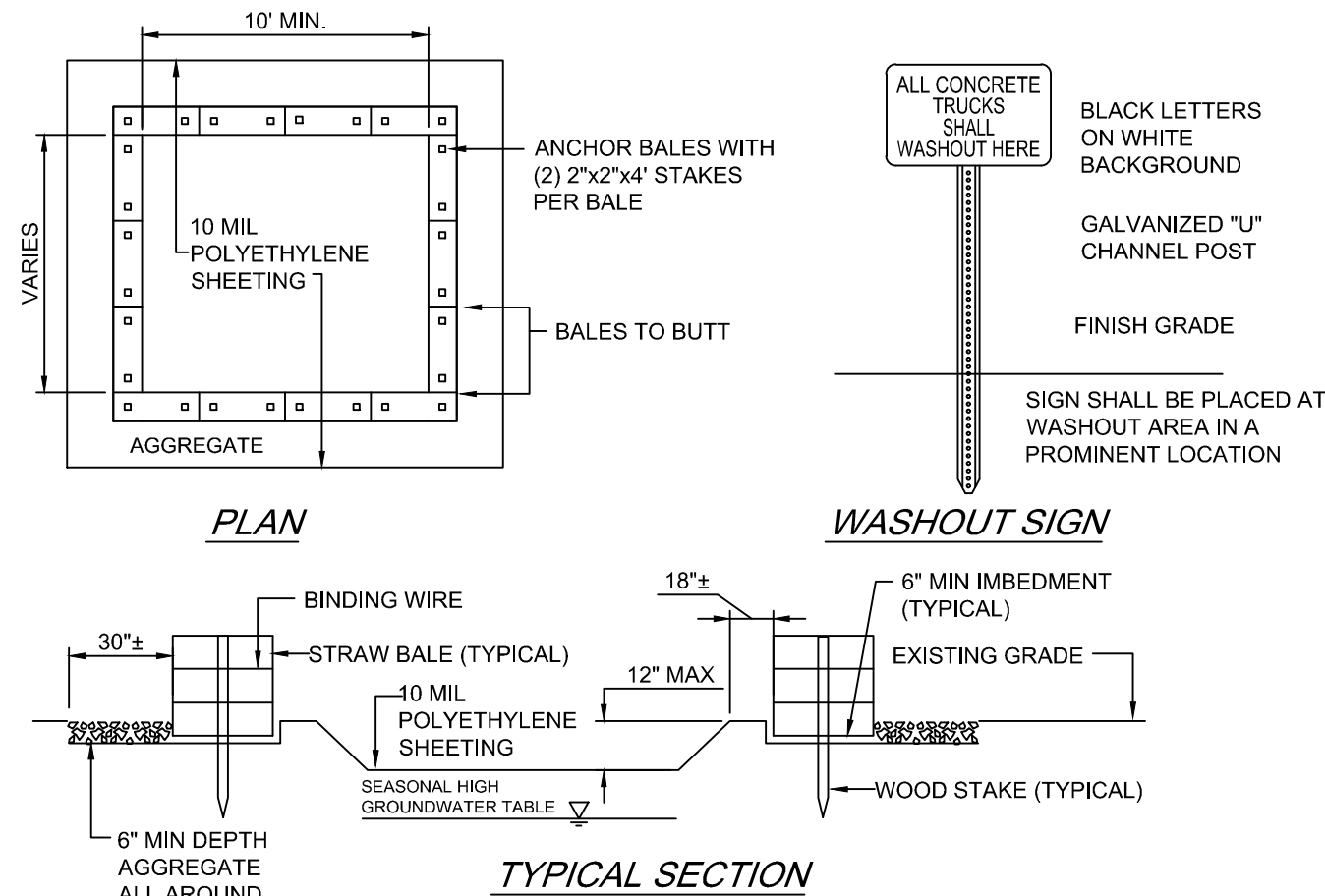
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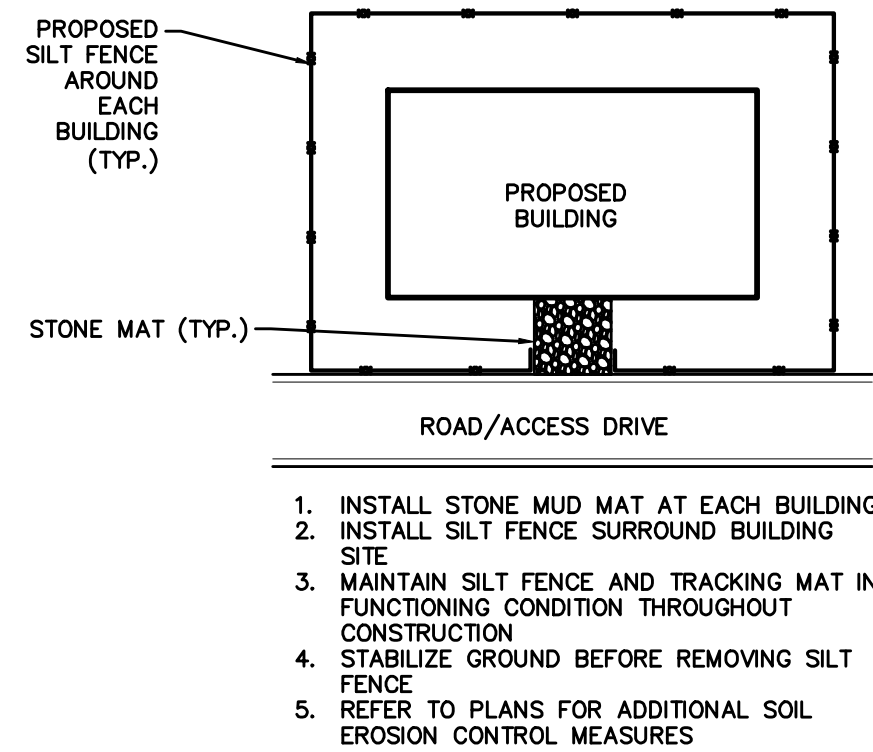
SHEET NO. 56



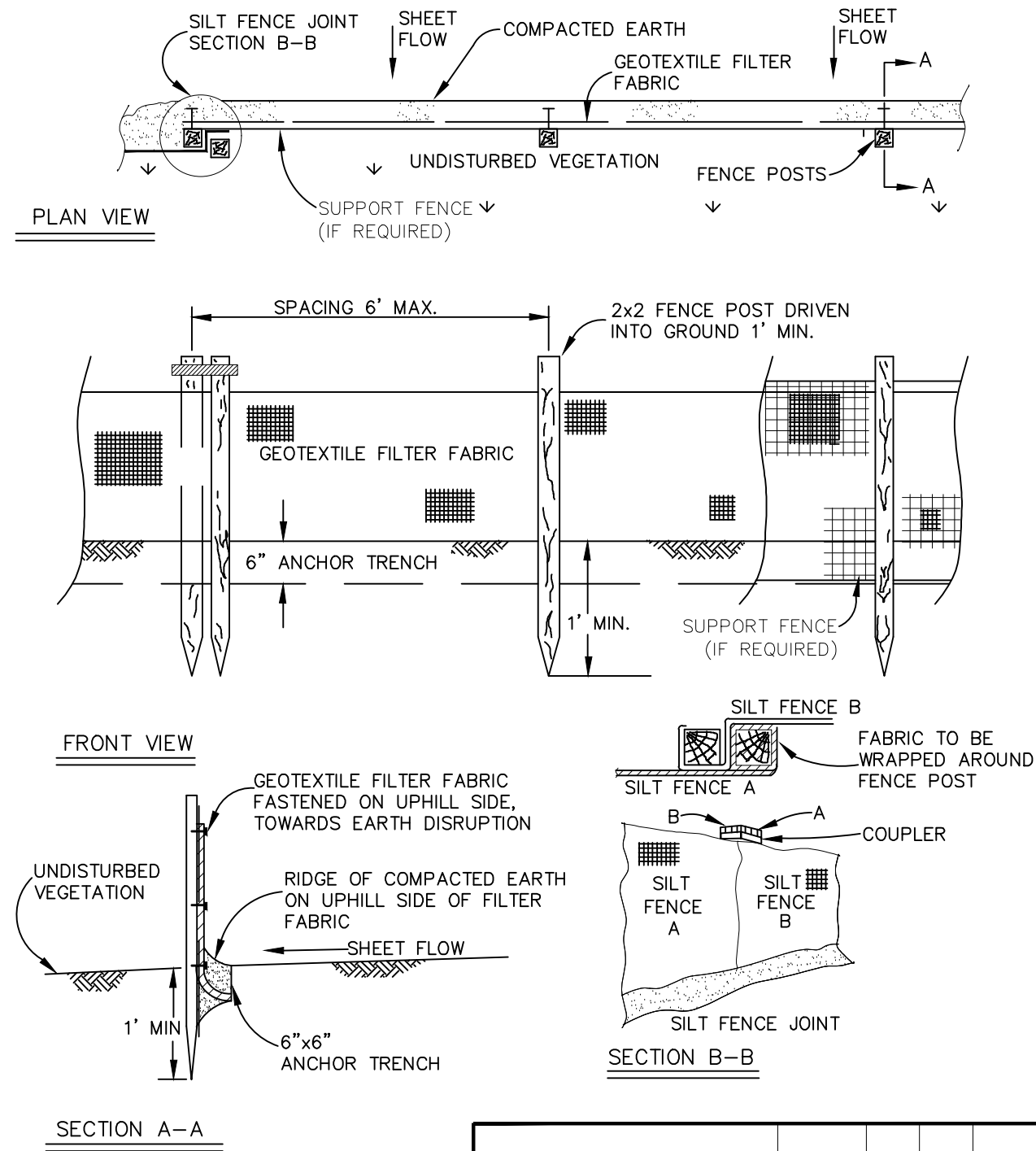
- NOTES:**
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE ASHOUT IS 75% FULL.
 4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA
NO SCALE

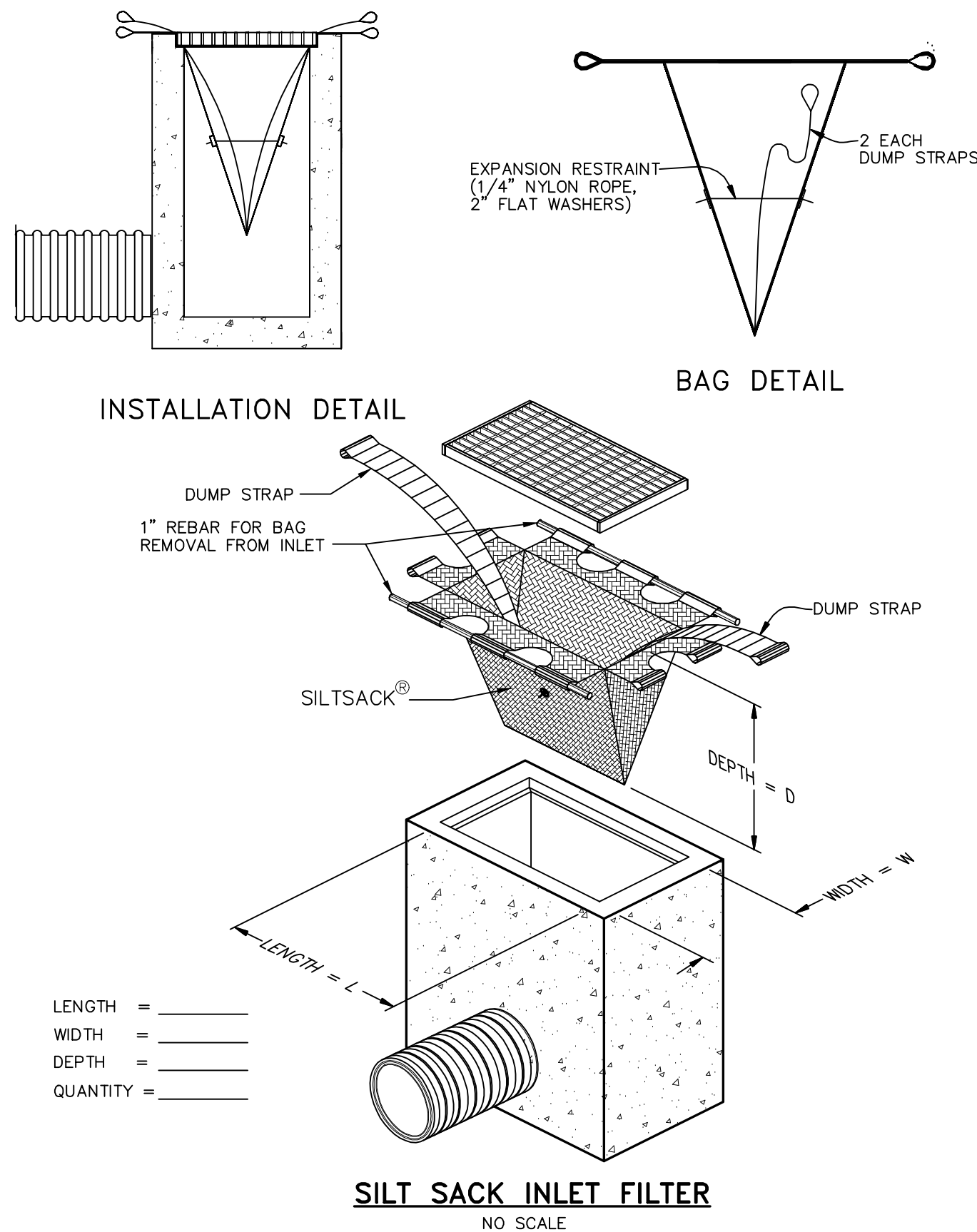
TEMPORARY STONE TRACKING MAT
NO SCALE



TYPICAL BUILDING S.E.S.C. EXHIBIT
NO SCALE



SILT FENCE DETAIL
NO SCALE



SILT SACK INLET FILTER
NO SCALE

TASKS	COMPONENTS					SCHEDULE	Annual Cost
	Storm Sewer System	Ditches and Swales	Outflow Control Structure	Pond Outlet & Rip-Rap	Detention/Infiltration Basins		
Inspect for sediment, floatables, and debris	X	X	X		X	Semi-Annually	\$ 600.00
Removal of sediment, floatables, and debris	X	X	X		X	As Needed	\$ 1,400.00
Inspection for erosion		X	X	X	X	Quarterly	\$ 300.00
Re-establish permanent vegetation on eroded slopes		X	X	X	X	As needed	\$ 500.00
Replacement of stone		X	X	X		As Needed	\$ 700.00
Mowing		X				1-2 times per year	\$ 400.00
Inspect Stormwater system components during wet weather and compare to as-built plans	X	X	X	X	X	Semi-Annually	\$ 400.00
Make adjustments as determined by annual inspection	X	X	X	X	X	As needed	\$ 500.00
						Total Cost=	\$ 4,800.00

Note: Stormwater maintenance is the responsibility of the home owners association.
NOTE: "As Needed" refers to when sediment has accumulated to a maximum of one foot depth, visually apparent debris exists, or if either of the stormwater management basins do not drain within 48-72 hours after a rain event
NOTE: No chemicals are allowed in stormwater features or buffer zones with the following exception:
Invasive species may be treated with chemicals by a certified applicator.
NOTE: The infiltration basin shall be inspected following storms of 1" or more.

PERMANENT STORM WATER MAINTENANCE TASKS, SCHEDULE, & BUDGET
DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM, POST CONSTRUCTION THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE.

TASKS	COMPONENTS						SCHEDULE
	Storm Sewer System	Catch Basin Inlet Filters	Silt Fence	Ditches and Swales	Outflow Control Structure	Rip-Rap	
Inspect for sediment, floatables, and debris	X	X	X	X	X	X	Weekly / Within 24 hrs after a Rain Event
Removal of sediment, floatables, and debris	X	X	X	X	X	X	As Needed
Inspection for erosion				X	X	X	Weekly / Within 24 hrs after a Rain Event
Re-establish permanent vegetation on eroded slopes				X	X	X	As needed
Replacement of stone					X		At turnover

NOTE: "As Needed" refers to when sediment has accumulated to a maximum of one foot depth and/or visually apparent debris exists
STORM WATER MAINTENANCE TASKS AND SCHEDULE DURING CONSTRUCTION
DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT

ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

SESC NOTES & DETAILS

DATE

JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC

2022-01-19 PER CITY AND WCMRC

2022-03-31 PER CITY AND WCMRC

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 50 100

1" = 100 FEET

DR. SK CH. SS

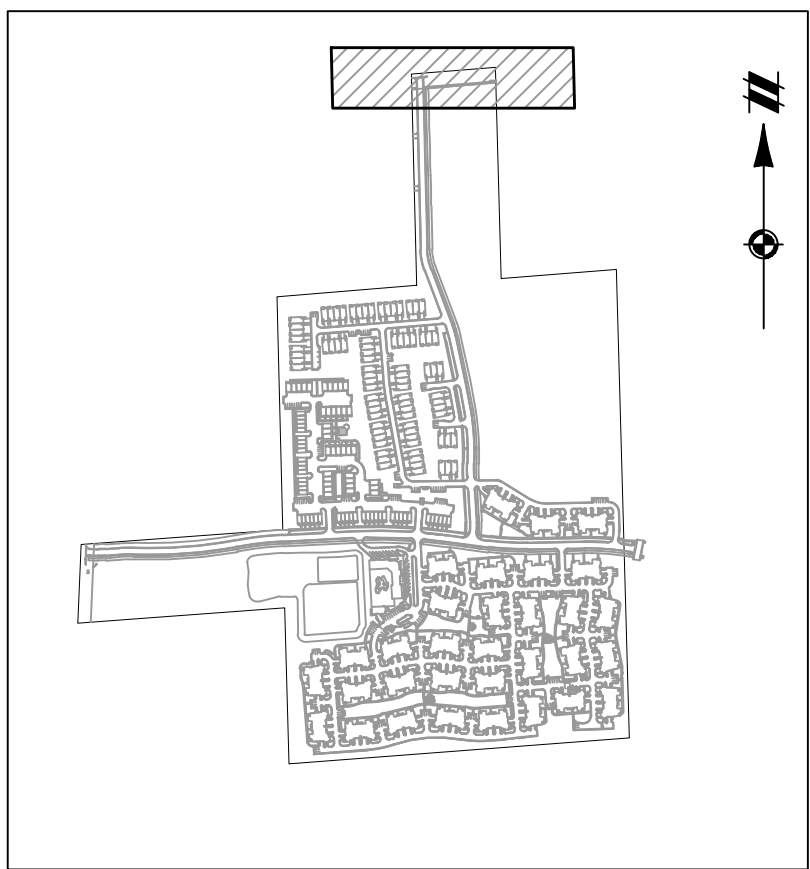
P.M. MB

BOOK NA

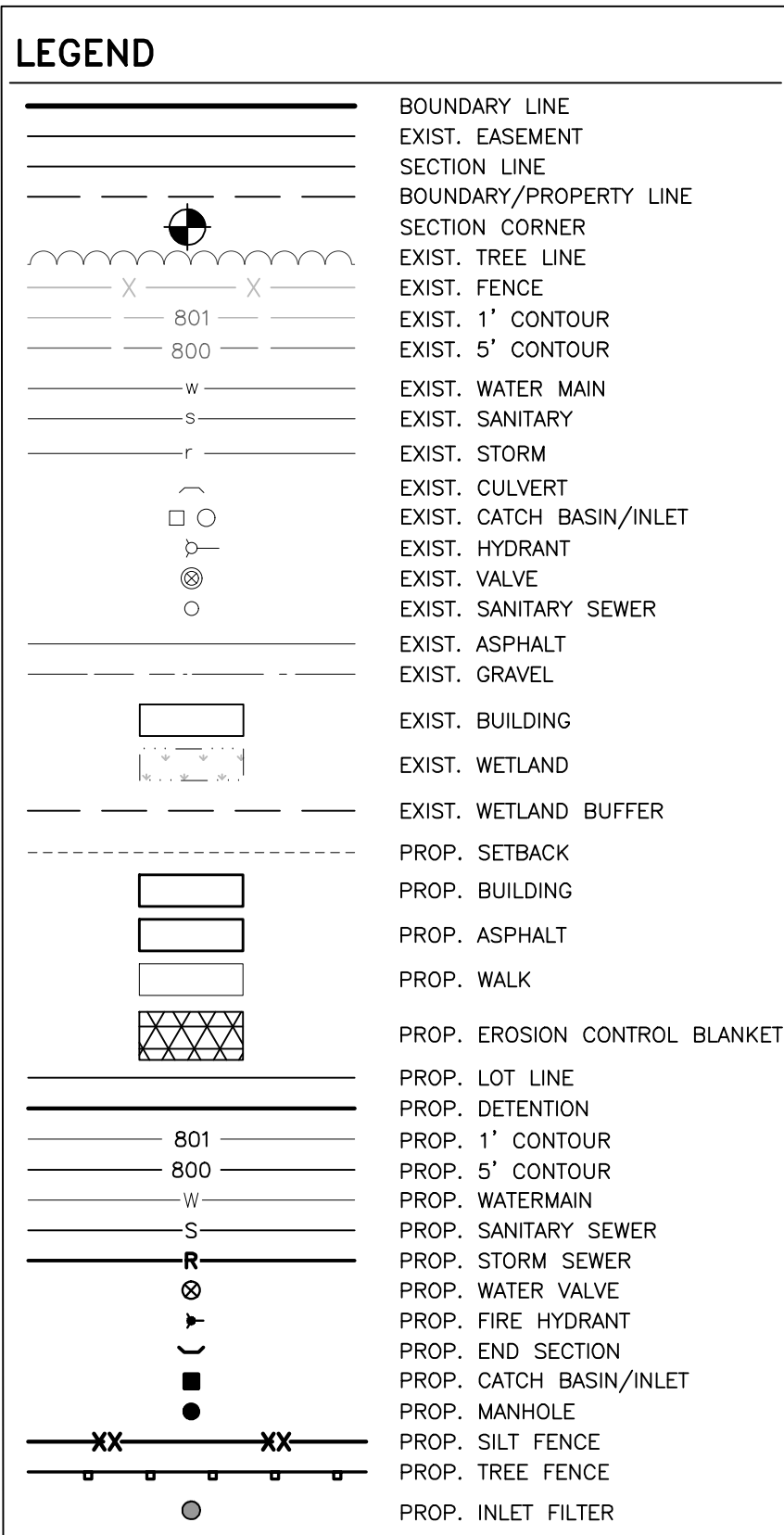
JOB 18002264

SHEET NO.

58



KEY MAP
1" = 750 FEET



Know what's below.
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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

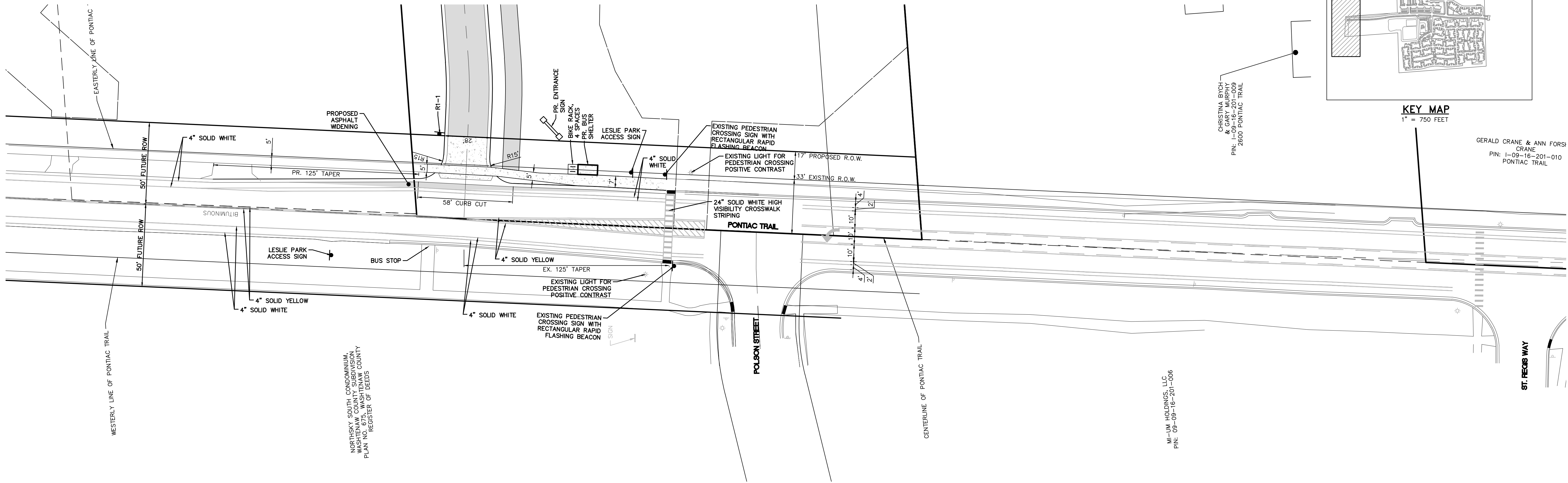
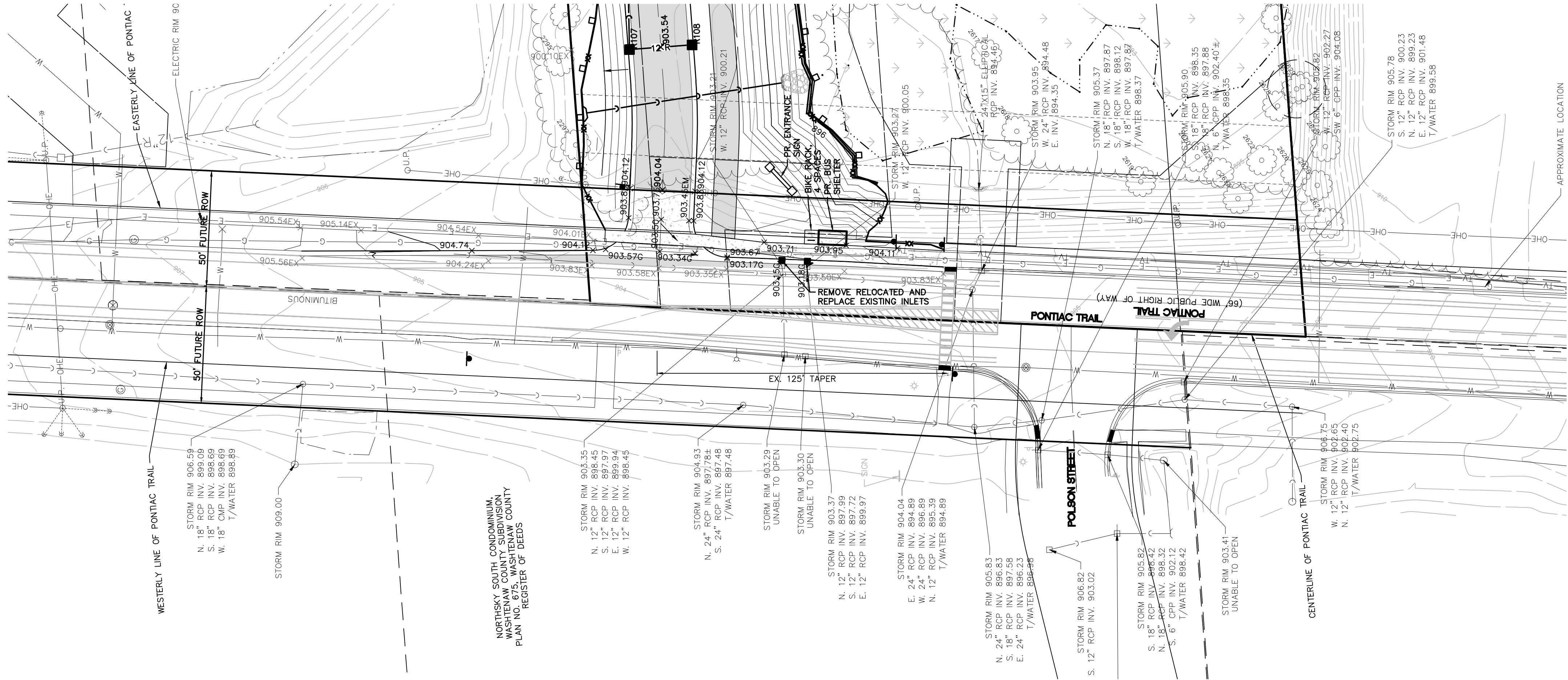
ENT
ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
DHU WARREN ROAD FRONTAGE

DATE
JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS			
SCALE	0	15	30
1" = 30 FEET			
DR.	SK	CH.	SS
P.M. MB			
BOOK		NA	
JOB		18002264	
SHEET NO.			

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LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. STORM
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	EXIST. ASPHALT
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. BUILDING
	PROP. ASPHALT
	PROP. WALK
	PROP. EROSION CONTROL BLANKET
	PROP. LOT LINE
	PROP. DETENTION
	PROP. 1' CONTOUR
	PROP. 5' CONTOUR
	PROP. WATERMAIN
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. WATER VALVE
	PROP. FIRE HYDRANT
	PROP. MANHOLE
	PROP. CATCH BASIN/INLET
	PROP. TREE FENCE
	PROP. INLET FILTER

CLIENT		ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR		
SITE PLAN		
PONTIAC TRAIL FRONTAGE		
DATE		JUNE 7, 2021
2021-10-11 PER CITY AND WCWRC		
2022-01-19 PER CITY AND WCWRC		
2022-03-31 PER CITY AND WCWRC		
2022-06-06 PER CITY		
2022-06-18 PER CITY		
2022-07-12 REV. PHOTOMETRICS		
2022-07-12 PER CITY		
2022-08-22 PER CITY		
REVISIONS		
SCALE		0 15 30
1" = 30 FEET		
DR.	SK	CH. SS
P.M.	MB	
BOOK	NA	
JOB	18002264	
SHEET NO.	60	

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TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

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KEY MAP
1" = 750 FEET

GERALD CRANE & ANN FORSI
CRANE
PIN: 1-09-16-201-010
PONTIAC TRAIL

ST. REGIS WAY

CHRISTINA BECH & ASSOCIATES
PIN: 1-09-16-201-009
2600 PONTIAC TRAIL

MI-UM HOLDINGS, LLC
PIN: 08-09-16-201-006



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

STORMWATER MANAGEMENT PLAN

DATE

JUNE 7, 2021

2021-10-11	PER CITY AND WCWRC
2022-01-19	PER CITY AND WCWRC
2022-03-31	PER CITY AND WCWRC
2022-06-06	PER CITY
2022-06-18	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE 0 50 100
1" = 100 FEET

DR. SK CH. SS

P.M. MB

BOOK NA

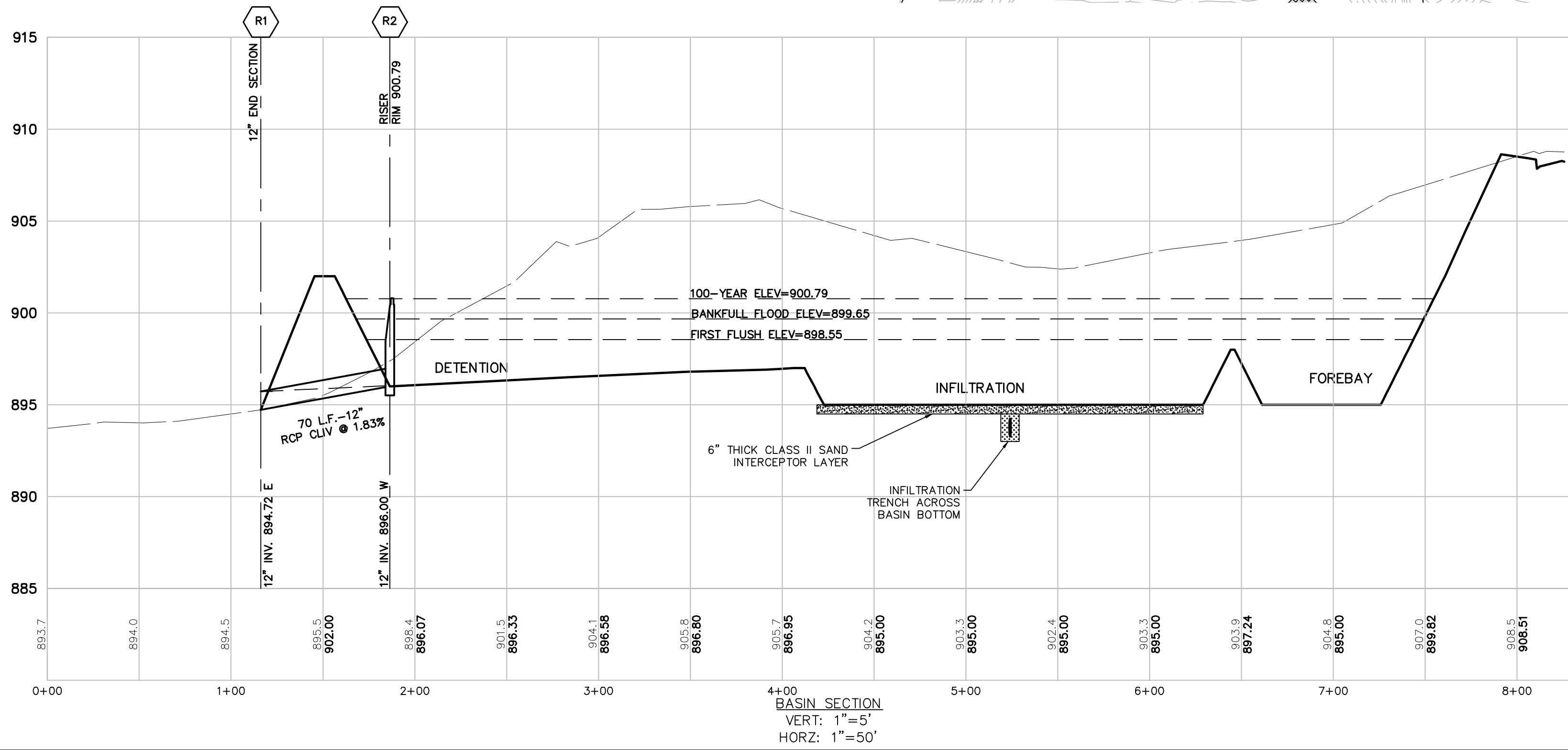
JOB 18002264

SHEET NO.

61

STORMWATER MANAGEMENT NOTES:

- INFILTRATION IS REQUIRED FOR THE FIRST FLUSH STORM EVENT AND DETENTION IS REQUIRED FOR THE 100 YEAR STORM EVENT IN ACCORDANCE WITH CITY OF ANN ARBOR CODE OF ORDINANCES 5.655.2.(B). (I). INFILTRATION IS BEING PROVIDED IN ACCORDANCE WITH WCWRC STANDARDS UTILIZING THE INFILTRATION BASIN AND INFILTRATION TRENCHES BEST MANAGEMENT PRACTICES.
- THE SITE SOILS AT THE DEPTH OF PROPOSED INFILTRATION CONSISTS PRE-DOMINANTLY OF NATURAL GRANULAR SANDY SOILS. INFILTRATION TESTING WAS PROVIDED IN ACCORDANCE WITH WCWRC PROCEDURE ON APRIL 7, 2021.
- REFER TO THE STORMWATER CALCULATIONS ON SHEET 62 AND GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY SME, JOB #079760.02, DATED 12/21/19 AND THE INFILTRATION EVALUATION REPORT PROVIDED BY SME JOB #84695.02, DATED MAY 6, 2021. SOIL BORING AND TEST PIT LOCATIONS SHOWN IN THESE PLANS PER THE ABOVE REFERENCED REPORTS.

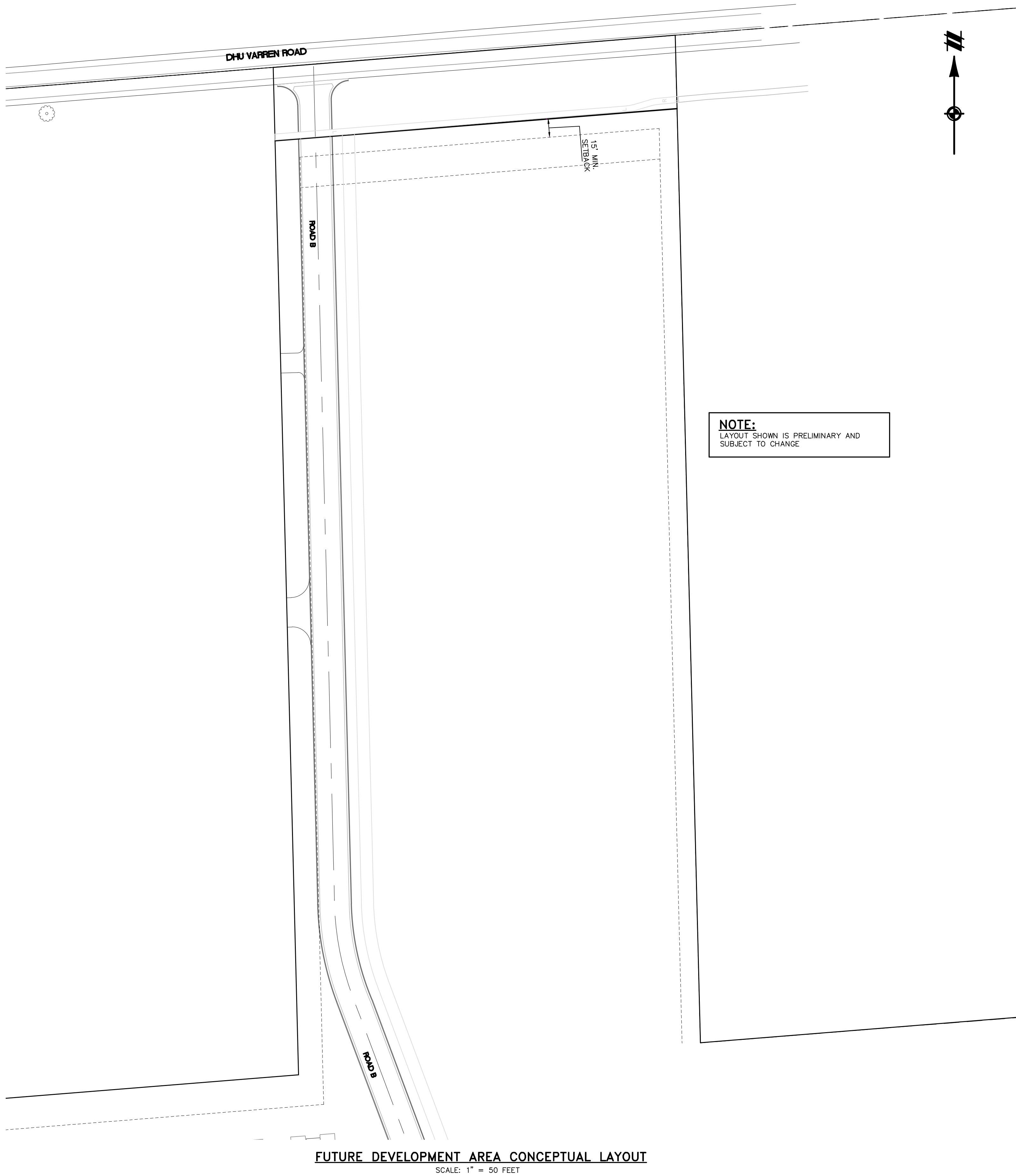


LEGEND

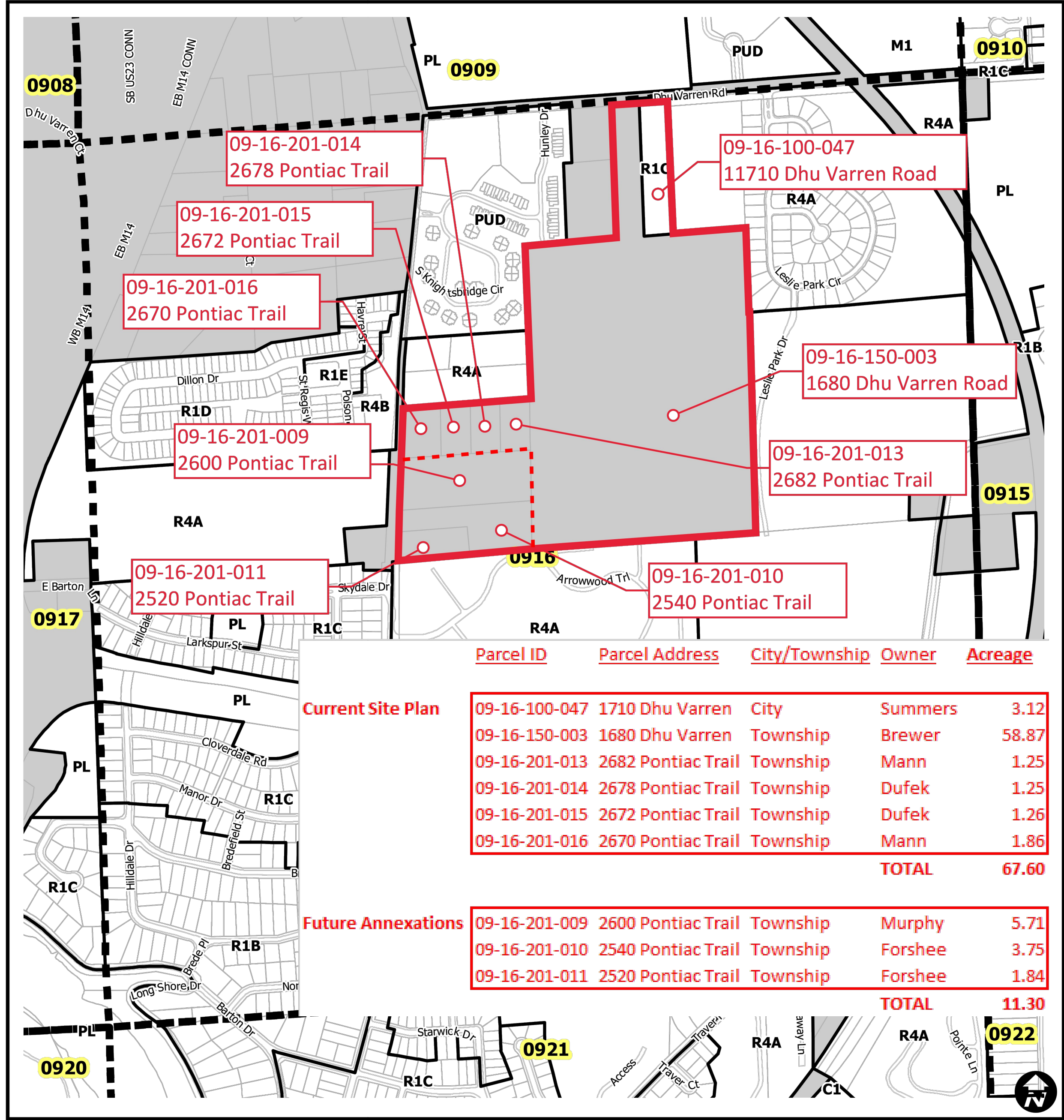
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. BUILDING
	PROP. ASPHALT
	PROP. WALK
	PROP. LOT LINE
	PROP. DETENTION
	PROP. 1' CONTOUR
	PROP. 5' CONTOUR
	PROP. STORM SEWER
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. SILT FENCE
	PROP. TREE FENCE
	PROP. INLET FILTER

INFILTRATION TRENCH #4 CALCULATIONS:

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FUTURE DEVELOPMENT AREA CONCEPTUAL LAYOUT
SCALE: 1" = 50 FEET



FUTURE LAND HOLDINGS MAP
NO SCALE

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SECTION 16	CLIENT	ROBERTSON BROTHERS CO.
TOWN 2 SOUTH, RANGE 6 EAST	VILLAGE OF ANN ARBOR	
ANN ARBOR TOWNSHIP	SITE PLAN	
WASHTENAW COUNTY, MICHIGAN	STANDARD DETAILS 2	

DATE
JUNE 7, 2021

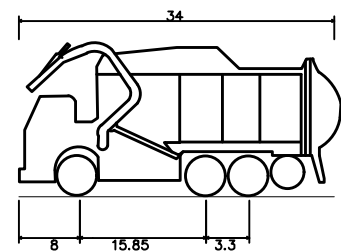
2021-10-11 PER CITY AND WCWR
2022-01-19 PER CITY AND WCWR
2022-03-31 PER CITY AND WCWR
2022-06-06 PER CITY
2022-06-18 PER CITY
2022-07-12 REV. PHOTOMETRICS
2022-08-22 PER CITY

REVISIONS

SCALE
0
AS NOTED

DR.	SK	CH.	SS
P.M.	MB		
BOOK	NA		
JOB	18002264		
SHEET NO.	65		

K:\PROJECTS\2024\24001\24001.dwg (P) 10/26/2024 10:00 AM SITE PLAN



Front Load Garbage
Overall Length 34'-0"
Overall Width 8'-0"
Overall Height 11'-0"
Min Body Ground Clearance 1'-0"
Tread Width 6'-0"
Lock-to-lock time 4:00
Max Steering Angle (Virtual) 40.0°

TRASH TRUCK TEMPLATE DETAIL

SOLID WASTE NOTES (TOWNHOMES):

- TRASH HANDLING AND PICKUP TO OCCUR IN CITY STANDARD 64 GALLON CARTS.
- RECYCLING HANDLING AND PICKUP TO OCCUR IN CITY STANDARD 64 GALLON CARTS.
- COMPOSTING HANDLING AND PICKUP TO OCCUR IN CITY STANDARD 64 GALLON CARTS, STORED IN A LOCALIZED ENCLOSURE, TO BE WHEELED OUT ON SERVICE DAY. SIGNIFICANT COMPOSTING VOLUME GENERATION BY RESIDENTS IS NOT ANTICIPATED AS OUTSIDE MAINTENANCE WILL BE CONTRACTED. THE DEVELOPMENT IS RESPONSIBLE FOR WHEELING COMPOST CARTS FROM THE ENCLOSURE ON COLLECTION DATE. ALL CARTS SHALL BE PLACED A MINIMUM OF THREE FEET APART.
- REFER TO THIS PLAN FOR GENERAL PLACEMENTS DURING PICKUP WITHIN THE TOWNHOUSE AREAS. BINS ARE SHOWN WITH A STANDARD 3' SEPARATION. DURING SERVICE DAYS, BINS ALSO BE PLACED WITHIN THE PAVEMENT ALONG PRIVATE ROADS THAT ARE AT 25' BC/BC OR GREATER. THE CARTS PLACED IN THE PAVEMENT FOR PICKUP ARE TO BE ADJACENT TO THE BACK OF CURB AND PLACED IN THE AREA IMMEDIATELY IN FRONT OF THE CART LOCATION SHOWN ON THIS PLAN.
- SOLID WASTE AND RECYCLING BINS ARE TO BE STORED IN GARAGES WHEN NOT IN SERVICE.



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

SOLID WASTE PLAN –
TOWNHOMES

DATE

JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC

2022-01-19 PER CITY AND WCMRC

2022-03-31 PER CITY AND WCMRC

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

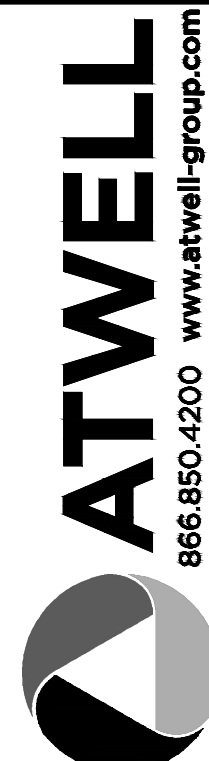


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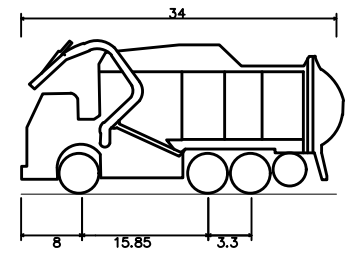
SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
SOLID WASTE PLAN - APARTMENTS

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCWR
2022-01-19 PER CITY AND WCWR
2022-03-31 PER CITY AND WCWR
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. SK CH. SS
P.M. MB
BOOK NA
JOB 18002264
SHEET NO. 67



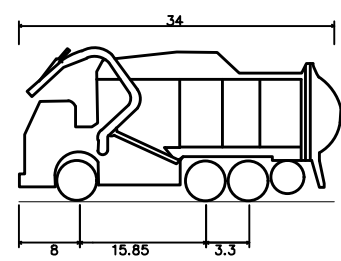
Front Load Garbage
Overall Length 34.000ft
Overall Width 8.500ft
Overall Body Height 1.132ft
Min Body Ground Clearance 1.132ft
Track Width 7.000ft
Lock-to-lock time 6.000
Max Steering Angle (Virtual) 40.00°

TRASH TRUCK TEMPLATE DETAIL

- SOLID WASTE NOTES (APARTMENTS):**
1. TRASH HANDLING AND PICKUP TO OCCUR IN WASTE COMPACTOR, AS SHOWN ON THIS PLAN.
 2. RECYCLING HANDLING AND PICKUP TO OCCUR IN THE DUAL RECYCLING DUMPSTER, AS SHOWN ON THIS PLAN.
 3. COMPOSTING IS NOT REQUIRED AND NOT BEING PROVIDED. SIGNIFICANT COMPOSTING VOLUME GENERATION BY RESIDENTS IS NOT ANTICIPATED AS OUTSIDE MAINTENANCE WILL BE CONTRACTED.

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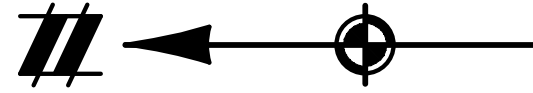
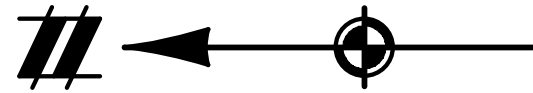
Front Load Garbage
Overall Length 34.000ft
Overall Width 8.000ft
Overall Height 11.32ft
Min Body Ground Clearance 1.13ft
Track Width 6.00ft
Lock-to-lock time 40.00s
Max Steering Angle (Virtual) 60.00°

TRASH TRUCK TEMPLATE DETAIL

SOLID WASTE NOTES (TOWNHOMES):

1. IF THE CITY FINDS THAT THE RESIDENTS OF THE VILLAGE OF ANN ARBOR ARE UNWILLING TO TRANSPORT CARTS TO THESE DESIGNATED LOCATIONS, OR PLACEMENT OF THE CARTS DO NOT ADHERE TO THE DESIGNATED LOCATIONS, INCLUDING CART SPACING, THE CITY WILL REQUIRE THAT THE CARTS BE REPLACED BY DUMPSTERS FOR SOLID WASTE AND RECYCLING SERVICES AS SHOWN. ALL COSTS ASSOCIATED WITH THESE MODIFICATIONS, INCLUDING THE CONSTRUCTION OF DUMPSTER CORRALS THAT MEET THE CITY'S THEN-CURRENT STANDARDS WILL BE AT THE EXPENSE OF THE PROPERTY OWNER.

DHU VARREN ROAD ENTRANCE



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
SOLID WASTE PLAN -
TOWNHOMES ALTERNATE

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC
2022-01-19 PER CITY AND WCMRC
2022-03-31 PER CITY AND WCMRC
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS

SCALE: 0 25 50
1" = 50 FEET

DR. SK CH. SS

P.M. MB

BOOK NA

JOB 18002264

SHEET NO.

68