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PROJECT DESCRIPTION

THE VILLAGE OF ANN ARBOR COMMUNITY WILL INCLUDE 164 FOR-SALE ATTACHED SINGLE FAMILY HOMES, TOWNHOMES, AND TOWNHOMES OVER FLATS, AND 320 HIGH QUALITY RENTAL APARTMENT HOMES. THE VILLAGE OF ANN ARBOR WILL CATER TO A WIDE VARIETY OF HOME SEEKERS, INCLUDING PROFESSIONALS, STUDENTS, ACADEMIA STAFF, YOUNG FAMILIES, AND EMPTY NESTERS. THE TARGETED DEMOGRAPHICS ARE LOOKING TO RESIDE IN A MAINTENANCE FREE, WELL PLANNED HOME COMMUNITY AND ENJOY ALL THAT ANN ARBOR HAS TO OFFER. THE HOMES WILL RANGE IN SIZE BETWEEN 800 AND 1,900 SQUARE FEET AND MOST PLANS WILL FEATURE AN ATTACHED ONE OR TWO CAR GARAGE THAT WILL BE PRE-WIRED FOR ELECTRIC VEHICLE CHARGING STATIONS. SOLAR-POWERED LIGHTING IS PROPOSED FOR THE CLUBHOUSE BUILDING AND PARKING LOT.

THE COMMUNITY WILL COMBINE MULTIPLE PARCELS OF LAND, TOTALING APPROXIMATELY 65 ACRES OF MOSTLY VACANT LAND. THE COMMUNITY WILL BE ACCESSED FROM TWO ENTRANCES, ONE FROM HIGHWAY 100 ALONG THE NORTH OF THE PROPERTY AND ANOTHER FROM PONTIAC TRAIL ALONG THE WEST OF THE PROPERTY. THERE ARE TWO HOMES ON THE PROPERTY THAT WILL BE REMOVED, AND THE REMAINING LAND IS VACANT AND UNUSED. BASED UPON FEEDBACK RECEIVED DURING NEIGHBOR MEETINGS, NO CONNECTION IS PROPOSED TO THE EXISTING ADJACENT TOWNSHIP DEVELOPMENT TO THE NORTHWEST OF THE SITE DUE TO TOPOGRAPHY. THE PROPOSAL ALSO INCLUDES A NEW ENTRANCE TO LESLIE PARK LOCATED JUST EAST OF THE COMMUNITY.

ALL BUT APPROXIMATELY 3 ACRES OF THE ASSESSAGE ARE CURRENTLY IN THE TOWNSHIP OF ANN ARBOR, AND PETITIONS HAVE BEEN SUBMITTED IN ORDER TO ANNEX THE PROPERTIES TO THE CITY IN ACCORDANCE WITH ANN ARBOR'S MASTER PLAN. PORTIONS OF THE SITE WERE HISTORICALLY MINED AND SUBSEQUENTLY USED AS AN ANN ARBOR CITY LANDFILL. THE LANDFILL CEASED OPERATIONS IN THE 1950S AND THE APPROXIMATELY 10-ACRE FORMER LANDFILL AREA HAS SINCE GROWN INTO A WELL FORESTED PARCEL OF LAND. THE DEVELOPMENT TEAM IS NOT PROPOSING TO IMPROVE AN PORTION OF THE LANDFILL AREA. THE DEVELOPMENT WILL CREATE AN IMPORTANT VEHICULAR AND PEDESTRIAN LINKAGE TO LESLIE PARK, WHICH CURRENTLY IS ONLY ACCESSED THROUGH A PRIVATE SUBDIVISION TO THE NORTH OF THE PARK. THE DEVELOPMENT WILL ALSO CREATE A MULTIMODAL LINKAGE BETWEEN LESLIE PARK TO THE EAST AND OLSON PARK TO THE NORTH. THE ON-SITE ROADWAYS ARE PROPOSED TO BE PRIVATE WITHIN A 66' WIDE PUBLIC ACCESS EASEMENT.

OVERALL LEGAL DESCRIPTION

OVERALL LEGAL DESCRIPTION IS SHOWN ON SHEET 02.

PARKING COMPARISON CHART

		REQUIRED										PROPOSED											
Proposed Use	Units/Area	Vehicle Parking Spaces	Bicycle Parking Spaces				EV Parking Spaces				Vehicle Parking Spaces				Bicycle Parking Spaces				EV Parking Spaces				
			Total	Class A	Class B	Class C	Total	EV-C	EV-R	EV-I	Total	Garage	Driveway	Surface	Total	Class A	Class B	Class C	Total	EV-C	EV-R	EV-I	Total
Dwelling- Multi-family	320	640	N/A	N/A	N/A	64	208	80	32	320	384	334	87	805	46	0	22	68	0	384	20	40	294
Dwelling - Townhouse	164	328	17	0	16	33	0	164	0	164	283	283	61	627	17	0	16	33	0	283	8	29	291
Community Center	8,482	43	0	0	9	9	0	4	4	8	0	0	38	38	0	0	16	16	0	0	8	8	8
Total		1,011	17	0	25	106	208	248	36	492	667	617	186	1,470	63	0	54	117	0	667	36	703	703

THE DEFERRED SPACES ARE NOT INCLUDED IN THE ABOVE
PROPOSED HOUSING TYPE DETAILS

Unit Type	Avg. Square Footage	No. of Bedrooms	For-Sale or Rental	Number of Units	Total Square Footage
Two story Single Family attached	1850	3	For Sale	82	151,700
Three story Townhome 1-Car Garage	1300	2	For Sale	45	58,500
Three story Townhome 2-Car Garage	1600	2 or 3	For Sale	37	59,200
Garden style Apartment Type 1	800	1	Rental	100	80,000
Garden style Apartment Type 2	1000	2	Rental	220	220,000
			Totals	484	569,400

CONSTRUCTION NOTES

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES STANDARD SPECIFICATIONS.
2. THE OMISSION OF ANY STANDARD DETAILS DOES NOT RELIEVE THE CONTRACTORS OF THEIR OBLIGATION TO CONSTRUCT ITEMS IN COMPLETE ACCORDANCE WITH THE PUBLIC SERVICES STANDARD SPECIFICATIONS.
3. ALL ROAD MARKING CAUSED DUE TO PAVEMENT OR CONSTRUCTION RELATED ACTIVITIES SHALL BE REPLACED AS DIRECTED BY CITY ENGINEERING. REPLACEMENT DURING CONSTRUCTION OF THE PROJECT MAY BE CONSIDERED TEMPORARY, WITH FINAL PAVEMENT MARKING RESTORATION TO OCCUR AT THE END OF THE PROJECT.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING PUBLIC ROAD PAVEMENT. THE PUBLIC ROAD SHALL BE REPAIRED TO ORIGINAL CONDITION WITH AN APPROPRIATE MILLING AND RESURFACING OF THE DAMAGED AREAS PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

VICINITY MAP

NOT TO SCALE

01	COVER SHEET	41	PHASE 3 UTILITY PLAN
02	OVERALL EXISTING CONDITIONS PLAN	45	UTILITY PLAN - AREA 1
03	EXISTING CONDITIONS & DEMOLITION PLAN - AREA 1	46	UTILITY PLAN - AREA 2
04	EXISTING CONDITIONS & DEMOLITION PLAN - AREA 2	47	UTILITY PLAN - AREA 3
05	EXISTING CONDITIONS & DEMOLITION PLAN - AREA 3	48	UTILITY PLAN - AREA 4
06	EXISTING CONDITIONS & DEMOLITION PLAN - AREA 4	49	UTILITY PLAN - AREA 5
07	EXISTING CONDITIONS & DEMOLITION PLAN - AREA 5	50	FIRE PROTECTION PLAN
08	EXISTING CONDITIONS & DEMOLITION PLAN - AREA 6	51	OVERALL GRADING & SESC PLAN
09	OVERALL DIMENSIONAL LAYOUT PLAN	52	GRADING & SESC PLAN - AREA 1
10	BUILDING PHASING PLAN	53	GRADING & SESC PLAN - AREA 2
11	DIMENSIONAL LAYOUT PLAN - AREA 1	54	GRADING & SESC PLAN - AREA 3
12	DIMENSIONAL LAYOUT PLAN - AREA 2	55	GRADING & SESC PLAN - AREA 4
13	DIMENSIONAL LAYOUT PLAN - AREA 3	56	GRADING & SESC PLAN - AREA 5
14	DIMENSIONAL LAYOUT PLAN - AREA 4	57	INTERMEDIATE SESC PLAN
15	DIMENSIONAL LAYOUT PLAN - AREA 5	58	SESC NOTES & DETAILS
16	EASEMENT LAYOUT PLAN - AREA 1	59	DHU VARREN ROAD FRONTAGE
17	EASEMENT LAYOUT PLAN - AREA 2	60	PONTIAC TRAIL FRONTAGE
18	EASEMENT LAYOUT PLAN - AREA 3	61	STORMWATER MANAGEMENT PLAN
19	EASEMENT LAYOUT PLAN - AREA 4	62	STORMWATER MANAGEMENT CALCS
20	EASEMENT LAYOUT PLAN - AREA 5	63	INFILTRATION TRENCH CALCULATIONS
21	NATURAL FEATURES OVERLAY PLAN	64	STANDARD DETAILS 1
22	NATURAL FEATURES PLAN - AREA 1	65	STANDARD DETAILS 2
23	NATURAL FEATURES PLAN - AREA 2	66	SOLID WASTE PLAN - TOWNHOMES
24	NATURAL FEATURES PLAN - AREA 3	67	SOLID WASTE PLAN - APARTMENTS
25	NATURAL FEATURES PLAN - AREA 4	68	SOLID WASTE PLAN - TOWNHOMES ALTERNATE
26	NATURAL FEATURES PLAN - AREA 5	69	STANDARD DETAILS 3
27	LANDMARK TREE LIST	70	INTERSECTION SIGHT DISTANCE EXHIBIT
28	TREE LIST	71	ARCHITECTURAL PLANS (BY OTHERS) - 1
29	TREE LIST	72	ARCHITECTURAL PLANS (BY OTHERS) - 2
30	TREE LIST	73	ARCHITECTURAL PLANS (BY OTHERS) - 3
31	ALTERNATE ANALYSIS PLAN	74	ARCHITECTURAL PLANS (BY OTHERS) - 4
32	OVERALL LANDSCAPE PLAN	75	SITE CROSS SECTION
33	LANDSCAPE PLAN - AREA 1	76	PHOTOMETRIC PLAN - 1
34	LANDSCAPE PLAN - AREA 2	77	PHOTOMETRIC PLAN - 2
35	LANDSCAPE PLAN - AREA 3		
36	LANDSCAPE PLAN - AREA 4	1 OF 7 ALTA SURVEY	
37	LANDSCAPE PLAN - AREA 5	2 OF 7 ALTA SURVEY	
38	STORMWATER BASIN LANDSCAPING	3 OF 7 ALTA SURVEY	
39	LANDSCAPE DETAILS & NOTES	4 OF 7 ALTA SURVEY	
40	OVERALL UTILITY PLAN	5 OF 7 ALTA SURVEY	
41	UTILITY PHASING PLAN	6 OF 7 ALTA SURVEY	
42	PHASE 1 UTILITY PLAN	7 OF 7 ALTA SURVEY	

COMPARISON CHART

Parcel ID	I-09-16-100-047, I-09-16-150-003, I-09-16-201-013, 014, 015, & 016			
	Existing	Required *	Proposed	Notes
Zoning	TWP, R1C	--	R4A	Annexation and rezoning
Landfill Area (AC)	--	--	10.40	
Gross Site Area (AC)	67.60	--	57.20	Proposed does not include landfill area
Area of R.O.W. (AC)	0.48	--	0.74	
Net Site Area (AC)	56.72	--	56.46	Gross minus ROW and Landfill
Proposed No. of Units				
Two Story Townhome	--	--	82	
Three Story Townhome 1-Car Garage	--	--	45	
Three Story Townhome 2-Car Garage	--	--	37	
Garden Style Apartment Type 1	--	--	100	
Garden Style Apartment Type 2	--	--	220	
Clubhouse	--	--	--	8,482 sf Floor Area
Totals			484	
Density (du / acre, net area)	--	10.0	8.6	Per 4,300 min. lot size / unit
Open Space				
Total Open Space (AC)	--	43.46	43.61	
Total Open Space (%)	--	65%	65.2%	Including Landfill Area
Active Open Space (AC)	--	3.33	38.66	Excludes wetlands and stormwater basin
Active Open Space (%)	--	5%	68%	300 sf required per unit
Lot Setbacks				
Front (ft)	--	15	37.5	North - (future development)
Side - West (ft)	--	25.75	26.97	West - (.96 max parallel length)
Side - East (ft)	--	29.60	30.16	East - (126.68' max parallel length)
Rear (ft)	--	39.60	67.83	South
Building Heights				
Townhomes (ft)	--	35	35	
Apartments (ft)	--	35	35	
Parking - Vehicles **				
Townhomes (ft)	--	328	627	3 deferred guest spaces proposed
Apartments (ft)	--	640	805	
Clubhouse	--	43	38	
Totals		1,011	1,470	
Parking - Bike				
Townhomes (ft)	--	33	33	17(A) in garages / 16(C) surface***
Apartments (ft)	--	64	68	46(A) in garages / 22(C) surface
Clubhouse	--	9	16	16(C) surface
Totals		106	117	
Parking - Vehicles (EV)				
Townhomes (ft)	--	164	291	Each garage space to be EV-R + 8 guest EV-I
Apartments (ft)	--	320	404	Each garage space to be EV-R + 20 guest EV-I
Clubhouse	--	8	8	8 guest EV-I
Totals		492	703	

*** 4 bike spaces provided at bus stop on Pontiac Trail are not included in count



Know what's **below.**
Call before you dig

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST


ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

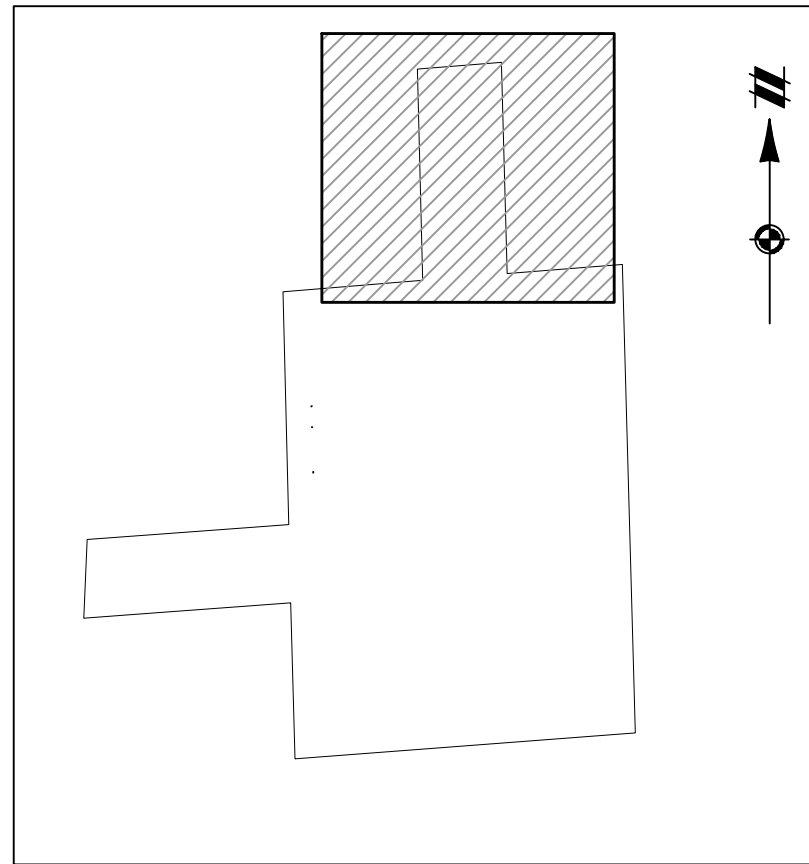
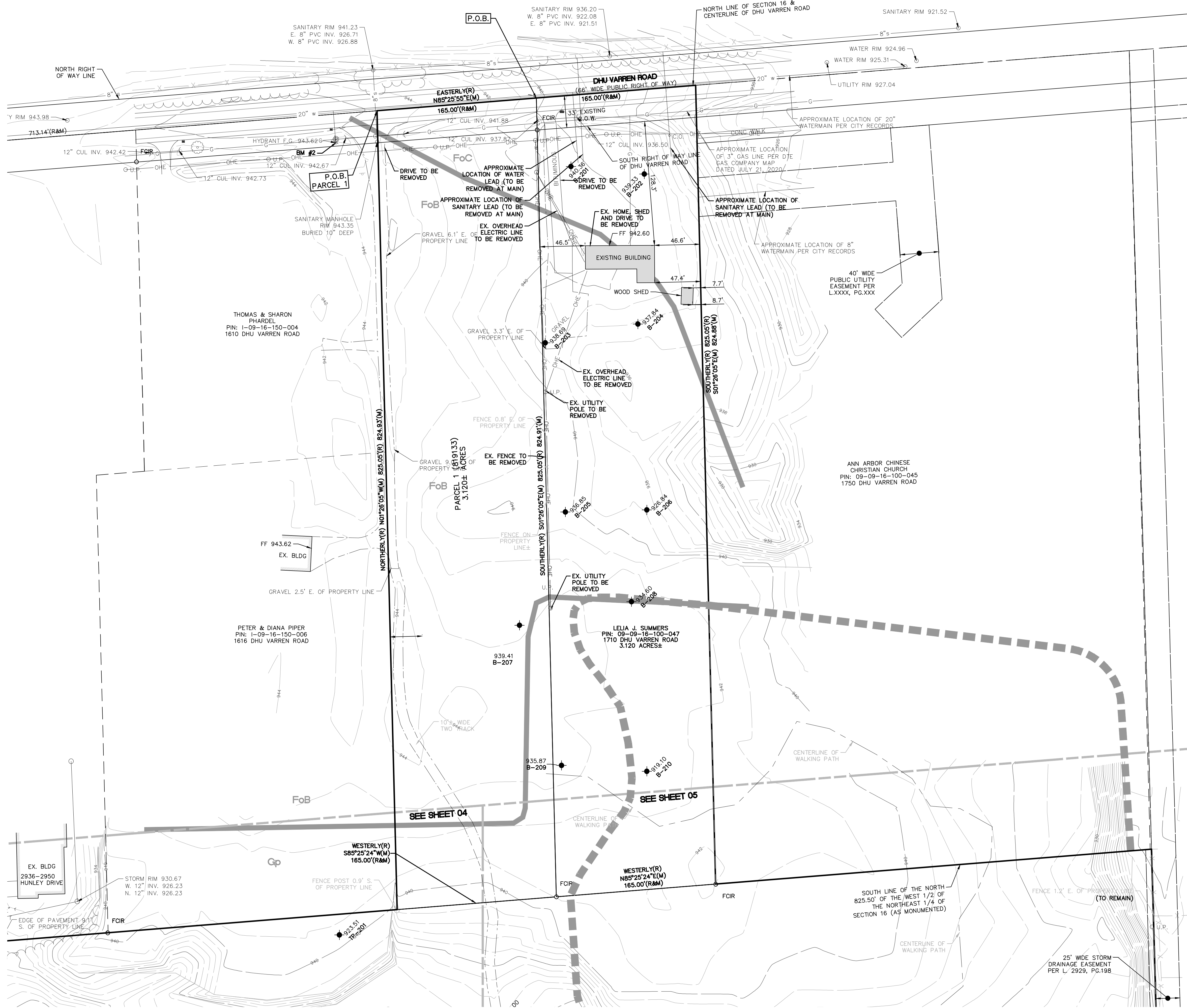
SON BROTHERS CO.
SE OF ANN ARBOR
SITE PLAN
COVER SHEET

DATE JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS			
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P.M. MB			
BOOK	NA		
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SHEET NO.			
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KEY MAP
1" = 750 FEET

DEMOLITION NOTES

1. EXISTING WELL AND SEPTIC SHALL BE LEGALLY AND PROPERLY ABANDONED PER HEALTH DEPARTMENT REQUIREMENTS.
2. ALL CONSTRUCTION SHALL FOLLOW ENVIRONMENTAL DUE CARE PLAN OR BE AS DIRECTED BY THE ENVIRONMENTAL CONSULTANT.
3. ALL UNUSED SERVICE LEADS SHALL BE KILLED AT ITS RESPECTIVE MAIN.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	EXIST. WATERS EDGE
	EXIST. SOILS
	MATCHLINE
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	SOIL BORING / TEST PIT
	EXIST. TREE
	EXIST. TREE (TO BE REMOVED)
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. GAS
	EXIST. STORM
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNDERGROUND TELE. LINE
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	EXIST. UNSPECIFIED UTILITY
	EXIST. SIGN
	EXIST. LIGHT POLE
	EXIST. UTILITY POLE
	EXIST. TELEPHONE RISER
	EXISTING MAILBOX
	EXISTING WELL

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

EXISTING CONDITIONS & DEMOLITION PLAN - AREA 1

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCWR

2022-01-19 PER CITY AND WCWR

2022-03-31 PER CITY AND WCWR

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

DR. SK GH. SS

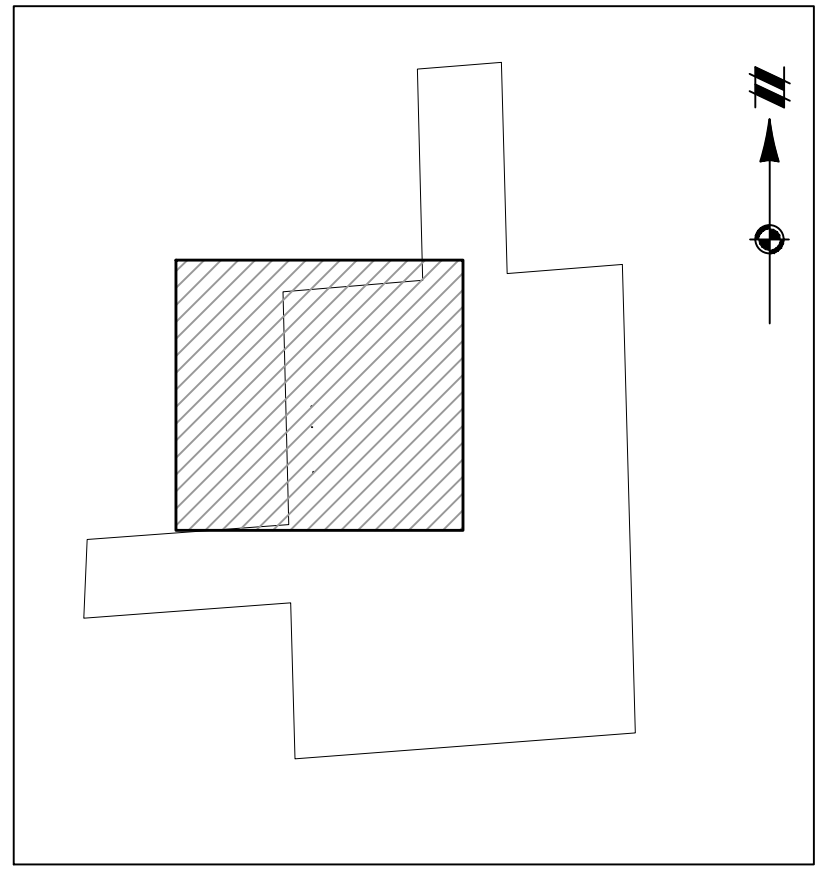
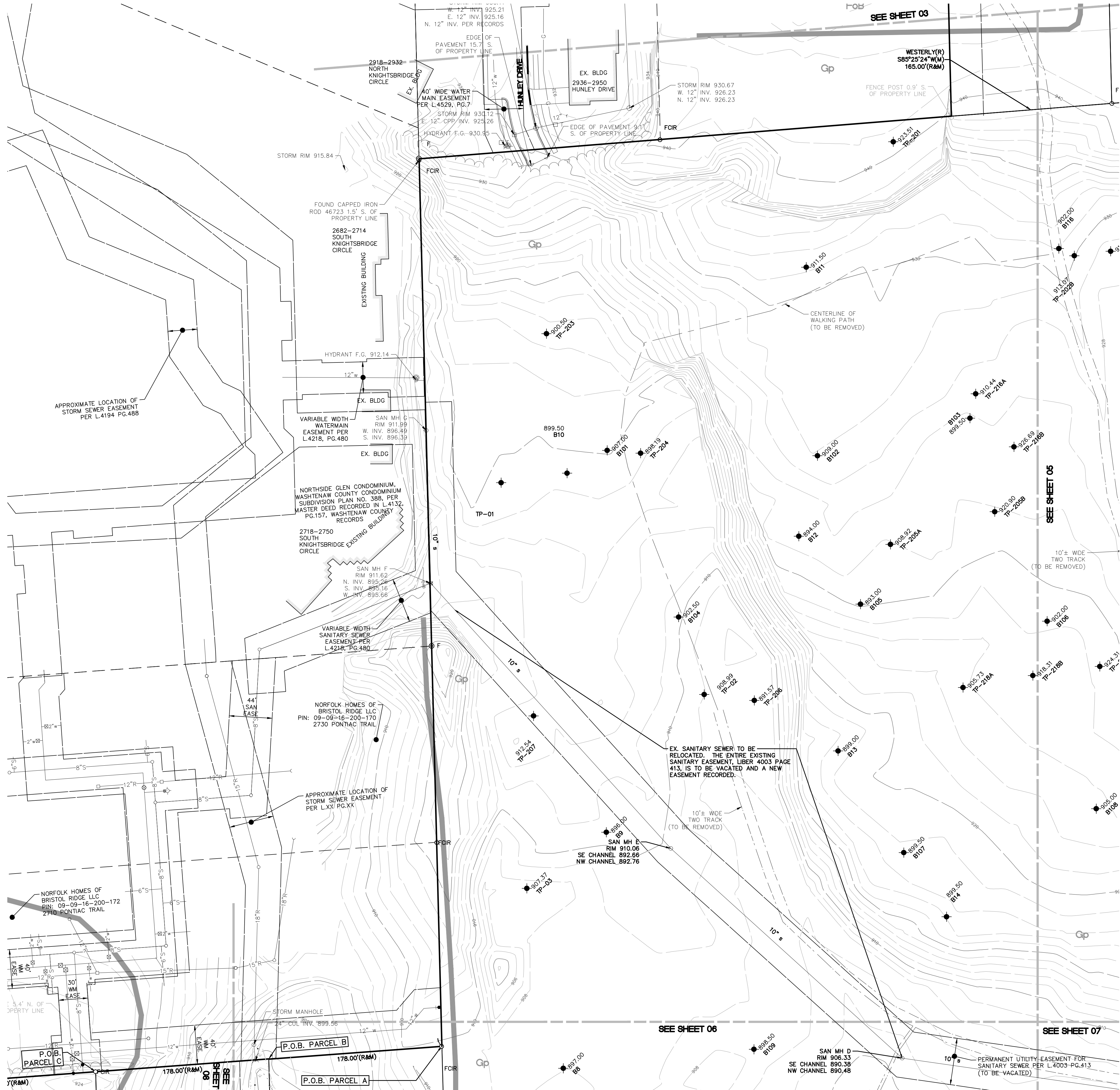
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BOOK NA

JOB 18002264

SHEET NO. 03

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KEY MAP
1" = 750 FEET

DEMOLITION NOTES

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	EXISTING MAILBOX
	EXISTING WELL

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TOWN 2 SOUTH, RANGE 6 EAST

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WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

EXISTING CONDITIONS & DEMOLITION PLAN - AREA 2

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCMCR

2022-01-19 PER CITY AND WCMCR

2022-03-31 PER CITY AND WCMCR

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

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SCALE 0 25 50

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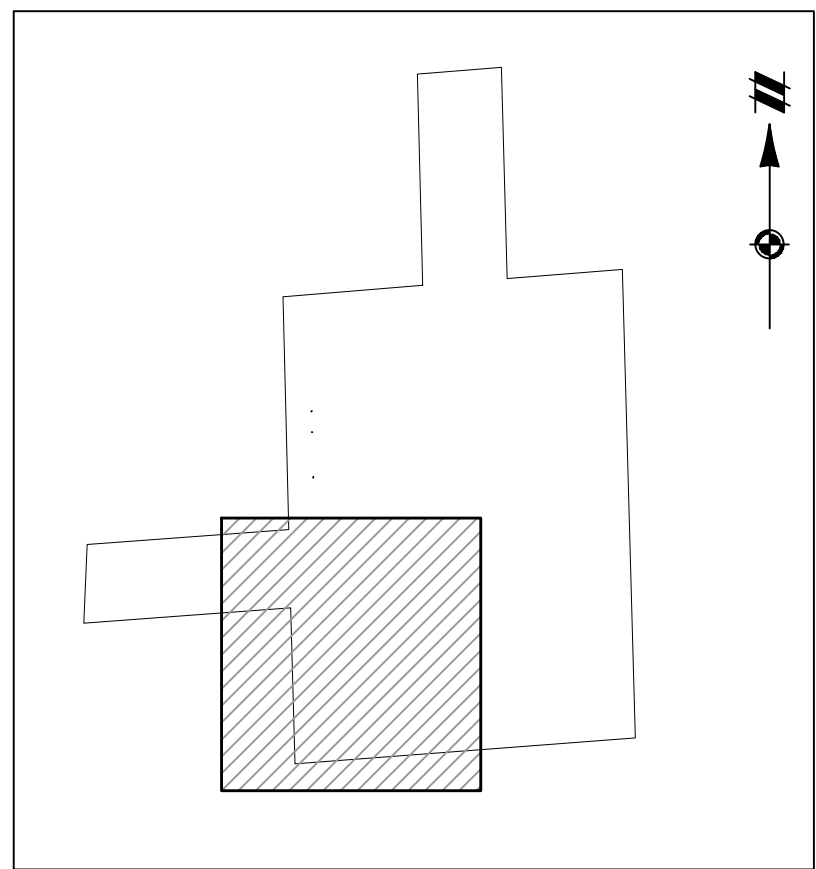
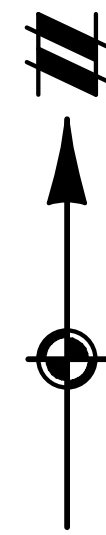
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SOUTHFIELD, MI 48076
248.447.2000

SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

EXISTING CONDITIONS & DEMOLITION PLAN - AREA 4

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC

2022-01-19 PER CITY AND WCMRC

2022-03-31 PER CITY AND WCMRC

2022-06-06 PER CITY

2022-06-18 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

DR. SK GH. SS

P.M. MB

BOOK NA

JOB 18002264

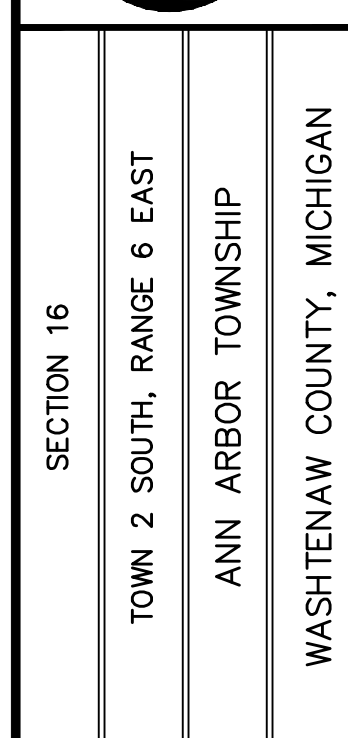
SHEET NO. 06



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.


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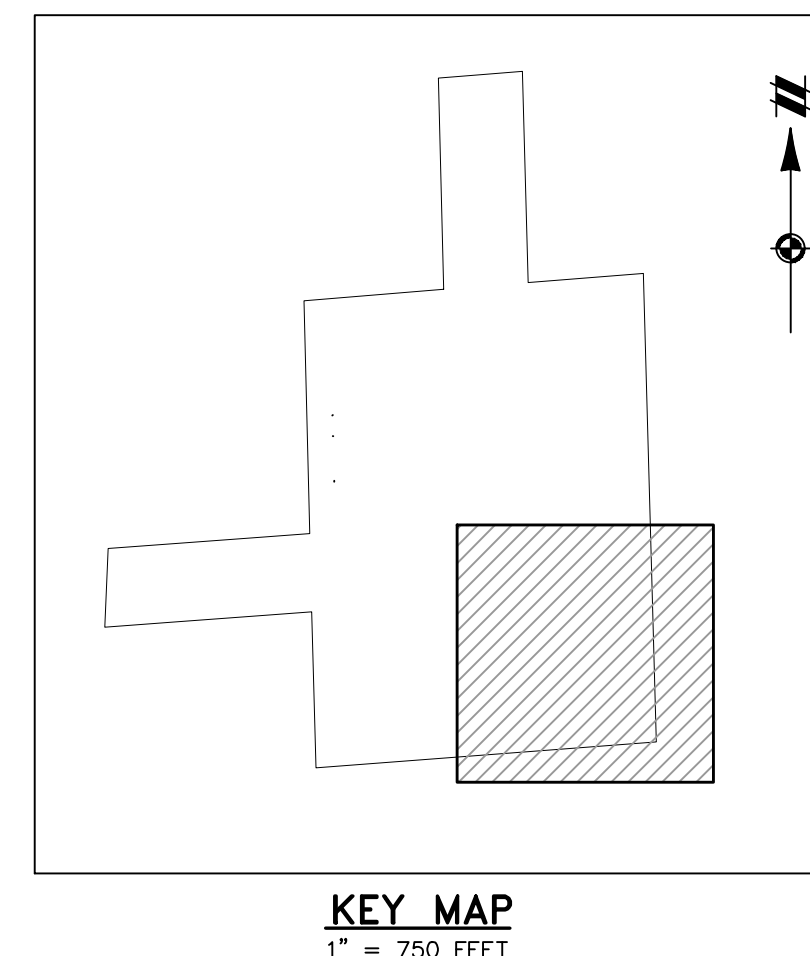


ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
EXISTING CONDITIONS
& DEMOLITION PLAN -
AREA 5

DATE
JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

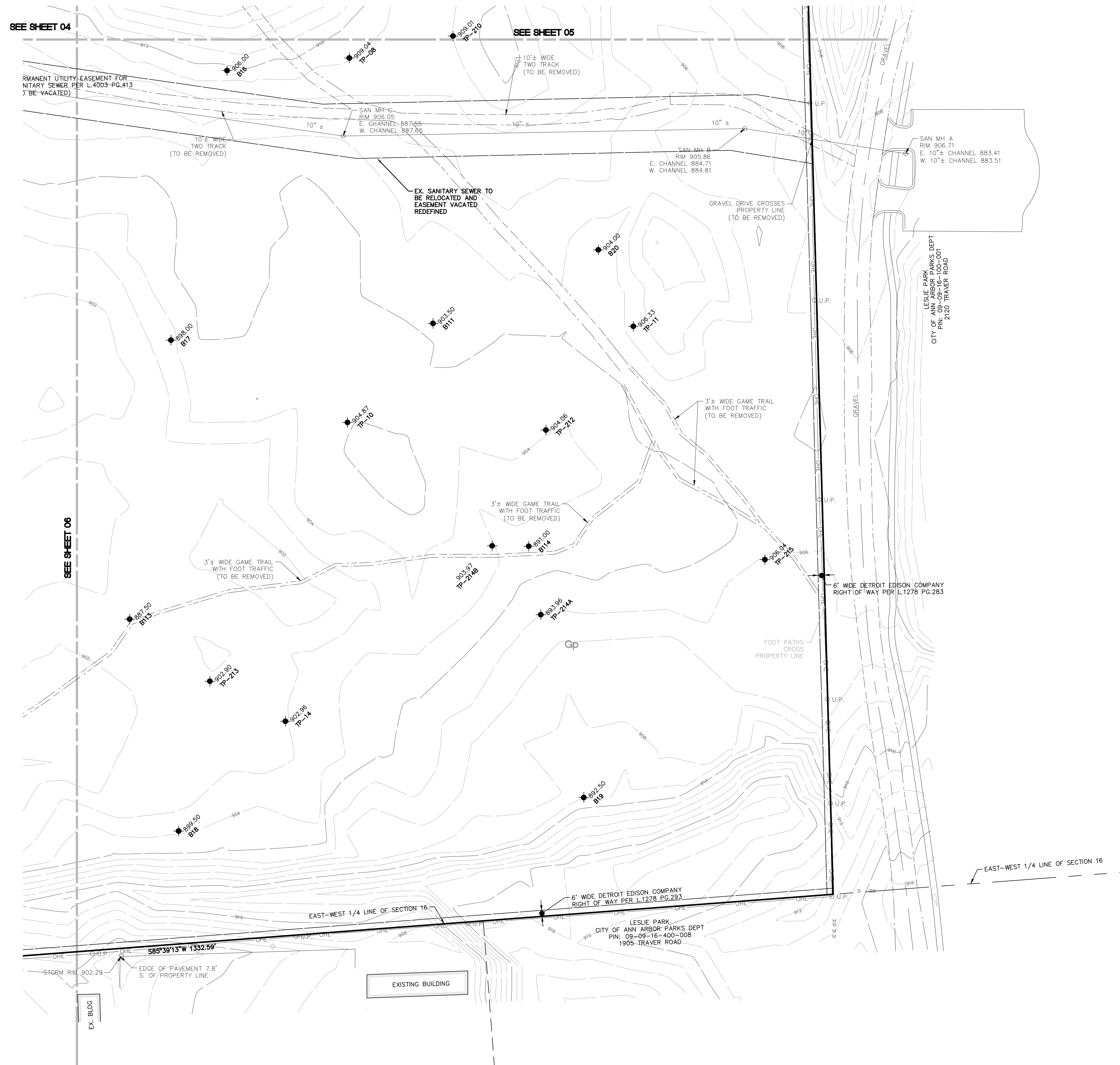
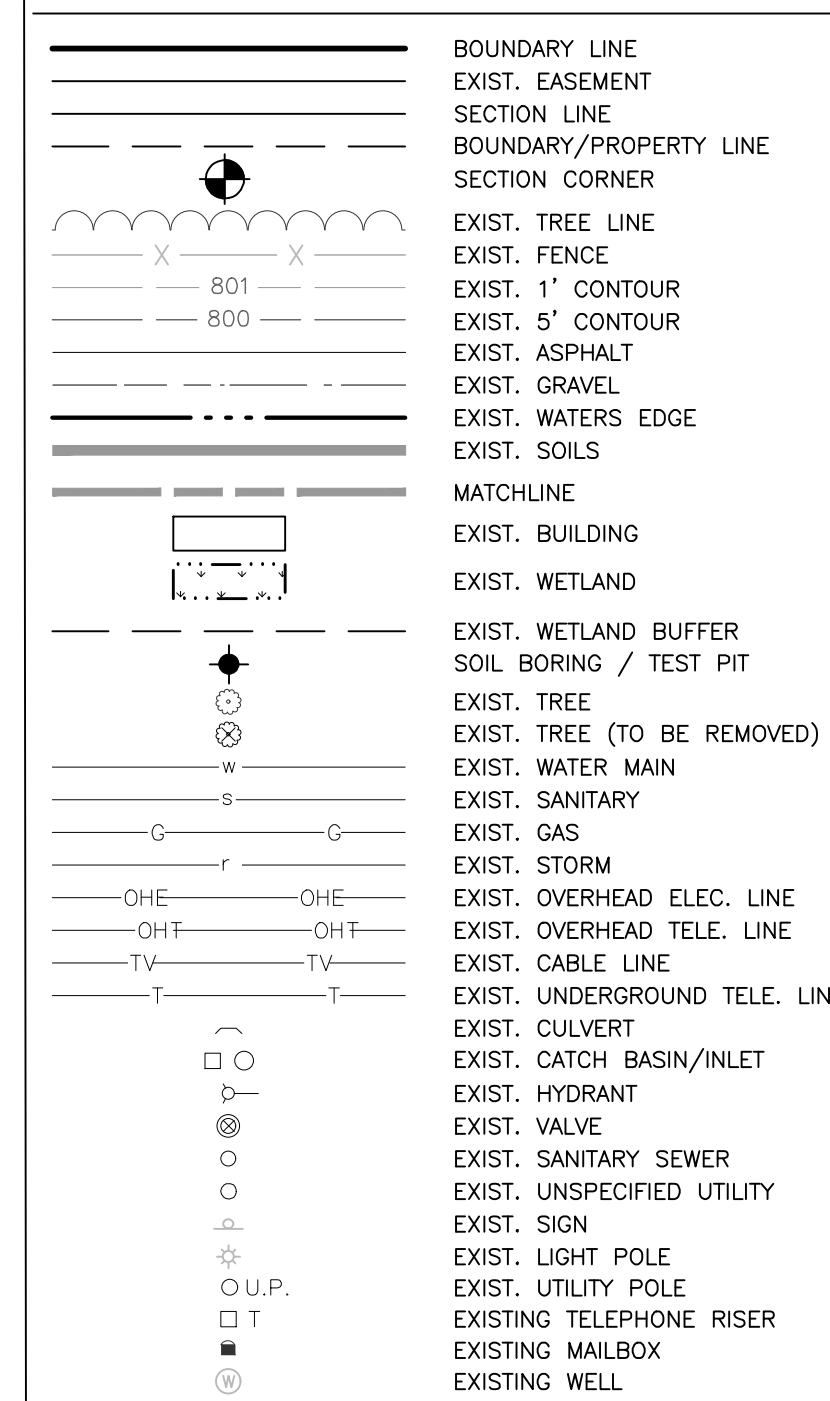
REVISIONS			
SCALE	0	25	50
			
1" = 50 FEET			
DR.	SK	CH.	SS
P.M. MB			
BOOK		NA	
JOB		18002264	
SHEET NO.		07	



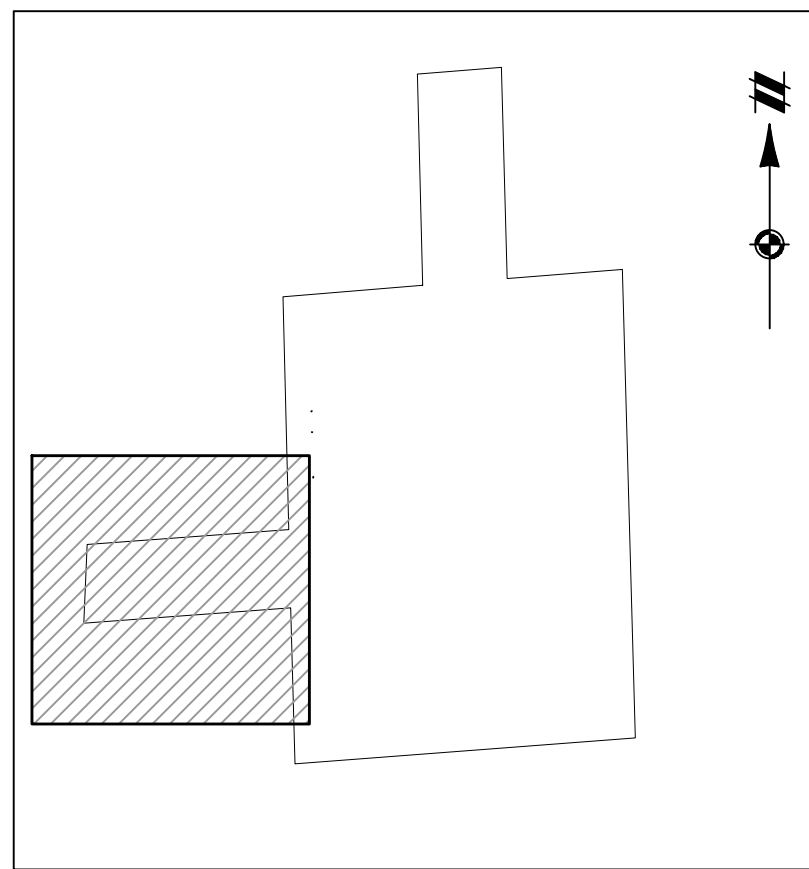
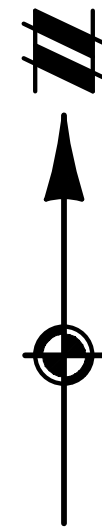
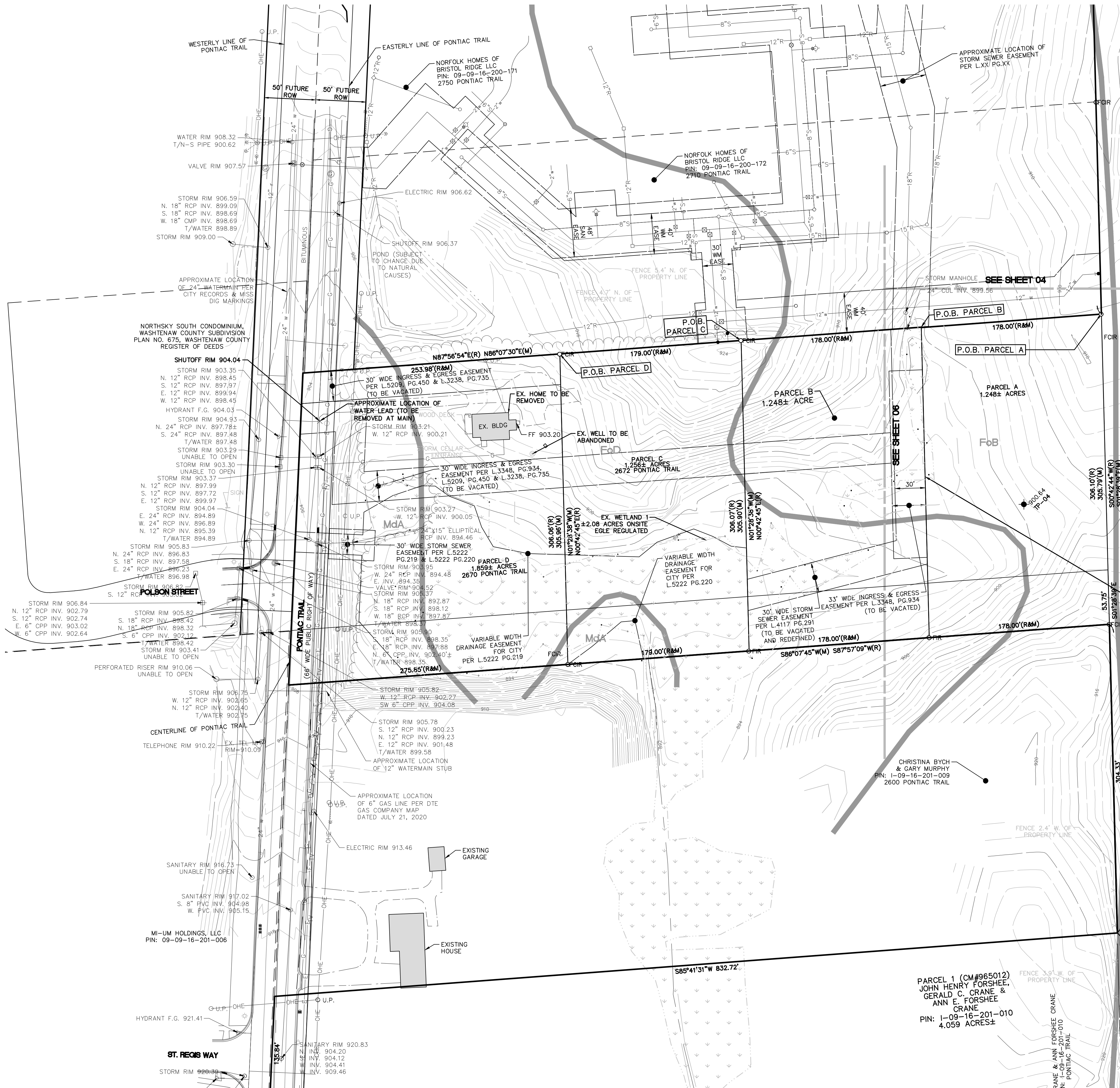
DEMOLITION NOTES

1. EXISTING WELL AND SEPTIC SHALL BE LEGALLY AND PROPERLY ABANDONED PER HEALTH DEPARTMENT REQUIREMENTS.
2. ALL CONSTRUCTION SHALL FOLLOW ENVIRONMENTAL DUE CARE PLAN OR BE AS DIRECTED BY THE ENVIRONMENTAL CONSULTANT.
3. ALL UNUSED SERVICE LEADS SHALL BE KILLED AT ITS RESPECTIVE MAIN.

LEGEND



K:\PROJECTS\ATWELL\18002264\18002264.dwg (S:\ENGINEERING\18002264\18002264.dwg) 6/26/2022 9:37 AM STEVE BILLS



KEY MAP
1" = 750 FEET

DEMOLITION NOTES

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2. ALL CONSTRUCTION SHALL FOLLOW ENVIRONMENTAL DUE CARE PLAN OR BE AS DIRECTED BY THE ENVIRONMENTAL CONSULTANT.
3. ALL UNUSED SERVICE LEADS SHALL BE KILLED AT ITS RESPECTIVE MAIN.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	EXIST. WATERS EDGE
	EXIST. SOILS
	MATCHLINE
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	SOIL BORING / TEST PIT
	EXIST. TREE (TO BE REMOVED)
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. GAS
	EXIST. STORM
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNDERGROUND TELE. LINE
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	EXIST. UNSPECIFIED UTILITY
	EXIST. SIGN
	EXIST. LIGHT POLE
	EXIST. UTILITY POLE
	EXISTING TELEPHONE RISER
	EXISTING MAILBOX
	EXISTING WELL

Know what's below.
Call before you dig.

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

EXISTING CONDITIONS & DEMOLITION PLAN - AREA 6

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCWR

2022-01-19 PER CITY AND WCWR

2022-03-31 PER CITY AND WCWR

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

DR. SK GH. SS

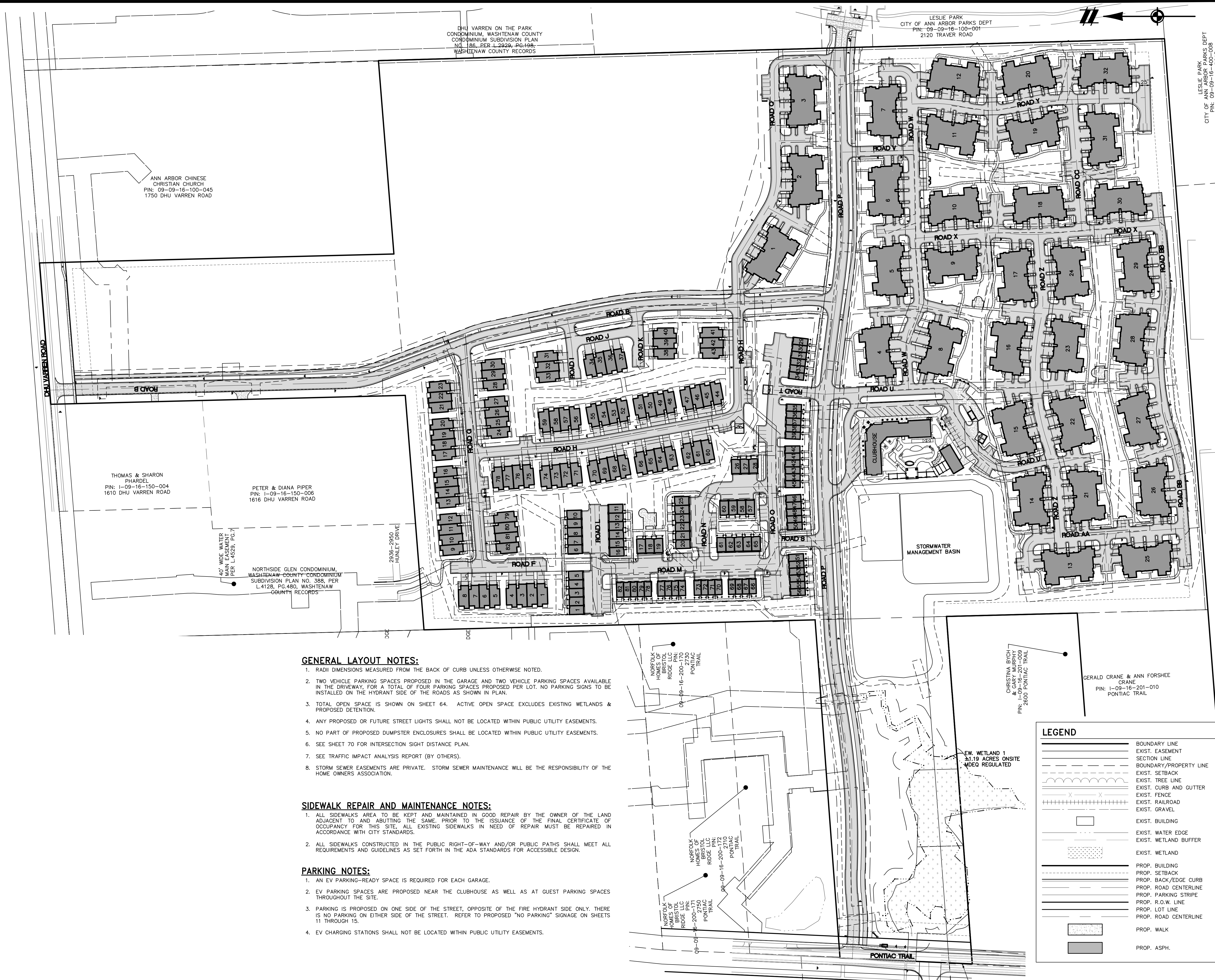
P.M. MB

BOOK NA

JOB 18002264

SHEET NO. 08

K:\PROJECTS\2022\18002264\18002264-01-CLINE 6/29/2022 9:37 AM SITE LLS



GENERAL LAYOUT NOTES:

1. RADI DIMENSIONS MEASURED FROM THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. TWO VEHICLE PARKING SPACES PROPOSED IN THE GARAGE AND TWO VEHICLE PARKING SPACES AVAILABLE IN THE DRIVEWAY, FOR A TOTAL OF FOUR PARKING SPACES PROPOSED PER LOT. NO PARKING SIGNS TO BE INSTALLED ON THE HYDRANT SIDE OF THE ROADS AS SHOWN IN PLAN.
3. TOTAL OPEN SPACE IS SHOWN ON SHEET 64. ACTIVE OPEN SPACE EXCLUDES EXISTING WETLANDS & PROPOSED DETENTION.
4. ANY PROPOSED OR FUTURE STREET LIGHTS SHALL NOT BE LOCATED WITHIN PUBLIC UTILITY EASEMENTS.
5. NO PART OF PROPOSED DUMPSTER ENCLOSURES SHALL BE LOCATED WITHIN PUBLIC UTILITY EASEMENTS.
6. SEE SHEET 70 FOR INTERSECTION SIGHT DISTANCE PLAN.
7. SEE TRAFFIC IMPACT ANALYSIS REPORT (BY OTHERS).
8. STORM SEWER EASEMENTS ARE PRIVATE. STORM SEWER MAINTENANCE WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.

SIDEWALK REPAIR AND MAINTENANCE NOTES:

1. ALL SIDEWALKS AREA TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
2. ALL SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY AND/OR PUBLIC PATHS SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.

PARKING NOTES:

1. AN EV PARKING-READY SPACE IS REQUIRED FOR EACH GARAGE.
2. EV PARKING SPACES ARE PROPOSED NEAR THE CLUBHOUSE AS WELL AS AT GUEST PARKING SPACES THROUGHOUT THE SITE.
3. PARKING IS PROPOSED ON ONE SIDE OF THE STREET, OPPOSITE OF THE FIRE HYDRANT SIDE ONLY. THERE IS NO PARKING ON EITHER SIDE OF THE STREET. REFER TO PROPOSED "NO PARKING" SIGNAGE ON SHEETS 11 THROUGH 15.
4. EV CHARGING STATIONS SHALL NOT BE LOCATED WITHIN PUBLIC UTILITY EASEMENTS.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. RAILROAD
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WATER EDGE
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. BUILDING
	PROP. SETBACK
	PROP. BACK/EDGE CURB
	PROP. ROAD CENTERLINE
	PROP. PARKING STRIPE
	PROP. R.O.W. LINE
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. WALK
	PROP. ASPH.

Know what's below.
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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

OVERALL DIMENSIONAL LAYOUT PLAN

DATE: JUNE 7, 2021

2021-10-11	PER CITY AND WCWCR
2022-01-19	PER CITY AND WCWCR
2022-03-31	PER CITY AND WCWCR
2022-06-06	PER CITY
2022-06-18	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE: 0 75 150
1" = 150 FEET

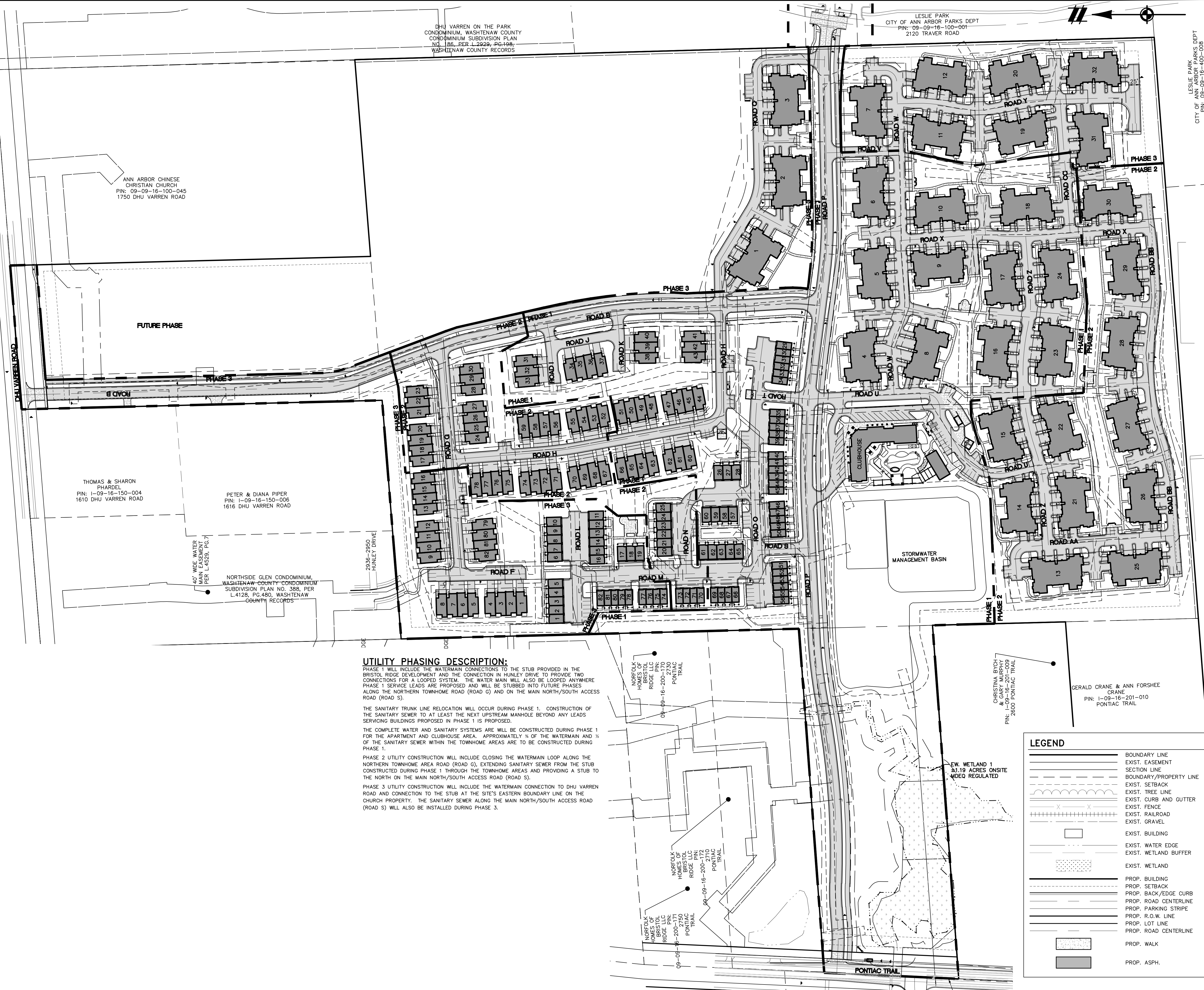
DR. SK GH. SS

P.M. MB

BOOK NA

JOB 18002264

SHEET NO. 09



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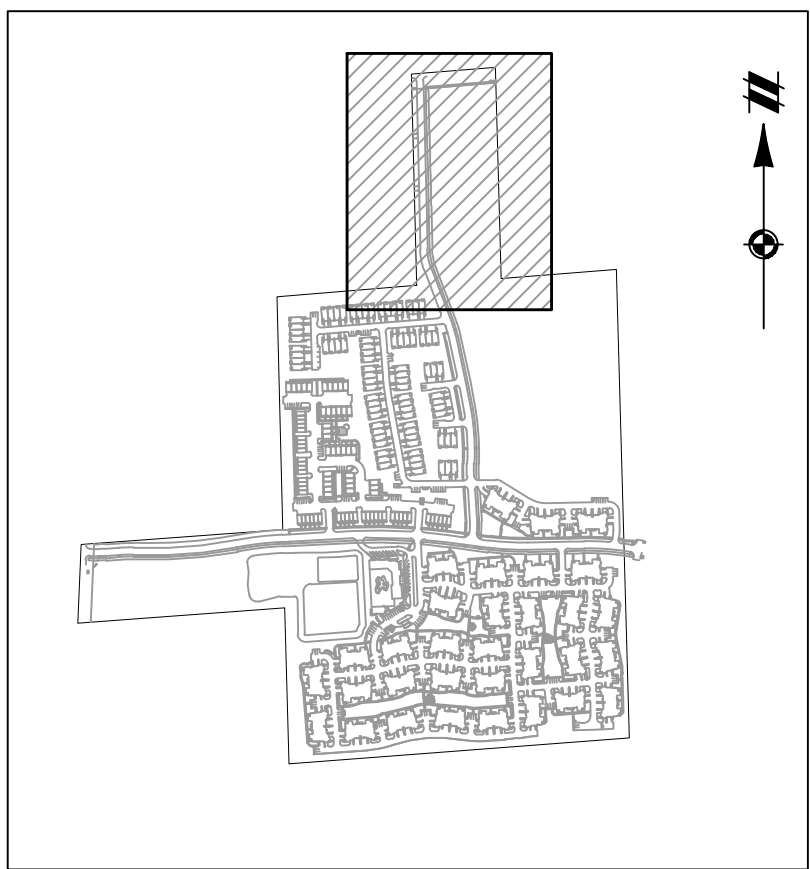
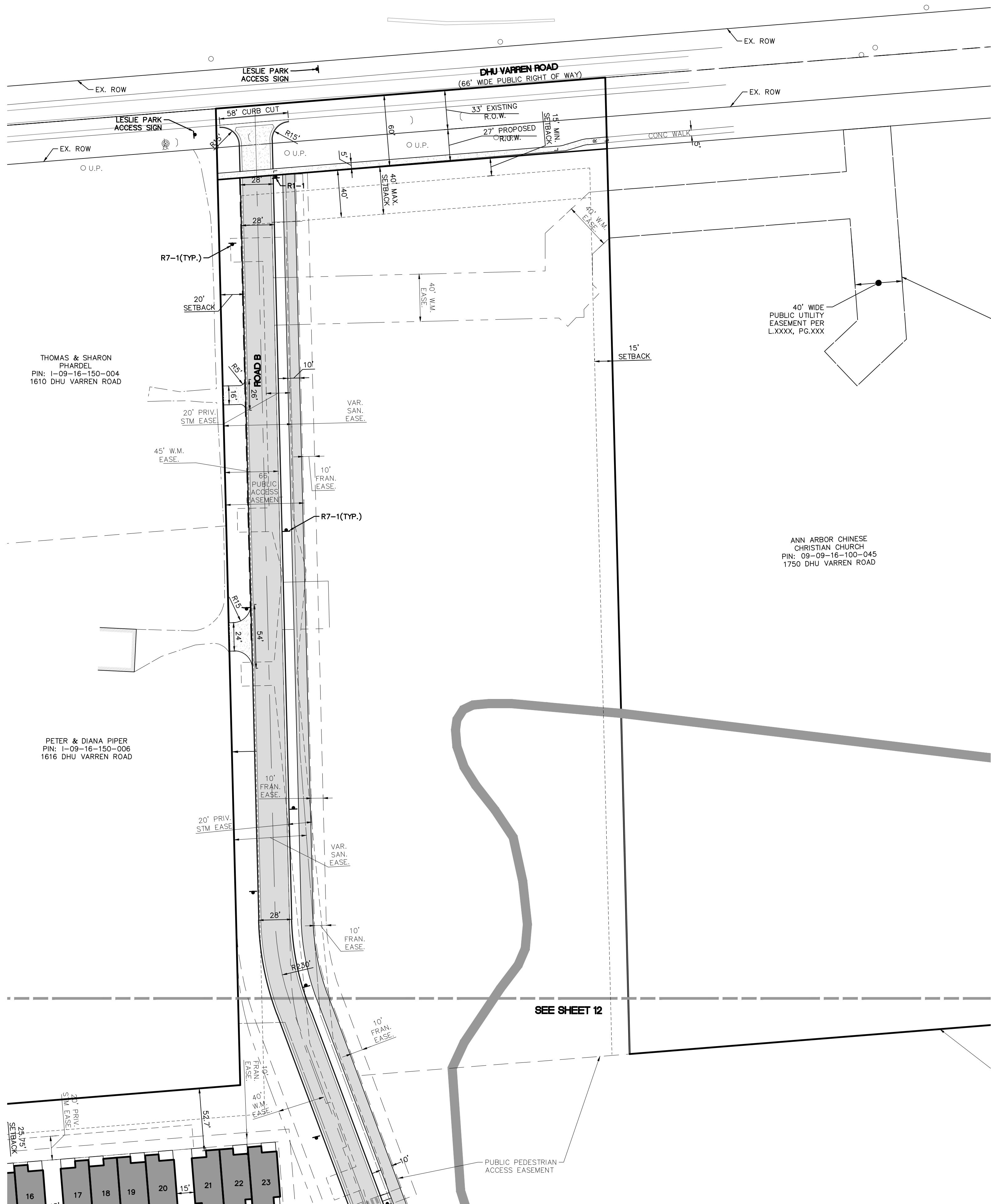


OBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
BUILDING PHASING PLAN

DATE
JUNE 7, 2021

REVISIONS			
SCALE			
DR.	SK	CH.	SS
P.M. MB			
BOOK	NA		
JOB	18002264		
SHEET NO.			
10			

K:\18002264\DWG\18002264.dwg - 10:11:10 AM 6/24/2022 2:38 AM STEVE GULLS



KEY MAP
1" = 750 FEET



R1-1



R7-1

ON SITE SIGN DETAILS:

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. RAILROAD
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WATER EDGE
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. BUILDING
	MATCHLINE
	PROP. SETBACK
	PROP. BACK/EDGE CURB
	PROP. ROAD CENTERLINE
	PROP. PARKING STRIPE
	PROP. R.O.W. LINE
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	PROP. WALK
	PROP. ASPH.

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SECTION 16	TOWN 2 SOUTH, RANGE 6 EAST
	ANN ARBOR TOWNSHIP
	WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

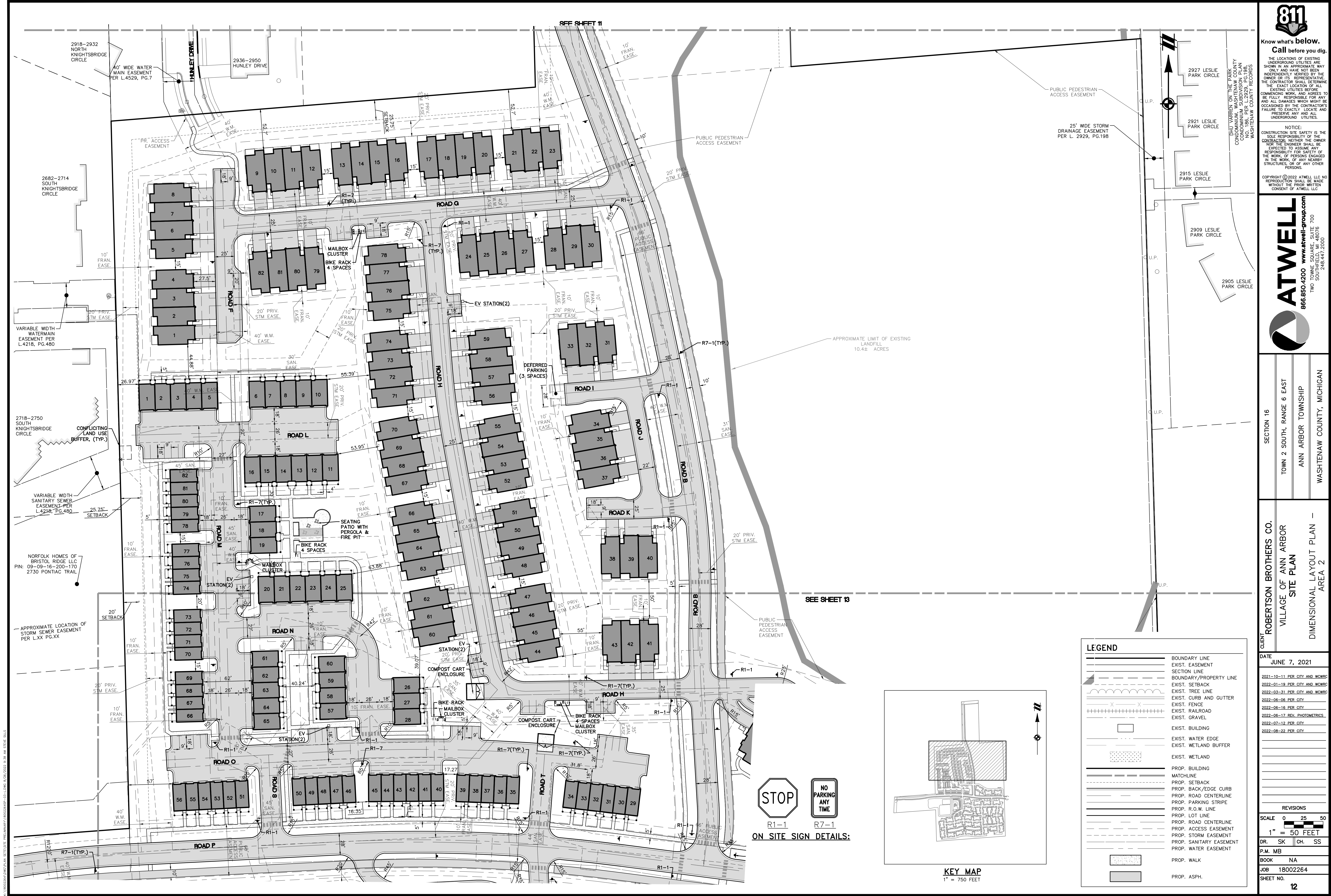
DIMENSIONAL LAYOUT PLAN - AREA 1

DATE: JUNE 7, 2021

2021-10-11	PER CITY AND WCWRC
2022-01-19	PER CITY AND WCWRC
2022-03-31	PER CITY AND WCWRC
2022-06-06	PER CITY
2022-06-18	PER CITY
2022-06-17	REV. PHOTO METRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE	0	25	50
	1" = 50 FEET		
DR.	SK	CH.	SS
P.M.	MB		
BOOK	NA		
JOB	18002264		
SHEET NO.	11		



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

DIMENSIONAL LAYOUT PLAN - AREA 2

DATE: JUNE 7, 2021

2021-10-11	PER CITY AND WCMRC
2022-01-19	PER CITY AND WCMRC
2022-03-31	PER CITY AND WCMRC
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-07-12	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE	0	25	50
1" =	50 FEET		
DR.	SK	CH.	SS
P.M.	MB		
BOOK	NA		
JOB	18002264		
SHEET NO.	12		



Know what's below.
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SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
DIMENSIONAL LAYOUT PLAN - AREA 3

DATE: JUNE 7, 2021

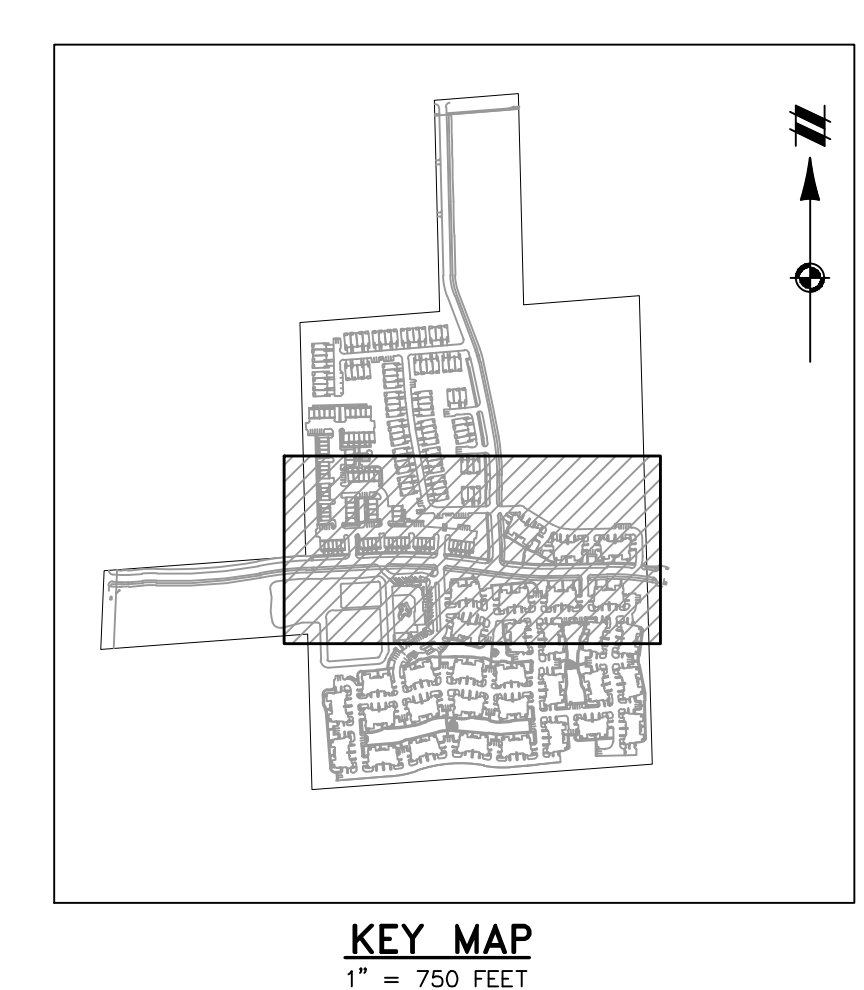
2021-10-11 PER CITY AND WCMRC
2022-01-19 PER CITY AND WCMRC
2022-03-31 PER CITY AND WCMRC
2022-06-06 PER CITY
2022-06-18 PER CITY
2022-07-12 REV. PHOTO METRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS
SCALE 0 25 50
1" = 50 FEET
DR. SK GH. SS
P.M. MB
BOOK NA
JOB 18002264
SHEET NO.



LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. RAILROAD
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WATER EDGE
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. BUILDING
	PROP. SETBACK
	PROP. BACK/EDGE CURB
	PROP. ROAD CENTERLINE
	PROP. PARKING STRIPE
	PROP. R.O.W. LINE
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	PROP. WALK
	PROP. ASPH.

STOP
R1-1
ON SITE SIGN DETAILS:
NO PARKING ANY TIME
R7-1





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TOWN 2 SOUTH RANGE 6 EAST

WASHTENAW COUNTY MICHIGAN

VILLAGE OF ANN ARBOR

SITE PLAN

DIMENSIONAL LAYOUT PLAN - AREA 4

DATE _____

JUNE 7, 2021

2022-10-11 PER CITY AND CWCRC
2022-01-19 PER CITY AND CWCRC
2022-03-31 PER CITY AND CWCRC
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-06-17 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS			
REV. NO.	DATE	BY	REASON

SCALE 0 25 50

1" = 50 FEET

DR.	SK	CH.	SS
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P.M. MB

BOOK	NA
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JOB 18002264

SHEET NO.

14

14

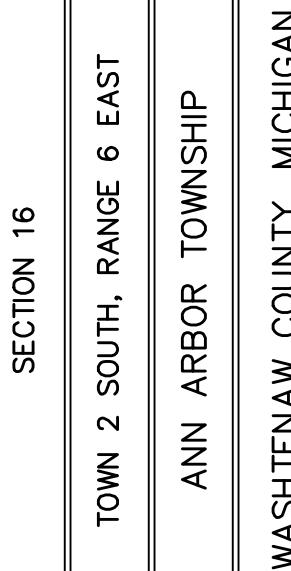


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CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
EASEMENT LAYOUT PLAN -
AREA 1

DATE
JUNE 7, 2021

2021-10-11 PER CITY AND WCD

2022-01-19 PER CITY AND WC

2022-03-31 PER CITY AND WCD

2022-06-06 PER CITY

2022-06-16 PER CITY

2022-06-17 REV. PHOTOMETRIC

2022-07-12 PER CITY

2022-08-22 PER CITY

[illegible]

REVISIONS

SCALE 0 25 50

1" = 50 FEET

DR.	SK	CH.	SS
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RM MP

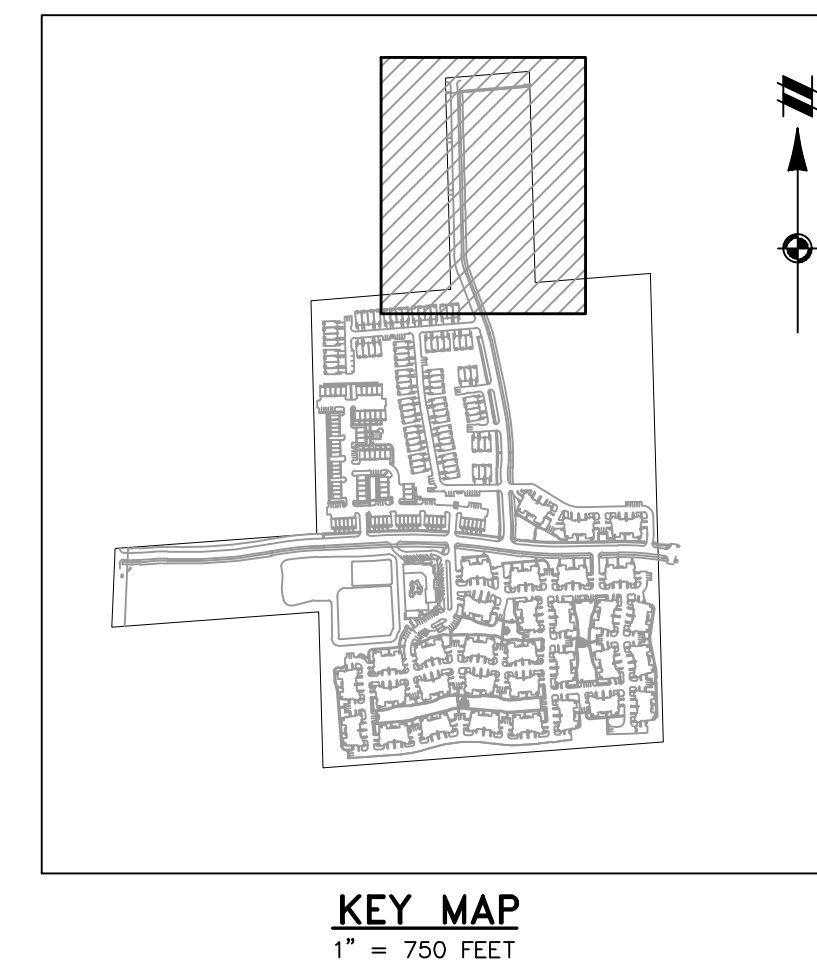
.M. MB

BOOK	NA
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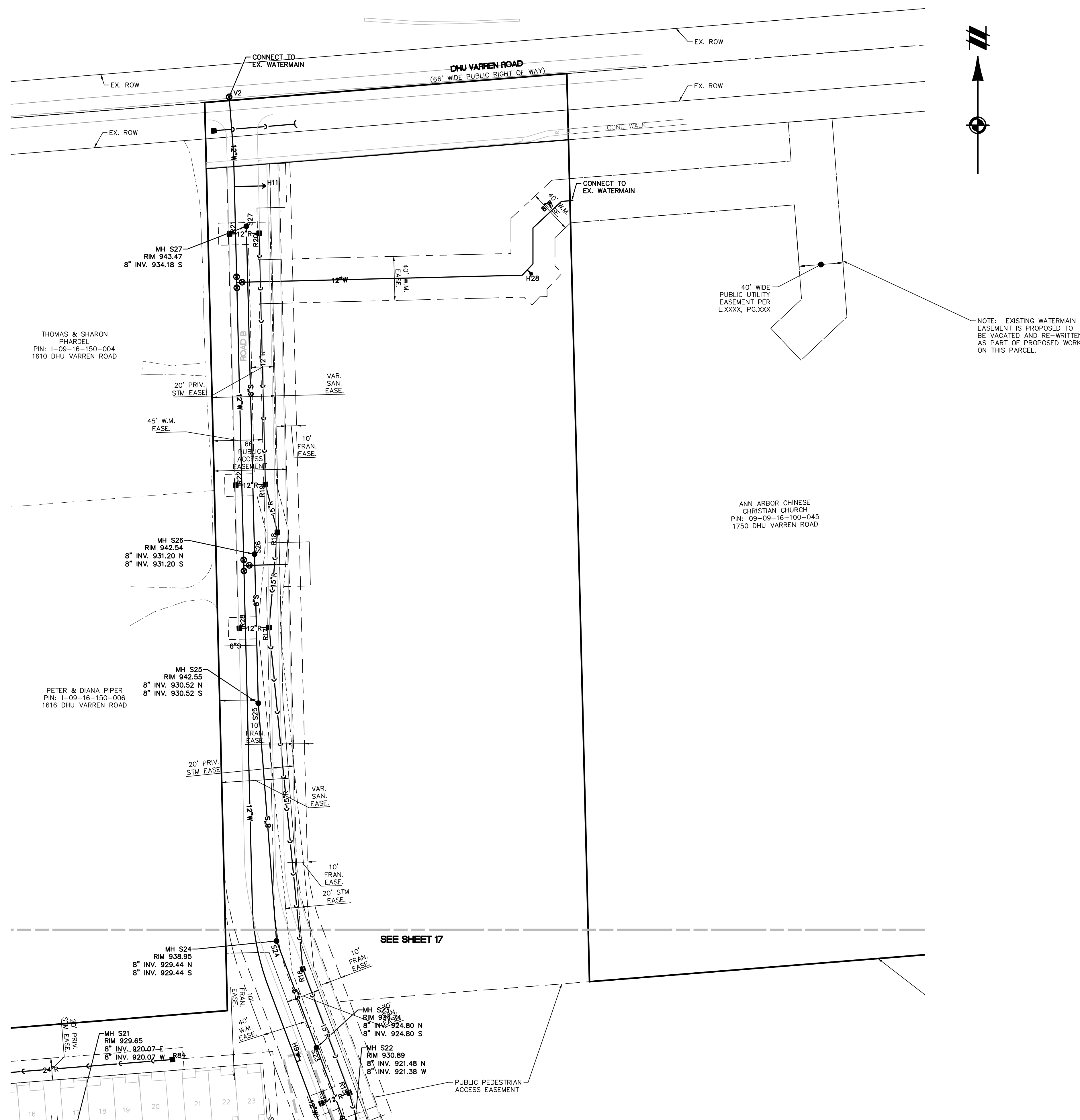
JOB 18002264

SHEET NO.

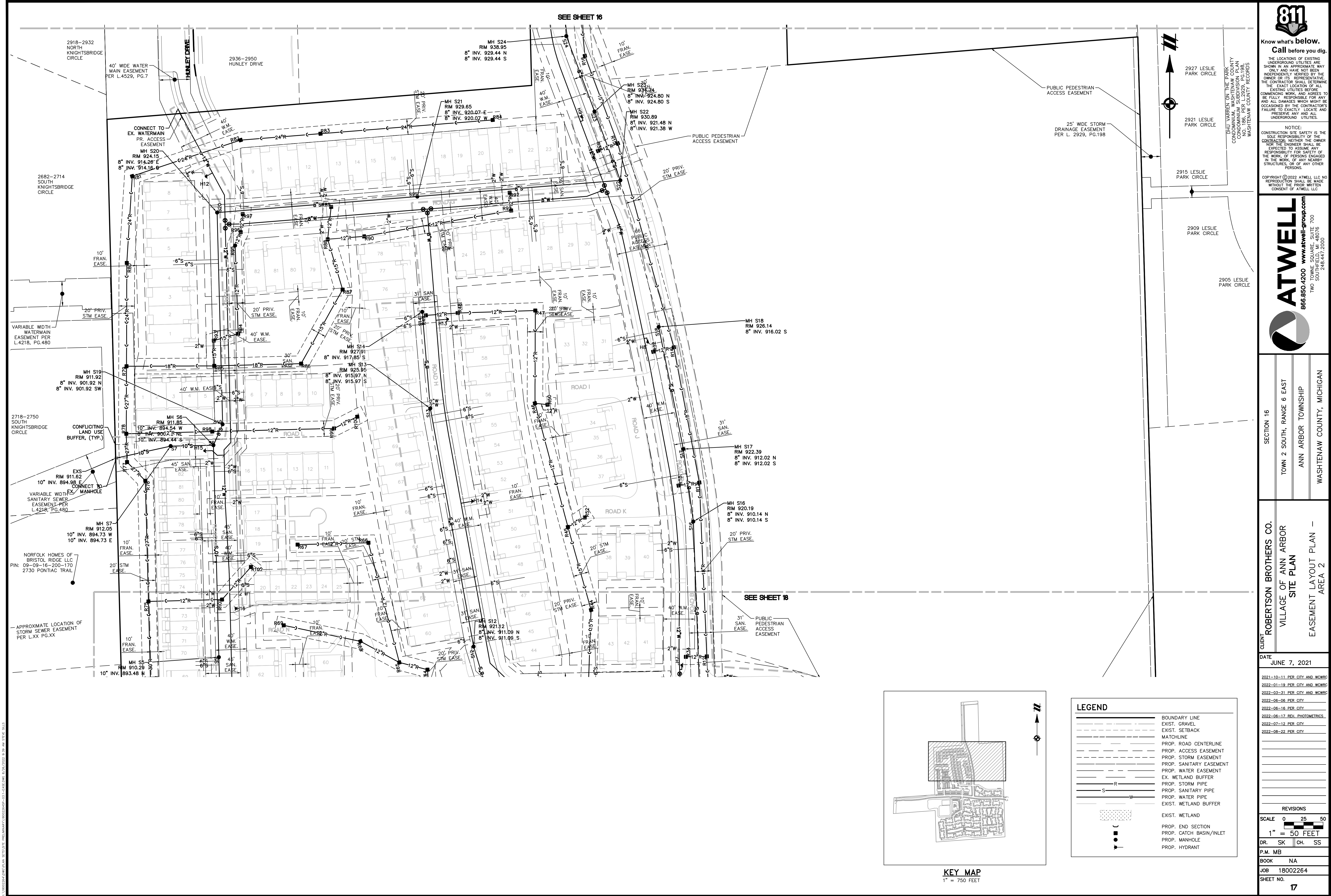
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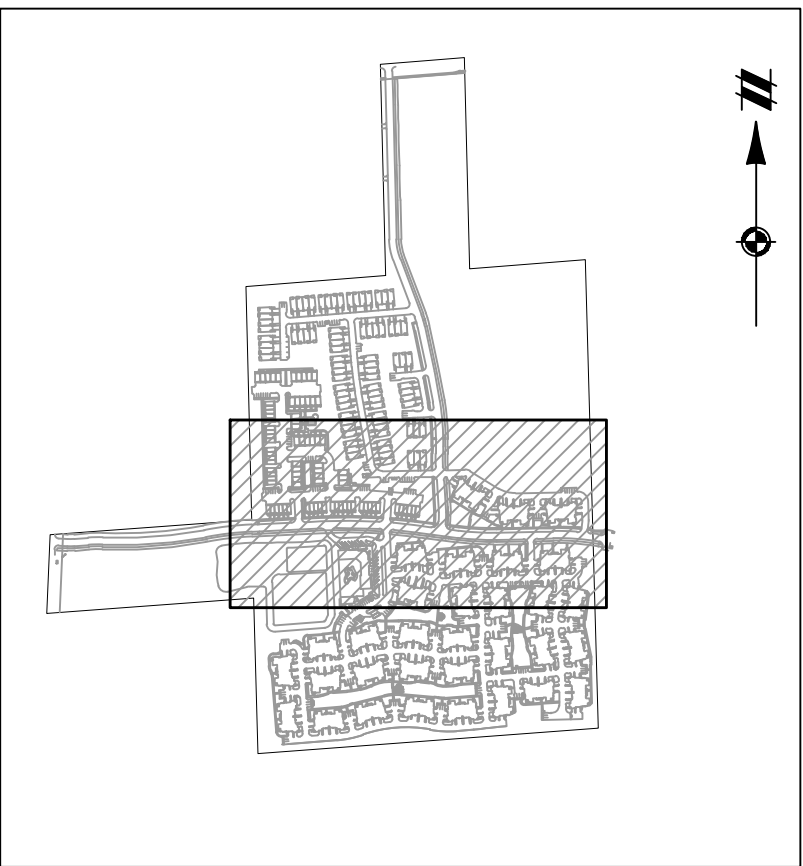
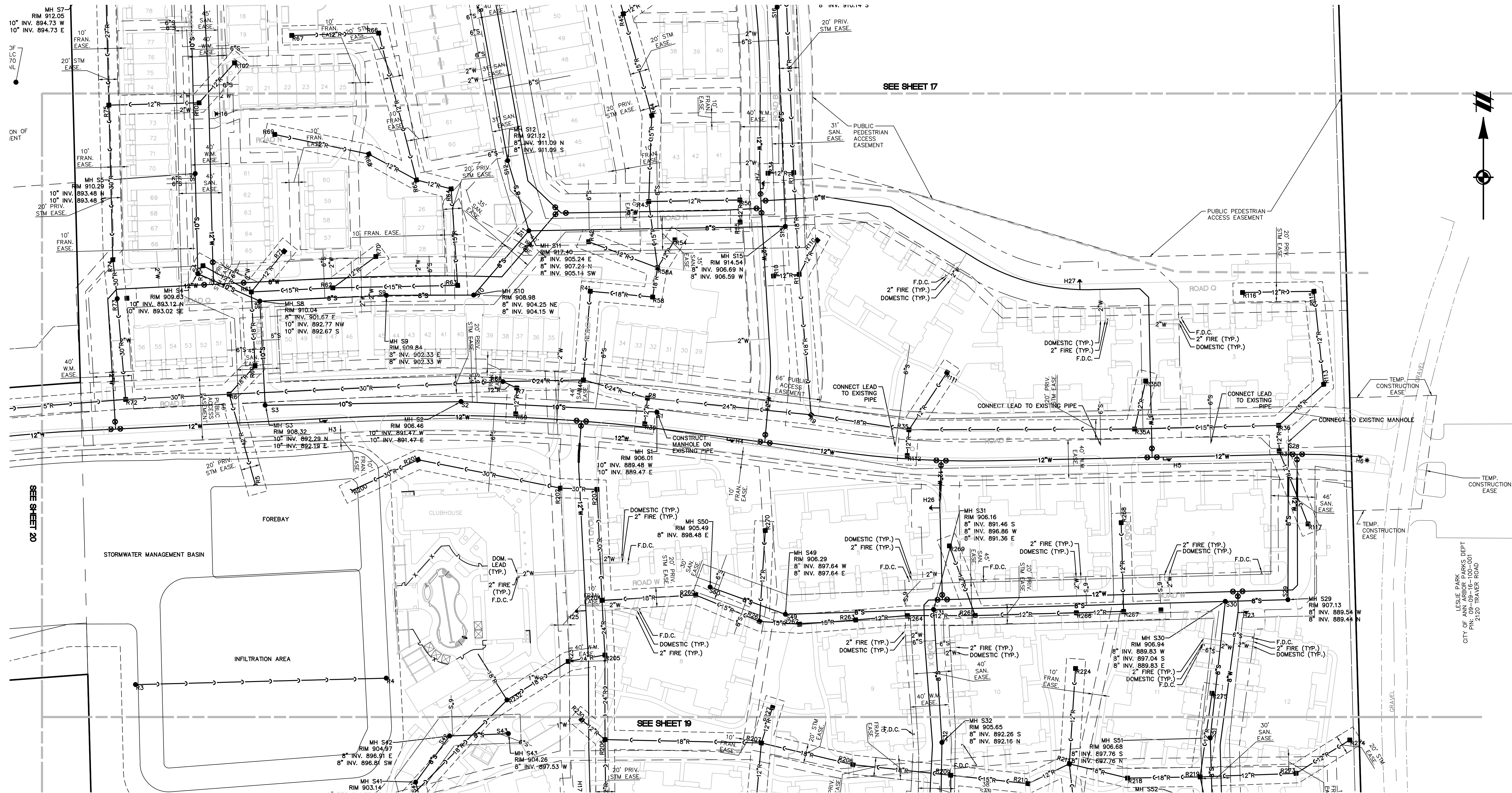
KEY MAP
1" = 750 FEET



\\18002264\DWG\PLAN SETS\SITE PRELIMINARY\18002264SP--03.1--FASE.DWG 8/26/2022 9:39 AM STEVE SULLS



K:\PROJECTS\2022\18002264\18002264.dwg 18002264.dwg 8/26/2022 8:38 AM REV. 001



LEGEND	
	BOUNDARY LINE
	EXIST. GRAVEL
	EXIST. SETBACK
	MATCHLINE
	PROP. ROAD CENTERLINE
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	EX. WETLAND BUFFER
	PROP. STORM PIPE
	PROP. SANITARY PIPE
	PROP. WATER PIPE
	EXIST. WETLAND BUFFER
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. HYDRANT

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248.447.2000

SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
EASEMENT LAYOUT PLAN - AREA 3

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC
2022-01-19 PER CITY AND WCMRC
2022-03-31 PER CITY AND WCMRC
2022-06-06 PER CITY
2022-06-16 PER CITY
2022-07-12 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

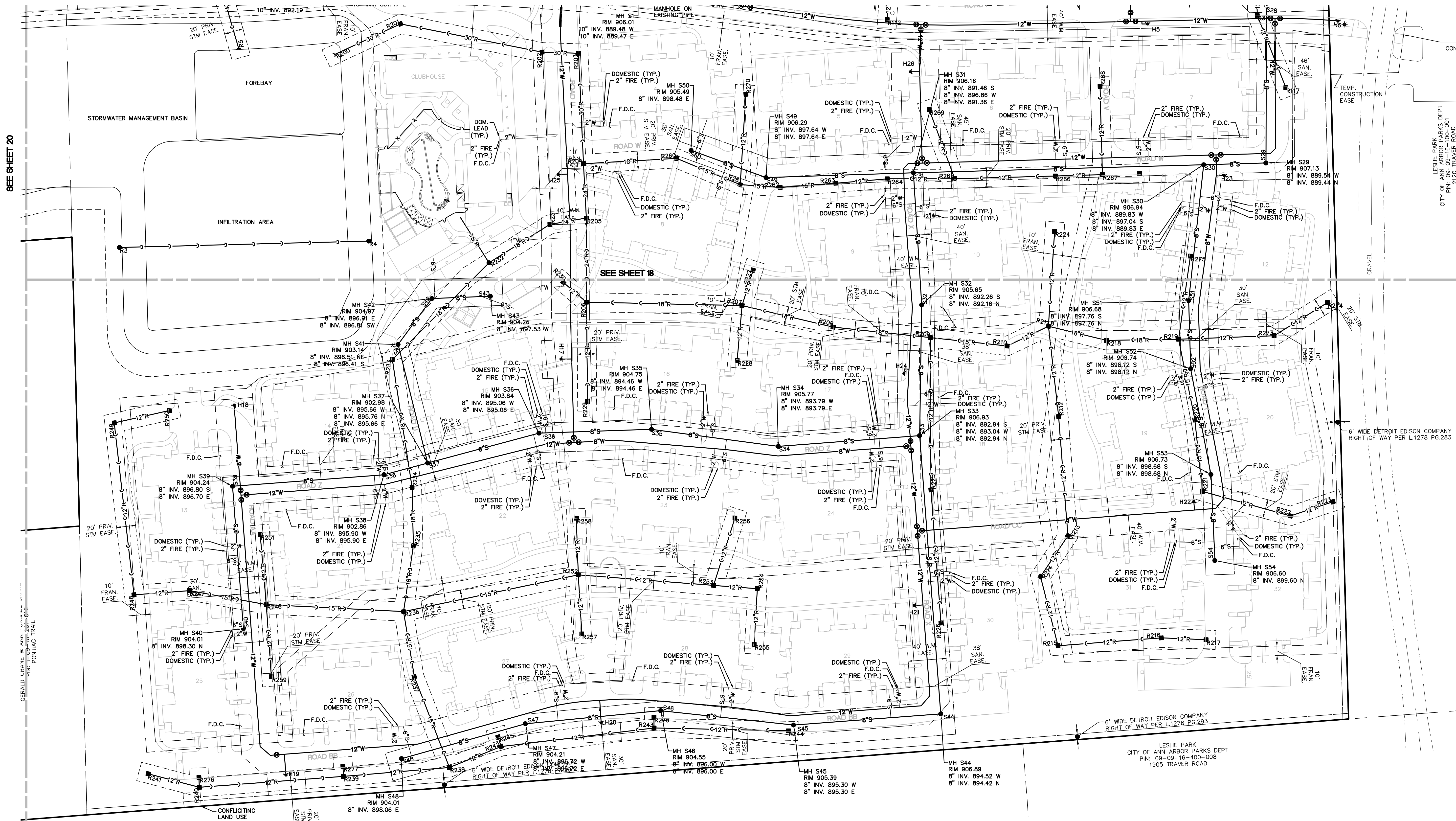
REVISIONS

SCALE	0 25 50
1" = 50 FEET	
DR. SK	CH. SS
P.M. MB	
BOOK	NA
JOB	18002264
SHEET NO.	18

SEE SHEET 20

GERALD CRANE & RENTALS, INC.
P.O. BOX 281-010
PONTIAC, MI 48133-0100

ARROWWOOD HILLS COOPERATIVE
PIN: 09-09-16-321-002
2566 ARROWWOOD TRAIL



LESLIE PARK
CITY OF ANN ARBOR PARKS DEPT
PIN: 09-09-16-400-001
2120 TRAVEL ROAD

6' WIDE DETROIT EDISON COMPANY
RIGHT OF WAY PER L.1278 PG.283

6' WIDE DETROIT EDISON COMPANY
RIGHT OF WAY PER L.1278 PG.283

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
EASEMENT LAYOUT PLAN - AREA 4

DATE: JUNE 7, 2021

2021-10-11 PER CITY AND WCMOR
2022-01-19 PER CITY AND WCMOR
2022-03-31 PER CITY AND WCMOR
2022-06-06 PER CITY
2022-06-16 REV. PHOTOMETRICS
2022-07-12 PER CITY
2022-08-22 PER CITY

REVISIONS

SCALE: 0 25 50
1" = 50 FEET

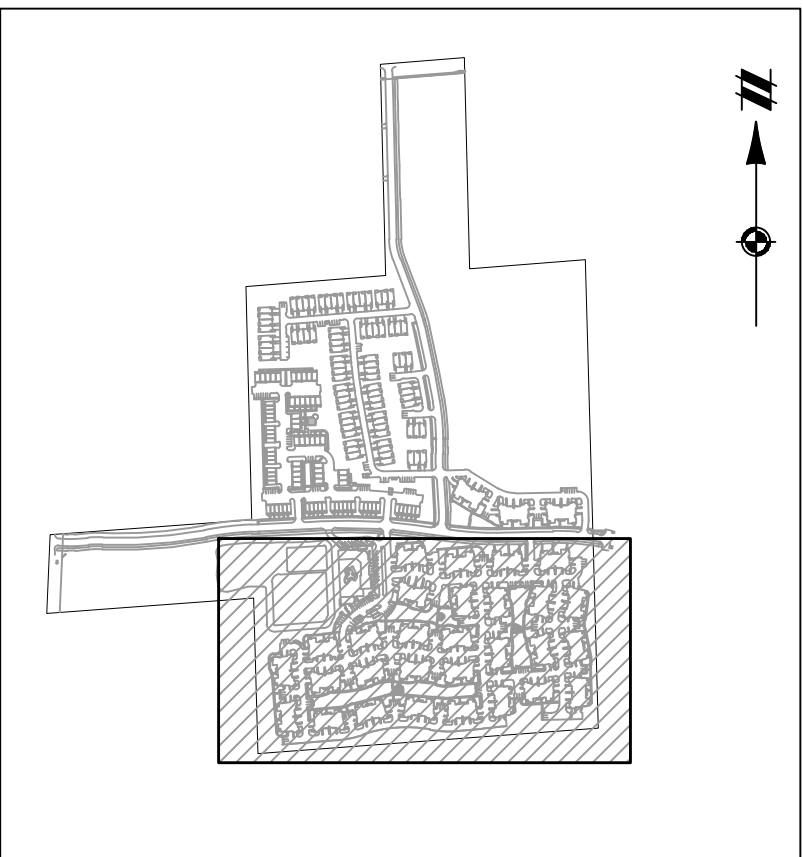
DR. SK GH. SS

P.M. MB

BOOK NA

JOB 18002264

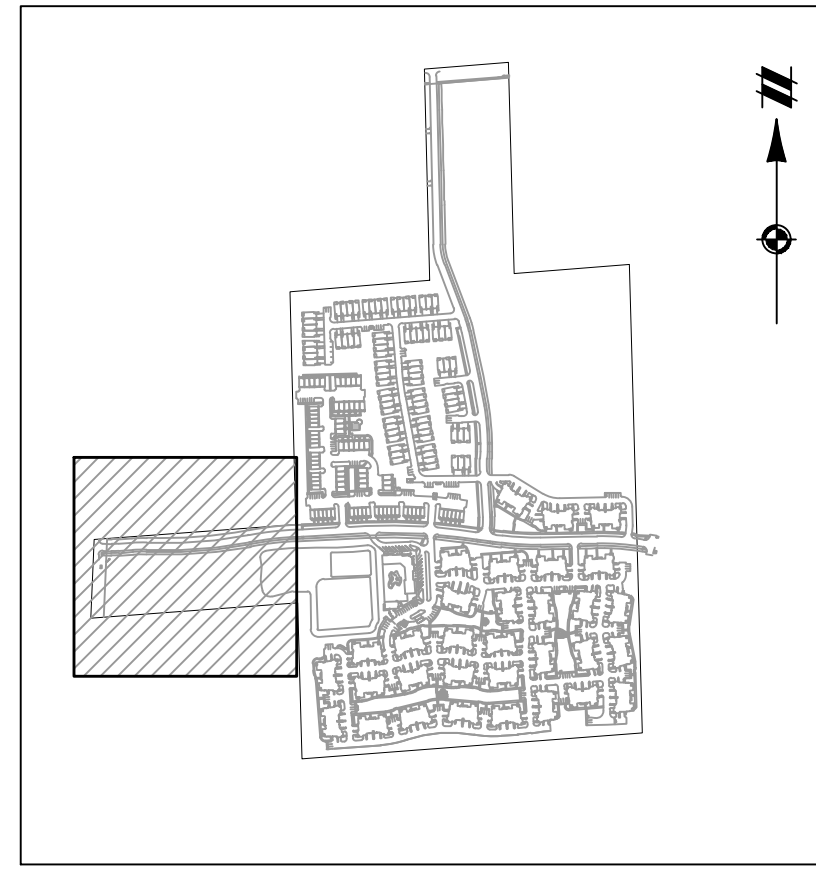
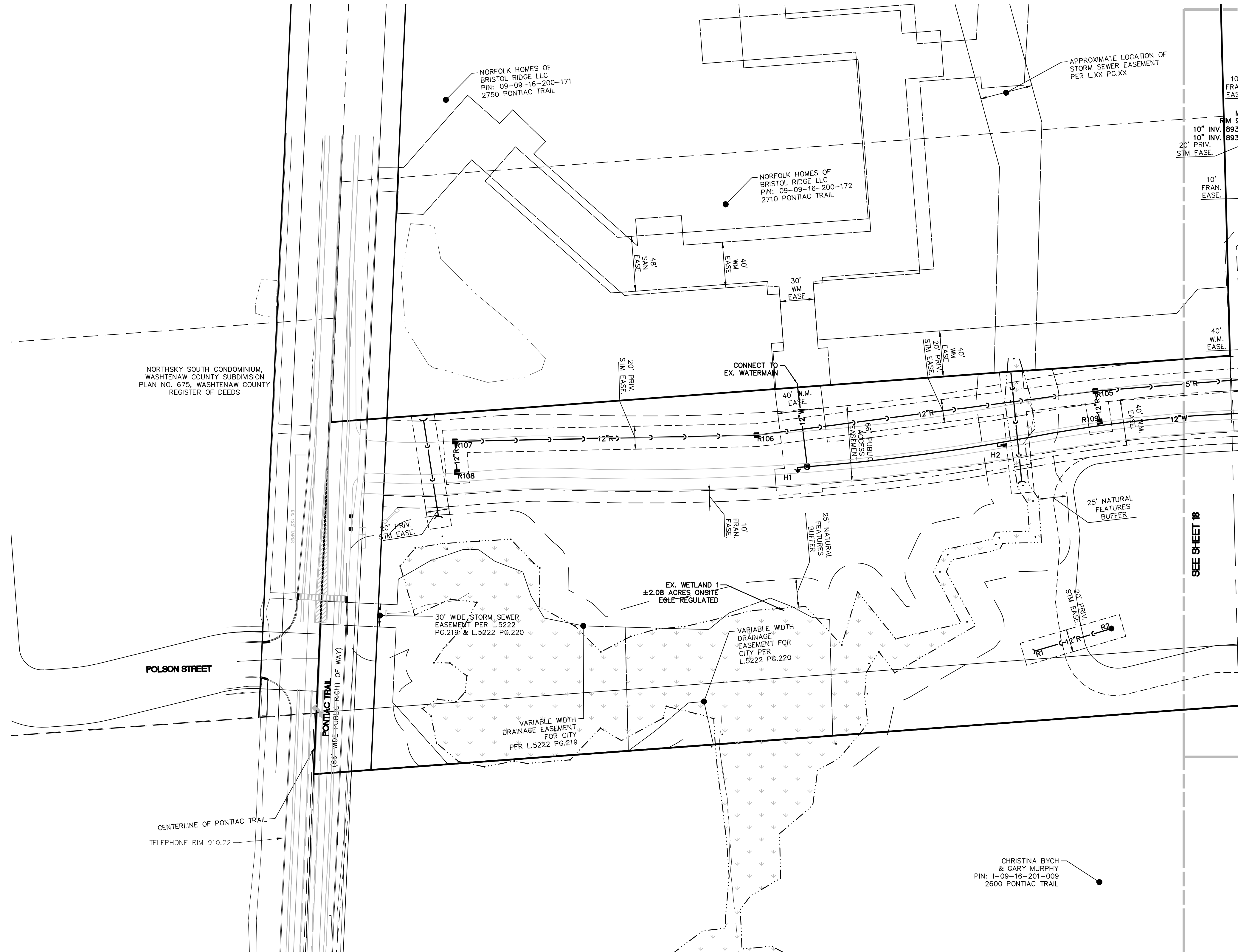
SHEET NO. 19



KEY MAP
1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. GRAVEL
	EXIST. SETBACK
	MATCHLINE
	PROP. ROAD CENTERLINE
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	EX. WETLAND BUFFER
	PROP. STORM PIPE
	PROP. SANITARY PIPE
	PROP. WATER PIPE
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. HYDRANT

K:\1800226\1800226.dwg 8/26/2022 8:48 AM STEVE DALLS



KEY MAP
1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. GRAVEL
	EXIST. SETBACK
	MATCHLINE
	PROP. ROAD CENTERLINE
	PROP. ACCESS EASEMENT
	PROP. STORM EASEMENT
	PROP. SANITARY EASEMENT
	PROP. WATER EASEMENT
	EX. WETLAND BUFFER
	PROP. STORM PIPE
	PROP. SANITARY PIPE
	PROP. WATER PIPE
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. END SECTION
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	PROP. HYDRANT

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CLIENT	ROBERTSON BROTHERS CO.
	VILLAGE OF ANN ARBOR
	SITE PLAN
	EASEMENT LAYOUT PLAN - AREA 5
DATE	JUNE 7, 2021
2021-10-11	PER CITY AND WCWRC
2022-01-19	PER CITY AND WCWRC
2022-03-31	PER CITY AND WCWRC
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY
REVISIONS	
SCALE	0 25 50
1" =	50 FEET
DR.	SK
CH.	SS
P.M.	MB
BOOK	NA
JOB	18002264
SHEET NO.	20

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IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN


CLIENT
ROBERTSON BROTHERS CO.

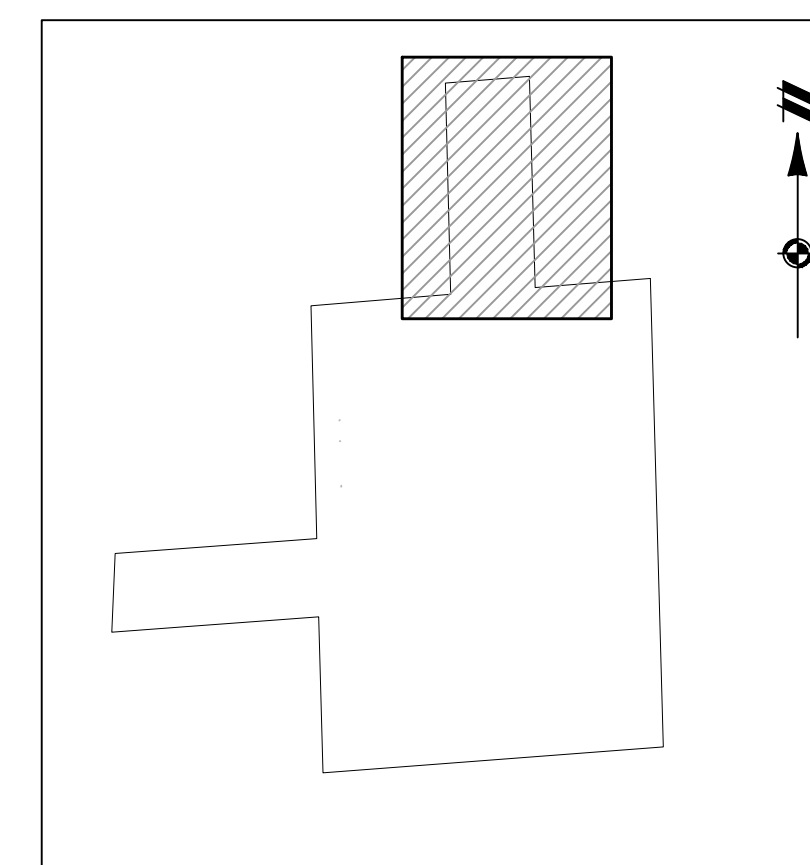
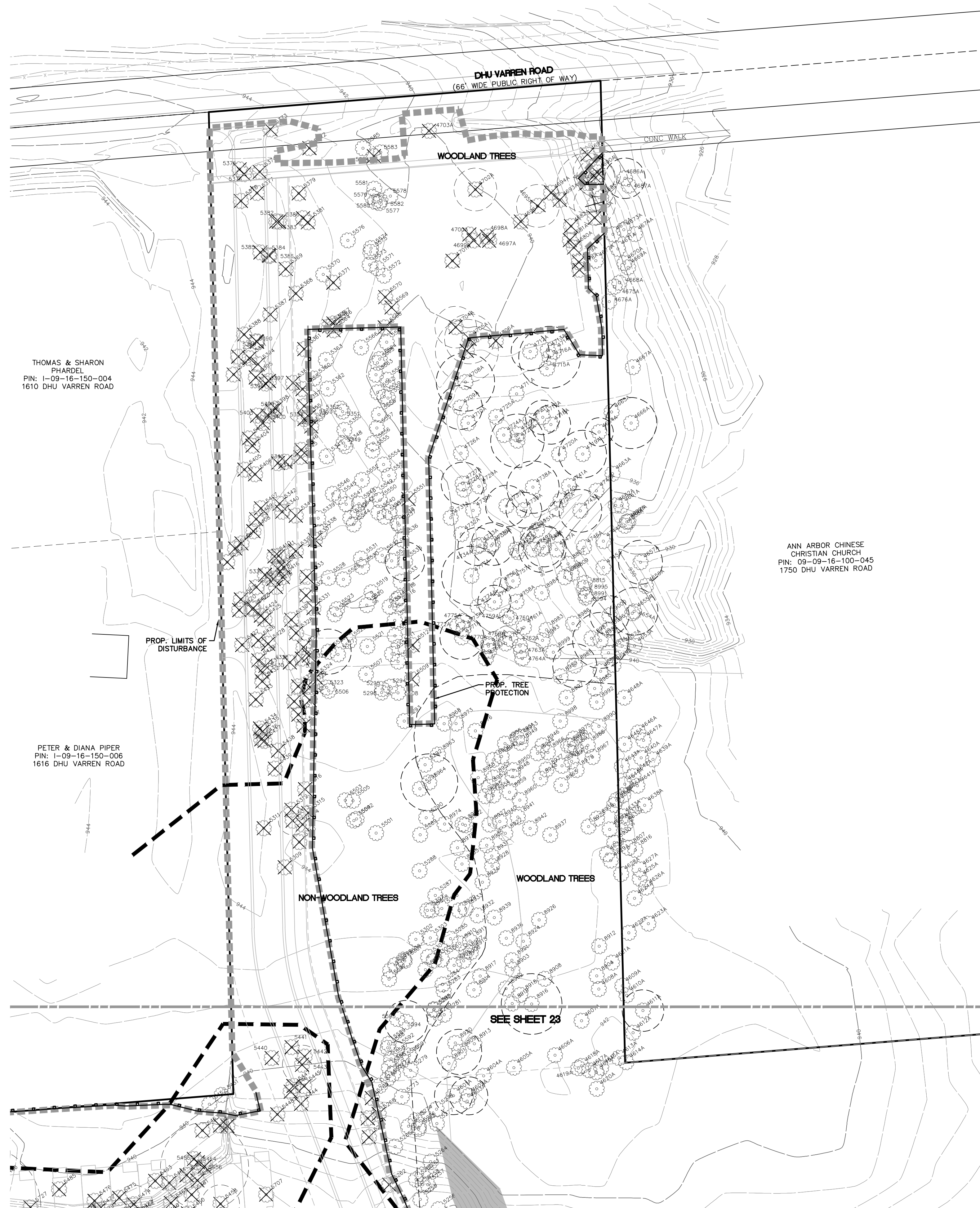
VILLAGE OF ANN ARBOR

SITE PLAN

DATE JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS			
SCALE	0	25	50
			
1" = 50 FEET			
DR.	SK	CH.	SS
P.M. MB			
BOOK		NA	
JOB		18002264	
SHEET NO.			
22			



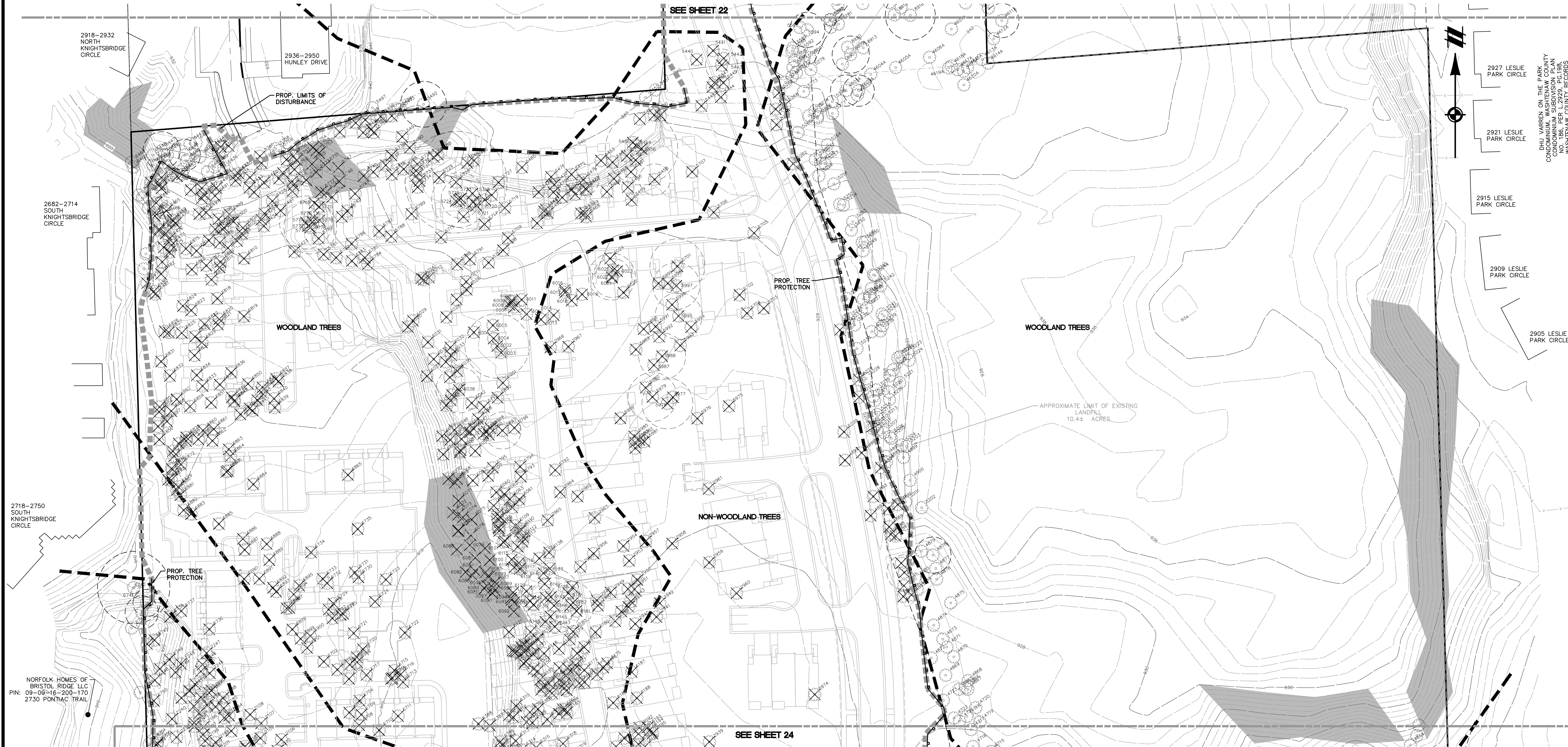
KEY MAP
1" = 750 FEET

1" = 750 FEET

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	MATCHLINE
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. TREE
	EXIST. TREE (TO BE REMOVED)
	CRITICAL ROOT ZONE
	LIMITS OF DISTURBANCE
	LIMITS OF DISTURBANCE
	REGULATED WOODLAND LIMITS
	EXIST. SLOPES 20%-40% > 50%
	PROP. TREE PROTECTION FENCE

K:\18002264\18002264.dwg 18002264.dwg 04/27/2022 8:41 AM STEVE BILLS



SEE SHEET 22

SEE SHEET 24



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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

NATURAL FEATURES PLAN - AREA 2

DATE

JUNE 7, 2021

2021-10-11 PER CITY AND WCWRC

2022-01-19 PER CITY AND WCWRC

2022-03-31 PER CITY AND WCWRC

2022-06-06 PER CITY

2022-06-18 PER CITY

2022-07-12 REV. PHOTOMETRICS

2022-07-12 PER CITY

2022-08-22 PER CITY

REVISIONS

SCALE 0 25 50

1" = 50 FEET

DR. SK CH. SS

P.M. MB

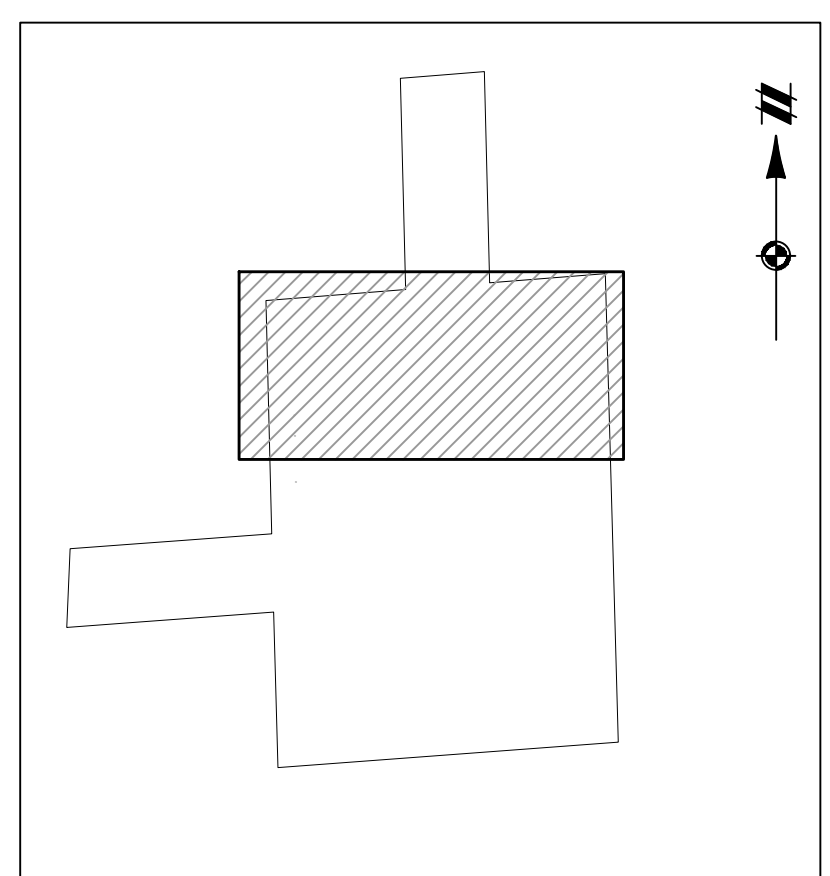
BOOK NA

JOB 18002264

SHEET NO.

23

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	SECTION CORNER
	EXIST. TREE LINE
	EXIST. FENCE
	EXIST. 1' CONTOUR
	EXIST. 5' CONTOUR
	EXIST. ASPHALT
	EXIST. GRAVEL
	MATCHLINE
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. TREE
	EXIST. TREE (TO BE REMOVED)
	CRITICAL ROOT ZONE
	LIMITS OF DISTURBANCE
	LIMITS OF DISTURBANCE
	REGULATED WOODLAND LIMITS
	EXIST. SLOPES 20%-40% > 50'
	PROP. TREE PROTECTION FENCE



KEY MAP
1" = 750 FEET

IORFOLK HOMES OF
BRISTOL RIDGE LLC
9-09-16-200-170
730 PONTIAC TRAIL

4308 SF
BUFFER
IMPACT

PROP. LIMITS OF
DISTURBANCE

SEE SHEET 26

WOODLAND TREES

SEE SHEET 23

NON-WOODLAND TREES

SEE SHEET 25

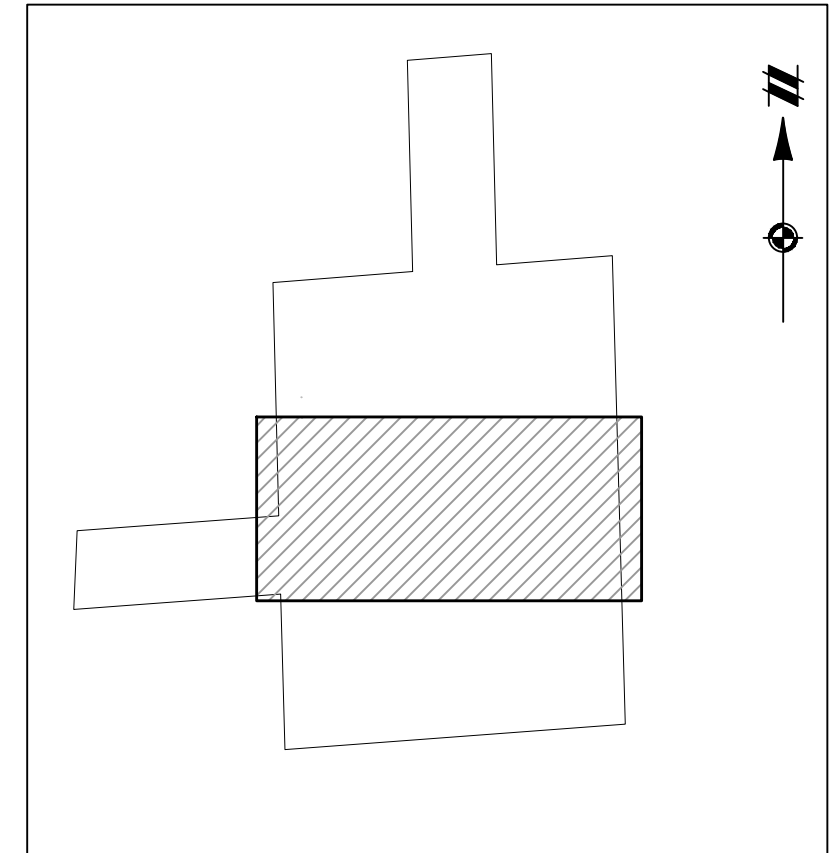
WOODLAND TREES

PROP. TREE
PROTECTION

PROP. LIMITS OF
DISTURBANCE

PROP. TREE
PROTECTION

1" = 50 FEET



KEY MAP
1" = 750 FEET

LEGEND

- | | |
|--|-----------------------------|
| | BOUNDARY LINE |
| | EXIST. EASEMENT |
| | SECTION LINE |
| | BOUNDARY/PROPERTY LINE |
| | SECTION CORNER |
| | EXIST. TREE LINE |
| | EXIST. FENCE |
| | EXIST. 1' CONTOUR |
| | EXIST. 5' CONTOUR |
| | EXIST. ASPHALT |
| | EXIST. GRAVEL |
| | MATCHLINE |
| | EXIST. BUILDING |
| | EXIST. WETLAND |
| | EXIST. WETLAND BUFFER |
| | EXIST. TREE |
| | EXIST. TREE (TO BE REMOVED) |
| | CRITICAL ROOT ZONE |
| | LIMITS OF DISTURBANCE |
| | REGULATED WOODLAND LIMITS |
| | EXIST. SLOPES 20%-40% > 50' |
| | PROP. TREE PROTECTION FENCE |

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SECTION 16

TOWN 2 SOUTH, RANGE 6 EAST

ANN ARBOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

NATURAL FEATURES PLAN - AREA 3

DATE: JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-18	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE: 0 25 50
1" = 50 FEET

DR. SK CH. SS

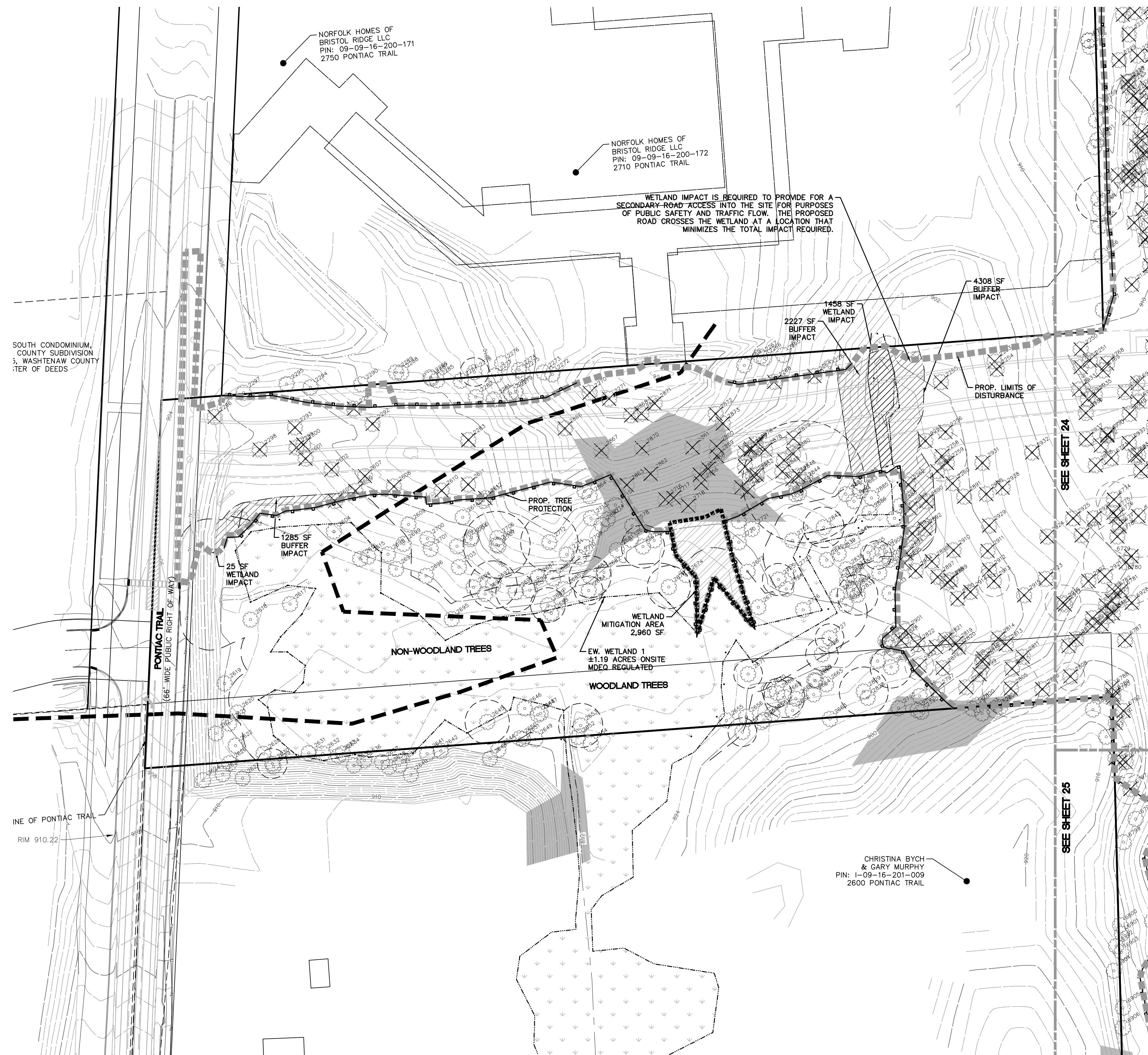
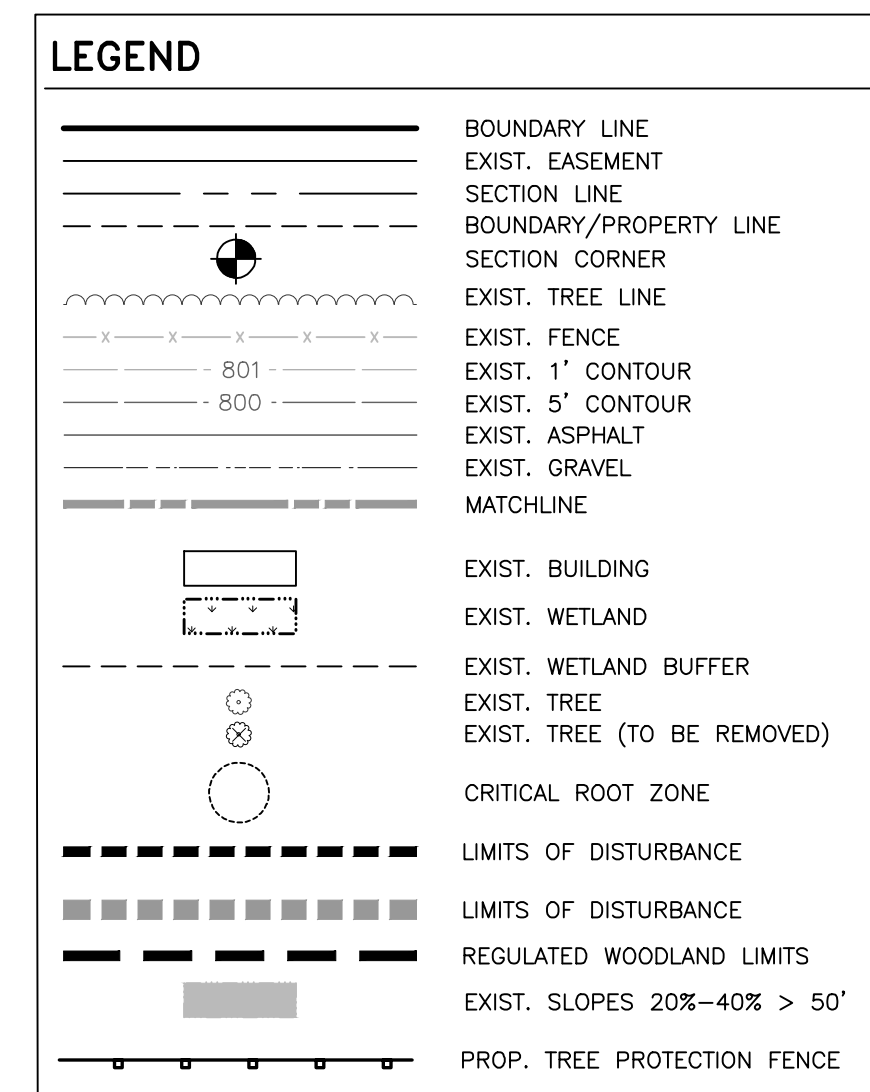
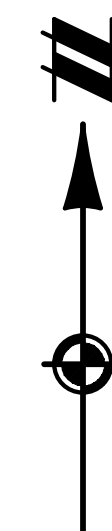
P.M. MB

BOOK NA

JOB 18002264

SHEET NO. 24





							LANDMARK TREE HEALTH FORM INFORMATION											
Tree Tag #	Data Code	Scientific Name	Common Name	DBH (inches)	Condition	Notes/Comments	Trunk Condition	Growth Rate	Tree Structure	Insects/ Disease	Crown Development	Life Expectancy	Total Score	Landmark Tree	To Be Removed			
2001	CEOC	<i>Celtis occidentalis</i>	Hackberry	16	Good		5	3	3	3	3	3	20	Yes	Yes			
2023	CEOC	<i>Celtis occidentalis</i>	Hackberry	12.5	Good		5	3	3	3	2	3	19	Yes	Yes			
2053	PRSE	<i>Prunus serotina</i>	Black Cherry	12.5	Good		5	4	5	5	4	4	27	Yes	Yes			
2071	ACSAN	<i>Acer saccharinum</i>	Silver Maple	33	Good		5	3	5	5	5	4	27	Yes	Yes			
2239	PRSE	<i>Prunus serotina</i>	Black Cherry	14.5	Good		5	4	5	5	4	4	27	Yes	Yes			
2244	PRSE	<i>Prunus serotina</i>	Black Cherry	16.5	Fair	Dead branches	5	3	3	4	2	3	20	Yes	Yes			
2245	QUAL	<i>Quercus alba</i>	White Oak	23	Good		5	3	3	3	5	4	23	Yes	Yes			
2258	PRSE	<i>Prunus serotina</i>	Black Cherry	21	Good		5	3	3	3	3	3	20	Yes	No			
2278	CEOC	<i>Celtis occidentalis</i>	Hackberry	12	Good	2T: 9	4	3	3	3	3	3	19	Yes	Yes			
2346	QUAL	<i>Quercus alba</i>	White Oak	21	Good	Leaning	4	3	3	3	3	3	19	Yes	Yes			
2465	PRSE	<i>Prunus serotina</i>	Black Cherry	16	Fair	2T: 15, dying trunk	3	3	3	4	3	3	19	Yes	Yes			
2542	PRSE	<i>Prunus serotina</i>	Black Cherry	15.5	Fair	2T: 12, dead branches	5	3	3	4	2	3	20	Yes	Yes			
2566	CEOC	<i>Celtis occidentalis</i>	Hackberry	12	Good		5	3	2	3	3	3	19	Yes	Yes			
2582	PRSE	<i>Prunus serotina</i>	Black Cherry	15	Fair	2T: 12, dead trunk	3	3	3	4	3	3	19	Yes	Yes			
2630	PRSE	<i>Prunus serotina</i>	Black Cherry	12.5	Fair	Vines	4	3	3	3	3	3	19	Yes	No			
2645	PRSE	<i>Prunus serotina</i>	Black Cherry	18.5	Good	2T: 12, smaller trunk rotting.	3	2	3	3	3	3	17	Yes	No			
2653	PRSE	<i>Prunus serotina</i>	Black Cherry	18.5	Good		5	3	4	5	3	4	24	Yes	No			
2657	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	No			
2660	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	No			
2669	CACO	<i>Carya cordiformis</i>	Bitternut Hickory	17	Good		5	3	5	5	4	4	26	Yes	No			
2671	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	No			
2675	PRSE	<i>Prunus serotina</i>	Black Cherry	18	Good		5	3	3	3	3	3	20	Yes	No			
2677	PRSE	<i>Prunus serotina</i>	Black Cherry	18	Good	2T: 13	5	3	3	4	3	4	22	Yes	No			
2683	PRSE	<i>Prunus serotina</i>	Black Cherry	17.5	Good		5	4	5	5	4	4	27	Yes	No			
2684	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	No			
2689	PRSE	<i>Prunus serotina</i>	Black Cherry	14.5	Good	4T: 8.5, 15, 12	5	4	5	5	4	4	27	Yes	No			
2691	PRSE	<i>Prunus serotina</i>	Black Cherry	16.5	Good		5	4	5	5	4	4	27	Yes	No			
2692	PRSE	<i>Prunus serotina</i>	Black Cherry	20	Good	3T: 14, 15	4	3	3	3	3	3	19	Yes	No			
2708	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	28	Fair		5	3	3	3	3	3	20	Yes	No			
2712	PRSE	<i>Prunus serotina</i>	Black Cherry	24	Good		4	3	2	3	3	3	18	Yes	No			
2725	PRSE	<i>Prunus serotina</i>	Black Cherry	13.5	Good		5	4	5	5	4	4	27	Yes	No			
2727	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good	3T: 8, 5	5	4	5	5	4	4	27	Yes	No			
2728	PRSE	<i>Prunus serotina</i>	Black Cherry	13.5	Good	3T: 10, 10	5	4	5	5	4	4	27	Yes	No			
2790	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	28	Fair		5	3	3	3	3	3	20	Yes	Yes			
2805	ACSAN	<i>Acer saccharinum</i>	Silver Maple	24	Good		4	3	3	3	3	3	19	Yes	Yes			
2808	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	Yes			
2823	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	Yes			
2824	PRSE	<i>Prunus serotina</i>	Black Cherry	16	Good		5	4	5	5	4	4	27	Yes	Yes			
2827	PRSE	<i>Prunus serotina</i>	Black Cherry	17.5	Good		5	4	5	5	4	4	27	Yes	No			
2829	ACSAN	<i>Acer saccharinum</i>	Silver Maple	20.5	Good		5	3	4	5	3	3	21	Yes	No			
2833	PRSE	<i>Prunus serotina</i>	Black Cherry	17	Good	2T: 16	5	4	5	5	4	4	27	Yes	No			
2842	PRSE	<i>Prunus serotina</i>	Black Cherry	17	Good	2T: 11	5	4	5	5	4	4	27	Yes	No			
2844	ACSAN	<i>Acer saccharinum</i>	Silver Maple	51	Good	Fused trunk	5	3	4	5	4	4	25	Yes	No			
2850	ACSAN	<i>Acer saccharinum</i>	Silver Maple	19	Good	3T: 16.5, 16	4	3	3	3	3	3	19	Yes	Yes			
2907	PRSE	<i>Prunus serotina</i>	Black Cherry	12	Good		5	4	5	5	4	4	27	Yes	No			
2913	PRSE	<i>Prunus serotina</i>	Black Cherry	13	Good		5	4	5	5	4	4	27	Yes	Yes			
2916	PRSE	<i>Prunus serotina</i>	Black Cherry	15	Good		5	4	5	5	4	4	27	Yes	Yes			
4090	CAGL	<i>Carya glabra</i>	Pignut Hickory	18.5	Good	2T: 17.5	5	3	4	3	4	4	23	Yes	Yes			
4108	ACNE	<i>Acer negundo</i>	Boxelder Maple	17	Fair	2T: 6, top cut off	3	3	3	4	3	3	19	Yes	Yes			
4109	QUAL	<i>Quercus alba</i>	White Oak	18.5	Good		5	2	3	4	2	3	19	Yes	Yes			
4161	QUVE	<i>Quercus velutina</i>	Black Oak	24.5	Fair	Significant lean	4	3	2	3	3	3	18	Yes	Yes			
4302	PRSE	<i>Prunus serotina</i>	Black Cherry	17	Good		5	4	5	5	4	4	27	Yes	Yes			
4314	CEOC	<i>Celtis occidentalis</i>	Hackberry	36	Good		3	3	3	2	4	3	18	Yes	Yes			
4388	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	47.5	3	Good	4	3	3	4	3	3	22	Yes	Yes			
4391	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	40	Good		5	3	5	5	5	4	26	Yes	Yes			
4418	ACNE	<i>Acer negundo</i>	Boxelder Maple	22.5	Good	Fused trunk	4	4	4	5	3	4	24	Yes	Yes			
4429	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	34.5	Excellent		5	4	5	5	5	4	28	Yes	Yes			
4432	JUVI	<i>Juniperus virginiana</i>	Red Cedar	22	Good	6T: 6.5, 13.5, 10, 10	4	2	4	3	5	3	21	Yes	Yes			
4438	ACNE	<i>Acer negundo</i>	Boxelder Maple	22	Good	4T: 14.8, 16	4	3	3	4	4	4	22	Yes	Yes			
4463	JUVI	<i>Juniperus nigra</i>	Black Walnut	18.5	Good		3	3	4	3	4	3	22	Yes	Yes			
4472	JUVI	<i>Juniperus virginiana</i>	Red Cedar	10	Good		5	2	4	5	5	3	24	Yes	Yes			
4473	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	31.5	Good		5	3	4	4	3	3	22	Yes	Yes			
4475	JUVI	<i>Juniperus virginiana</i>	Red Cedar	9	Good	3T: 8, 8	4	3	3	2	3	3	18	Yes	Yes			
4476	CEOC	<i>Celtis occidentalis</i>	Hackberry	18	Good		5	3	4	3	4	3	22	Yes	Yes			
4478	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	30.5	Good		5	3	3	4	4	4	23	Yes	Yes			
4612	ACNE	<i>Acer negundo</i>	Boxelder Maple	21	Good		5	4	5	5	4	4	27	Yes	Yes			
4616	ACNE	<i>Acer negundo</i>	Boxelder Maple	19	Good		5	4	5	5	4	4	27	Yes	Yes			
4618	ACNE	<i>Acer negundo</i>	Boxelder Maple	5	Good		5	4	5	5	4	4	27	Yes	Yes			
4624	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	30	Good	Trunk cavity	3	3	4	3	3	3	19	Yes	Yes			
4626	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	30	Good		5	3	3	4	3	3	21	Yes	Yes			
4640	PODE	<i>Populus deltoides</i>	Eastern Cottonwood	28	Good		5	3	2	3	3	3	19	Yes	Yes			
4765	ACNE	<i>Acer negundo</i>	Boxelder Maple	19	Good		5	4	5	5	4	4	27	Yes	Yes			
4795	ACNE	<i>Acer negundo</i>	Boxelder Maple	19	Good		5	4	5	5	4	4	27	Yes	Yes			
4854	SANI	<i>Salix nigra</i>	Black Willow	28.5	Good		3	3	2	3	3	3	18	Yes	Yes			
4855	SANI	<i>Salix nigra</i>	Black Willow	26	Good		5	3	4	5	4	4	25	Yes	Yes			
4863	SANI	<i>Salix nigra</i>	Black Willow	24	Good	Significant lean to trunk	4	3	4	4	4	4	23	Yes	Yes			
4878	CAGL	<i>Carya glabra</i>	Pignut Hickory	18.5	Good		4	3	3	3	4	2	22	Yes	No			
4880	ACNE	<i>Acer negundo</i>	Boxelder Maple	18	Good		5	4	5	5	4	4	27	Yes	Yes			
4906	ACNE	<i>Acer negundo</i>	Boxelder Maple	18	Good		5	4	5	5	4	4	27	Yes	Yes			
4955	ACNE	<i>Acer negundo</i>	Boxelder Maple	18	Good		5	4	5	5	4	4	27	Yes	Yes			
4970	ACNE	<i>Acer negundo</i>	Boxelder Maple	17.5	Good	2T: 9	5	4	5	5	4	4	27	Yes	Yes			
4972	ACNE	<i>Acer negundo</i>	Boxelder Maple	17	Good		5	4	5	5	4	4	27	Yes	Yes			
4998	QUVE	<i>Quercus velutina</i>	Black Oak	20	Good		5	3	3	3	3	3	20	Yes	Yes			
5147	QUVE	<i>Quercus velutina</i>	Black Oak	20	Good	2T: 20	5	3	2	3	3	3	19	Yes	Yes			
5159	ACNE	<i>Acer negundo</i>	Boxelder Maple	17	Good	2T: 17	5	4	5	5	4	4	27	Yes	Yes			
5195	QUAL	<i>Quercus alba</i>	White Oak	3	Good		5	3	3	3	3	3	22	Yes	Yes			
5197	ACNE	<i>Acer negundo</i>	Boxelder Maple	16.5	Good		5	4	5	5	4	4	27	Yes	Yes			
5313	THOC	<i>Thuja occidentalis</i>	White Cedar	12	Good		5	3	3	3	4	3	21	Yes	Yes			
5443	CACO	<i>Carya cordiformis</i>	Bitternut Hickory	16.5	Good		5	3	5	4	4	4	25	Yes	Yes			
5455	ACSAN	<i>Acer saccharinum</i>	Silver Maple	37	Good		5	3	5	4	3	3	21	Yes	Yes			
5458	ACNE	<i>Acer negundo</i>	Boxelder Maple	16	Good	2T: 14	5	4	5	5	4	4	27	Yes	Yes			



Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR SAFETY OF THE WORK OR OF PERSONS DANGEROUS IN THE WORK, OF ANY NEARBY STRUCTURES OR PERSONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AND OF PERSONS DANGEROUS IN THE WORK, OF ANY NEARBY STRUCTURES OR PERSONS.

REPRODUCTION SHALL BE MADE WITHOUT ERROR BY THE CONTRACTOR AT THE RISK OF THE CONTRACTOR.

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Tree Tag #	Date Code	Scientific Name	Common Name	DBH (inches)	Condition	Notes/Comments	Invasive Species	Landmark Tree	To Be Removed
2001	PRST	Pinus strobus	White Pine	16	Good				
2002	ACNS	Acer glabrum	Black Cherry	12	Good				
2003	PRUS	Prunus serotina	Black Cherry	16	Good				
2004	PRUS	Prunus serotina	Black Cherry	18	Good				
2005	PRUS	Prunus serotina	Black Cherry	16	Good				
2006	PRUS	Prunus serotina	Black Cherry	16	Good				
2007	PRUS	Prunus serotina	Black Cherry	16	Good				
2008	PRUS	Prunus serotina	Black Cherry	16	Good				
2009	PRUS	Prunus serotina	Black Cherry	16	Good				
2010	PRUS	Prunus serotina	Black Cherry	16	Good				
2011	PRUS	Prunus serotina	Black Cherry	16	Good				
2012	PRUS	Prunus serotina	Black Cherry	16	Good				
2013	PRUS	Prunus serotina	Black Cherry	16	Good				
2014	PRUS	Prunus serotina	Black Cherry	16	Good				
2015	PRUS	Prunus serotina	Black Cherry	16	Good				
2016	PRUS	Prunus serotina	Black Cherry	16	Good				
2017	PRUS	Prunus serotina	Black Cherry	16	Good				
2018	PRUS	Prunus serotina	Black Cherry	16	Good				
2019	PRUS	Prunus serotina	Black Cherry	16	Good				
2020	PRUS	Prunus serotina	Black Cherry	16	Good				
2021	PRUS	Prunus serotina	Black Cherry	16	Good				
2022	PRUS	Prunus serotina	Black Cherry	16	Good				
2023	PRUS	Prunus serotina	Black Cherry	16	Good				
2024	PRUS	Prunus serotina	Black Cherry	16	Good				
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2168	PRUS	Prunus serotina	Black Cherry	16	Good				
2169	PRUS	Prunus serotina	Black Cherry	16	Good				
2170	PRUS	Prunus serotina	Black Cherry	16	Good				
2171	PRUS	Prunus serotina	Black Cherry	16	Good				



Know what's below.
Call before you dig.

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NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR SAFETY OF THE WORK. CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK, OF ANY NEARBY STRUCTURES, AND OF ANY PERSONS.

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SOUTHFIELD, MI 48076
248.447.2000

SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

ROBERTSON BROTHERS CO.
VILLAGE OF ANN ARBOR
SITE PLAN
TREE LIST

DATE
JUNE 7, 2021

2021-10-11 PER CITY AND WCMRC

2022-01-19 PER CITY AND WCMRC

2022-03-31 PER CITY AND WCMRC

2022-06-16 PER CITY

2022-06-18 PER CITY

2022-07-12 REV. PHOTOMETRICS

2022-08-22 PER CITY

SCALE 0' = 1' = 1'


DR. SK SCALE

BOOK NA

JOB 18002264

SHEET NO. 29

Tree Tag #	Date Code	Scientific Name	Common Name	DBH (Inches)	Condition	Notes/Comments	Invasive Species	Landmark Tree	To Be Retained	Tree Tag #	Date Code	Scientific Name	Common Name	DBH (Inches)	Condition	Notes/Comments	Invasive Species	Landmark Tree	To Be Retained	Tree Tag #	Date Code	Scientific Name	Common Name	DBH (Inches)	Condition	Notes/Comments	Invasive Species	Landmark Tree	To Be Retained
4333	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4340	KOPS	Robinia pseudoacacia	Black Locust	6	Good		Yes		Yes	4347	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4334	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4341	KOPS	Robinia pseudoacacia	Black Locust	6.5	Good		Yes		Yes	4348	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4335	KOPS	Robinia pseudoacacia	Black Locust	6.5	Good		Yes		Yes	4342	KOPS	Robinia pseudoacacia	Black Locust	8.5	Good		Yes		Yes	4349	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4336	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4343	KOPS	Robinia pseudoacacia	Black Locust	22	Good		Yes		Yes	4350	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4337	KOPS	Robinia pseudoacacia	Black Locust	6	Good		Yes		Yes	4344	KOPS	Robinia pseudoacacia	Black Locust	6	Good		Yes		Yes	4351	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4338	KOPS	Robinia pseudoacacia	Black Locust	6	Good		Yes		Yes	4345	KOPS	Robinia pseudoacacia	Black Locust	7	Good		Yes		Yes	4352	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4339	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4346	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4353	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4340	KOPS	Robinia pseudoacacia	Black Locust	13	Good	21.15	Yes		Yes	4347	KOPS	Robinia pseudoacacia	Black Locust	13	Good		Yes		Yes	4354	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4341	KOPS	Robinia pseudoacacia	Black Locust	7.5	Good		Yes		Yes	4348	KOPS	Robinia pseudoacacia	Black Locust	7.5	Good		Yes		Yes	4355	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4342	KOPS	Robinia pseudoacacia	Black Locust	7.5	Good		Yes		Yes	4349	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4356	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4343	KOPS	Robinia pseudoacacia	Black Locust	10	Good	21.10	Yes		Yes	4350	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4357	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4344	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4351	KOPS	Robinia pseudoacacia	Black Locust	6.5	Good		Yes		Yes	4358	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4345	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4352	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4359	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4346	KOPS	Robinia pseudoacacia	Black Locust	6.5	Good		Yes		Yes	4353	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4360	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4347	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4354	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4361	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4348	KOPS	Robinia pseudoacacia	Black Locust	9	Good	21.7	Yes		Yes	4355	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4362	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4349	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4356	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4363	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4350	KOPS	Robinia pseudoacacia	Black Locust	7	Good	21.6	Yes		Yes	4357	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4364	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4351	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4358	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4365	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4352	KOPS	Robinia pseudoacacia	Black Locust	9	Good		Yes		Yes	4359	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4366	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4353	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4360	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4367	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4354	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4361	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4368	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4355	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4362	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4369	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4356	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4363	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4370	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4357	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4364	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4371	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4358	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4365	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4372	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4359	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4366	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4373	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4360	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4367	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4374	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4361	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4368	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4375	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4362	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4369	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4376	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4363	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4370	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4377	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4364	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4371	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4378	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4365	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4372	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4379	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4366	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4373	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4380	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4367	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4374	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4381	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4368	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4375	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4382	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4369	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4376	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4383	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4370	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4377	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4384	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4371	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4378	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes	4385	KOPS	Robinia pseudoacacia	Black Locust	10	Good		Yes		Yes
4372	KOPS	Robinia pseudoacacia																											



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ANN ARBOR, MI 48106-1776
TEL: 734.447.2000

CLIENT

ROBERTSON BROTHERS CO.

VILLAGE OF ANN ARBOR

SITE PLAN

TREE LIST

WASHTENAW COUNTY, MICHIGAN

ANN ARBOR TOWNSHIP

TOWN 2 SOUTH, RANGE 6 EAST

SECTION 16

DATE

JUNE 7, 2021

2021-10-11 PER CITY AND WORK

2022-01-19 PER CITY AND WORK

2022-03-31 PER CITY AND WORK

2022-06-08 PER CITY

2022-06-17 PER CITY

2022-06-17 REV. PHOTOGRAPHICS

2022-06-22 PER CITY

REVISIONS

SCALE 0' 1" 2" 3" 4" 5" 6" 7" 8" 9" 10' 11' 12' 13' 14' 15' 16' 17' 18' 19' 20' 21' 22' 23' 24' 25' 26' 27' 28' 29' 30'

NO SCALE

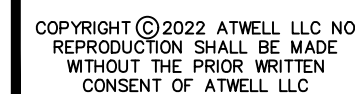
DR. SK CH. SS

P.O.M. NB

B.O.M. NA

JOB 18002264

SHEET NO. 30



WASHTENAW COUNTY, MICHIGAN

SITE PLAN

ALTERNATE ANALYSIS PLAN

JUNE 7, 2021

2021-10-11	PER CITY AND WCWR
2022-01-19	PER CITY AND WCWR
2022-03-31	PER CITY AND WCWR
2022-06-06	PER CITY
2022-06-16	PER CITY
2022-06-17	REV. PHOTOMETRICS
2022-07-12	PER CITY
2022-08-22	PER CITY

REVISIONS

SCALE 0 100 200

DR.	SK	CH.	SS
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P.M. MB

BOOK NA

JOB 18002264

SHEET NO.

31



- APPROXIMATELY .09 AC MORE WETLAND AND BUFFER IMPACT
- UNITS SHOWN DIRECTLY ADJACENT TO PROPERTY LINE
- GREATER EARTH DISTURBANCE AND STEEP SLOPES
- APPROXIMATELY 180 MORE TREES REMOVED (15 ARE LANDMARK TREES)



- APPROXIMATELY .29 AC MORE WETLAND AND BUFFER IMPACTS
- UNITS SHOWN DIRECTLY ADJACENT TO PROPERTY LINE
- GREATER EARTH DISTURBANCE AND STEEP SLOPES
- APPROXIMATELY 145 MORE TREES REMOVED (18 ARE LANDMARK TREES)