

COMMUNITY ANALYSIS:	
1.	THE PROPOSED DEVELOPMENT IS NOT EXPECTED TO SIGNIFICANTLY IMPACT LOCAL SCHOOLS.
2.	THE SURROUNDING USES CONSIST OF ST. PAUL MISSIONARY BAPTIST CHURCH (NORTH), CITY STREET/PLATT (EAST), THE SWIFT RUN DRAINAGE DISTRICT (WEST), AND A VACANT LOT (SOUTH). THESE USES ARE NOT EXPECTED TO BE NEGATIVELY IMPACTED BY THIS DEVELOPMENT.
3.	THE SITE WILL BE SCREENED FROM THE SURROUNDING USES BY LANDSCAPING AND EXISTING TREES, MITIGATING IMPACTS ON THE RESIDENTS.
4.	THE SITE IS CURRENTLY VACANT, CONSISTING OF PERIMETER TREES, GRASS AND SCRUB BRUSH. A MAJORITY OF THE SITE IS VOID OF NATURAL FEATURES. EIGHT LANDMARK TREES EXIST ON THE SITE, OF WHICH THREE WILL BE REMOVED AND REPLACED PER MITIGATION REQUIREMENTS. THE SITE WILL NOT CAUSE ANY ADVERSE IMPACTS TO AIR AND WATER QUALITY.
5.	THERE ARE NO KNOWN HISTORIC SITES ON THE PROPERTIES.
6.	THE PROPOSED DEVELOPMENT IS NOT EXPECTED TO SIGNIFICANTLY IMPACT LOCAL TRAFFIC. USING ITE TRIP GENERATION METHODS, THE AVERAGE VEHICLE TRIP GENERATION PER DWELLING UNIT IS CALCULATED AS 0.51 FOR MULTIFAMILY HOUSING (LOW-RISE) AND 0.40 FOR MULTIFAMILY HOUSING (MID-RISE). THE DEVELOPMENT MAY BE ALL OF EITHER OF THESE USES OR A MIXTURE OF THE TWO; HOWEVER, SINCE A TRANSPORTATION IMPACT ANALYSIS IS REQUIRED ONLY IF A PROPOSED DEVELOPMENT WILL GENERATE THREE PEAK HOUR TRIPS PER DWELLING UNIT ONE IS NOT REQUIRED FOR THIS PROJECT.
7.	ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ADJUTING THE SAME. PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALK IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

SITE ANALYSIS:	
1.	THE SITE IS CURRENTLY VACANT.
2.	SITE CONDITIONS:
2.1.	SOIL TYPES ON SITE ARE CONOVER LOAM AND MIAMI LOAM PER THE WASHTENAW COUNTY SOIL SURVEY. A GEOTECHNICAL INVESTIGATION PERFORMED IN 2004 REPORTED PRIMARILY CLAY AND SILTY CLAY BELOW THE OVERLYING TOPSOIL, WITH ISOLATED AREAS OF SAND LAYERS. INFILTRATION TESTING PERFORMED IN 2015 REVEALED SIMILAR RESULTS, WITH NO INDICATION OF SOIL SUITABILITY FOR STORM WATER INFILTRATION.
2.2.	SITE VEGETATION CONSISTS PRIMARILY OF SCRUB BRUSH AND GRASSES OVER THE MAJORITY OF THE SITE, WITH TREES LOCATED AROUND THE PERIMETER, INCLUDING A STAND OF MATURE SPRUCE AND PINE TREES ALONG THE WEST BOUNDARY OF THE SITE.
2.3.	REFER TO SHEETS P-2 AND P-2.1, "TOPOGRAPHIC SURVEY" FOR SITE TOPOGRAPHY.
3.	SITE NATURAL FEATURES
3.1.	THERE IS NO KNOWN ENDANGERED SPECIES HABITAT ON SITE.
3.2.	THE 100-YEAR FLOOD PLAIN ASSOCIATED WITH THE SWIFT RUN DRAIN PARTIALLY ENCROACHES ON THE WEST EDGE OF THE PROPERTY.
3.3.	EIGHT LANDMARK TREES EXIST ON THE SITE. REFER TO SHEETS L-1, L-2 AND L-3 FOR MORE INFORMATION.
3.4.	NO STEEP SLOPES EXIST ON THE SITE.
3.5.	THERE ARE NO WATERCOURSES ON THE PROPERTY.
3.6.	THERE ARE THREE DISTINCT WETLANDS ON THE PROPERTY, ONE IN THE CENTER OF THE SITE, ONE ON THE NORTHERN BOUNDARY OF THE SITE, AND ONE ALONG THE WEST EDGE OF THE SITE CORRESPONDING TO THE SWIFT RUN DRAIN FLOODPLAIN.
3.7.	THERE ARE NO WOODLANDS ON THE PROPERTY.
4.	SITE NATURAL FEATURES ALTERNATIVES ANALYSIS
4.1.	AN INITIAL MORE DENSE CONCEPT INCLUDED 55 UNITS, 12 MORE THAN THE CURRENT DESIGN. THIS CONCEPT WOULD HAVE REQUIRED AN EXPANSION OF THE LIMITS OF GRADING FOR THE SITE, MORE TREE REMOVAL AND MITIGATION FOR IMPACTS TO THE FLOODPLAIN. ADDITIONALLY, THE INITIAL CONCEPT DID NOT INCLUDE THE ADDITIONAL TEN FOOT BUFFER ABOVE AND BEYOND THE 25 FOOT WETLAND BUFFER, AS IS CURRENTLY DESIGNED.
5.	THERE ARE NO EXISTING STRUCTURES ON THE SITE.
6.	THE SITE WILL BE ACCESSED VIA A PROPOSED DRIVEWAY ON PLATT ROAD. THE SITE SIDEWALKS WILL CONNECT TO AN EXISTING PUBLIC WALK ON PLATT ROAD AND WILL CONNECT TO ALL LOTS. ALL SIDEWALKS PROPOSED SHALL MEET ALL REQUIREMENTS AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
7.	PUBLIC UTILITIES
7.1.	PUBLIC WATER MAIN WILL BE EXTENDED THROUGH THE SITE, CONNECTING TO THE EXISTING MAIN WITHIN PLATT ROAD AT TWO SEPARATE LOCATIONS TO CREATE A LOOP. 40" WIDE WATER MAIN EASEMENTS WILL BE PROVIDED ON SITE.
7.2.	PUBLIC SANITARY SEWER WILL CONNECT TO THE EXISTING SANITARY SEWER ON PLATT ROAD.
8.	THE SITE CURRENTLY DRAINS UN-DETAINED VIA SHEET FLOW TO THE PLATT ROAD RIGHT-OF-WAY STORM SEWER SYSTEM AND TO THE SWIFT RUN DRAIN. THE PROPOSED DEVELOPMENT INCLUDES TWO NEW DETENTION BASINS WITH A MECHANICAL SEDIMENT REMOVAL STRUCTURES.A NEW ON-SITE ENCLOSED STORM SEWER SYSTEM DESIGNED PER THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER STANDARDS IS ALSO INCLUDED. THE DETENTION BASINS WILL CAPTURE STORM WATER RUNOFF FROM EXISTING ON-SITE TRIBUTARY DRAINAGE AREAS. THE DETENTION BASINS WILL DISCHARGE TO THE EXISTING STORM SEWER SYSTEM IN THE PLATT ROAD RIGHT-OF-WAY AND THE SWIFT RUN DRAIN AT A LOWER PEAK FLOW RATE THAN CURRENTLY EXISTS.
9.	SITE LIGHTING WILL BE PROVIDED BY BUILDING MOUNTED LIGHTS ON EACH UNIT.

THE CONSTRUCTION COVERED BY THESE PLANS SHALL BE IN COMPLETE CONFORMANCE WITH THE CITY OF ANN ARBOR STANDARDS.

DEVELOPMENT PROGRAM

THE PROPOSED PROJECT IS LOCATED ON ONE PARCEL OF CURRENTLY VACANT LAND ZONED R3, TOWNHOUSE DWELLING. THE DEVELOPMENT WILL CONSIST OF 43 THREE-STORY TOWNHOUSE BUILDINGS RANGING IN FLOOR AREAS. EACH UNIT WILL HAVE A PRIVATE GARAGE AND ENTRANCE.

THE DEVELOPMENT WILL BE ACCESSED VIA TWO DRIVE OPENINGS FROM PLATT ROAD AND INCLUDES 43 PRIVATE GARAGE SPACES (PROVIDING 43 CLASS 'A' BIKE PARKING SPACES).

IN ALL, THE PROPOSED DEVELOPMENT CONSISTS OF 43 TOWNHOUSE UNITS.

SITE DENSITY WILL BE 5.28 UNITS/ACRE (43 UNITS/8.14 ACRES).

PROBABLE SITE CONSTRUCTION COST = \$5,750,000

PRELIMINARY SITE PLANS

PLATT ROAD TOWNHOMES

3680, 3696, 3746, 3788 PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

COMPARISON CHART OF REQUIREMENTS AND PROPOSED CONDITIONS:

1.	ZONING CLASSIFICATION: R-3 – TOWNHOUSE DWELLING ADJACENT ZONING: NORTH – R1C, SOUTH – R1C, EAST – R3, WEST – PL		
2.	LOT AREA: 8.14 ACRES (354,512 SQ.FT.) NET AND GROSS		
3.	TOTAL AREA OF ALL FLOORS PROPOSED USE: 43 TOWNHOUSE DWELLING UNITS (D.U.)		
LOT INFORMATION:	REQUIRED:	PROPOSED:	
MAXIMUM DENSITY	10 D.U./ACRE	5.28 D.U./ACRE (43/8.14)	
MINIMUM LOT AREA	4,300 SF PER D.U.		
GROSS LOT AREA	21,780 SF MIN.		
GROSS LOT WIDTH	120 FT. MIN.		
4.	OPEN SPACE:	REQUIRED:	PROPOSED:
MINIMUM ACTIVE OPEN SPACE	300 SF PER D.U.		5,146 SF PER D.U.
MINIMUM OPEN SPACE	65% OF LOT AREA		69%
5.	SETBACK:	REQUIRED:	PROPOSED:
FRONT	15' MIN./40' MAX.		16.6'
SIDE	20' MIN.		50.1', 107.9'
REAR	30' MIN.		31.6'
6.	HEIGHTS AND STORIES		
BUILDING:	REQUIRED:	PROPOSED:	
HEIGHT	35' MAX.	31'-9", 31'-11" MIDPT. OF ROOF	
SPACING	20' MIN.		
7.	OFF-STREET VEHICLE PARKING:	REQUIRED:	PROPOSED:
OFF-STREET	2 PER D.U.		2 PER D.U.
			86 TOTAL SPACES
8.	BICYCLE PARKING:	1 PER 5 D.U.	1 PER D.U.

SITE SOILS INFORMATION:  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR WASHTENAW COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:

- NsB – NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES
- Pe – PEWAMO CLAY LOAM, 0 TO 2 PERCENT SLOPES

LEGAL DESCRIPTION:

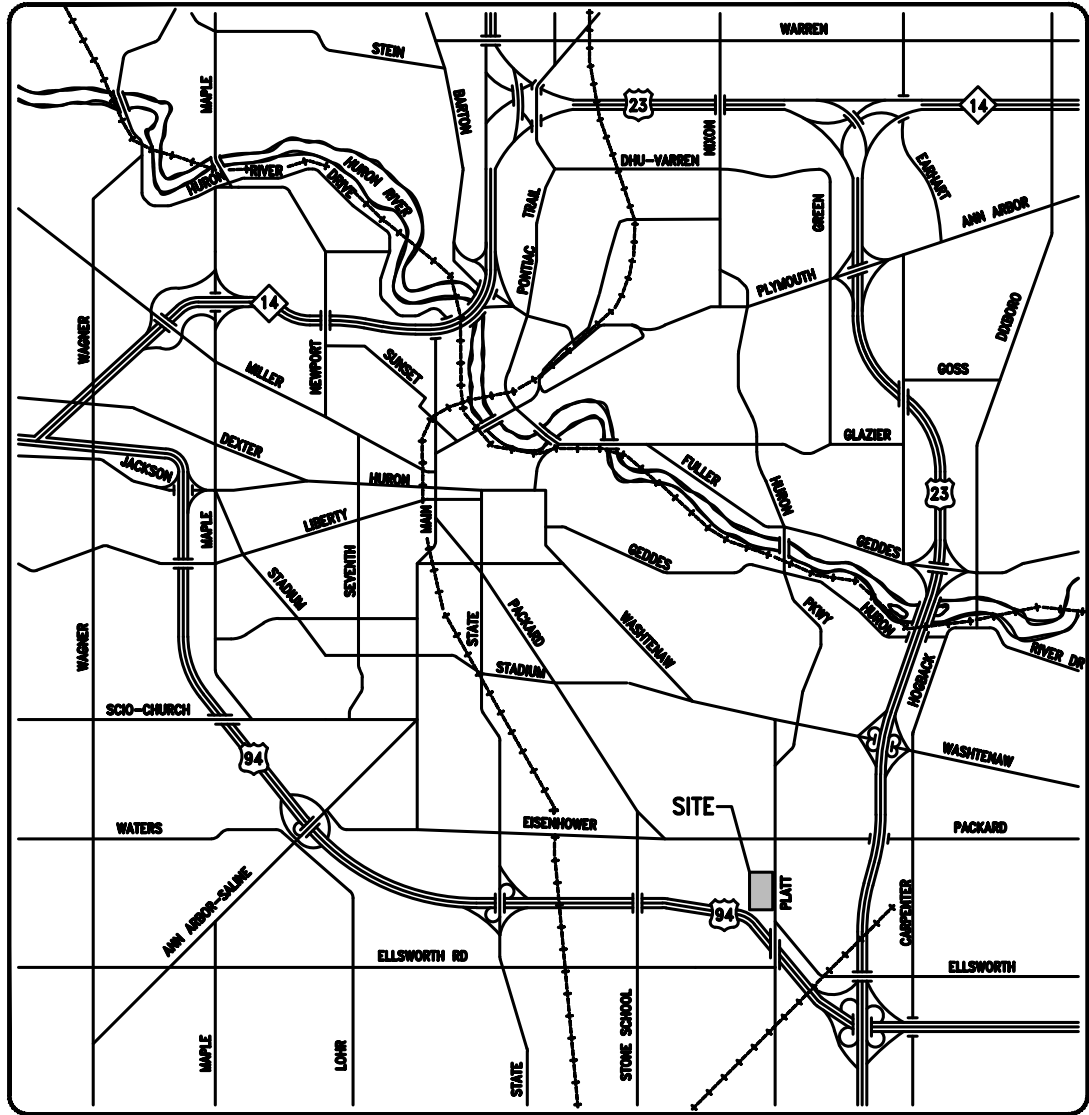
(LEGAL DESCRIPTION PER WASHTENAW COUNTY)

3680 PLATT ROAD  
COM AT TH E 1/4 POST OF SEC TH S 42 RDS IN THE E LINE OF SEC FOR A  
PL OF DEG TH W 80 RDS TH S 15 RDS IN W LINE OF E 1/2 OF SE 1/4 TH E  
80 RDS TH N 15 RDS IN THE E LINE OF SEC TO THE PL OF BEG EXCEPT THAT  
PORTION TAKEN BY COUNTY DRAIN COMM BEING A PART OF E 1/2 OF SE 1/4  
SEC 10 T3S R6E

3696 PLATT ROAD  
PRT SE 1/4 SEC 10, T3S, R6E, COM E 1/4 COR OF SEC 10, TH S 1 DEG W  
941.50 FT FOR POB, TH CONT S 1 DEG W 165 FT, TH N 89 DEG 57 MIN W  
470.65 FT, TH N 12 DEG 23 MIN 30 SEC E 168.88 FT, TH S 89 DEG 57 MIN E  
437.29 FT TO POB, EXC E 33 FT FOR ROW

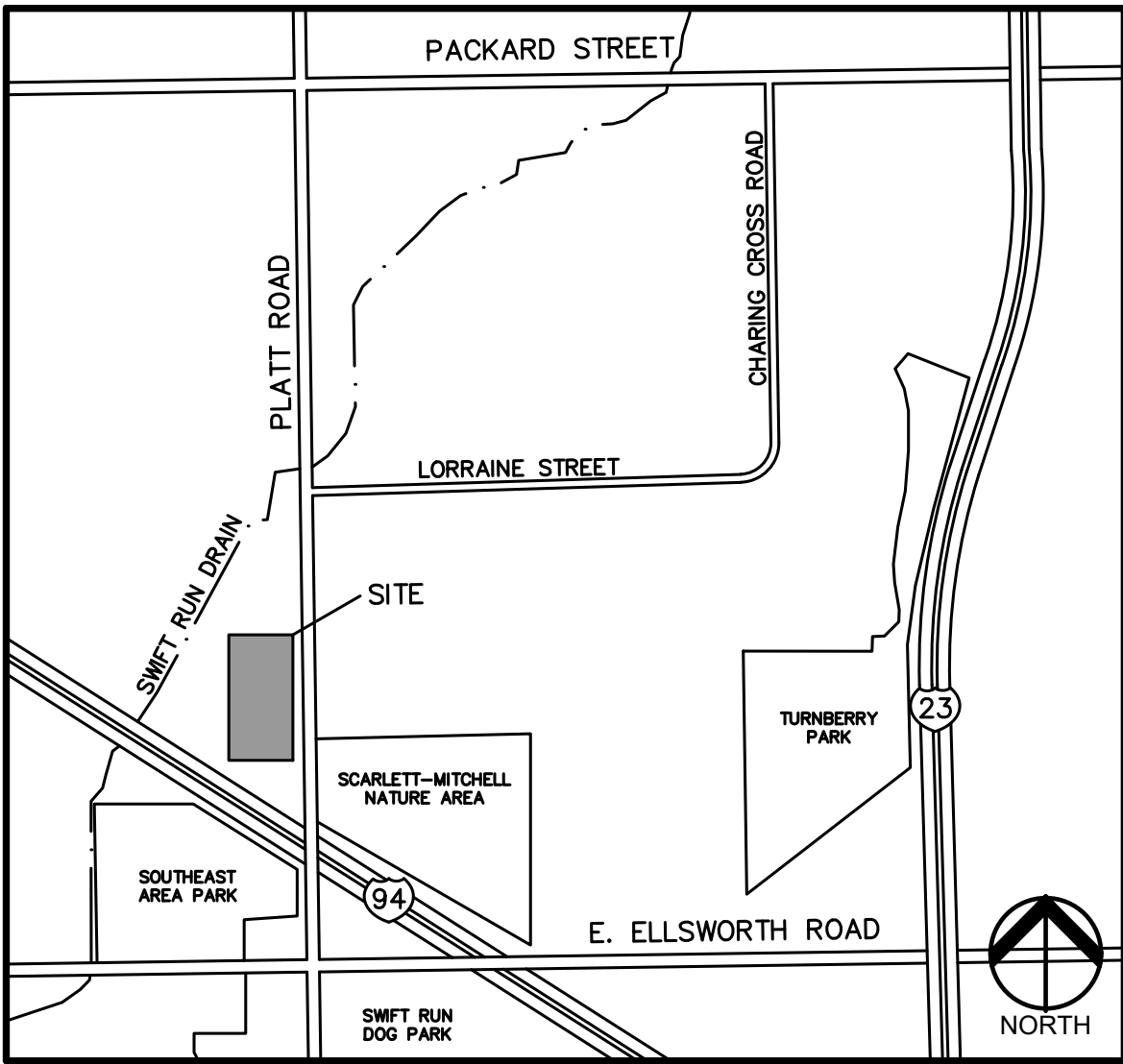
3746 PLATT ROAD  
SEC 10, TH 1 DEG 00 MIN W 1338.58 FT FOR POB, TH S 89 DEG 59 MIN 30  
SEC W 470.65 FT, TH N 1 DEG 00 MIN E 232.56 FT, TH S 89 DEG 57 MIN E  
470 FT M/L, TH S 1 DEG 00 MIN W TO POB, EXC E 33 FT

3788 PLATT ROAD  
THE N 112 FT OF THE SE 1/4 OF THE SE 1/4 LYING NELY OF I-94 ROW IN  
SEC 10, T3S, R6E, SUBJECT TO THE ROW IN PLATT ROAD AND EASEMENTS AND  
ROW RECORDED



OVERALL LOCATION MAP

NO SCALE



DETAILED LOCATION MAP

NO SCALE

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

INDEX OF DRAWINGS	
NUMBER	TITLE
P-0.0	COVER
P-1.0	OVERALL TOPOGRAPHIC SURVEY
P-1.1	NORTH TOPOGRAPHIC SURVEY
P-1.2	SOUTH TOPOGRAPHIC SURVEY
P-1.3	TREE INVENTORY
P-1.4	ALTA/ASCM LAND TITLE SURVEY
P-2.0	NATURAL FEATURES PLAN
P-2.1	NATURAL FEATURES OVERLAY PLAN
P-2.2	NATURAL FEATURES ALTERNATIVES ANALYSIS
P-2.3	DEMOLITION PLAN
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P-7.2	STORM WATER MANAGEMENT CALCULATIONS
P-7.3	WCWRC WORKSHEETS - NORTH BASIN
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P-8.0	NOTES AND DETAILS
L-1	TREE PRESERVATION & REMOVAL PLAN
L-2	TREE INVENTORY
L-3	LANDSCAPE PLAN
A1	TYPICAL UNIT A PLANS
A2	EXTERIOR ELEVATIONS
A3	SAMPLE CLUSTER
PM-1	PHOTOMETRIC PLAN
PM-2	PHOTOMETRIC PLAN

REVISIONS	
DESCRIPTION	DATE
SITE PLAN SUBMITTAL	1/13/2022
WASHTENAW COUNTY WATER RESOURCE COMMISSION REVIEW	1/13/2022
WCWRC/CITY OF ANN ARBOR RESUBMITTAL	4/7/2022

DESIGN TEAM

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ARCHITECT	LANDSCAPE ARCHITECT
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PEA  
GROUP



# OVERALL TOPOGRAPHIC SURVEY

LAND SITUATED IN THE CITY OF ANN ARBOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

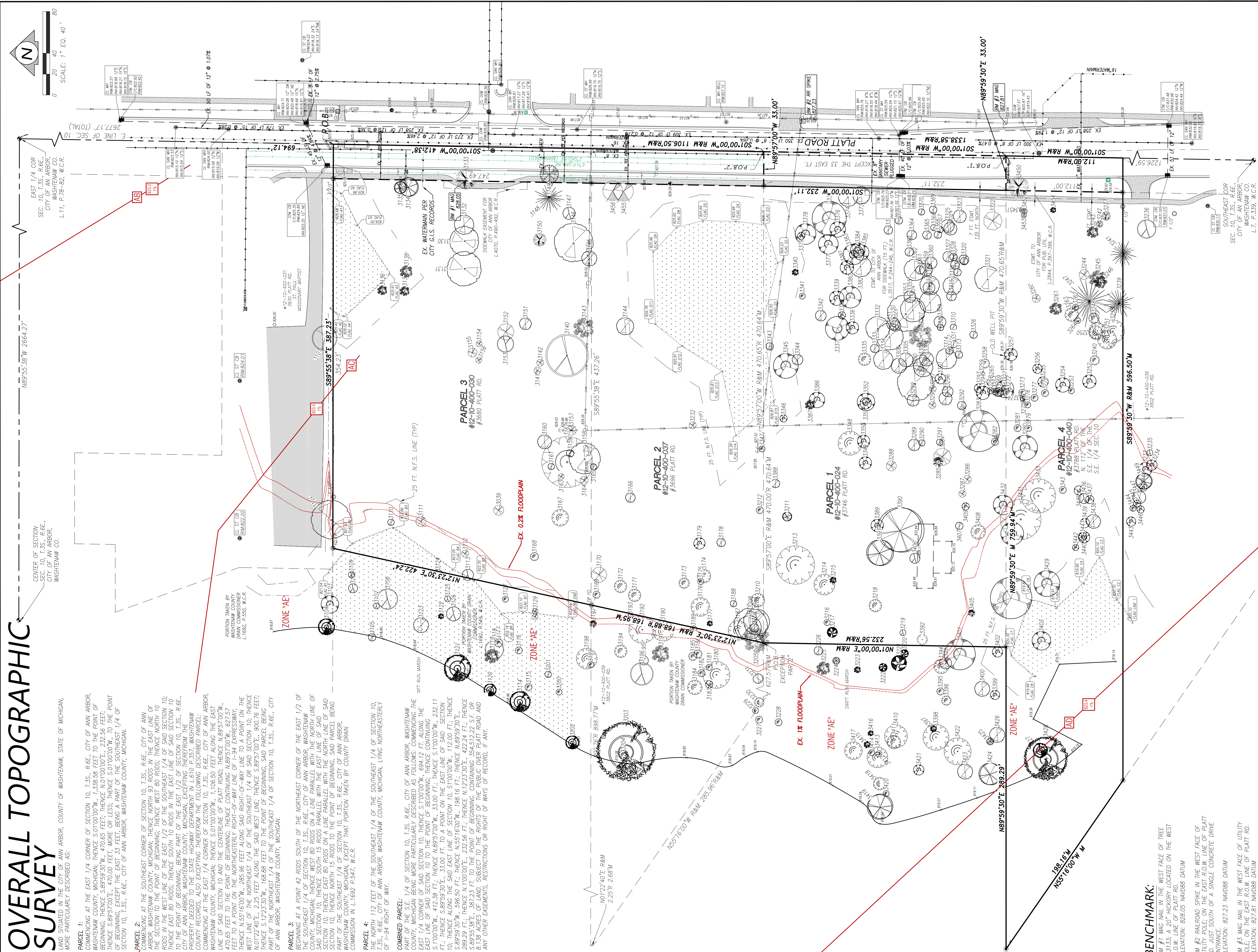
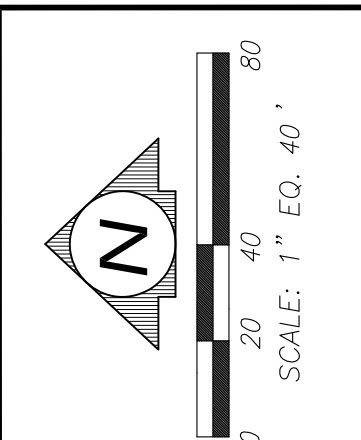
**PARCEL 1:** COMMENCING AT THE EAST 1/4 CORNER OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE S.01°00'00"W, 1,338.56 FEET TO THE POINT OF BEGINNING; THENCE S.89°59'30"W, 470.65 FEET; THENCE N.07°00'00"E, 232.56 FEET; THENCE S.89°57'00"E, 470.00 FEET, MORE OR LESS; THENCE S.01°00'00"W, TO THE POINT OF BEGINNING, EXCEPT THE EAST 3.5 FEET BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, COUNTY OF WASHTENAW COUNTY, MICHIGAN.

**PARCEL 2:** COMMENCING AT THE SOUTHEAST CORNER OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 93 RODS IN THE EAST LINE OF THE SECTION 10 TO THE POINT OF BEGINNING; THENCE WEST 80 RODS, THENCE NORTH 10 RODS, THENCE EAST 80 RODS, THENCE SOUTH 10 RODS IN THE EAST LINE OF SAID SECTION 10; TO THE POINT OF BEGINNING, BEING PART OF THE EAST 1/2 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, EXCEPT THEREFROM THE PROPERTY DEEDED TO THE STATE HIGHWAY DEPARTMENT IN L.610 P.357, WASHTENAW COUNTY RECORDS, ALSO EXCEPT THEREFROM THE FOLLOWING DESCRIBED PARCEL: COMMENCING AT THE EAST 1/4 CORNER OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE S.01°00'00"W, 1,106.50 FEET ALONG THE EAST LINE OF SAID SECTION 10 AND THE CENTERLINE OF PLATT ROAD, THENCE N.89°57'00"W, 1,099.50 FEET TO THE POINT OF BEGINNING; THENCE S.89°59'30"W, 470.65 FEET TO THE POINT OF BEGINNING; THENCE N.55°16'00"W, 285.96 FEET ALONG SAID RIGHT-OF-WAY LINE TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OR SAID SECTION 10; THENCE N.01°22'40"E, 2.25 FEET ALONG THE SAID WEST LINE; THENCE S.89°57'00"E, 900.76 FEET; THENCE S.12°23'30"N, 168.88 FEET TO THE POINT OF BEGINNING, SAID PARCEL BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

**PARCEL 3:** BEGINNING AT A POINT 42 RODS SOUTH OF THE NORTHEAST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE WEST 80 RODS ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION 10; THENCE SOUTH 15 RODS PARALLEL WITH THE EAST LINE OF SAID SECTION 10; THENCE NORTH 15 RODS ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION 10; THENCE EAST 15 RODS TO THE POINT OF BEGINNING, SAID PARCEL BEING PART OF THE SOUTHEAST 1/4 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, EXCEPT THAT PORTION TAKEN BY COUNTY DRAIN COMMISSION IN L.1682 P.547, W.C.R.

**PARCEL 4:** THE NORTH 112 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, LYING NORTHEASTERLY OF I-94 RIGHT OF WAY.

**COMBINED PARCEL:** PART OF THE S.E. 1/4 OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING THE EAST 1/4 CORNER OF SAID SECTION 10; THENCE S.1°00'00"W, 694.12 FT. ALONG THE EAST LINE OF SAID SECTION 10 TO THE POINT OF BEGINNING; THENCE CONTINUING S.1°00'00"W, 412.38 FT.; THENCE N.89°57'00"W, 33.00 FT.; THENCE S.1°00'00"W, 232.11 FT.; THENCE ALONG THE SAID EAST LINE OF SECTION 10, S.1°00'00"W, 1,120.00 FT.; THENCE S.89°59'30"W, 470.65 FEET TO THE POINT OF BEGINNING; THENCE N.55°16'00"W, 285.96 FEET TO THE POINT OF BEGINNING; THENCE S.89°57'00"E, 900.76 FEET TO THE POINT OF BEGINNING, CONTAINING 354,512.22 S.F. OR 8.138 ACRES OF LAND, SUBJECT TO THE RIGHTS OF THE PUBLIC OVER PLATT ROAD AND ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHT OF WAYS OF RECORD, IF ANY.



## BENCHMARK:

BM #1 MAG NAIL IN THE WEST FACE OF TREE #1133, 20" WICKOPY LOCATED ON THE WEST R.O.W. LINE OF PLATT RD.  
ELEVATION: 828.05 NAVD88 DATUM

BM #2 RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE CONCRETE DRIVE ENTRANCE.  
ELEVATION: 827.23 NAVD88 DATUM

BM #3 MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD.  
ELEVATION: 827.81 NAVD88 DATUM

## LEGEND:

- EXISTING GRAVEL
- EXISTING PAPER STONE
- EXISTING BUILDING
- RECORD DISTANCE
- MEASURED DISTANCE
- PLAT DISTANCE
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING OVERHEAD WIRES
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING WATER SHUT OFF
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING GAS SHUT OFF
- EXISTING SANITARY STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING DOWN SPOUT
- EXISTING UTILITY PEDESTAL
- EXISTING BOULDER RET. WALL
- EXISTING GRADE

NO.	DATE	DESCRIPTION	BY	SEAL
1	12/9/21	REV. FLOODPLAIN & UTIL	PCR	
2	3/16/22	REV. PAGE NUMBER	PCR	



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**TROWBRIDGE LAND HOLDING LLC**  
2617 BEACON HILL DRIVE  
AUBURN HILLS, MI 48326  
(248) 373-5050

**OVERALL TOPOGRAPHIC SURVEY**  
PART OF THE SOUTHEAST 1/4 CORNER OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

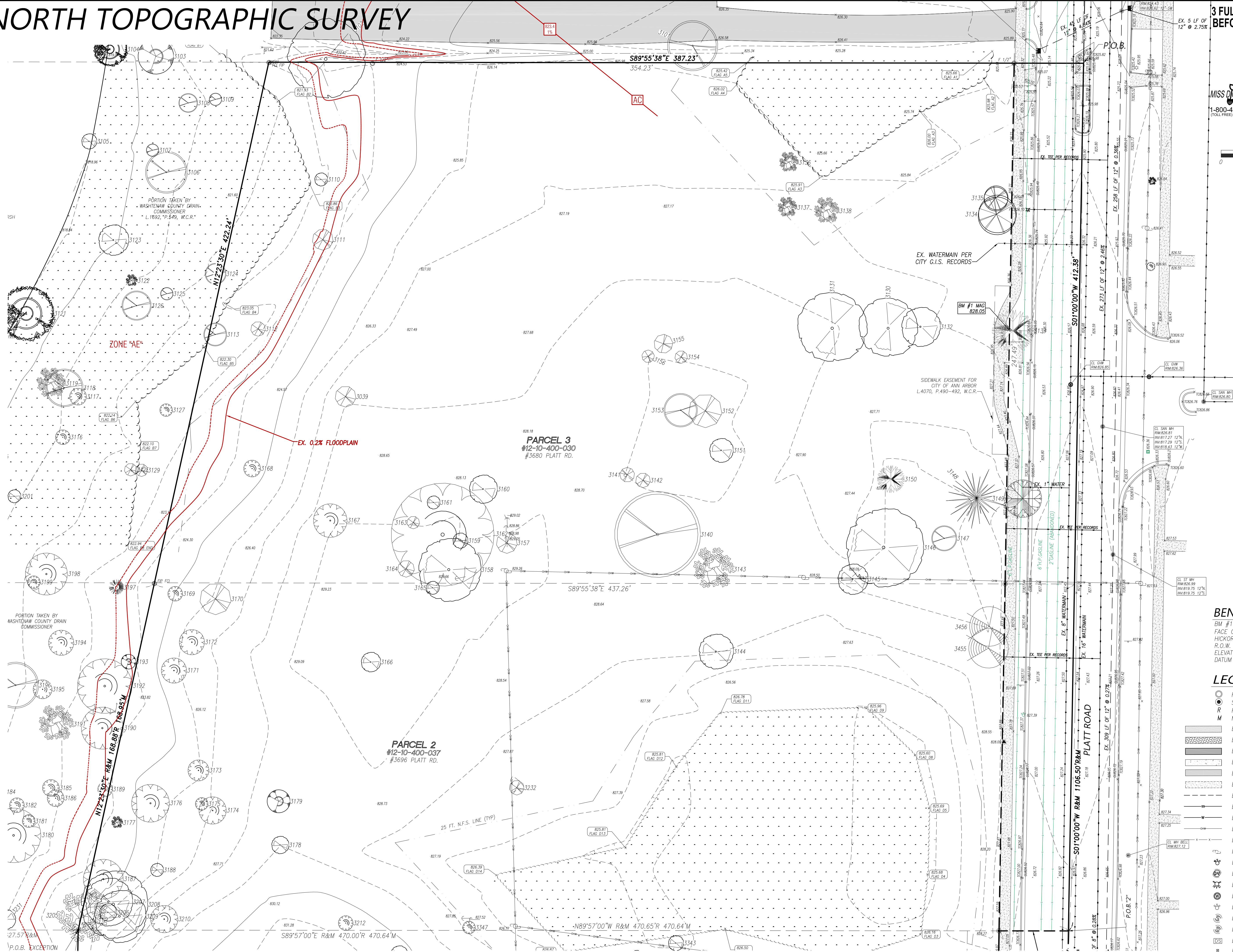
DATE 5/14/20	SCALE 1"=40'	DRAWN B.G.R.
JOB # 19-178	PAGE P-10	CHECK: G.H.R.

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# NORTH TOPOGRAPHIC SURVEY



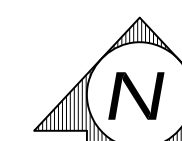
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# NORTH TOPOGRAPHIC SURVEY

**NORTH TOPOGRAPHIC SURVEY**

**PARCEL 2.** COMM. AT THE S.E. COR. OF SEC. 10, T.3S., R.6E., CITY OF ANN ARBOR, MICH.; TH. N. 93 ROADS IN THE E. LINE OF THE P.35TH W.C.R. TH. N. 80 ROADS IN THE W. LINE OF THE E. 1/2 OF SEC. 10, T.3S., R.6E., EXCEPTING THE S.D.N. L.810 P.35TH W.C.R., ALSO EXCEPTING EXCEPT THAT PORTION TAKEN BY C.D.C.

**PARCEL 3.** BEGINNING AT A POINT 43' WEST OF THE N.E. CORNER OF THE E. 1/2 OF THE SEC. 10, T.3S., R.6E., CITY OF ANN ARBOR, MICH.; TH. N. 93 ROADS IN THE E. LINE OF THE P.35TH W.C.R. PARALLEL WITH THE E. LINE OF SAID ROAD; TH. N. 80 ROADS ON THE W. LINE OF SAID ROAD; TH. N. 80 ROADS PARALLEL WITH THE E. LINE OF SAID ROAD; EXCEPT THAT PORTION TAKEN BY C.D.C. N. 1,1692

PREPARED FOR:  
TROWBRIDGE LAND HOLDING LLC


























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SEARCH

## BENCHMARK

BM #1 MAG NAIL IN THE WEST  
FACE OF TREE #3133; A 20"  
HICKORY LOCATED ON THE WEST  
R.O.W. LINE OF PLATT RD.  
ELEVATION: 828.05 NAVD88  
DATUM

**LEGEND:**

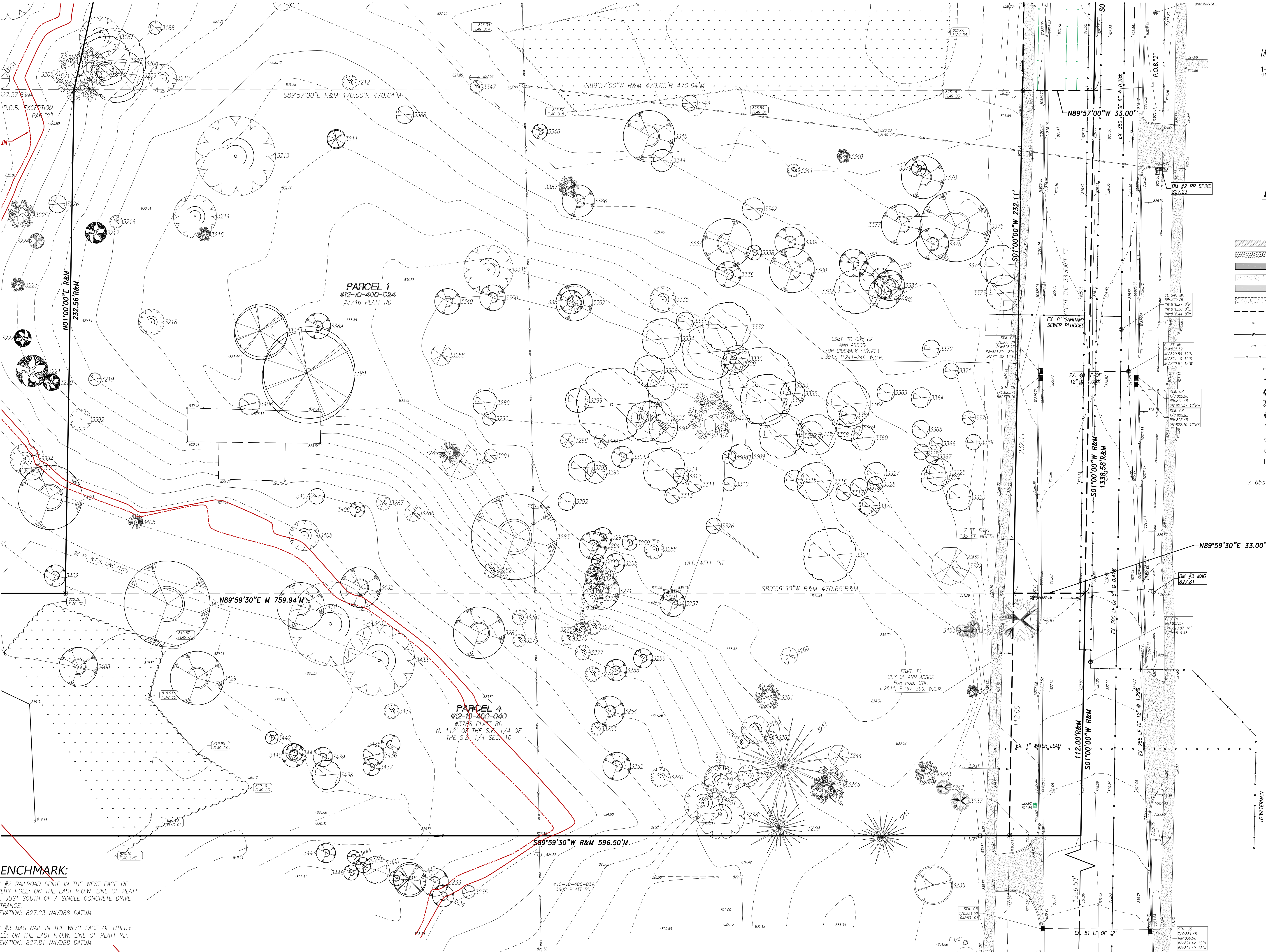
- |   |                             |
|---|-----------------------------|
|  | FOUND IRON                  |
|  | SET IRON                    |
|  | RECORD DISTANCE             |
|  | MEASURED DISTANCE           |
|  | EXISTING GRAVEL             |
|  | EXISTING PAVER STONE        |
|  | EXISTING BUILDING           |
|  | EXISTING CONCRETE           |
|  | EXISTING ASPHALT            |
|  | EXISTING LANDSCAPED AREA    |
|  | EXISTING STORM SEWER        |
|  | EXISTING SANITARY SEWER     |
|  | EXISTING WATERMAIN          |
|  | EXISTING OVERHEAD WIRES     |
|  | EXISTING FENCE              |
|  | EXISTING UTILITY POLE       |
|  | EXISTING WATER SHUT OFF     |
|  | EXISTING GATE VALVE         |
|  | EXISTING HYDRANT            |
|  | EXISTING WELL               |
|  | EXISTING GAS SHUT OFF       |
|  | EXISTING SANITARY STRUCTURE |
|  | EXISTING STORM STRUCTURE    |
|  | EXISTING DOWN SPOUT         |
|  | EXISTING UTILITY PEDESTAL   |
|  | EXISTING GRADE              |

x 655.00

[illegible]



SOUTH TOPOGRAPHIC SURVEY



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**SOUTH TOPOGRAPHIC SURVEY**

PARCEL 1: COMMENCING AT THE E. 1/4 COR. OF SEC. 10, T.3S., R.6E., CITY OF ANN ARBOR, WASHENAW CO., MICH.; THENCE S.01°00'00"W, 1.338.58 FT. TO THE P.O.B.; THENCE S.89°59'30"W, 470.65 FT.; THENCE N.01°00'00"E, 232.56 FT.; THENCE S.89°57'00"E, 470.00 FT.; MORE OR LESS; THENCE S.01°00'00"W, TO THE P.O.B., EXCEPT THE E. 33 FT., BEING A PART OF THE S.E. 1/4 OF SEC. 10, T.3S., R.6E., CITY OF ANN ARBOR, WASHENAW CO., MICH.

PARCEL 4: THE N. 112 FEET OF THE S.E. 1/4 OF SEC. 10, T.3S., R.6E., CITY OF ANN ARBOR, WASHENAW CO., MICH., LYING N.E. OF 1-34 R.O.W.

**PREPARED FOR:**  
**TROWBRIDGE LAND HOLDING LLC**  
2617 BEACON HILL DR.  
AUBURN HILLS, MI 48326  
(248) 373-5050

**SEAL:**

NO.	DATE	DESCRIPTION	BY	CHK
1	12/15/21	REV. FLOODPLAN & UTIL.	BGR	
2	12/15/22	REV. PAGE NUMBER	BGR	

**SCALE:** 1"=20' **DRAWN:** B.G.R.  
**DATE:** 5/14/20 **CHECK:** G.H.R.  
**JOB #** 19-178 **PAGE:** P-1.2



# TREE INVENTORY

TREE TABLE		
#	DESC.	ELEV.
3039	10" WALNUT	827.90
3101	24" MAPLE	826.73
3102	14" 22" ELM	824.14
3103	17" BOXELDER	820.73
3104	16" WILLOW	819.66
3105	7" ELM	819.19
3106	7" 13" MAPLE	820.77
3107	6" MAPLE	820.41
3108	9" MAPLE	820.76
3109	6" MAPLE	821.14
3110	6" ELM	822.85
3111	10" WALNUT	823.49
3112	7" WALNUT	822.82
3113	11" MAPLE	822.42
3114	20" WILLOW	819.44
3115	7" CHERRY	820.11
3116	7" CHERRY	821.09
3117	8" CHERRY	821.70
3118	18" MAPLE	821.09
3119	6" 9" APPLE	820.64
3120	12" WILLOW	819.18
3121	10" 16" WILLOW	819.20
3122	6" APPLE	821.04
3123	14" ELM	819.90
3124	10" MAPLE	822.18
3125	6" MAPLE	821.63
3126	14" MAPLE	821.62
3127	6" CHERRY	822.48
3128	6" WALNUT	822.52
3129	6" WALNUT	822.61
3130	11" 16" ELM	827.63
3131	14" ELM	828.05
3132	18" ELM	827.12
3133	20" HICKORY	826.94
3134	9" 10" POPLAR	826.78
3135	12" POPLAR	826.78
3136	10" APPLE	826.75
3137	10" APPLE	827.14
3138	6" 7" APPLE	826.91
3140	6" 6" 7" 7" 7" MAPLE	828.57
3141	7" WALNUT	829.02
3142	7" WALNUT	829.08
3143	10" 11" APPLE	828.30
3144	16" ELM	828.03
3145	6" 8" ELM	829.26
3146	18" 18" ELM	829.03
3147	12" MAPLE	829.48
3148	14" PINE	828.92
3149	18" OAK	827.56
3150	13" HICKORY	829.52
3151	11" ELM	829.52
3152	16" WALNUT	829.47
3153	16" MAPLE	829.30
3154	6" WALNUT	828.96
3155	9" WALNUT	828.72
3156	6" WALNUT	828.98
3157	10" WALNUT	829.34
3158	6" 6" 7" 10" ELM	829.61
3159	7" ELM	828.98
3160	13" ELM	828.81
3161	6" ELM	828.82
3162	9" 9" 10" 10" 11" CHERRY	829.11
3163	6" WALNUT	828.95
3164	8" WALNUT	829.96
3165	6" ELM	829.59

TREE TABLE		
#	DESC.	ELEV.
3166	9" ELM	829.80
3167	16" CHERRY	828.92
3168	8" CHERRY	824.38
3169	7" CHERRY	825.03
3170	15" WALNUT	826.12
3171	6" 6" CHERRY	825.83
3172	6" 6" CHERRY	826.49
3173	10" CHERRY	825.77
3174	6" 7" CHERRY	827.06
3175	6" CHERRY	826.65
3176	6" 12" CHERRY	825.60
3177	6" APPLE	824.17
3178	8" ELM	828.98
3179	11" BOXELDER	828.76
3180	6" CHERRY	822.12
3181	6" CHERRY	822.41
3182	7" CHERRY	822.10
3183	7" BOXELDER	822.08
3184	7" 7" CHERRY	821.99
3185	8" CHERRY	822.84
3186	8" CHERRY	822.91
3187	6" 6" 7" CHERRY	824.47
3188	6" ELM	826.02
3189	7" CHERRY	823.70
3190	6" 7" 7"CHERRY	823.58
3191	9" 9" APPLE	822.91
3192	6" 6" 7" 7" CHERRY	823.56
3193	7" BOXELDER	823.63
3194	6" 6" CHERRY	822.51
3195	9" CHERRY	822.28
3196	11" 11" MAPLE	821.85
3197	7" MULBERRY	823.41
3198	9" 11" CHERRY	822.50
3199	6" CHERRY	822.23
3200	6" CHERRY	820.33
3201	6" ELM	820.88
3202	6" 7" WILLOW	819.04
3203	10" 12" 16" 19" WILLOW	819.82
3204	9" CHERRY	820.62
3205	13" 13" APPLE	825.13
3206	8" ELM	825.66
3207	8" 14" ELM	825.75
3208	9" 10" 12" ELM	825.86
3209	11" 13" ELM	826.39
3210	13" CHERRY	828.46
3211	9" POPLAR	831.85
3212	7" CHERRY	830.66
3213	6" 9" 11" 11" CHERRY	831.37
3214	6" 7" 7" CHERRY	831.21
3215	7" APPLE	831.31
3216	6" CHERRY	830.03
3217	10" HAWTHORNE	829.49
3218	6" 6" CHERRY	831.31
3219	6" MAPLE	829.04
3220	8" HAWTHORNE	826.95
3221	15" HAWTHORNE	826.05
3222	8" HAWTHORNE	826.22
3223	7" APPLE	825.99
3224	7" OAK	825.97
3225	6" 8" APPLE	824.51
3226	8" ELM	826.20
3227	7" CHERRY	820.87
3228	7" CHERRY	821.05
3229	6" CHERRY	821.20
3230	9" CHERRY	821.83

TREE TABLE		
#	DESC.	ELEV.
3231	9" ELM	823.05
3232	7" WALNUT	828.06
3233	13" BOXELDER	823.16
3234	10" BOXELDER	823.64
3235	6" MAPLE	823.89
3236	18" MAPLE	831.90
3237	9" HICKORY	832.19
3238	11" 11" CHERRY	828.99
3239	14" PINE	830.86
3240	9" CHERRY	826.78
3241	12" PINE	832.41
3242	7" HICKORY	832.35
3243	6" 6" APPLE	832.74
3244	10" WALNUT	833.44
3245	8" 9" APPLE	832.72
3246	6" 7"APPLE	832.56
3247	6" 6" 6" 6" PINE	832.24
3248	10" CHERRY	831.38
3249	16" CHERRY	829.58
3250	13" CHERRY	828.61
3251	9" 9" CHERRY	827.66
3252	13" BOXELDER	825.77
3253	6" CHERRY	826.38
3254	14" BOXELDER	827.07
3255	10" BOXELDER	828.10
3256	9" BOXELDER	828.58
3257	12" BOXELDER	834.99
3258	9" CHERRY	835.40
3259	7" BOXELDER	835.38
3260	8" WALNUT	834.93
3261	6" 6" APPLE	833.28
3262	6" CHERRY	832.56
3263	6" 7" CHERRY	832.38
3264	6" CHERRY	831.45
3265	9" BOXELDER	834.65
3266	6" BOXELDER	834.66
3267	7" CHERRY	834.47
3268	8" CHERRY	834.48
3269	9" CHERRY	834.53
3270	7" CHERRY	834.14
3271	6" 11" BOXELDER	833.77
3272	10" CHERRY	833.69
3273	7" CHERRY	829.57
3274	7" CHERRY	829.08
3275	6" CHERRY	829.06
3276	6" CHERRY	828.76
3277	7" CHERRY	828.13
3278	7" CHERRY	827.42
3279	6" CHERRY	826.63
3280	9" 15" BOXELDER	825.52
3281	7" CHERRY	827.04
3282	7" CHERRY	827.75
3283	20" 20" BOXELDER	832.75
3284	17" WALNUT	832.63
3285	10" MULBERRY	832.42
3286	8" WALNUT	826.71
3287	7" WALNUT	825.45
3288	10" WALNUT	835.39
3289	11" ELM	836.16
3290	6" ELM	836.01
3291	6" ELM	834.52
3292	8" ELM	835.69
3293	9" BOXELDER	835.26
3294	13" BOXELDER	835.29
3295	12" ELM	835.41

TREE TABLE		
#	DESC.	ELEV.
3296	10" ELM	835.30
3297	7" WALNUT	835.49
3298	7" WALNUT	835.56
3299	11" ELM	836.66
3300	6" 9" 9" 9" ELM	836.73
3301	10" BOXELDER	835.49
3302	9" 9" ELM	836.63
3303	11" CEDAR	837.21
3304	13" ELM	836.25
3305	13" ELM	836.27
3306	14" ELM	835.42
3307	11" 13" APPLE	836.59
3308	6" ELM	834.96
3309	11" ELM	834.37
3310	6" ELM	834.95
3311	7" ELM	835.27
3312	7" ELM	835.63
3313	7" ELM	835.60
3314	9" 10" ELM	835.80
3315	9" ELM	834.14
3316	17" ELM	833.56
3317	7" ELM	831.97
3318	8" ELM	831.25
3319	7" ELM	831.66
3320	9" ELM	831.64
3321	6" 7" 11" ELM	834.30
3322	18" WALNUT	830.45
3323	12" ELM	829.68
3324	6" 6" ELM	830.11
3325	6" 6" ELM	830.13
3326	7" ELM	835.05
3327	10" ELM	830.96
3328	7" ELM	831.06
3329	10" ELM	833.01
3330	12" ELM	831.84
3331	8" 8" 9" ELM	832.97
3332	9" 13" ELM	831.37
3333	8" ELM	833.37
3334	9" 9" ELM	834.91
3335	6" 6" CHERRY	832.22
3336	12" BOXELDER	829.87
3337	10" 13" BOXELDER	829.05
3338	7" BOXELDER	829.02
3339	14" BOXELDER	828.32
3340	7" APPLE	826.72
3341	6" CHERRY	826.98
3342	10" ELM	828.02
3343	7" ELM	825.72
3344	10" ELM	828.05
3345	12" 12" BOXELDER	827.59
3346	7" BOXELDER	827.81
3347	6" CHERRY	827.79
3348	6" 8" 9" CHERRY	834.34
3349	12" BOXELDER	835.07
3350	12" BOXELDER	835.05
3351	11" BOXELDER	834.90
3352	6" 11" BOXELDER	835.00
3353	15" 19" ELM	831.96
3354	10" 13" ELM	832.60
3355	11" ELM	831.36
3356	8" 12" ELM	832.74
3357	11" ELM	831.81
3358	8" 10" ELM	831.88
3359	12" ELM	831.14
3360	11" ELM	830.77

TREE TABLE		
#	DESC.	ELEV.
3361	8" ELM	830.81
3362	8" 12" ELM	830.71
3363	8" ELM	829.24
3364	9" ELM	829.49
3365	8" ELM	829.72
3366	6" ELM	829.98
3367	6" ELM	830.13
3368	7" ELM	830.10
3369	7" ELM	829.23
3370	6" ELM	829.11
3371	7" ELM	829.25
3372	8" ELM	828.70
3373	16" ELM	826.90
3374	18" ELM	827.08
3375	9" 10" 14" BOXELDER	827.14
3376	15" BOXELDER	827.58
3377	7" 12" BOXELDER	827.10
3378	9" 11" BOXELDER	826.55
3379	7" BOXELDER	826.55
3380	10" 11" BOXELDER	828.92
3381	6" 7" BOXELDER	827.96
3382	20" ELM	828.24
3383	10" 10" BOXELDER	827.74
3384	14" BOXELDER	827.86
3385	15" BOXELDER	827.92
3386	15" BOXELDER	828.91
3387	10" APPLE	828.95
3388	8" ELM	830.45
3389	12" BOXELDER	833.42
3390	14" 14" 17" POPLAR	832.95
3391	26" POPLAR	832.90
3392	10" LOCUST	826.58
3393	11" ELM	823.15
3394	7" 7" CHERRY	822.98
3395	7" CHERRY	822.06
3396	9" CHERRY	821.75
3397	7" APPLE	820.85
3398	6" 6" 6" 7" CHERRY	820.73
3399	9" BOXELDER	819.84
3400	14" ELM	820.65
3401	13" 17" BOXELDER	822.67
3402	10" BOXELDER	821.16
3403	18" BOXELDER	820.01
3404	7" 7" 7" 7" 12" BOXELDER	821.52
3405	7" MULBERRY	823.04
3406	10" MAPLE	832.61
3407	7" ELM	824.89
3408	14" CHERRY	823.84
3409	7" BOXELDER	824.68
3410	6" 8" 8" CHERRY	821.29
3411	6" 7" CHERRY	821.11
3412	6" CHERRY	820.68
3413	6" 7" 7" CHERRY	820.47
3414	6" CHERRY	820.84
3415	7" APPLE	821.15
3416	6" APPLE	821.69
3417	8" 9" CHERRY	820.75
3418	6" 6" CHERRY	821.05
3419	25" POPLAR	820.31
3420	6" CHERRY	820.99
3421	10" BOXELDER	821.20
3422	6" 6" 7" 7"CHERRY	820.35
3423	14" ELM POOR	820.41
3424	22" POPLAR	820.45
3425	7" OAK	820.84

TREE TABLE		
#	DESC.	ELEV.
3426	14" ELM	820.94
3427	14" WILLOW	819.41
3428	42" WILLOW	819.29
3429	25" BOXELDER	820.92
3430	22" BOXELDER	822.65
3431	6" 6" 8" 9" 10" CHERRY	822.65
3432	19" BOXELDER	823.99
3433	6" 7" 10" 10" CHERRY	821.97
3434	7" CHERRY	821.52
3435	9" BOXELDER	821.30
3436	10" MAPLE	821.04
3437	8" BOXELDER	821.37
3438	13" ELM	821.26
3439	9" BOXELDER	821.28
3440	11" BOXELDER	820.84
3441	8" BOXELDER	820.92
3442	6" BOXELDER	820.87
3443	9" BOXELDER	821.48
3444	6" BOXELDER	821.41
3445	7" BOXELDER	821.95
3446	7" BOXELDER	822.00
3447	12" ELM	822.41
3448	7" BOXELDER	822.96
3449	16" POPLAR	822.94
3450	20" HICKORY	828.99
3451	6" HICKORY	832.17
3452	6" HICKORY	832.50
3453	6" HICKORY	832.92
3454	6" APPLE	833.24
3455	13" CEDAR	828.91
3456	13" CEDAR	829.03



9 RIGHTS OF TENANTS NOW IN POSSESSION OF THE LAND UNDER UNRECORDED LEASES OR OTHERWISE. APPLIES & EFFECTS, NOTHING TO PLOT.

10 INTEREST OF STATE HIGHWAY COMMISSIONER OF THE STATE OF MICHIGAN AS DISCLOSED IN INSTRUMENT(S) RECORDED IN LIBER 610, PAGE 357, WASHTENAW COUNTY RECORDS. PARCEL 1 APPLIES & EFFECTS, PLOTTED AS SHOWN. WEST OF MARSH, ORIGINAL TAKING FOR HIGHWAY.

11 INTEREST OF STATUTORY DRAINAGE BOARD FOR THE SWIFT RUN DRAIN AS DISCLOSED IN INSTRUMENT(S) RECORDED IN LIBER 1692, PAGE 547, WASHTENAW COUNTY RECORDS. APPLIES & EFFECTS, PLOTTED AS SHOWN.

12 PUBLIC ROAD EASEMENT FOR SIDEWALK AS DISCLOSED BY INSTRUMENT(S) RECORDED IN LIBER 3517, PAGE 244, WASHTENAW COUNTY RECORDS. PARCEL(S) 1, 2 APPLIES & EFFECTS, PLOTTED AS SHOWN. ONLY TO PARCEL 1.

13 GRANT OF EASEMENT FOR SIDEWALKS AS DISCLOSED BY INSTRUMENT(S) RECORDED IN LIBER 4070, PAGE 490, WASHTENAW COUNTY RECORDS. PARCEL 3 APPLIES & EFFECTS, PLOTTED AS SHOWN.

14 AFFIDAVIT REGARDING LEGAL DESCRIPTION AS DISCLOSED IN INSTRUMENT(S) RECORDED IN LIBER 2844, PAGE 397, WASHTENAW COUNTY RECORDS. PARCEL 4 APPLIES & EFFECTS, PLOTTED AS SHOWN.

15 RIGHTS OF THE PUBLIC AND OF ANY GOVERNMENTAL UNIT IN ANY PART OF THE SUBJECT PROPERTY TAKEN, USED OR DEEDED FOR STREET, ROAD OR HIGHWAY PURPOSES.

ZONING DATA				
REQUIRED		OBSERVED	PARKING REQUIREMENTS	
ZONING ITEM		VACANT LOT		
PERMITTED USE		537.207S/F		
MINIMUM LOT AREA (SQ.FT.)			TYPE	EXISTING REQUIRED
MAX OPEN SPACE			REGULAR	
MAX BUILDING HEIGHT			HANDICAP	
BUILDING SETBACKS			TOTAL	
FRONT			CONTACT: ZONING ORD. ONLINE	
SIDE				
REAR				
NOTES: R3 TOWNHOUSE DWELLING DISTRICT			DATE CONTACTED:	
			PHONE / FAX / EMAIL:	

BEARINGS SHOWN HEREON ARE BASED ON EAST LINE OF SECTION 10

**LAND AREA**  
TOTAL AREA (NET)  
337,207.39 S.F. / OR 7.741 AC.

**VICINITY MAP**  
NOT TO SCALE

PACKARD RD.  
PLATT RD.  
LORRAINE ST.  
ELLSWORTH RD.

**SITE**

**PARKING STALLS**  
PARCEL  
VACANT  
WOODED LOT

Name	Area
PARCEL "1"	101,665.44S.F. OR 2.334 AC.
PAR. "2" GROSS	74,884.10S.F. OR 1.719 AC.
PAR. "2" NET	69,442.46S.F. OR 1.594 AC.
PAR. "3" GROSS	102,014.01S.F. OR 2.342 AC.
PAR. "3" NET	93,846.81S.F. OR 2.154 AC.
PAR. "4" GROSS	75,948.71S.F. OR 1.744 AC.
PAR. "4" NET	72,252.71S.F. OR 1.659 AC.

**A** PUBLIC SIDEWALK OUTSIDE OF EASEMENT

**B** OVERHEAD WIRES LOCATED ON PROPERTY WITH NO EASEMENT

**C** PUBLIC SIDEWALK LOCATED ON PROPERTY

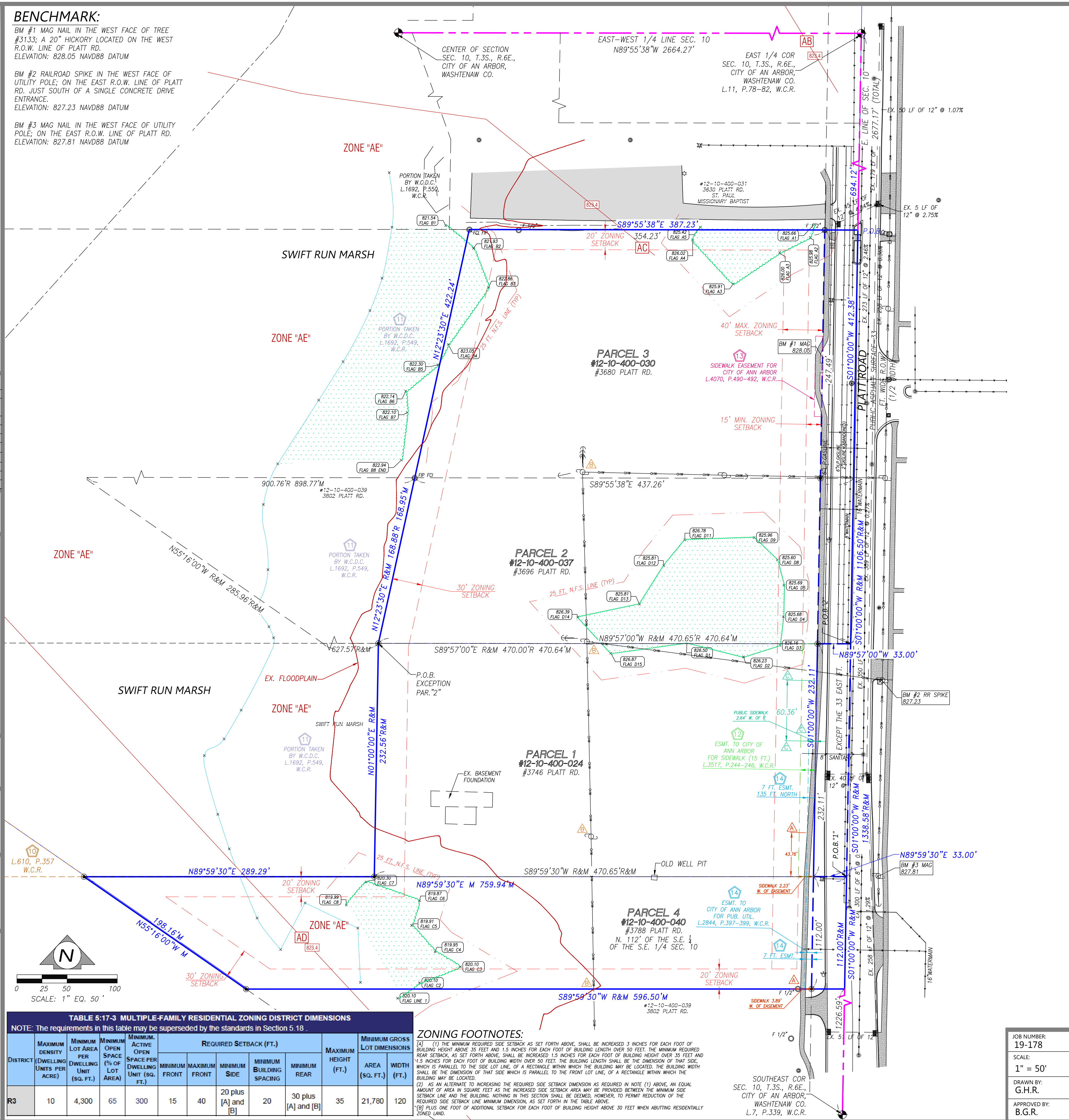
FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT [WWW.MSC.FEMA.GOV](http://WWW.MSC.FEMA.GOV), AND BY GRAPHIC PLOTTING ONLINE, THIS PROPERTY IS LOCATED IN ZONE "AE" & "X" ON FLOOD INSURANCE RATE MAP NUMBER 26161C0402E, COMMUNITY NUMBER 260213, WHICH BEARS AN EFFECTIVE DATE OF 4/3/2012 AND IS IN A SPECIAL FLOOD HAZARD AREA. BY REVIEWING FLOOD MAPS PROVIDED BY THE NATIONAL FLOOD INSURANCE PROGRAM WE HAVE LEARNED THIS COMMUNITY DOES PARTICIPATE IN THE PROGRAM.

○ FOUND IRON -	○ <sup>6.0</sup> EXISTING CLEAN OUT
FCI (FOUND CAPPED IRON),	H.V.C.= HEATING VENTILATION, A/C
FI (FOUND IRON),	SQ. FT., S.F.= SQUARE FEET
FIP (FOUND IRON PIPE)	▲ MONITORING WELL
SCIT IRON - SCI#55923	⑥ PARKING COUNT
R RECORD DISTANCE	⊗ EXISTING HYDRANT
M MEASURED DISTANCE	⊗ EXISTING WELL
— EXISTING WATERMAIN	⑤ EXISTING SANITARY STRUCTURE
— EXISTING OVERHEAD WIRES	⑤ EXISTING STORM STRUCTURE
- - - EXISTING WIRE FENCE	⊗ EXISTING STORM CATCH BASIN
- - - EXISTING VINYL FENCE	⊗ EXISTING MANHOLE (UNKNOWN)
- - - EXISTING STORM SEWER	
⊗ EXISTING UTILITY PED	
☆ EXISTING LIGHT POLE	
EXISTING STREET SIGN	EXISTING CONCRETE
EXISTING UTILITY POLE	EXISTING ASPHALT
EXISTING GATE VALVE	EXISTING BUILDING
⊗ GUY WIRE	
	MAN DOOR
	ELEC. METER

BM #1 MAG NAIL IN THE WEST FACE OF TREE  
#3133; A 20" HICKORY LOCATED ON THE WEST  
R.O.W. LINE OF PLATT RD.  
ELEVATION: 828.05 NAVD88 DATUM

BM #2 RAILROAD SPIKE IN THE WEST FACE OF  
UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT  
RD. JUST SOUTH OF A SINGLE CONCRETE DRIVE  
ENTRANCE.  
ELEVATION: 827.23 NAVD88 DATUM

BM #3 MAG NAIL IN THE WEST FACE OF UTILITY  
POLE; ON THE EAST R.O.W. LINE OF PLATT RD.  
ELEVATION: 827.81 NAVD88 DATUM



PAGE: P - 1.4

LAND SITUATED IN THE CITY OF ANN ARBOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

**PARCEL 1:**  
COMMENCING AT THE EAST 1/4 CORNER OF SECTION 10, T.35., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 01°00'WEST 1,338.58 FEET TO THE POINT OF BEGINNING; THENCE S.89°59'30"W., 470.65 FEET; THENCE N.01°00'E., 232.56 FEET; THENCE S.89°57", 470.00 FEET, MORE OR LESS; THENCE S.01°00"W., TO THE POINT OF BEGINNING, EXCEPT THE EAST 33 FEET, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

**PARCEL 2:** COMMENCING AT THE SOUTHEAST CORNER OF SECTION 10, T.3S., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 93 RODS IN THE EAST LINE OF THE SECTION TO THE POINT OF BEGINNING; THENCE WEST 80 RODS; THENCE NORTH 10 RODS IN THE WEST LINE OF THE SECTION TO THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 10; THENCE EAST 80 RODS TO THE EAST SOUTH 10 RODS IN THE EAST LINE OF SAID SECTION 10 TO THE POINT OF BEGINNING, BEING PART OF THE EAST 1/2 OF SECTION 10, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, EXCEPTING THEREFROM THE PROPERTY DEEDED TO THE STATE HIGHWAY DEPARTMENT IN LIBER 610 PAGE 357, WASHTENAW COUNTY RECORDS, ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL: COMMENCING AT THE EAST 1/4 CORNER OF SECTION 10, T.3S., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE S.01°00'00"W, 1.10650 FEET ALONG THE EAST LINE OF SAID SECTION 10 AND THE CENTERLINE OF PLATT ROAD; THENCE N.89°57'00"W, 470.65 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N.89°57'00"W, 627.57 FEET TO A POINT ON THE NORTHEAST 1/4 OF SECTION 10, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, ALONG SAID RIGHT-OF-WAY LINE TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 10; THENCE N.01°22'40", 2.25 FEET ALONG SAID WEST LINE; THENCE S.89°57'00"E, 900.76 FEET; THENCE S.12°23'30"W, 168.88 FEET TO THE POINT OF BEGINNING, SAID PARCEL BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

**PARCEL 3:**  
BEGINNING AT A POINT 42 RODS SOUTH OF THE NORTHEAST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 10, T.3S., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; THENCE WEST 80 RODS ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION 10; THENCE SOUTH 25 RODS ON A LINE PARALLEL WITH THE EAST LINE OF SAID SECTION 10; THENCE EAST 80 RODS ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION 10; THENCE NORTH 15 RODS TO THE POINT OF BEGINNING, SAID PARCEL BEING PART OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN; EXCEPT THAT PORTION TAKEN BY COUNTY DRAIN COMMISSION IN LIBER 1692 PAGE 547, WASHTENAW COUNTY RECORDS.

PARCEL 4:  
THE NORTH 112 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 3  
SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, LYING  
NORTHEASTERLY OF I-94 RIGHT OF WAY.

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN VANGUARD TITLE COMPANY, COMMITMENT NO. VGA212014, WITH AN EFFECTIVE DATE OF FEBRUARY 26, 2019 AT 8:00 A.M.

BY:	BCR
NO	
UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND VISIBLE	
EVIDENCE OF UTILITIES ARE SHOWN.	
ALL EXISTENCES WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED	
ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS,	
PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED	
SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION	
IS SPECIFICALLY MENTIONED HEREON.	
THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET	
FORTH IN SECTION 3 OF THE 2016 ALTA/NSPS SURVEY REQUIREMENTS.	
THE SUBJECT PROPERTY HAS ACCESS TO PLATT ROAD, A PUBLIC STREET OR HIGHWAY.	
THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.	
THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR	
BUILDING ADDITIONS WITHIN RECENT MONTHS.	
TO PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY	
GAPS, GORES OR OVERLAPS.	
BUILDING AREAS SHOWN HEREON ARE FOR THE FOOTPRINT OF THE BUILDING ONLY.	
NO APPARENT CHANGE IN STREET RIGHT OF WAY LINES EITHER COMELED OR	
PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE	
EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.	
THIS IS VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RECORD OF A	
MICHIGAN/SEAL OF A LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO	
SURVEY MAPS, SKETCHES, OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES	
IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.	
HANDS DETERMINED BY ASTI DATED 6/24/19 OR OTHER ENVIRONMENTAL ISSUES,	
UNLESS OTHERWISE NOTED.	
SIGN NUMBER	

PROJECT NAME		RE		
TROWBRIDGE LAND HOLDINGS, LLC				
3788, 3746, 3696 & 3680 PLATT RD.				
WASHTENAW COUNTY	ANN ARBOR, MI	DATE	3/15/22	

TO: TROWBRIDGE LAND HOLDINGS, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, TO BE DETERMINED ENTITY, AND RODWAN K. RAJJOUN AND ZOKAA K. RAJJOUN, HUSBAND AND WIFE, AND VANGUARD TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B1, 7C, 8, 9, 11, 13, 14, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 14, 2020.

DATE OF PLAT OR MAP: DECEMBER 4, 2020



REGISTERED SURVEYOR: BRADLEY G. REICHERT 10/6/20  
PROFESSIONAL LAND SURVEYOR NO.: 55923 DATE  
STATE OF MICHIGAN

**REICHERT**  
**SURVEYING INC.**

140 Flumerfelt Lane  
Rochester, MI 48306  
484.651.0392 Fax 248.636.7099  
Mail@ReichertSurveying.com



NOTE:  
A GREATER BUFFER FOR CONSTRUCTION FROM THE WETLAND (GENERALLY 10' BEYOND THE 25' BUFFER) WILL BE PROVIDED, THE BUILDINGS HAVE BEEN SEPARATED TO PROVIDE BETTER FIRE ACCESS, AND UNITS IN CONFLICT WITH THE FLOOD PLAIN HAVE BEEN REMOVED. THE CURRENT PLAN, INCLUDES ABOUT 5 UNITS/ACRE, HALF OF 10 UNITS/ACRE ALLOWED IN THIS ZONING DISTRICT. SOME TREES WILL BE REMOVED; HOWEVER, PROTECTION OF TREES OUTSIDE OF THESE AREAS WILL BE MAXIMIZED WITH GRADING, RETAINING WALLS, ETC.

LEGEND

IRON FOUND

IRON SET

NAIL FOUND

NAIL & CAP SET

BRASS PLUG SET

MONUMENT FOUND

MONUMENT SET

SEC. CORNER FOUND

R RECORDED

M MEASURED

C CALCULATED

EXISTING

OH-ELEC

UG-CATV

UG-PHONE

UG-ELEC

WATERMAIN

SANITARY SEWER

STORM SEWER

COMBINED SEWER

POST INDICATOR VALVE

WATER VALVE

MARBOX

UNIDENTIFIED STRUCTURE

SPOT ELEVATION

CONTOUR LINE

FENCE

GUARD RAIL

STREET LIGHT

CONC.

ASPH.

GRAVEL

WETLAND

PROPOSED

ELEC, PHONE OR CABLE TV

UNDERGROUND CABLE TV

TELEPHONE U.G. CABLE

ELECTRIC U.G. CABLE

GAS MAIN

WATERMAIN

SANITARY SEWER

STORM SEWER

COMBINED SEWER

POST INDICATOR VALVE

WATER VALVE

MARBOX

UNIDENTIFIED STRUCTURE

SPOT ELEVATION

CONTOUR LINE

FENCE

GUARD RAIL

STREET LIGHT

CONC.

ASPH.

GRAVEL

WETLAND

REFERENCE DRAWINGS

WATER MAIN

SANITARY SEWER

STORM SEWER

COMBINED SEWER

ELECTRIC

TELEPHONE

GAS

PETROLEUM

CATV

FLOOD PLAIN

OTHER

OTHER

XXXXXXXXXXXX

XXXXXXXXXXXX

XXXXXXXXXXXX

XXXXXXXXXXXX

XXXXXXXXXXXX

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XXXXXXXXXXXX

BENCHMARKS

BM #1

BM #2

BM #3

MAG NAIL IN THE WEST FACE OF TREE #3133; A 20" HICKORY LOCATED ON THE WEST R.O.W. LINE OF PLATT RD.

LOCATED ON THE WEST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE CONCRETE DRIVE ENTRANCE

MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT ROAD

ELEVATION: 828.05 NAVD88 DATUM

ELEVATION: 827.23 NAVD88 DATUM

ELEVATION: 827.81 NAVD88 DATUM

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY REICHERT SURVEYING, INC.

PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, THE PORTION OF THE SITE TO BE DEVELOPED IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26161C0402E DATED APRIL 3, 2012.

DEMOLITION LEGEND:

TREE TO BE PROTECTED

TREE TO BE REMOVED

PEA GROUP

TROY • WASHINGTON TWP  
BRIGHTON • DETROIT  
t: 844.813.2949

www.peagroup.com

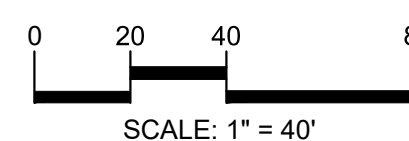
JOSEPH B. WYWROT  
ENGINEER  
No. 45974  
PROFESSIONAL BUSINESS

NORTH

0 20 40 80  
SCALE: 1" = 40'

S:\PROJECTS\2020-0181 PLATT ROAD TOWNHOMES - JC\DWG\SITE PLANS\01-1 NAT--202010.dwg





**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

**TROWBRIDGE  
COMPANIES**  
2617 BEACON HILL DRIVE  
AUBURN HILLS, MI 48326

PROJECT TITLE

**PLATT ROAD  
TOWNHOMES**  
PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICH.

REVISIONS	
OWNER REVIEW	9/18/2
CONCEPT REVIEW MEETING	1/13/2
SPA/WCWRG REVIEW	1/13/2
SPA/WCWRG RESUBMITTAL	4/7/2

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

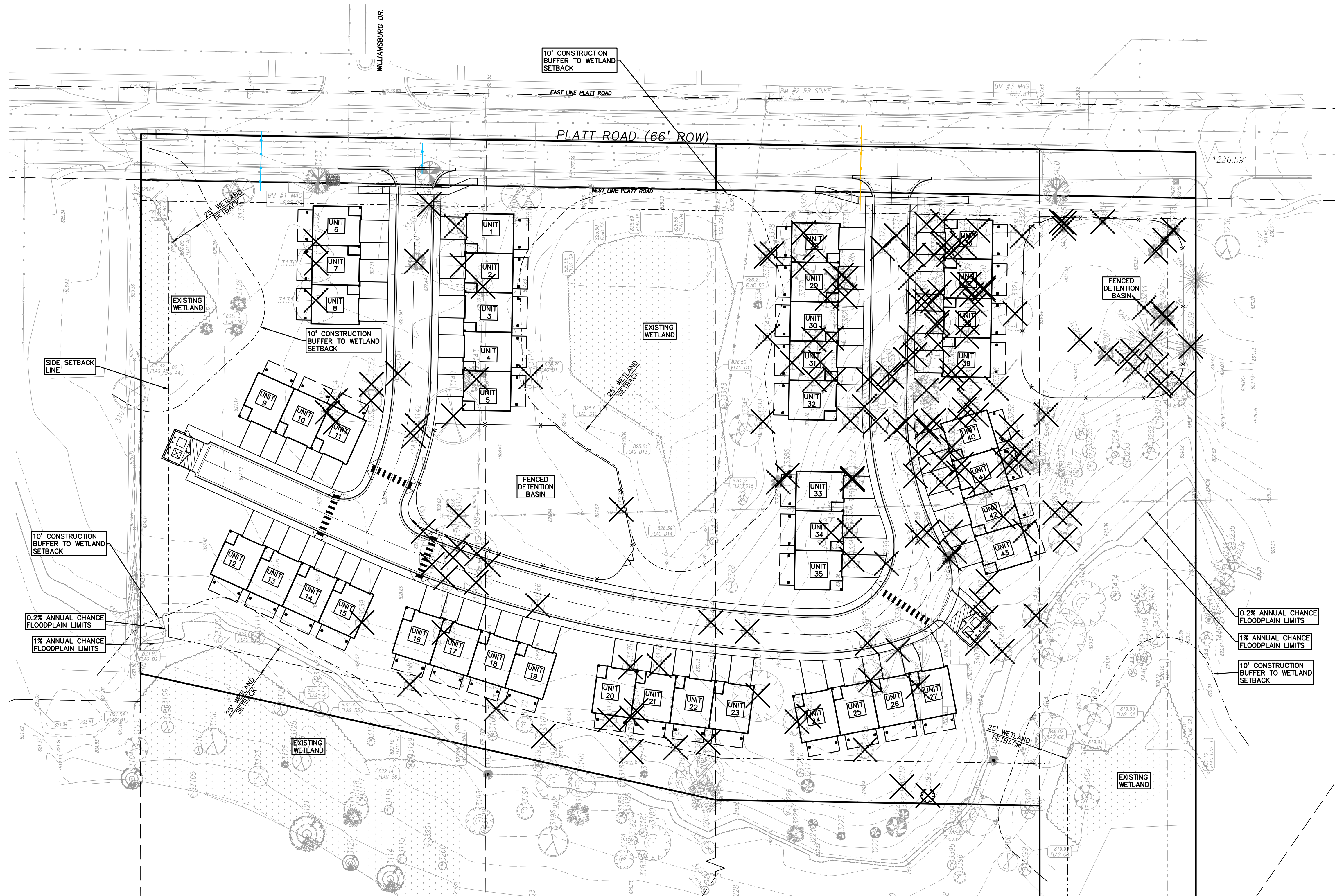
DRAWING TITLE

**NATURAL  
FEATURES  
OVERLAY PLAN**












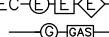
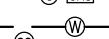
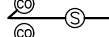
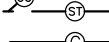

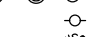

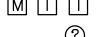
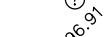
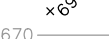
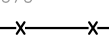
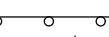

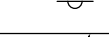
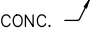

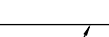
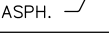




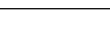



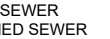


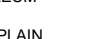












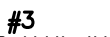


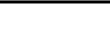



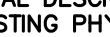

































PEA JOB NO.	2020-01
P.M.	
DN.	
DES.	

DRAWING NUMBER:

## P-2.1



### LEGEND

- |   |  |   |
|---|--|---|
|  IRON BOND<br> IRON SET<br> NAIL POURED<br> NAIL & CAP SET  |  BRASS PLUG SET<br> MONUMENT FOUND<br> MONUMENT SET |  SEC. CORNER FOUND<br> R RECORDED<br> C MEASURED<br> M CALCULATED |
| <p><u>EXISTING</u></p>                                                                                    |  |   |

## REFERENCE DRAWINGS

WATER MAIN	XXXXXXXXXX
SANITARY SEWER	XXXXXXXXXX
STORM SEWER	XXXXXXXXXX
COMBINED SEWER	XXXXXXXXXX
ELECTRIC	XXXXXXXXXX
TELEPHONE	XXXXXXXXXX
GAS	XXXXXXXXXX
PETROLEUM	XXXXXXXXXX
CATV	XXXXXXXXXX
FLOOD PLAIN	XXXXXXXXXX
OTHER	XXXXXXXXXX
OTHER	XXXXXXXXXX
OTHER	XXXXXXXXXX

## BENCHMARKS

BM #1  
MAG NAIL IN THE WEST FACE OF TREE #3133; A 20" HICKORY  
LOCATED ON THE WEST R.O.W. LINE OF PLATT RD.  
ELEVATION: 828.05 NAVD88 DATUM

BM #2  
RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE  
EAST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE  
CONCRETE DRIVE ENTRANCE  
ELEVATION: 827.23 NAVD88 DATUM

BM #3  
MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST  
R.O.W. LINE OF PLATT ROAD  
ELEVATION: 827.81 NAVD88 DATUM

**TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:**

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REICHERT SURVEYING, INC.

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**FLOODPLAIN NOTE:**

BY GRAPHICAL PLOTTING, THE PORTION OF THE SITE TO BE DEVELOPED IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26161C0402E DATED APRIL 3, 2012.

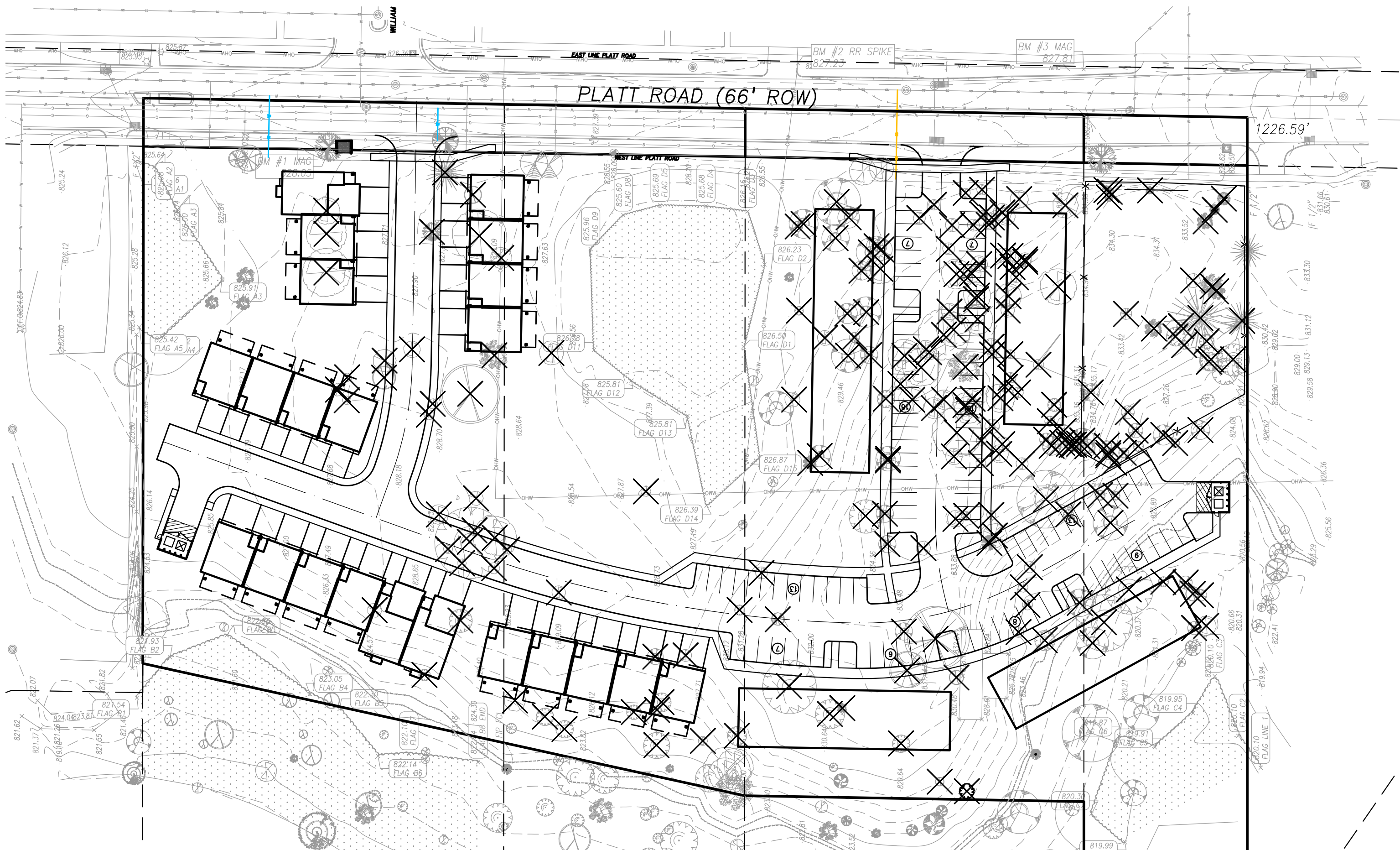


S:\PROJECTS\2020\2020-0181 PLATT ROAD TOWNHOMES -\CADD\SITE PLANS (P-2) \P-2.2-2020181.dwg



ALTERNATIVE ANALYSIS #1  
SCALE: 1" = 60'

ALTERNATIVE ANALYSIS #1  
THIS OPTION INCLUDES EIGHT ADDITIONAL TOWNHOME UNITS FOR A TOTAL OF 51; HOWEVER, THE FOOTPRINT OF SEVERAL UNITS ARE WITHIN THE LIMITS OF THE FLOODPLAIN ASSOCIATED WITH THE SWIFT RUN DRAIN. ADDITIONALLY, IN ORDER TO GRADE THE SITE WITH MAINTAINABLE SLOPES, EARTH DISTURBANCE WITHIN THE WETLAND SETBACK WOULD BE REQUIRED. 222 TREES WOULD NEED TO BE REMOVED (187 TREES REMOVED IN THE PREFERRED OPTION). CONSEQUENTLY, THIS OPTION WAS REJECTED.



ALTERNATIVE ANALYSIS #2  
SCALE: 1" = 60'

ALTERNATIVE ANALYSIS #2  
THIS OPTION INCLUDES 22 TOWNHOME UNITS AND 68 APARTMENT UNITS; HOWEVER, THE FOOTPRINT OF SEVERAL UNITS ARE WITHIN THE LIMITS OF THE FLOODPLAIN ASSOCIATED WITH THE SWIFT RUN DRAIN. ADDITIONALLY, IN ORDER TO GRADE THE SITE WITH MAINTAINABLE SLOPES, EARTH DISTURBANCE WITHIN THE WETLAND SETBACK WOULD BE REQUIRED. 215 TREES WOULD NEED TO BE REMOVED (187 TREES REMOVED IN THE PREFERRED OPTION). THE INTRODUCTION OF THE APARTMENT UNITS WOULD ALSO REQUIRE THE SITE TO BE REZONED FROM R3 TO R4B. FOR THESE REASONS, THIS OPTION WAS REJECTED.

**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊙ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

**EXISTING**

—OH-ELEC—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS VALVE & GAS LINE MARKER	GAS MAIN, VALVE & GAS LINE MARKER
—WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE	WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
—SANITARY SEWER, CLEANOUT & MANHOLE	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM SEWER, CLEANOUT & MANHOLE	STORM SEWER, CLEANOUT & MANHOLE
—COMBINED SEWER & MANHOLE	COMBINED SEWER & MANHOLE
—SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
—POST INDICATOR VALVE	POST INDICATOR VALVE
—WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
—MARB. TRANSFORMER, IRRIGATION CONTROL VALVE	MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
—UNIDENTIFIED STRUCTURE	UNIDENTIFIED STRUCTURE
—SPOT ELEVATION	SPOT ELEVATION
—CONTOUR LINE	CONTOUR LINE
—FENCE	FENCE
—GUARD RAIL	GUARD RAIL
—STREET LIGHT	STREET LIGHT
—SIGN	SIGN
—CONC.	CONCRETE
—ASPH.	ASPHALT
—GRAVEL	GRAVEL SHOULDER
—WETLAND	WETLAND

**PROPOSED**

—STO. HEAVY FLOW DUTY ONLY	—STO. HEAVY DEEP DUTY STRENGTH
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**REFERENCE DRAWINGS**

WATER MAIN	XXXXXXXXXXXX
SANITARY SEWER	XXXXXXXXXXXX
STORM SEWER	XXXXXXXXXXXX
COMBINED SEWER	XXXXXXXXXXXX
ELECTRIC	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
GAS	XXXXXXXXXXXX
PETROLEUM	XXXXXXXXXXXX
CATV	XXXXXXXXXXXX
FLOOD PLAIN	XXXXXXXXXXXX
OTHER	XXXXXXXXXXXX
OTHER	XXXXXXXXXXXX

**BENCHMARKS**

**BM #1**  
MAG NAIL IN THE WEST FACE OF TREE #3133; A 20" HICKORY LOCATED ON THE WEST R.O.W. LINE OF PLATT RD.  
ELEVATION: 828.05 NAVD88 DATUM

**BM #2**  
RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE CONCRETE DRIVE ENTRANCE  
ELEVATION: 827.23 NAVD88 DATUM

**BM #3**  
MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD.  
ELEVATION: 827.81 NAVD88 DATUM

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**PEA GROUP**

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www.peagroup.com

**JOSEPH B. WYWROT**  
ENGINEER  
No. 45974  
PROFESSIONAL BUSINESS

**NORTH**

0 30 60 120  
SCALE: 1" = 60'

**811** Know what's below.  
Call before you dig.

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**PROJECT TITLE**

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PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

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SPAWCWRC RESUBMITTAL	4/7/2022

**ORIGINAL ISSUE DATE:**  
SEPTEMBER, 2020

**DRAWING TITLE**

**NATURAL FEATURES ALTERNATIVES ANALYSIS**

**PEA JOB NO.** 2020-0151

**P.M.** JC

**DN.** JW

**DES.** JW

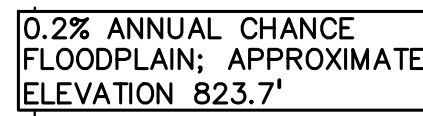
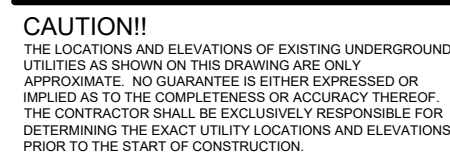
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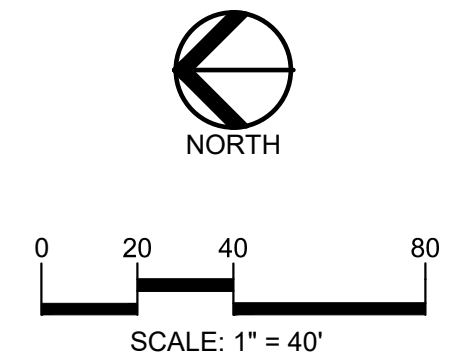
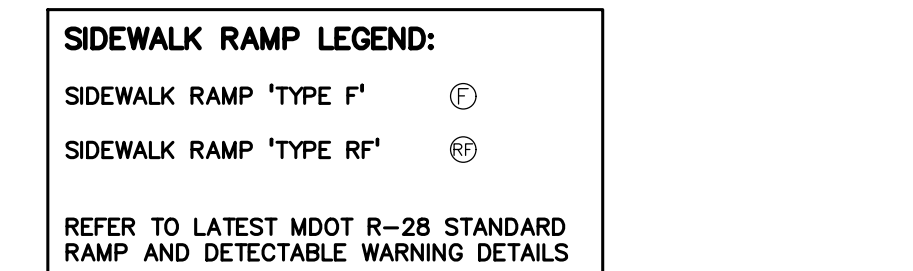
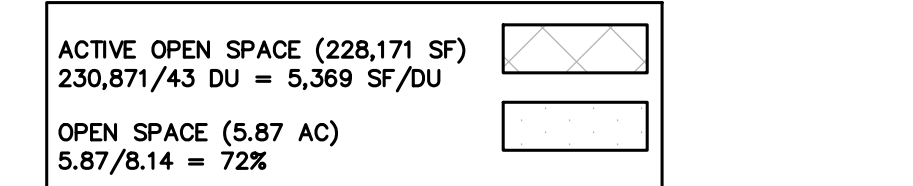
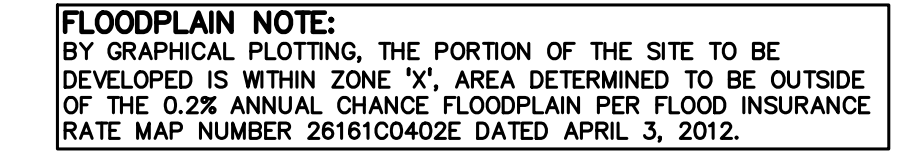
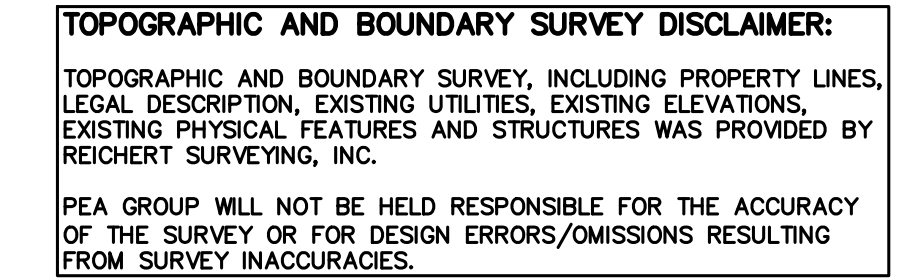
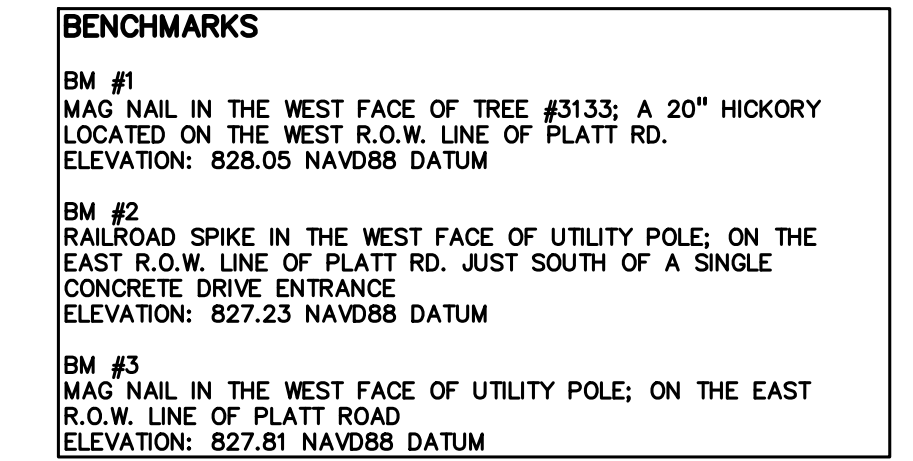
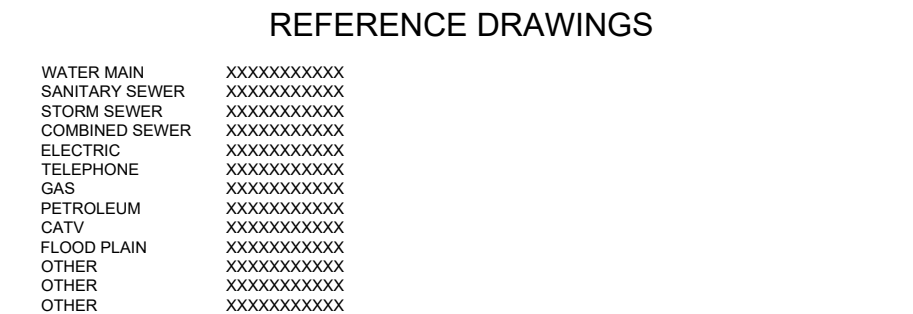
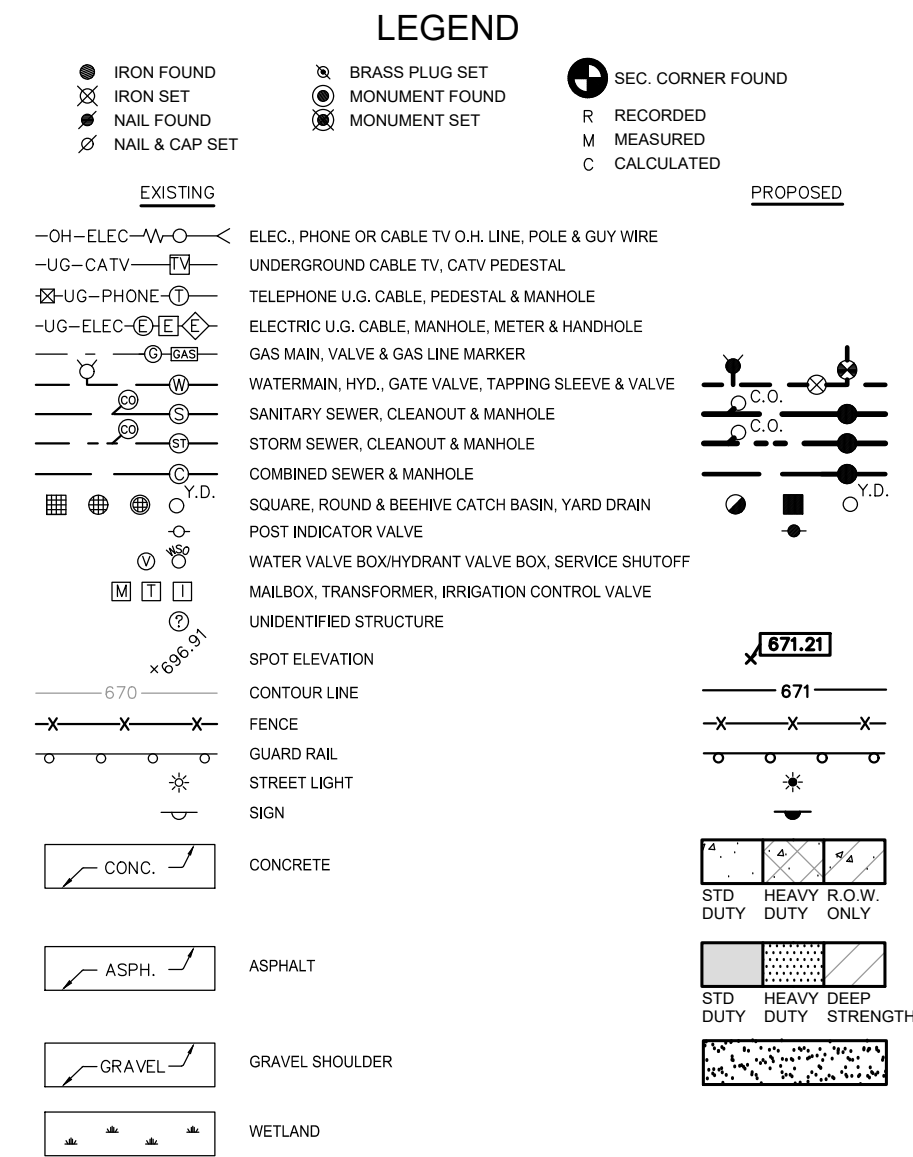
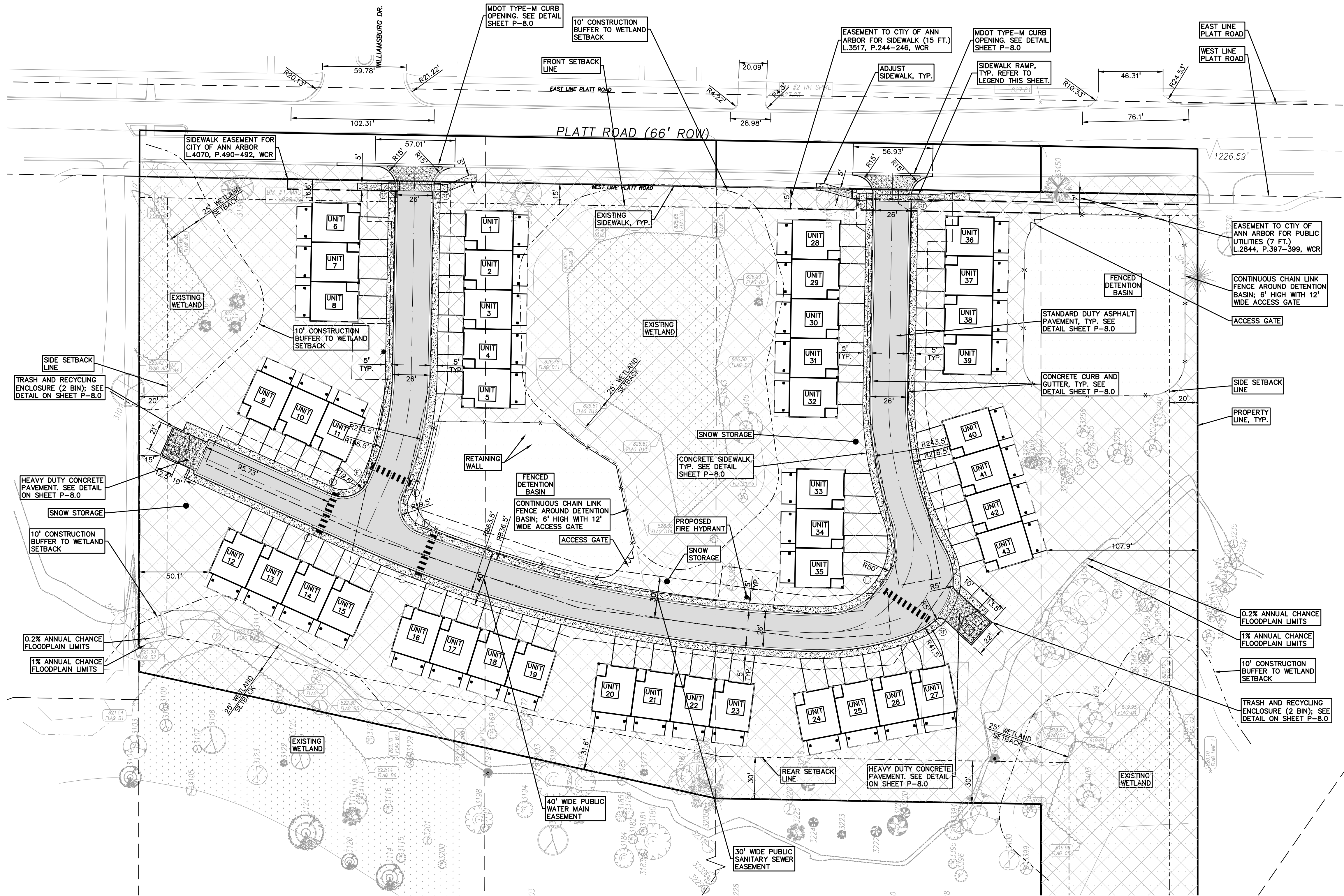
13. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

1. **Introduction**  
 2. **Background**  
 3. **Methodology**  
 4. **Results**  
 5. **Conclusion**  
 6. **References**  
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 217. **Figure 208**





S:\PROJECTS\2020-0181 PLATT ROAD TOWNHOMES - JAC\DWG\SITE PLANS (P-3) DW-200181.dwg



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SPAWCWRG RESUBMITTAL	4/7/2022

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

DRAWING TITLE

**OVERALL  
DIMENSIONAL  
LAYOUT PLAN**

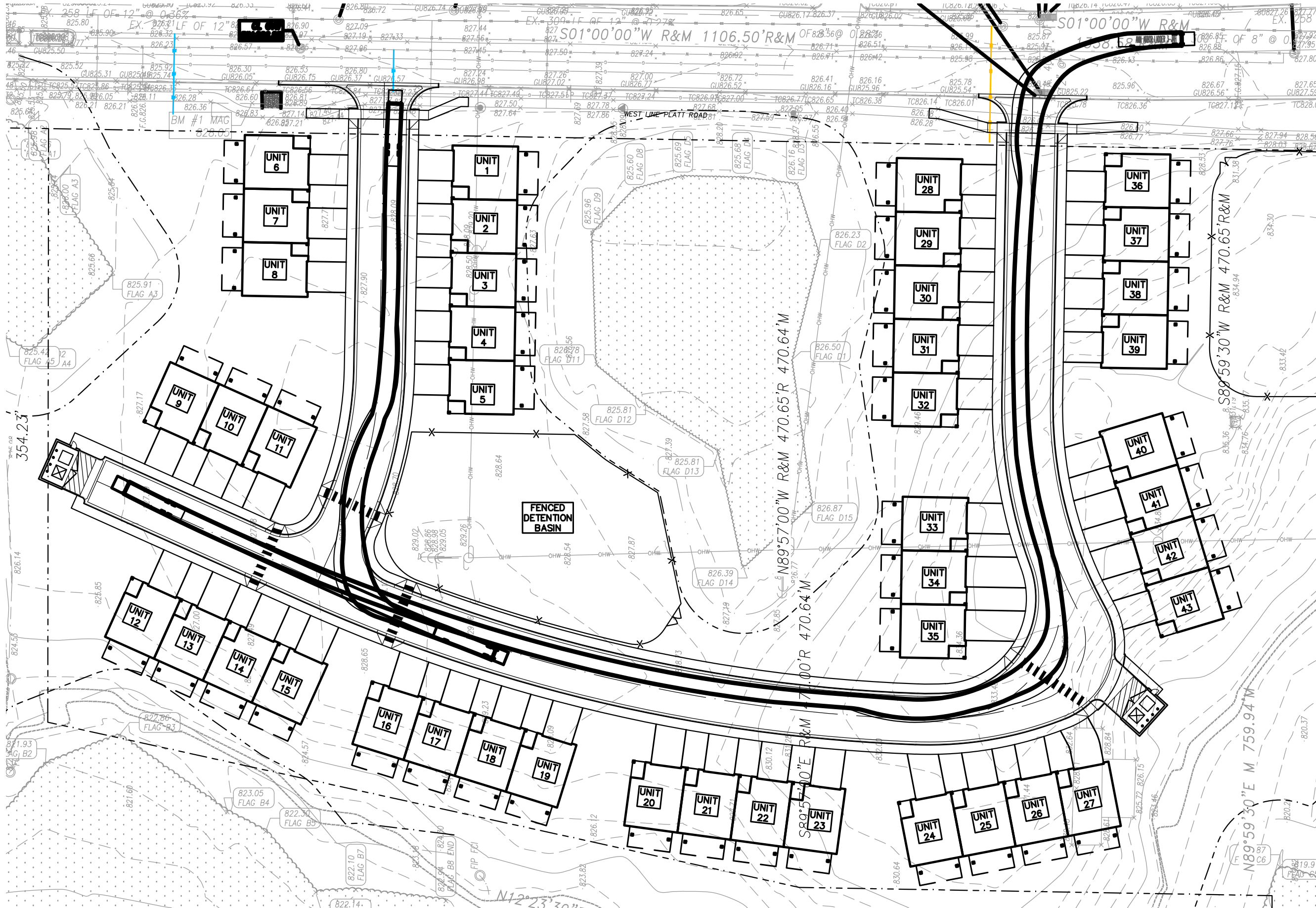
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P.M.	JC
DN.	JW
DES.	JW

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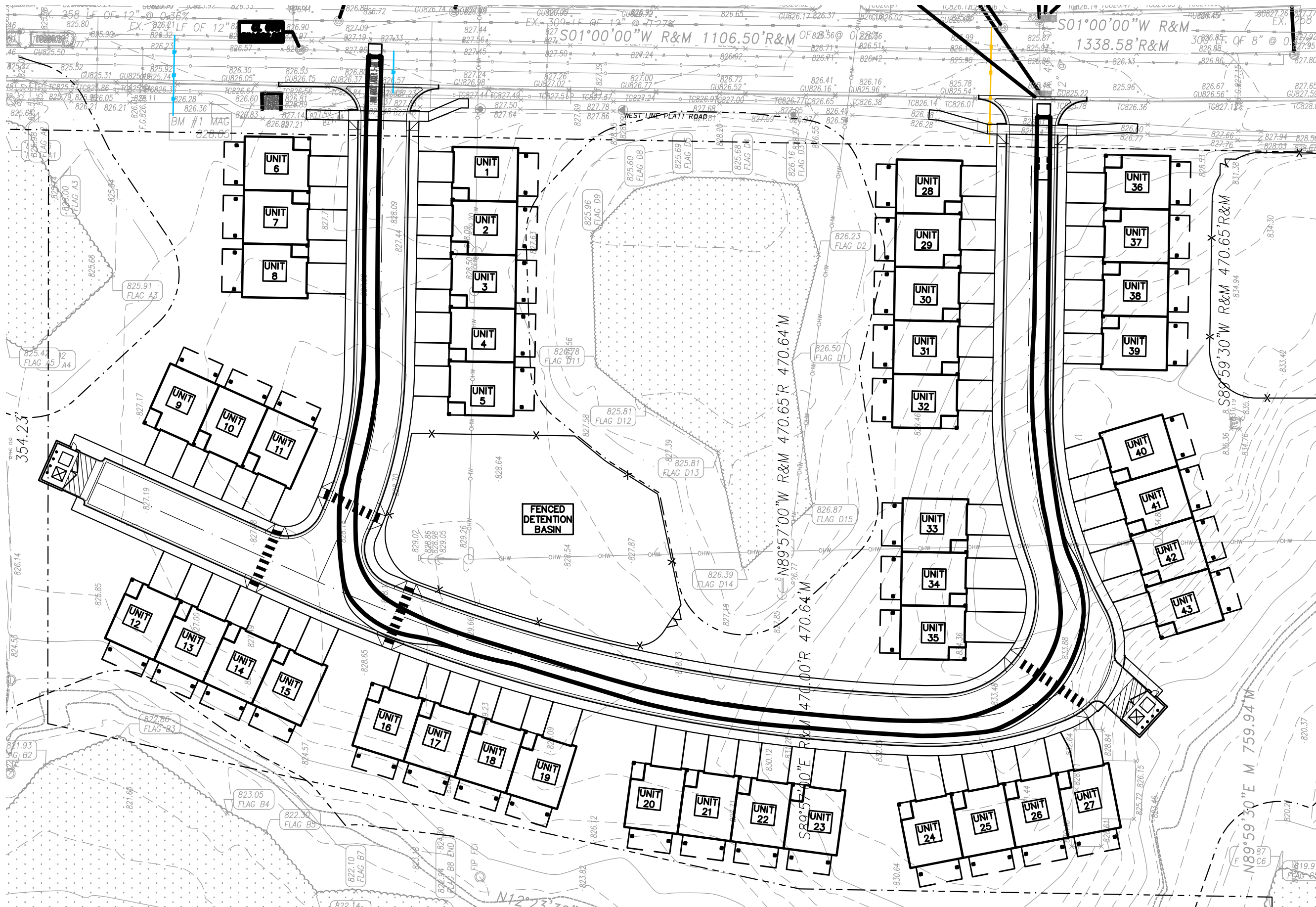
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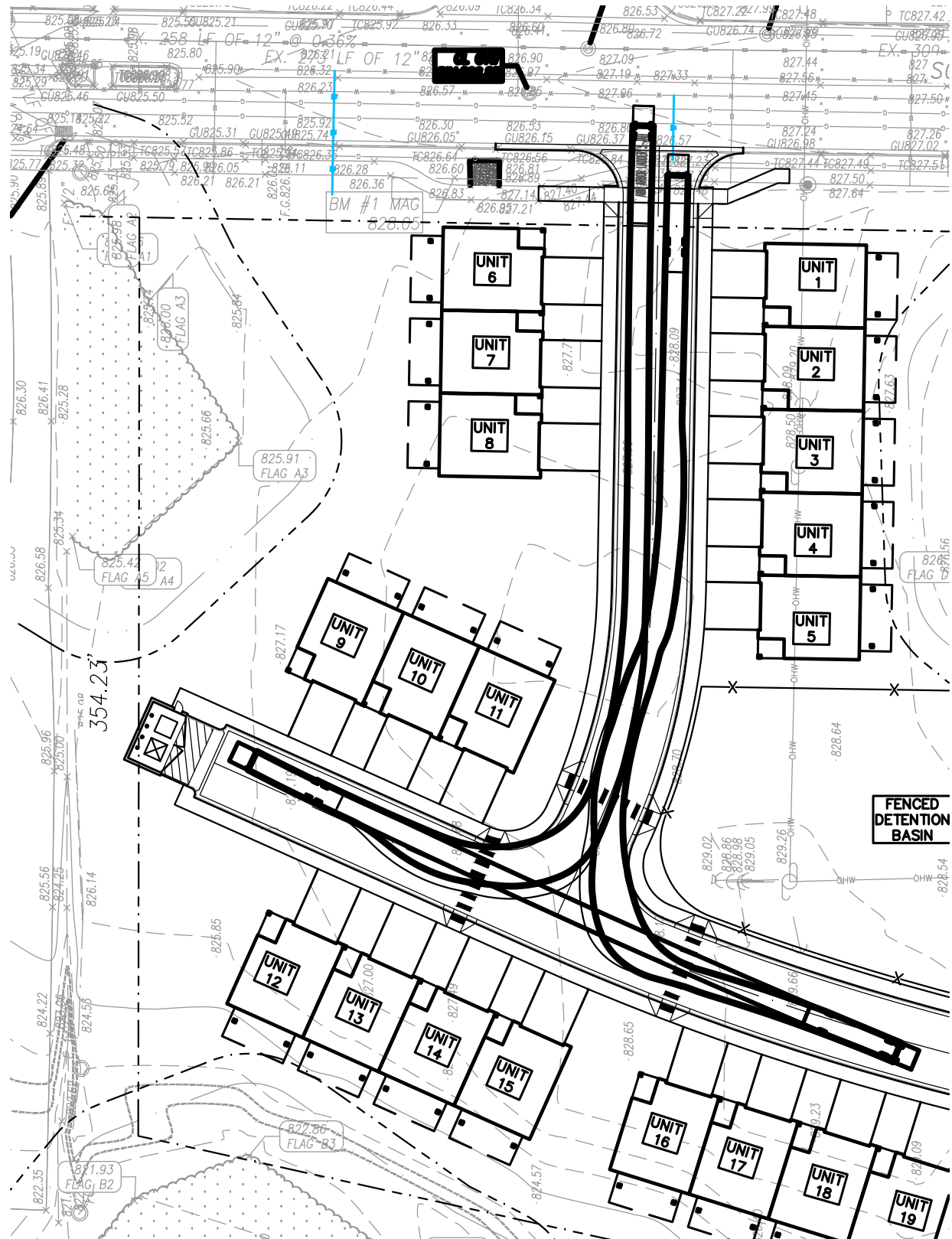
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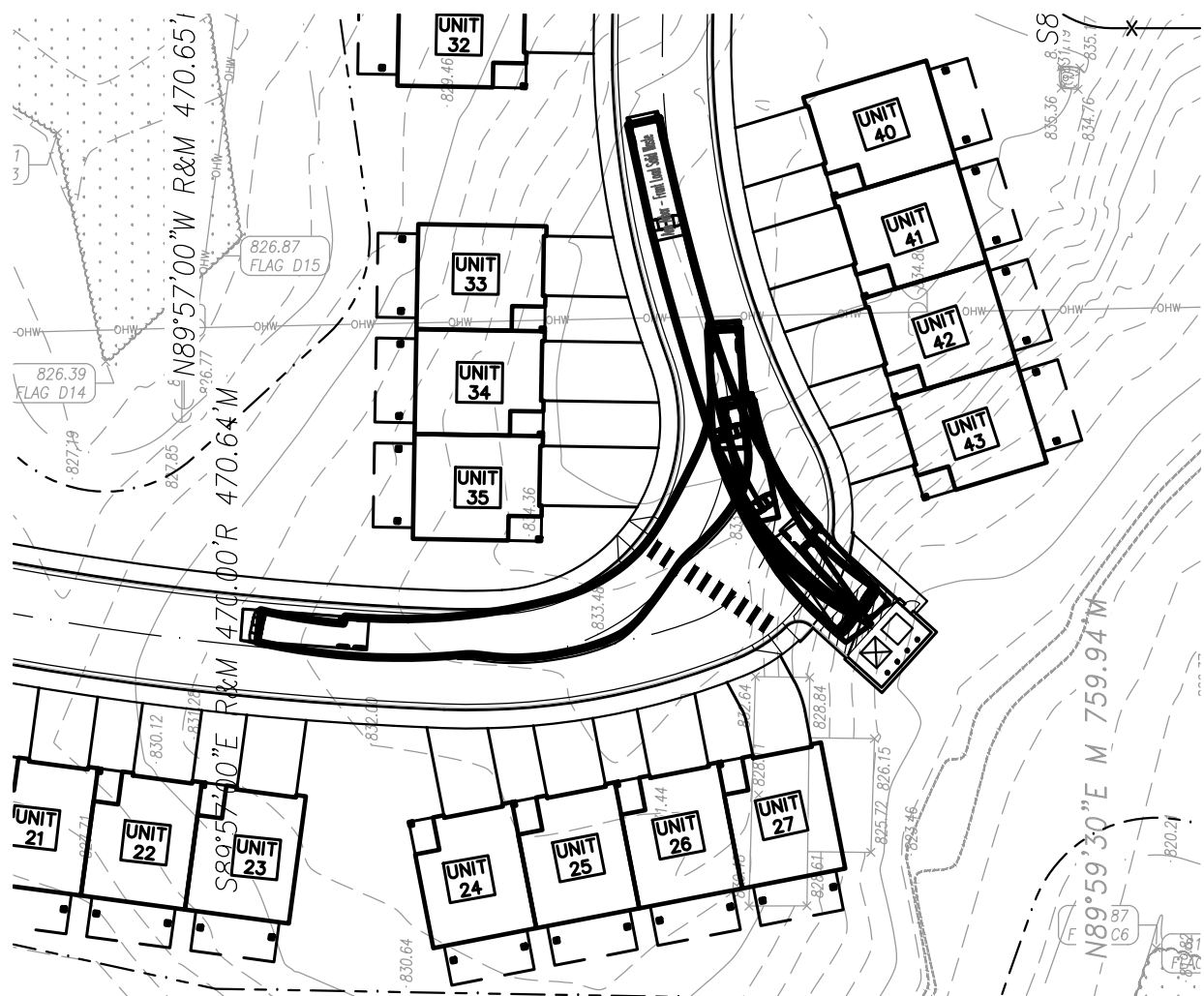
AERIAL FIRE TRUCK TURNING MOVEMENT  
SCALE: 1" = 50'



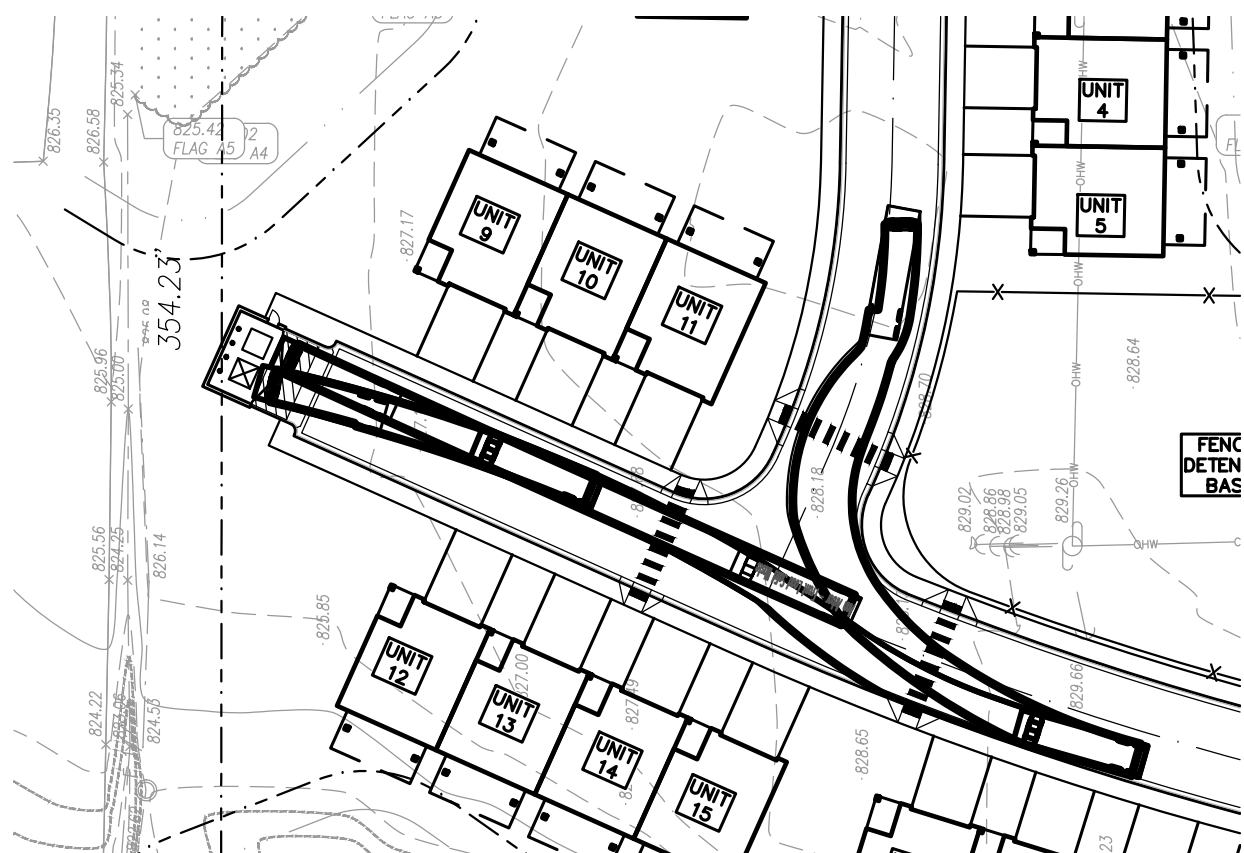
AERIAL FIRE TRUCK TURNING MOVEMENT  
SCALE: 1" = 50'



AERIAL FIRE TRUCK TURNING MOVEMENT  
SCALE: 1" = 50'



GARBAGE TRUCK TURNING MOVEMENT  
SCALE: 1" = 50'



GARBAGE TRUCK TURNING MOVEMENT  
SCALE: 1" = 50'

**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊙ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

**EXISTING**

—OH-ELEC—W—	ELEC. PHONE OR CABLE TV OH LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS VALVE & GAS LINE MARKER	GAS MAN. VALVE & GAS LINE MARKER
—WATERMAN. HYD. GATE VALVE, TAPPING SLEEVE & VALVE	WATERMAN. HYD. GATE VALVE, TAPPING SLEEVE & VALVE
—SANITARY SEWER, CLEANOUT & MANHOLE	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM SEWER, CLEANOUT & MANHOLE	STORM SEWER, CLEANOUT & MANHOLE
—COMBINED SEWER & MANHOLE	COMBINED SEWER & MANHOLE
—SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
—POST REGULATOR VALVE	POST REGULATOR VALVE
—WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
—MARB. TRANSFORMER, IRRIGATION CONTROL VALVE	MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
—UNIDENTIFIED STRUCTURE	UNIDENTIFIED STRUCTURE
—SPOT ELEVATION	SPOT ELEVATION
—CONTOUR LINE	CONTOUR LINE
—FENCE	FENCE
—GUARD RAIL	GUARD RAIL
—STREET LIGHT	STREET LIGHT
—SIGN	SIGN
—CONC.	CONCRETE
—ASPH.	ASPHALT
—GRAVEL	GRAVEL SHOULDER
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—STD. HEAVY DEEP DUTY DUTY STRENGTH	—STD. HEAVY DEEP DUTY DUTY STRENGTH

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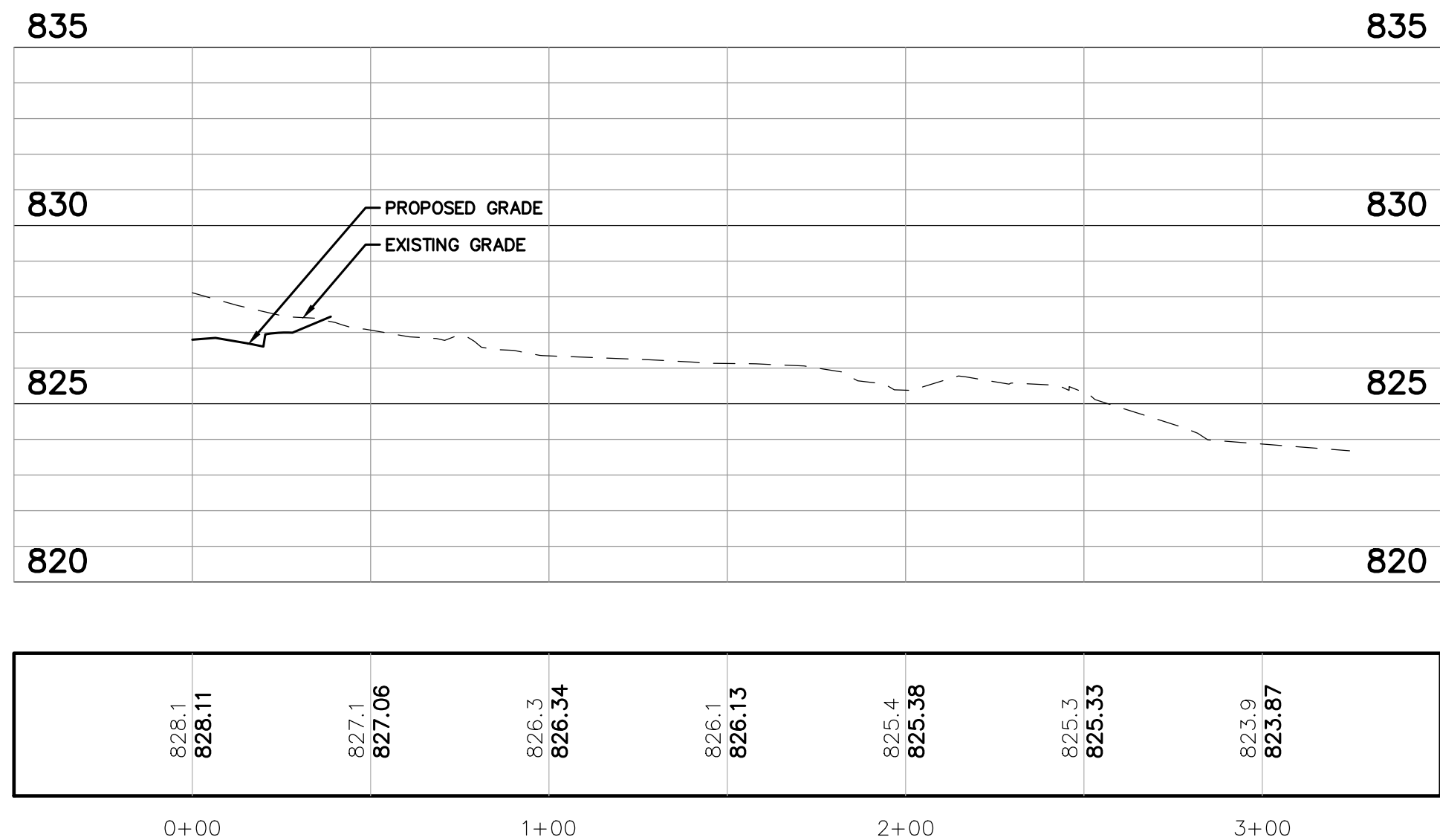
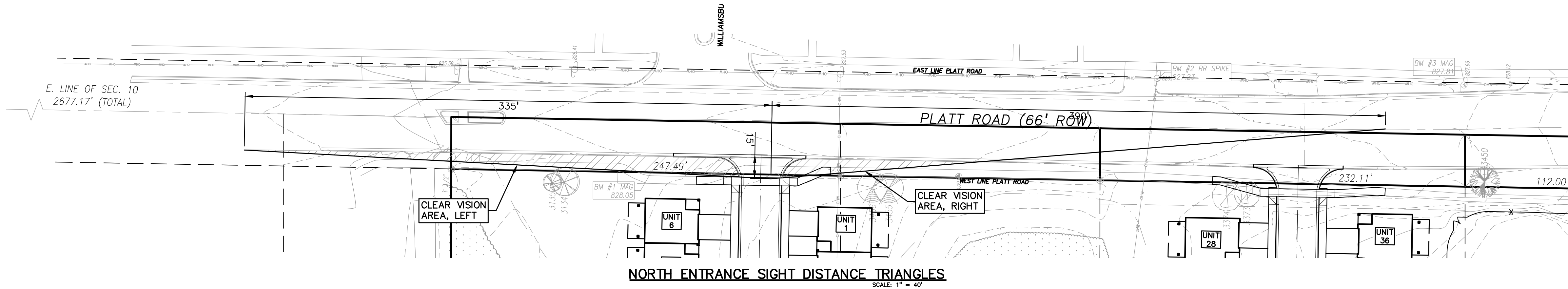
DRAWING TITLE  
**TURNING MOVEMENTS**

PEA JOB NO.	2020-0151
P.M.	JC
DN.	JW
DES.	JW
DRAWING NUMBER:	

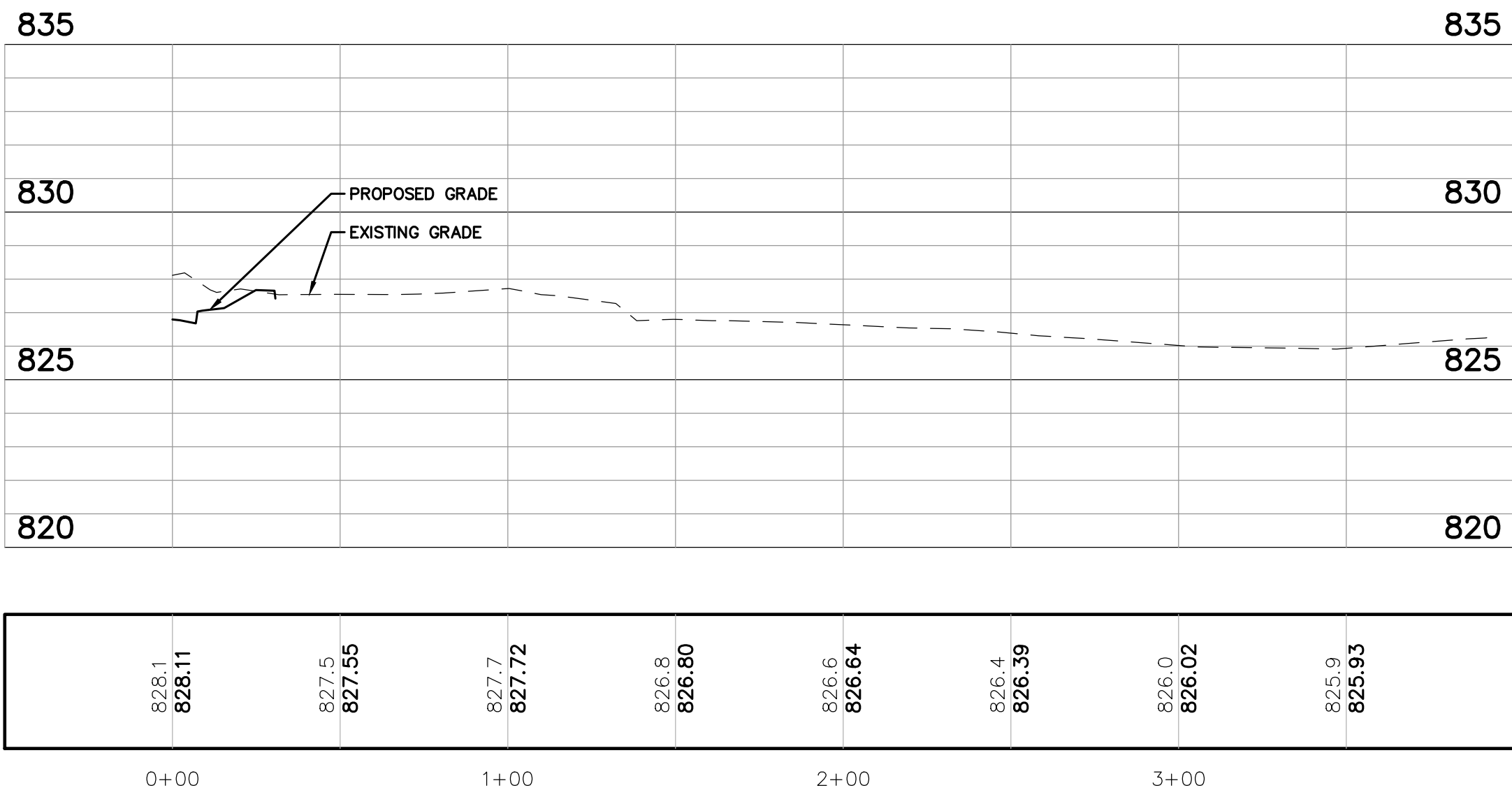
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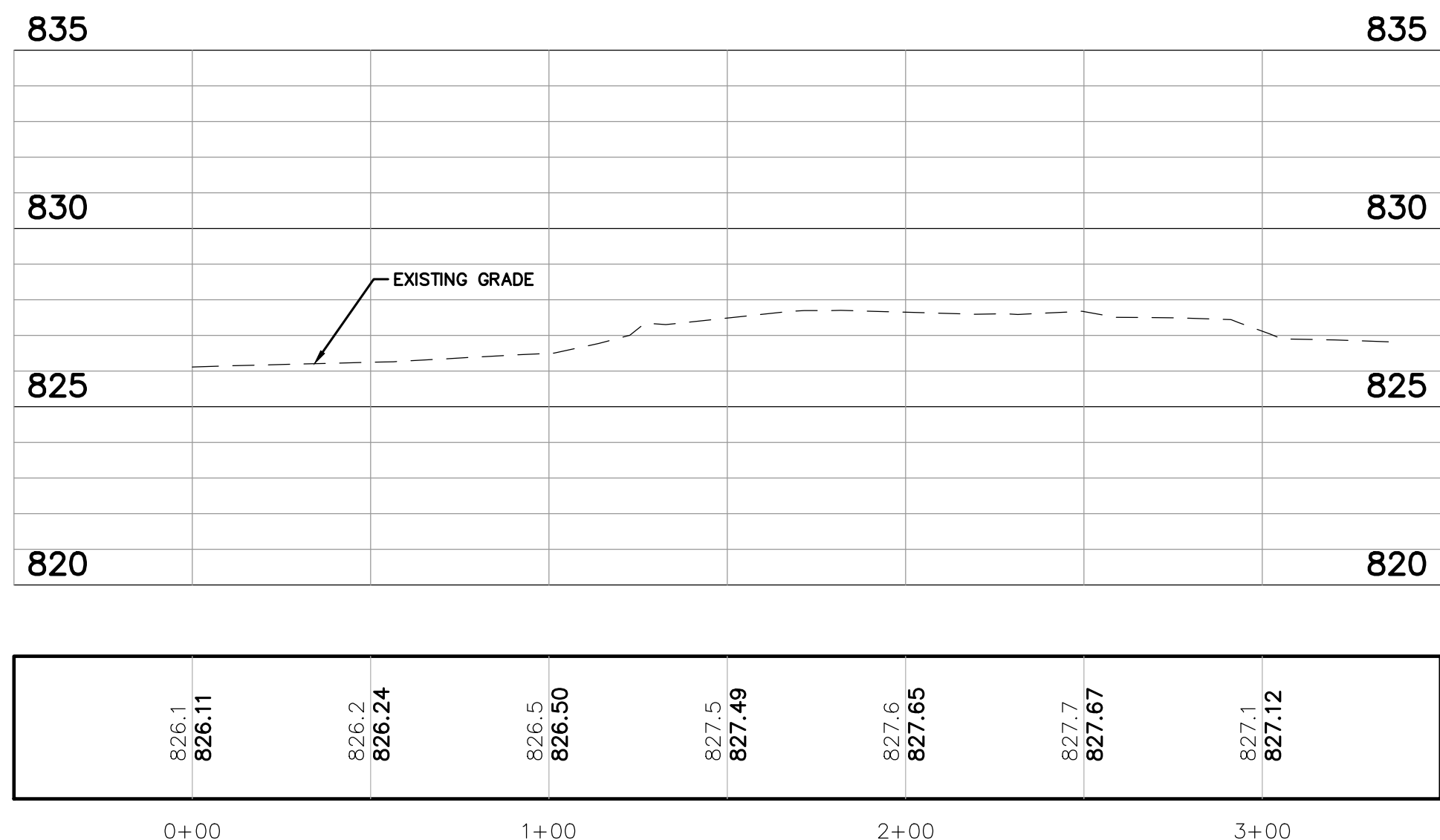
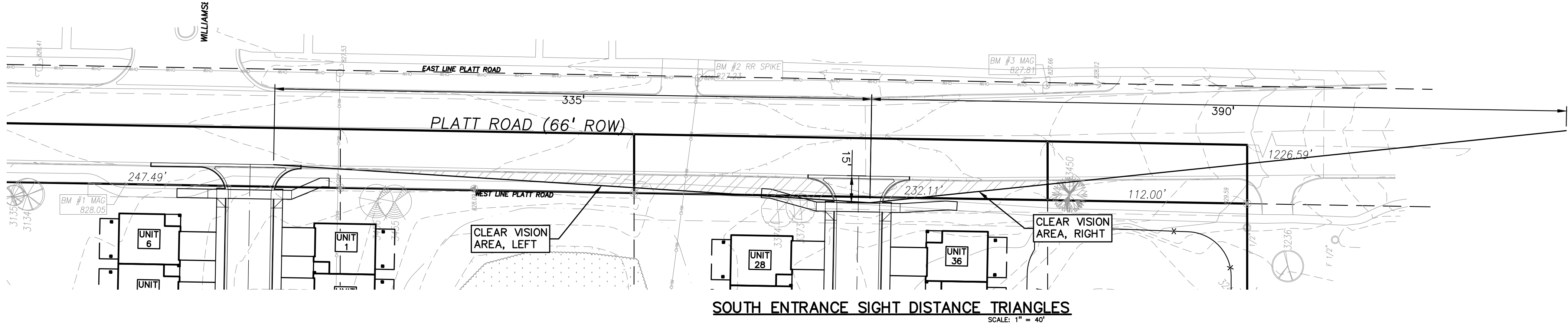
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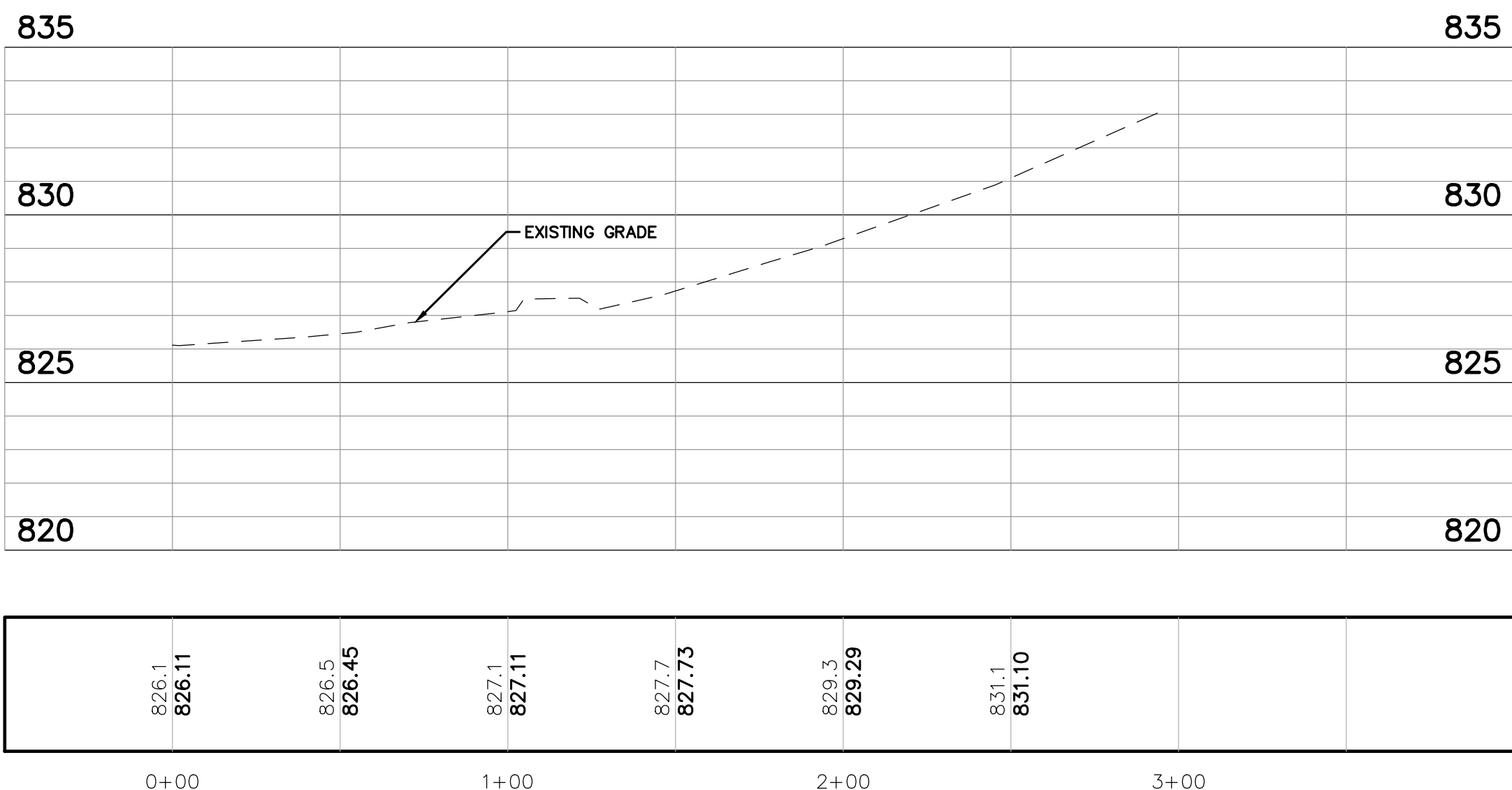
NORTH ENTRANCE LEFT PROFILE  
SCALE: HORIZ 1" = 40'; VERT 1" = 4'



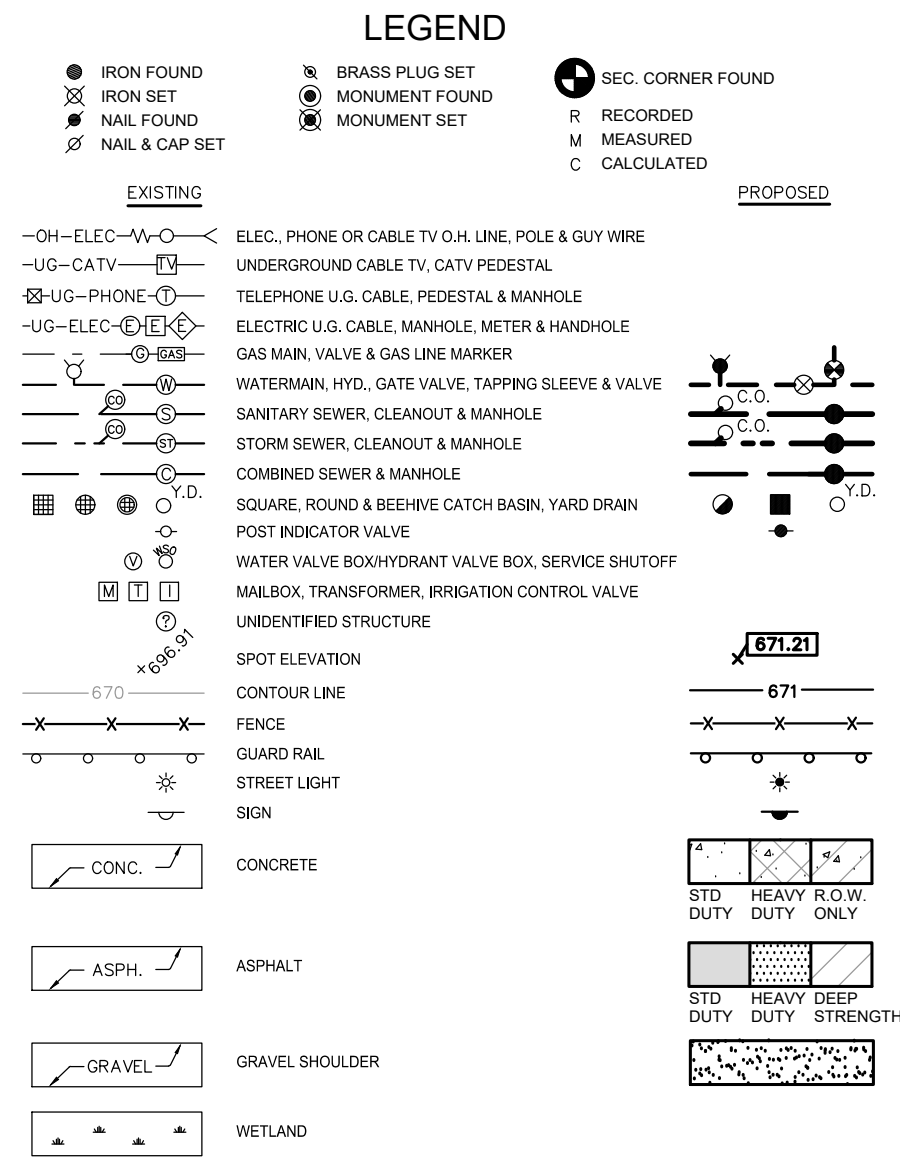
NORTH ENTRANCE RIGHT PROFILE  
SCALE: HORIZ 1" = 40'; VERT 1" = 4'



SOUTH ENTRANCE LEFT PROFILE  
SCALE: HORIZ 1" = 40'; VERT 1" = 4'



SOUTH ENTRANCE RIGHT PROFILE  
SCALE: HORIZ 1" = 40'; VERT 1" = 4'



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Figure 1 - Measuring Sight Distance for Entering the Public Road

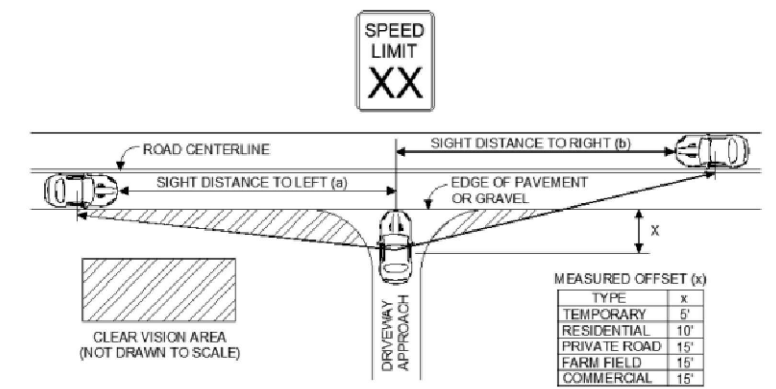
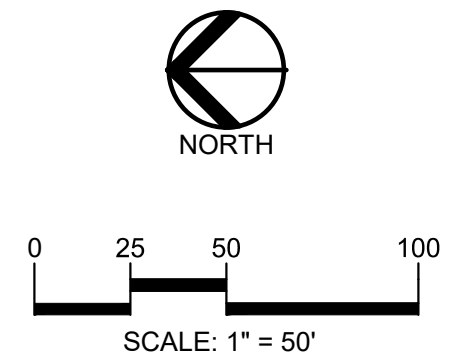


Table 4 - Sight Distance to Left (Based on AASHTO Intersection Control Case B2)

Speed Limit	Distance (a) Feet
25	240
30	290
35	335
40	385
45	430
50	480
55	530

Table 5 - Sight Distance to Right (Based on AASHTO Intersection Control Case B2)

Speed Limit	Distance (b) Feet
25	280
30	335
35	390
40	445
45	500
50	555
55	610



**CAUTION!!**  
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CLIENT  
**TROWBRIDGE COMPANIES**  
2817 BEACON HILL DRIVE  
AUBURN HILLS, MI 48326

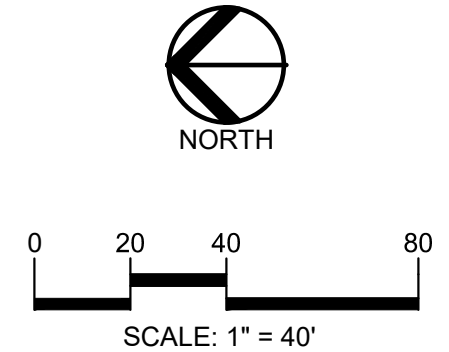
PROJECT TITLE  
**PLATT ROAD TOWNHOMES**  
PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

REVISIONS	
OWNER REVIEW	9/18/2020
CONCEPT REVIEW MEETING	1/13/2021
SPAWCWRRC REVIEW	1/13/2022
SPAWCWRRC RESUBMITTAL	4/7/2022

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020  
DRAWING TITLE  
**SIGHT DISTANCE TRIANGLES**

PEA JOB NO. 2020-0151  
P.M. JC  
DN. JW  
DES. JW  
DRAWING NUMBER:





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PROJECT TITLE  
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PLATT ROAD  
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SPAWCWCRC RESUBMITTAL	4/7/2022

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

DRAWING TITLE  
**ADDRESSING PLAN**

PEA JOB NO.	2020-0151
P.M.	JC
DN.	JW
DES.	JW
DRAWING NUMBER:	

**P-3.3**

**LEGEND**

● IRON FOUND

⊗ IRON SET

● NAIL FOUND

⊗ NAIL & CAP SET

⊗ BRASS PLUG SET

⊗ MONUMENT FOUND

⊗ MONUMENT SET

⊗ SEC. CORNER FOUND

R RECORDED

M MEASURED

C CALCULATED

EXISTING

—OH—ELEC—W—O— ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE

—UG—CATV— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE

—UG—PHONE— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE

—UG—ELEC—ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE

—GAS— GAS MAIN, VALVE & GAS LINE HARNER

—WATER— WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE

—SEWER— SANITARY SEWER, CLEANOUT & MANHOLE

—SEWER— STORM SEWER, CLEANOUT & MANHOLE

—SEWER— COMBINED SEWER & MANHOLE

—POST— POST INDICATOR VALVE

—WATER— WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF

—MTR— MTR BOX, TRANSFORMER, IRRIGATION CONTROL VALVE

—UNID— UNIDENTIFIED STRUCTURE

—SPOT— SPOT ELEVATION

—CONTOUR— CONTOUR LINE

—FENCE— FENCE

—GUARD— GUARD RAIL

—STREET— STREET LIGHT

—SIGN— SIGN

—CONC.— CONCRETE

—ASPH.— ASPHALT

—GRAVEL— GRAVEL SHOULDER

—WETLAND— WETLAND

PROPOSED

—HEAVY— STD. HEAVY FLOW DUTY ONLY

—HEAVY— STD. HEAVY DEEP DUTY STRENGTH

REFERENCE DRAWINGS

WATER MAIN  
SANITARY SEWER  
STORM SEWER  
COMBINED SEWER  
ELECTRIC  
TELEPHONE  
GAS  
PETROLEUM  
CATV  
FLOOD PLAIN  
OTHER  
OTHER

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BENCHMARKS

**BM #1**  
MAG NAIL IN THE WEST FACE OF TREE #3133; A 20" HICKORY  
LOCATED ON THE WEST R.O.W. LINE OF PLATT RD.  
ELEVATION: 828.05 NAVD88 DATUM

**BM #2**  
RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE  
EAST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE  
CONCRETE DRIVE ENTRANCE  
ELEVATION: 827.23 NAVD88 DATUM

**BM #3**  
MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST  
R.O.W. LINE OF PLATT ROAD  
ELEVATION: 827.81 NAVD88 DATUM

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES,  
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FLOODPLAIN NOTE:

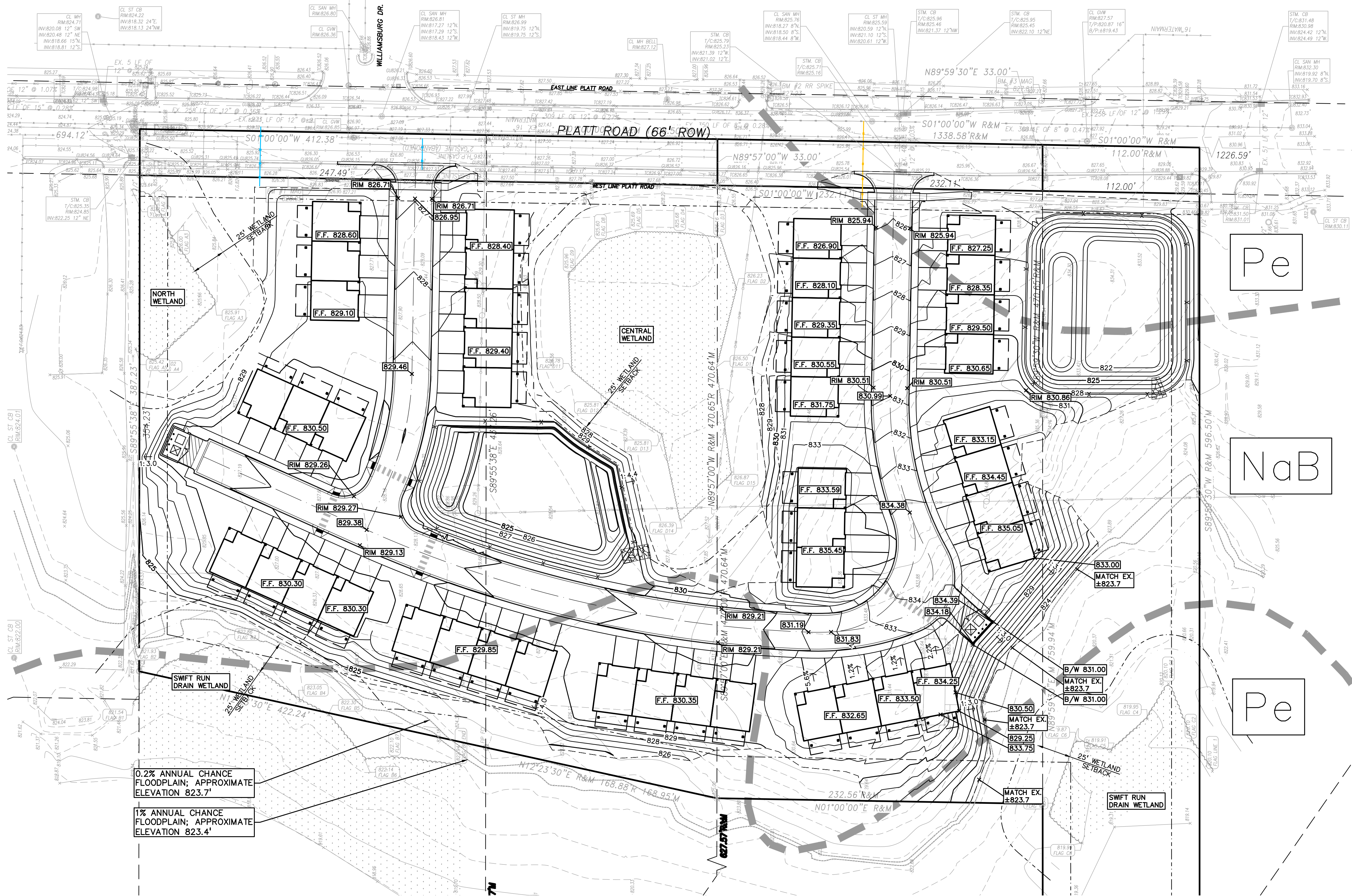
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RATE MAP NUMBER 26161C0402E DATED APRIL 3, 2012.

UNIT	STREET ADDRESS
1	3700
2	3702
3	3704
4	3706
5	3708
6	3711
7	3713
8	3715
9	3719
10	3721
11	3723
12	3726
13	3728
14	3730
15	3732
16	3736
17	3738
18	3740
19	3742
20	3746
21	3748
22	3750
23	3752
24	3756
25	3758
26	3760
27	3762
28	3765
29	3767
30	3769
31	3771
32	3773
33	3777
34	3779
35	3781
36	3784
37	3786
38	3788
39	3790
40	3794
41	3796
42	3798
43	3800

S:\PROJECTS\2020-0151-0181 PLATT ROAD TOWNHOMES - ADDRESSING SITE PLANS (P-3.3) ADDR-200151.dwg



S:\PROJECTS\2020\2020-0181 PLATT ROAD TOWNHOMES - JC\DWG\SITE PLANS\07-7 GRACE-200151.dwg



**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊙ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

**EXISTING**

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- UG—PHONE—ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- UG—ELEC—ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS—GAS MAN. VALVE & GAS LINE W/ARMER
- WATER—WATERMAN. HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SEWER—SANITARY SEWER, CLEANOUT & MANHOLE
- STORM—STORM SEWER, CLEANOUT & MANHOLE
- COMB—COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST—POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MARB.—MARLB. TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENT—UNIDENTIFIED STRUCTURE
- SPOT—SPOT ELEVATION
- CONC.—CONCRETE
- ASPH.—ASPHALT
- GRAVEL—GRAVEL SHOULDER
- WETLAND—WETLAND

**PROPOSED**

- 670—CONTOUR LINE
- FENCE—FENCE
- GUARD RAIL—GUARD RAIL
- STREET LIGHT—STREET LIGHT
- SIGN—SIGN
- STD—STD. HEAVY DUTY ONLY
- STD—STD. HEAVY DEEP DUTY STRENGTH

**REFERENCE DRAWINGS**

WATER MAIN	XXXXXXXXXXXX
SANITARY SEWER	XXXXXXXXXXXX
STORM SEWER	XXXXXXXXXXXX
COMBINED SEWER	XXXXXXXXXXXX
ELECTRIC	XXXXXXXXXXXX
GAS	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
CATV	XXXXXXXXXXXX
FLOOD PLAIN	XXXXXXXXXXXX
OTHER	XXXXXXXXXXXX

**BENCHMARKS**

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ELEVATION: 828.05 NAVD88 DATUM

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RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE CONCRETE DRIVE ENTRANCE  
ELEVATION: 827.23 NAVD88 DATUM

**BM #3**  
MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD.  
ELEVATION: 827.81 NAVD88 DATUM

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**SYMBOLS: GRADING**

PROPOSED SPOT ELEVATION:  
TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.

PROPOSED CONTOUR LINE

ABBREVIATIONS:  
T/C = TOP OF CURB  
G = GUTTER GRADE  
T/P = TOP OF PAVEMENT  
T/S = TOP OF SIDEWALK  
T/W = TOP OF WALL  
B/W = BOTTOM OF WALL  
F.G. = FINISH GRADE  
RIM = RIM ELEVATION

**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT THE ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

**SOIL INVESTIGATION**  
PER THE US DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE SOILS MAP FOR WASHTENAW COUNTY, SITE SOILS CONSIST OF:  
NaB — NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES; HYDROLOGIC SOIL GROUP C/D  
Pe — PEWAMO CLAY LOAM, 0 TO 2 PERCENT SLOPES; HYDROLOGIC SOIL GROUP C/D

**PEA GROUP**

TROY ■ WASHINGTON TWP  
BRIGHTON ■ DETROIT  
t: 844.813.2949

www.peagroup.com

JOSEPH B. WYWROT  
ENGINEER  
No. 45874  
PROFESSIONAL ENGINEER

**811** Know what's below. Call before you dig.

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**CLIENT**  
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AUBURN HILLS, MI 48326

**PROJECT TITLE**  
**PLATT ROAD TOWNHOMES**  
PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**REVISIONS**

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CONCEPT REVIEW MEETING	1/13/2021
SPAWCWRRC REVIEW	1/13/2021
SPAWCWRRC RESUBMITTAL	4/7/2022

**ORIGINAL ISSUE DATE:**  
SEPTEMBER, 2020

**DRAWING TITLE**  
**GRADING PLAN**

**PEA JOB NO.** 2020-0151

**P.M.** JC

**DN.** JW

**DES.** JW

**DRAWING NUMBER:**  
**P-4.0**

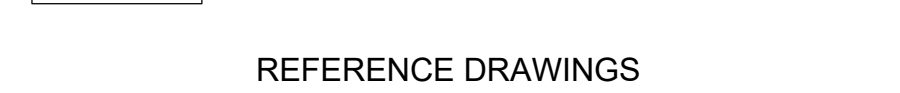




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## BENCHMARKS

BM #1  
MAG NAIL IN TH  
LOCATED ON TH

BM #2  
RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE  
EAST ROW LINE OF PLATT RD. JUST SOUTH OF A SINGLE

BM #3  
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R.O.W. LINE OF PLATT ROAD

**TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER**

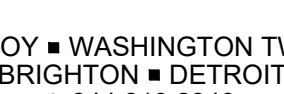
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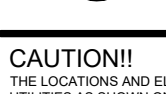
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BY GRAPHICAL PLOTTING THE PORTION OF THE SITE TO BE

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DEVELOPED IS WITHIN  
OF THE 0.2% ANNUAL  
RATE MAP NUMBER 26

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THE LOCATIONS AND UTILITIES AS SHOWN ARE APPROXIMATE. NO IMPLIED AS TO THE THE CONTRACTOR DETERMINING THE

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TRO  
COM

2617 BEACON HILL DRIVE  
AUBURN HILLS, MI 48326

**PLATT R**  
**TOWNHC**

PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICH

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DRAWING TITLE  
**ROAD**

## ROAD PROFILE

P.M.	JC
DN	JW

DN.	JW
DES.	JW

DES.	JW
DRAWING NUMBER:	

DRAWING NUMBER:

**D 4 1**

1-4



EROSION CONTROL STANDARDS:

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AGENCY UNDER PART 91 OF ACT 451 OF 1994, AS AMENDED.
2. DAILY INSPECTIONS SHALL BE MADE BY CONTRACTOR WHILE WORKING TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY. ALL SOIL EROSION CONTROL PROVISIONS SHALL BE PROPERLY MAINTAINED DURING CONSTRUCTION.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGE AREAS HAVE BEEN COMPLETED.
5. STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
6. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
7. DUST SHALL BE CONTROLLED BY WATERING OR BY OTHER APPROVED MEANS THROUGHOUT ALL CONSTRUCTION OPERATIONS.

8. PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 5 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.
9. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
10. ANY WORK OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REQUIRE A SEPARATE GRADING PERMIT.
11. FOLLOWING THE PLACEMENT OF 4" OF TOPSOIL AND HYDROSEED, STRAW MULCH BLANKET IS TO BE INSTALLED PERPENDICULAR ALONG THE PROPOSED SLOPES 1:4 OR STEEPER FROM TOP OF SLOPE TO TOE OF SLOPE, INCLUDING DITCH BOTTOMS, AND IT MUST BE PEGGED IN PLACE.
12. ALL MUD/DIRT TRACKED ONTO EXISTING COUNTY/CITY ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
13. TEMPORARY STABILIZATION OF THE ENTIRE SITE SHALL BE COMPLETED AND APPROVAL OBTAINED FROM THE CITY OF ANN ARBOR

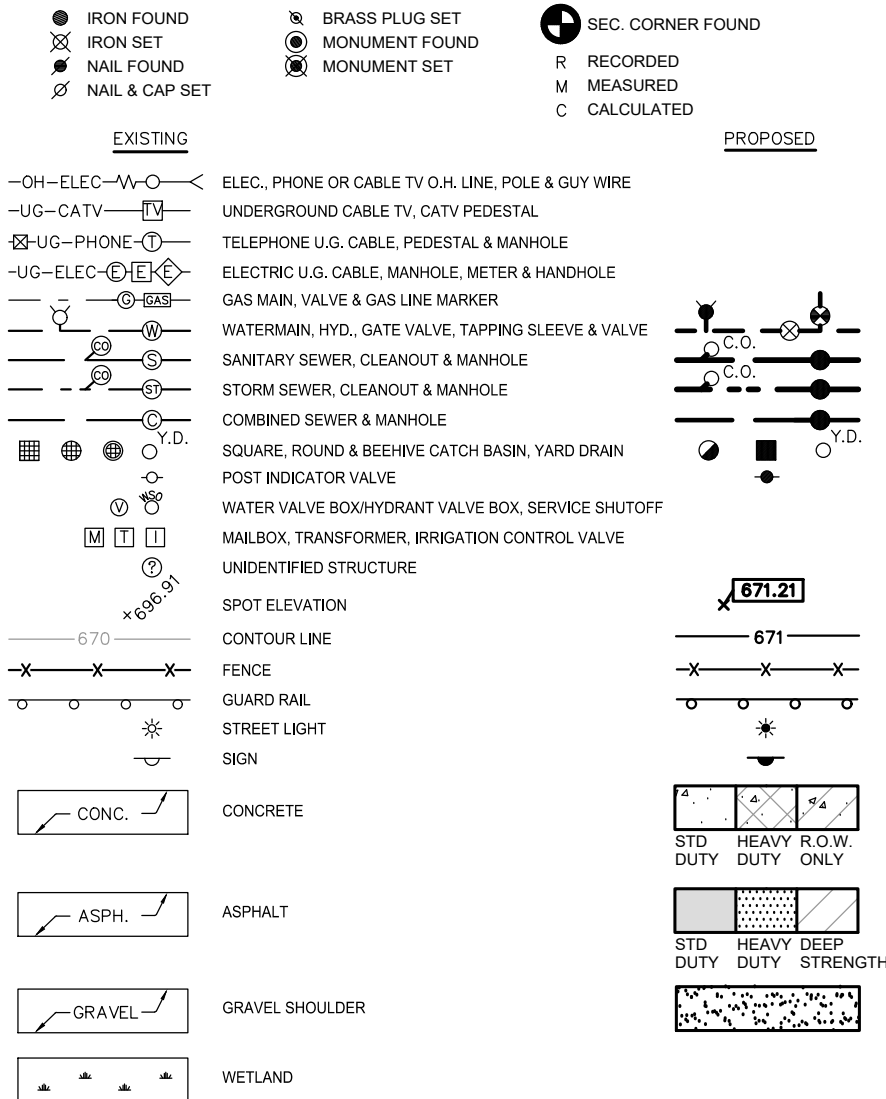
SOIL EROSION MAINTENANCE SCHEDULE AND NOTES:

1. THE CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS OCCURRED.
2. ANY DEBRIS OR DIRT ON ANY PAVED AREA RESULTING FROM CONSTRUCTION TRAFFIC SHALL BE CLEANED IN A PROPER MANNER BY THE CONTRACTOR. THE CONSTRUCTION DRIVE SHALL BE CLEANED AT THE END OF EACH DAY.
3. ALL DIRT AND MUD TRACKED ONTO PAVED AREAS SHALL BE REMOVED DAILY BY SCRAPING. STREET SWEEPING IS REQUIRED WEEKLY.
4. SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR REBACKFILL THE SILTATION FENCE SHOULD IT FALL OR BE DAMAGED DURING CONSTRUCTION.
5. INLET FILTER MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY ACCUMULATED SILT OR OTHER DEBRIS. THE REMOVAL OF SILT SHOULD BE WITH THE USE OF A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTERS CAN NOT BE CLEANED OR ARE DAMAGED, THEN THE FABRIC MUST BE REPLACED.
6. A WATER TRUCK SHALL BE AVAILABLE TO WATER DOWN THE SITE ON A DAILY BASIS AS REQUIRED TO MAINTAIN DUST CONTROL.

SEQUENCE OF CONSTRUCTION

START DAY	END DAY	ACTIVITY
1	1	CITY OF ANN ARBOR SOIL EROSION AND SEDIMENTATION CONTROL PRE-GRADING MEETING
2	300	INSTALL TEMPORARY SOIL EROSION CONTROL MEASURES, SILT FENCES, INLET FILTERS, ETC. AS NECESSARY.
5	30	REMOVE ALL VEGETATION, TREES AND BRUSH FROM THE AREA OF PROPOSED IMPROVEMENT UNLESS MARKED TO REMAIN. STRIP AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE GRADED AND SEEDED.
5	65	DEMOLISH ALL PAVEMENT, SIDEWALK, AND UTILITIES AS REQUIRED TO INSTALL THE PROPOSED WORK.
5	75	DISPOSE OF ALL EXCESS/UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO ON-SITE BURN OR BURY PITS ALLOWED.
30	90	ROUGH GRADE SITE. SEED AND MULCH BLANKETS MUST BE INSTALLED AS SHOWN WITHIN 5 DAYS OF FINAL GRADE. REPAIR AND/OR RE-INSTALL ANY TEMPORARY SOIL EROSION CONTROL MEASURES THAT WERE DAMAGED DURING GRADING OPERATIONS.
40	240	TEMPORARY SEEDING MUST BE PROVIDED IN AREAS NOT TO BE WORKED ON FOR 14 DAYS OR LONGER.
45	105	CONSTRUCT AND STABILIZE DETENTION FACILITIES
45	120	INSTALL SITE UTILITIES (STORM, SANITARY, WATER MAIN, ETC.) INSTALL INLET FILTERS AT NEW DRAINAGE STRUCTURES.
	110	WATER MAIN FLUSHING
50	120	INSTALL PARKING LOTS, ACCESS DRIVES AND ISLES UP TO AGGRAGATE BASE
120	300	CONSTRUCT PROPOSED BUILDINGS
150	175	FINE GRADE SITE AND PREPARE FOR SITE PAVING OPERATIONS.
175	205	INSTALL ALL PAVEMENT, SIDEWALKS, CURBING AS PROPOSED. IF PERMANENT LANDSCAPING IS NOT TO BE INSTALLED SOON AFTER PAVING IS COMPLETE, ALL AREAS WITHIN 20 FEET OF BACK OF CURB MUST BE TEMPORARILY SEEDED. REPAIR INLET FILTERS, SILT FENCE AND ANY OTHER DAMAGED SOIL EROSION CONTROL MEASURES AS NECESSARY.
205	265	FINAL GRADE, REDISTRIBUTE STOCKPILED TOPSOIL, ESTABLISH VEGETATION AND INSTALL ALL PERMANENT LANDSCAPING IN ALL DISTURBED AREAS NOT BUILT.
265	270	CLEAN PAVEMENT AND REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS REQUIRED.
300	300	REMOVE SEDIMENTATION CONTROLS ONCE ENTIRE SITE HAS BEEN PERMANENTLY STABILIZED AND THE CITY OF ANN ARBOR APPROVES THE FINAL GRADING

LEGEND



REFERENCE DRAWINGS

WATER MAIN  
SANITARY SEWER  
STORM SEWER  
COMBINED SEWER  
ELECTRIC  
TELEPHONE  
GAS  
PETROLEUM  
CATV  
FLOOD PLAIN  
OTHER  
OTHER

BENCHMARKS

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ELEVATION: 828.05 NAVD88 DATUM

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ELEVATION: 827.23 NAVD88 DATUM

BM #3  
MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD.  
ELEVATION: 827.81 NAVD88 DATUM

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FLOODPLAIN NOTE:

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SYMBOLS: EROSION CONTROL

SILT FENCE (REFER TO DETAIL ON SHEET P-8.0)

FOUR FOOT, ORANGE, CONSTRUCTION FENCE

STORM SEWER INLET FILTER (REFER TO DETAIL ON SHEET P-8.0)

TEMPORARY CONSTRUCTION ACCESS DRIVE (REFER TO DETAIL ON SHEET P-8.0)

EROSION CONTROL BLANKET (REFER TO DETAIL ON SHEET P-8.0)

SOIL INVESTIGATION

PER THE US DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE SOILS MAP FOR WASHTENAW COUNTY, SITE SOILS CONSIST OF:

NaB - NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES; HYDROLOGIC SOIL GROUP C/D

Pe - PEWAMOC CLAY LOAM, 0 TO 2 PERCENT SLOPES; HYDROLOGIC SOIL GROUP C/D

EROSION CONTROL COST ESTIMATE (CONSTRUCTION)

INSTALL SILT FENCE	2,817 LF.	\$1.60	\$4,508
INSTALL INLET FILTERS	16 EA.	\$120	\$1,920
INSTALL TEMPORARY ACCESS DRIVES	2 EA.	\$1,200	\$2,400
TEMPORARY SEEDING	\$12,500 S.Y.	\$1.05	\$13,125
INSTALL TEMP. END SECTION SED. TRAP	5 EA.	\$120	\$600
INSTALL EROSION CONTROL BLANKET	5,528 S.Y.	\$5.00	\$27,640
EXPOSED SOIL PROTECTION FROM EROSION SHOULD CONSTRUCTION DISCONTINUE	\$24,028 S.Y.	\$1.15	\$27,632
TOTAL			\$77,825

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0 20 40 80  
SCALE: 1" = 40'



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CLIENT

TROWBRIDGE COMPANIES  
2617 BEACON HILL DRIVE  
AUBURN HILLS, MI 48326

PROJECT TITLE

PLATT ROAD TOWNHOMES  
PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

REVISIONS

OWNER REVIEW 9/18/2020  
CONCEPT REVIEW MEETING 1/13/2021  
SPAWCWRC REVIEW 1/13/2022  
SPAWCWRC RESUBMITTAL 4/7/2022

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

DRAWING TITLE

SOIL EROSION  
CONTROL PLAN

PEA JOB NO. 2020-0151

P.M. JC

DN. JW

DES. JW

DRAWING NUMBER:

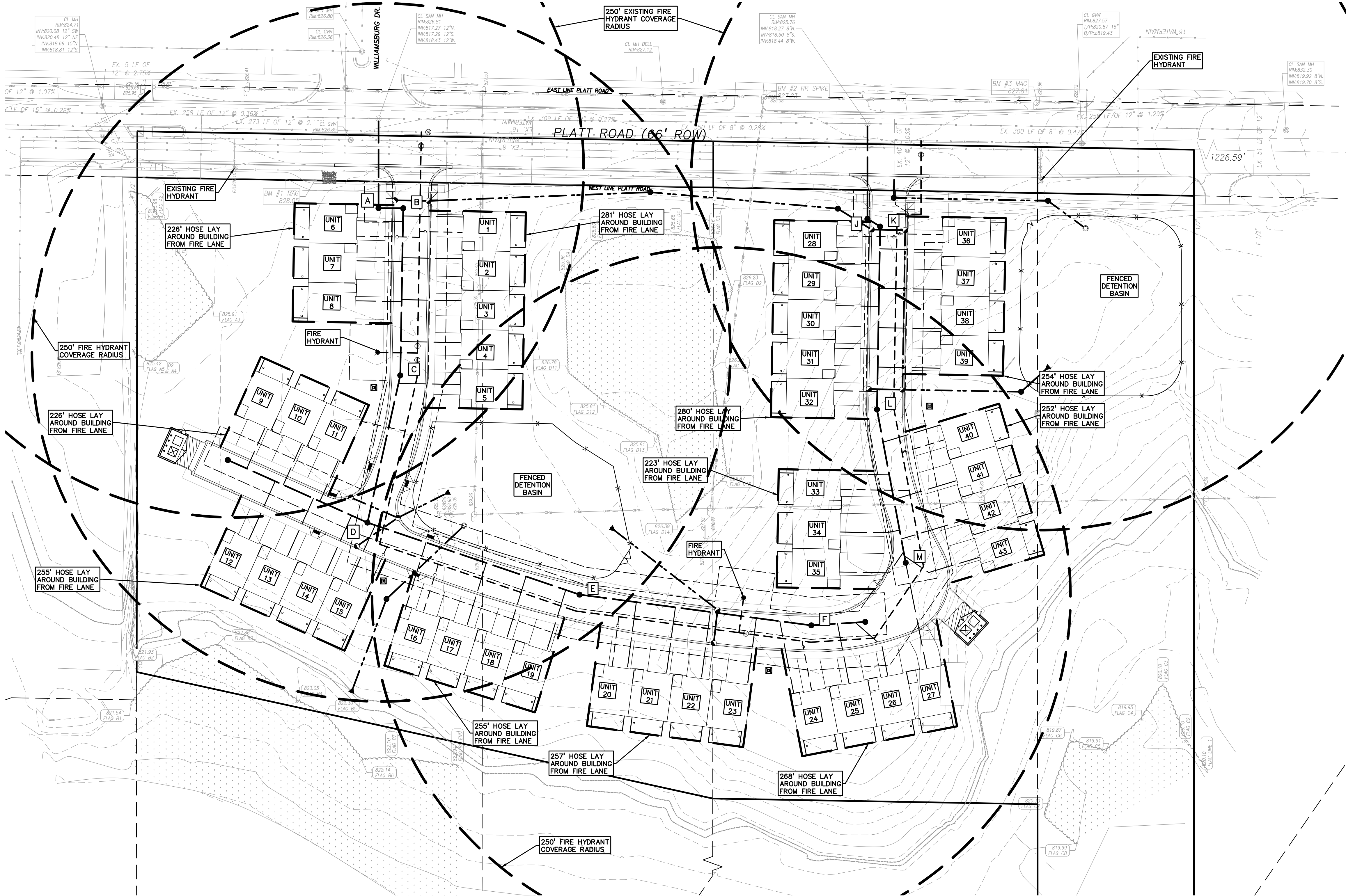
P-5.0







S:\PROJECTS\2020\2020-0181 PLATT ROAD TOWNHOMES - JCDWG\SITE PLANS (P-6-1) REC-202019.dwg



**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
● NAIL FOUND	⊗ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

**EXISTING**

- OH—ELEC—W—ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG—CATV—UNDERGROUND CABLE TV, CATV PEDESTAL
- ⊗—UG—PHONE—TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG—ELEC—ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS—GAS MAN. VALVE & GAS LINE WARMER
- WATER—WATERMANN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SEWER—SANITARY SEWER, CLEANOUT & MANHOLE
- STORM—STORM SEWER, CLEANOUT & MANHOLE
- COMB—COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST—POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MARB.—MARB. BOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENT—UNIDENTIFIED STRUCTURE
- SPOT—SPOT ELEVATION
- CONTOUR—CONTOUR LINE
- FENCE—FENCE
- GUARD—GUARD RAIL
- STREET—STREET LIGHT
- SIGN—SIGN
- CONC.—CONCRETE
- ASPH.—ASPHALT
- GRAVEL—GRAVEL SHOULDER
- WETLAND—WETLAND

**PROPOSED**

- STD—STD. HEAVY DUTY ONLY
- STD—STD. HEAVY DEEP DUTY STRENGTH

**REFERENCE DRAWINGS**

WATER MAIN	XXXXXXXXXXXX
SANITARY SEWER	XXXXXXXXXXXX
STORM SEWER	XXXXXXXXXXXX
COMBINED SEWER	XXXXXXXXXXXX
ELECTRIC	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
GAS	XXXXXXXXXXXX
PETROLEUM	XXXXXXXXXXXX
CATV	XXXXXXXXXXXX
FLOOD PLAIN	XXXXXXXXXXXX
OTHER	XXXXXXXXXXXX
OTHER	XXXXXXXXXXXX

**BENCHMARKS**

**BM #1**  
MAG NAIL IN THE WEST FACE OF TREE #3133; A 20" HICKORY LOCATED ON THE WEST R.O.W. LINE OF PLATT RD. ELEVATION: 828.05 NAVD88 DATUM

**BM #2**  
RAILROAD SPIKE IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD. JUST SOUTH OF A SINGLE CONCRETE DRIVE ENTRANCE ELEVATION: 827.23 NAVD88 DATUM

**BM #3**  
MAG NAIL IN THE WEST FACE OF UTILITY POLE; ON THE EAST R.O.W. LINE OF PLATT RD. ELEVATION: 827.81 NAVD88 DATUM

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**JOSEPH B. WYWROT**  
ENGINEER  
No. 45574  
PROFESSIONAL BUSINESS

**NORTH**

0 20 40 80  
SCALE: 1" = 40'

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CLIENT

**TROWBRIDGE COMPANIES**  
2817 BEACON HILL DRIVE  
AUBURN HILLS, MI 48326

PROJECT TITLE

**PLATT ROAD TOWNHOMES**  
PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

REVISIONS	
OWNER REVIEW	9/18/2020
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SPAWCWRC REVIEW	1/13/2022
SPAWCWRC RESUBMITTAL	4/7/2022

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

DRAWING TITLE

**FIRE PROTECTION PLAN**

PEA JOB NO.	2020-0151
P.M.	JC
DN.	JW
DES.	JW
DRAWING NUMBER:	

P-6.1







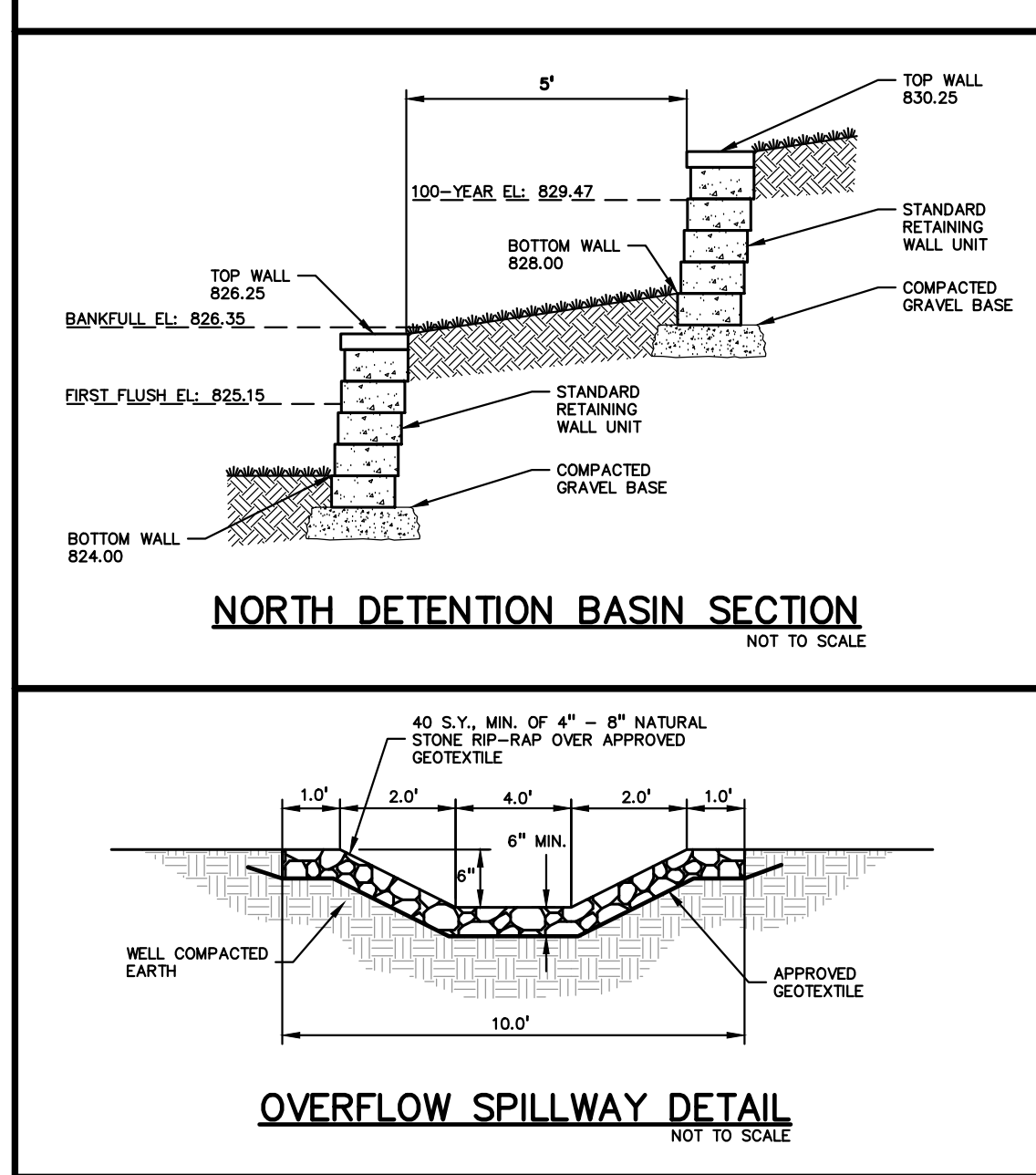
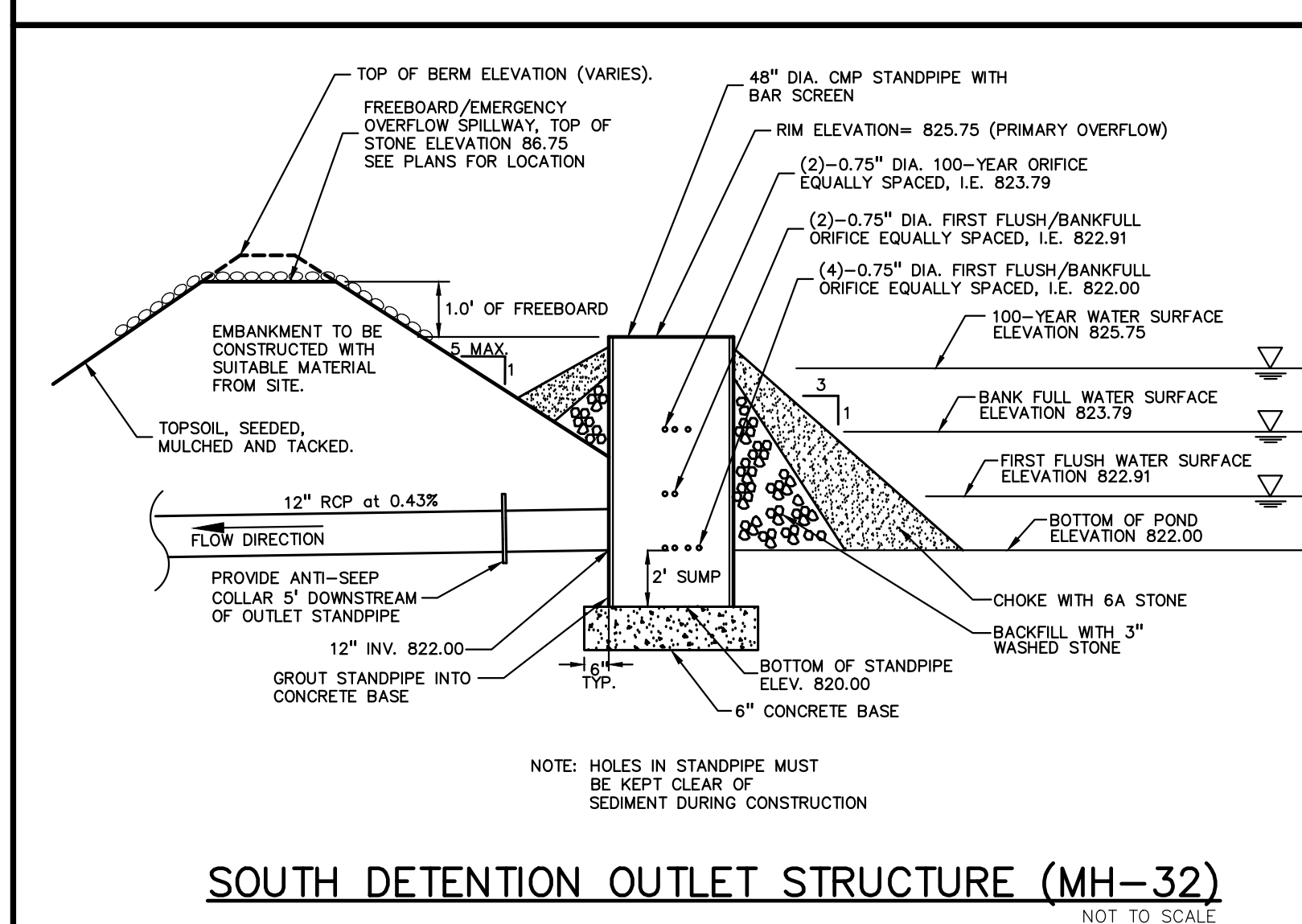
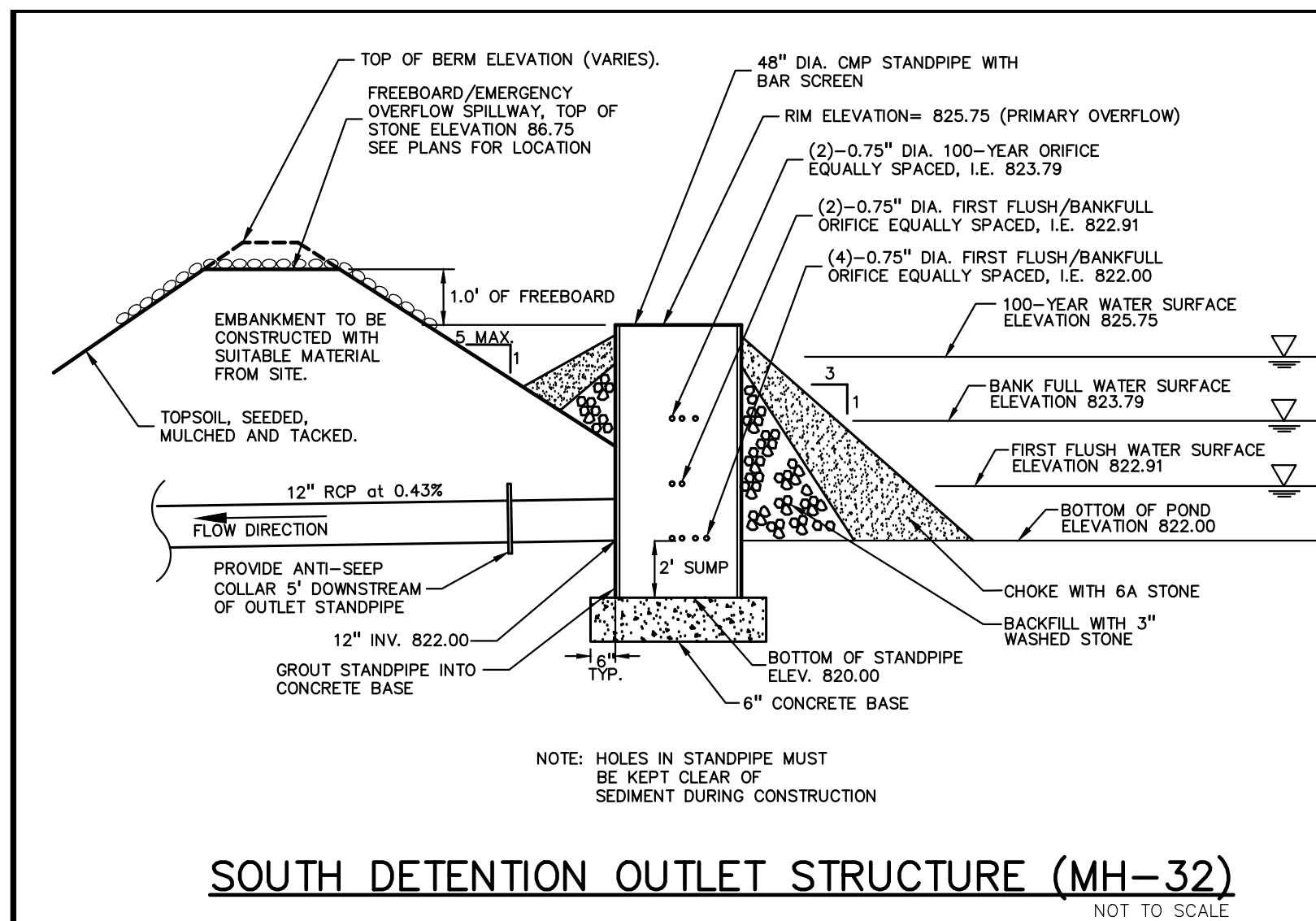




FROM STR	TO STR	AREA (A) (Acres)	COEF. C	A x C	TOTAL AREA (AxC) (Acres)	TOTAL AREA (Acres)	TIME t (min.)	INT. I (in/hr)	FLOW Q (cfs)	PIPE CAP. (cfs)	PIPE DIA. (in.)	PIPE LENGTH (ft.)	PIPE SLOPE (%)	MIN HG PER "Q"	VEL. FULL (ft/sec)	TIME FLOW (min.)	H.G.L. ELEV.		RIM ELEV.		INVERT ELEV.		PIPE COVER		HGL COVER	
																	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM
18	17	0.23	0.89	0.20	0.20	0.23	20.00	3.89	0.80	2.34	12	24	0.43	0.05%	3.0	0.1	825.91	825.81	827.26	826.71	825.11	825.01	0.99	0.54	1.35	0.91
17	16	0.27	0.88	0.24	0.44	0.50	20.10	3.88	1.72	2.34	12	159	0.43	0.23%	3.0	0.9	825.71	825.02	826.71	828.23	824.91	824.22	0.64	2.84	1.01	3.21
16	15	0.00	0.00	0.00	0.44	0.50	21.00	3.80	1.72	2.34	12	135	0.43	0.23%	3.0	0.8	824.92	824.39	828.23	826.27	824.12	823.55	2.94	1.56	3.31	1.88
15	14	0.00	0.00	0.00	0.44	0.50	21.80	3.74	1.72	2.34	12	28	0.43	0.23%	3.0	0.2	824.39	824.32	826.27	825.94	823.45	823.32	1.66	1.45	1.88	1.62
14	13	0.21	0.91	0.19	0.63	0.71	22.00	3.72	2.36	3.65	15	24	0.32	0.13%	3.0	0.1	824.32	824.29	825.94	825.94	823.12	823.05	1.38	1.46	1.62	1.66
13	12	0.28	0.86	0.24	0.88	0.99	22.10	3.72	3.25	3.65	15	114	0.32	0.25%	3.0	0.6	824.29	824.00	830.51	830.51	822.95	822.58	1.56	6.50	1.66	6.52
12	11	0.20	0.91	0.18	1.23	1.40	22.70	3.67	4.52	5.25	18	85	0.25	0.19%	3.0	0.5	824.00	823.84	830.51	830.86	822.38	822.17	6.43	6.98	6.52	7.01
11	10	0.00	0.00	0.00	1.23	1.40	23.20	3.63	4.52	5.25	18	27	0.25	0.19%	3.0	0.2	823.84	823.79	830.86	823.25	822.37	822.00	7.08	--	7.01	--

[illegible][illegible]

PERMANENT MAINTENANCE TASKS, SCHEDULE AND BUDGET											
TASKS	CATCH BASIN INLET CASTINGS	DITCHES AND SWALES	OUTFLOW CONTROL STRUCTURE	RIP-RAP	SEDIMENT BASINS	STORM DETENTION AREAS	SCHEDULE	ESTIMATED ANNUAL BUDGET			SESC TASKS
								1ST YEAR	2ND YEAR	3RD YEAR	
INSPECT FOR SEDIMENT ACCUMULATION		X	X		X	X	ANNUALLY	\$100	\$100	\$100	X
REMOVAL OF SEDIMENT ACCUMULATION		X	X		X	X	EVERY 2 YEARS AS NEEDED	\$300	\$100	\$0	X
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X		X	X	ANNUALLY	\$75	\$75	\$75	
CLEANING OF FLOATABLES AND DEBRIS	X	X	X		X	X	ANNUALLY	\$150	\$50	\$0	
INSPECTION FOR EROSION		X	X		X	X	ANNUALLY	\$125	\$100	\$100	X
RE-ESTABLISH PERMANENT VEGETATION ON ERODED SLOPES		X	X		X	X	AS NEEDED	\$250	\$100	\$100	X
REPLACEMENT OF STONE			X	X			EVERY 3-5 YEARS AS NEEDED	\$150	\$0	\$250	X
MOWING		X	X		X	X	0-2 TIMES PER YEAR	\$2,500	\$1,750	\$1,750	
INSPECT STORM WATER SYSTEM COMPONENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS	X	X	X	X	X	X	ANNUALLY	\$75	\$75	\$75	
INSPECT INFILTRATION BASIN FOLLOWING STORMS OF 1-INCH OR MORE					X	X	AS NEEDED	\$75	\$75	\$75	
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	X	AS NEEDED	\$300	\$300	\$300	
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES							ANNUALLY	\$0	\$0	\$0	
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE, AND REPAIRS							ANNUALLY	\$0	\$0	\$0	
TOTAL BUDGET								\$4,100	\$2,725	\$2,825	
SESC BUDGET								925	400	550	

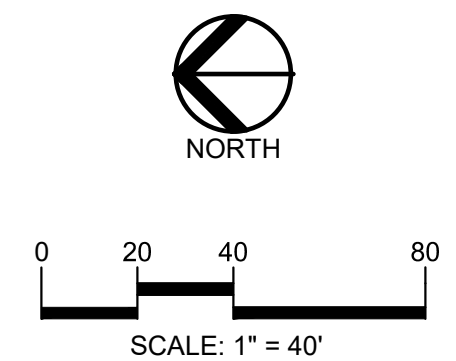


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STATE OF MICHIGAN  
JOSEPH WYWROT  
ENGINEER  
No. 45074  
MICHIGAN PROFESSIONAL ENGINEER



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COMPANIES**

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AUBURN HILLS, MI 48326

PROJECT TITLE

**PLATT ROAD  
TOWNHOMES**

PLATT ROAD  
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

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SPA/WC/WRC REVIEW	1/13/2022
SPA/WC/WRC RESUBMITTAL	4/7/2022

ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

DRAWING TITLE

**STORM WATER  
MANAGEMENT  
CALCULATIONS**

PEA JOB NO.	2020-0151
P.M.	JC
DN.	JW
DES.	JW

DRAWING NUMBER:

## P-7.2

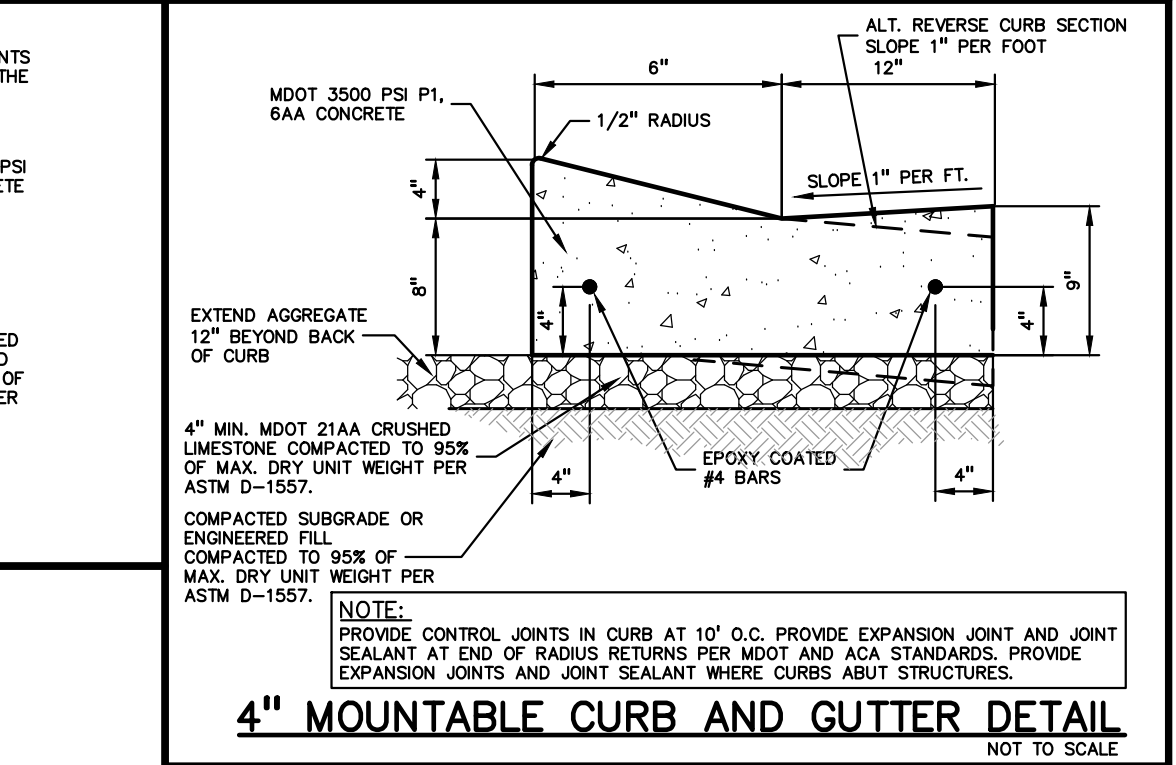
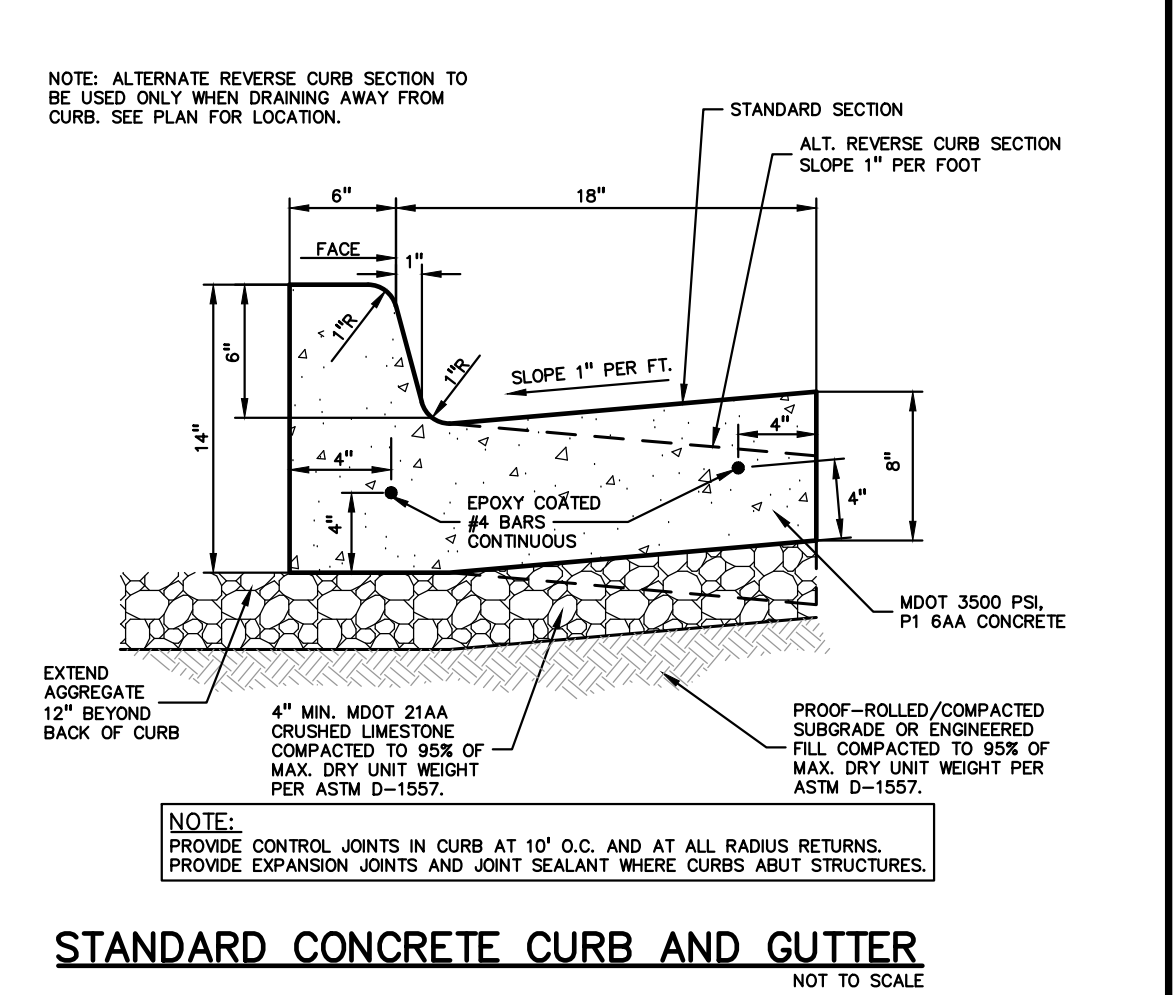
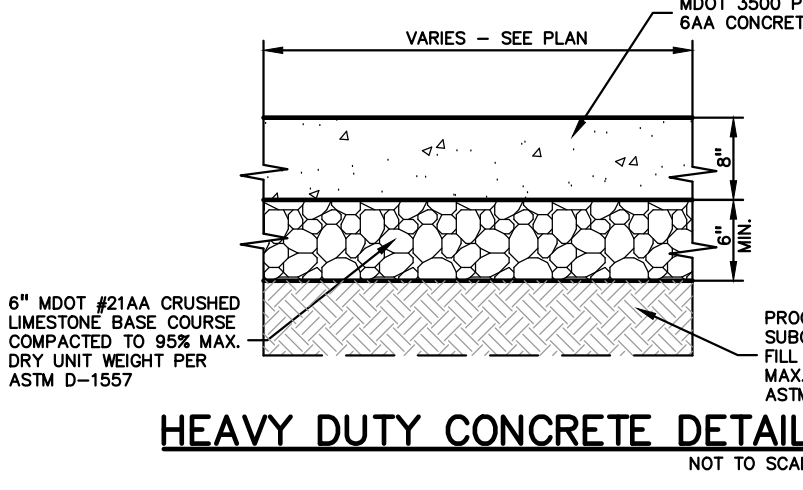
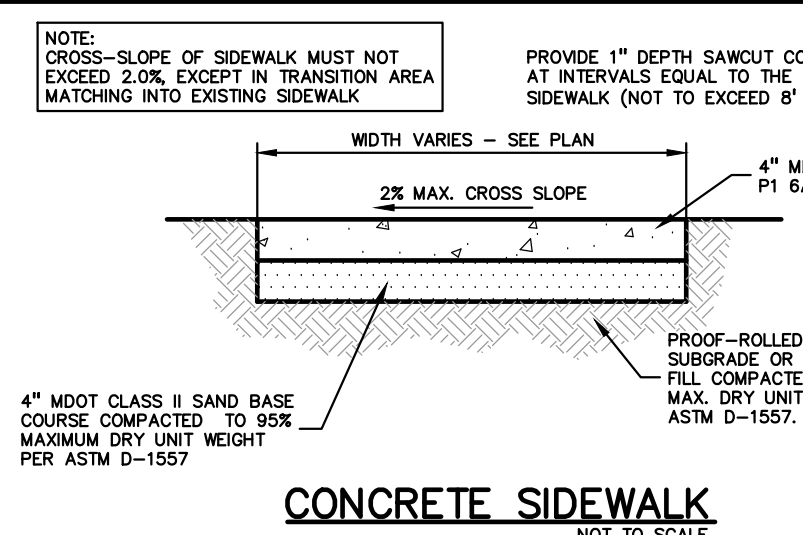
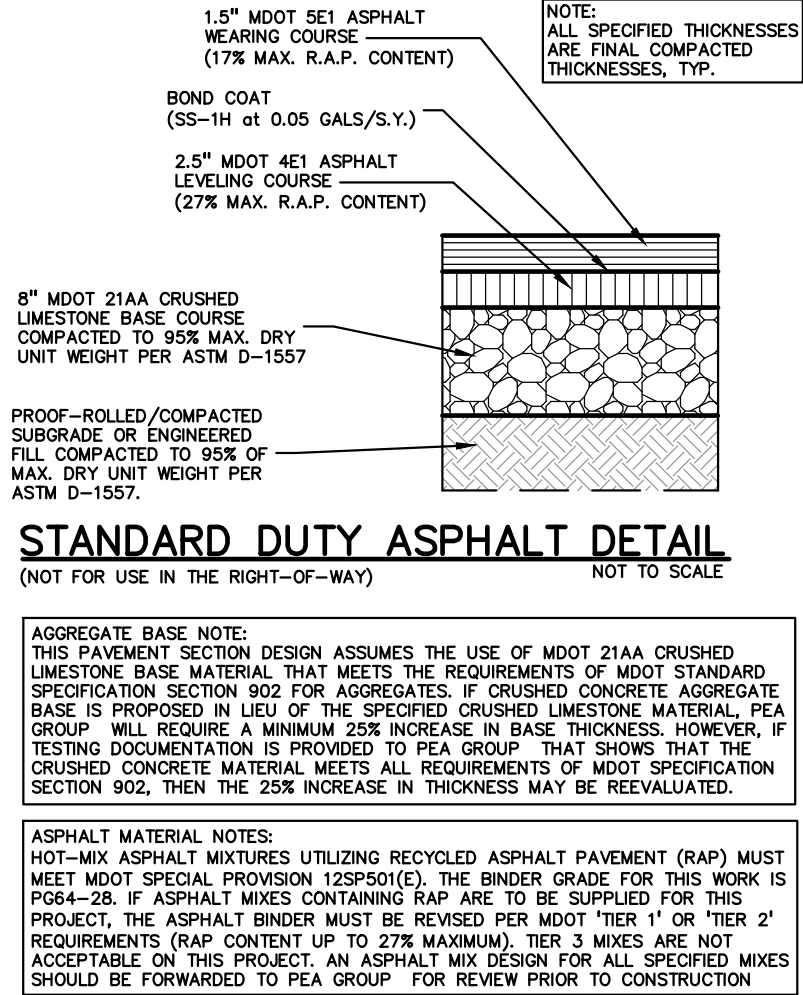
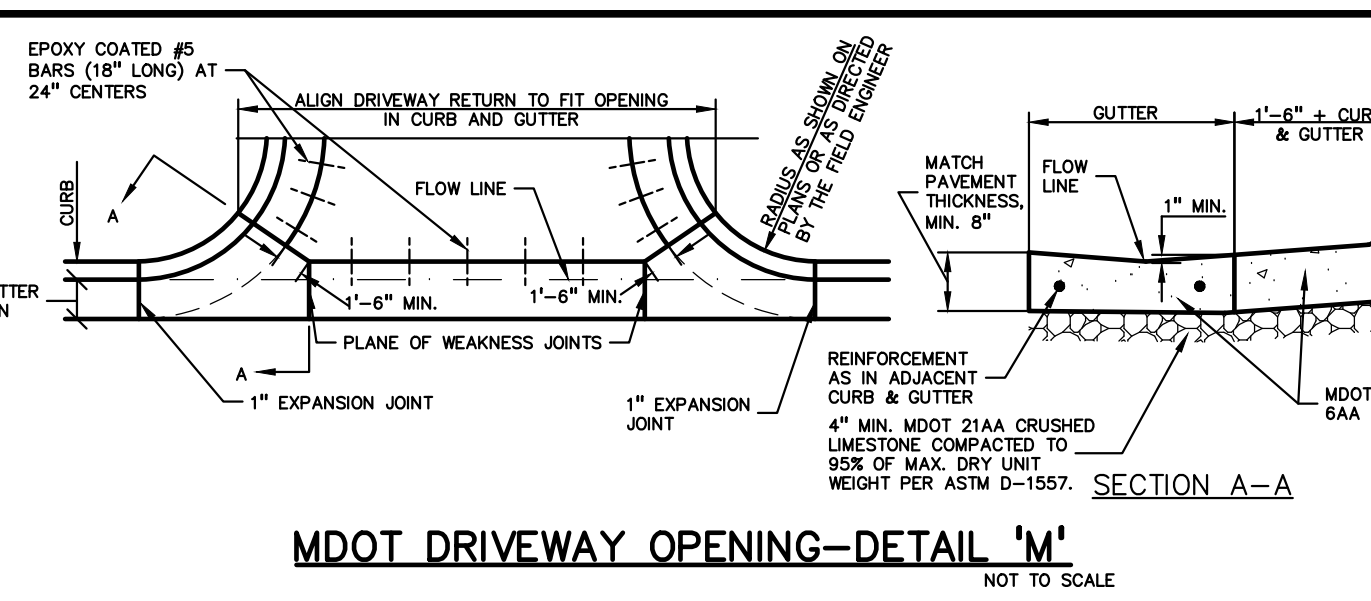
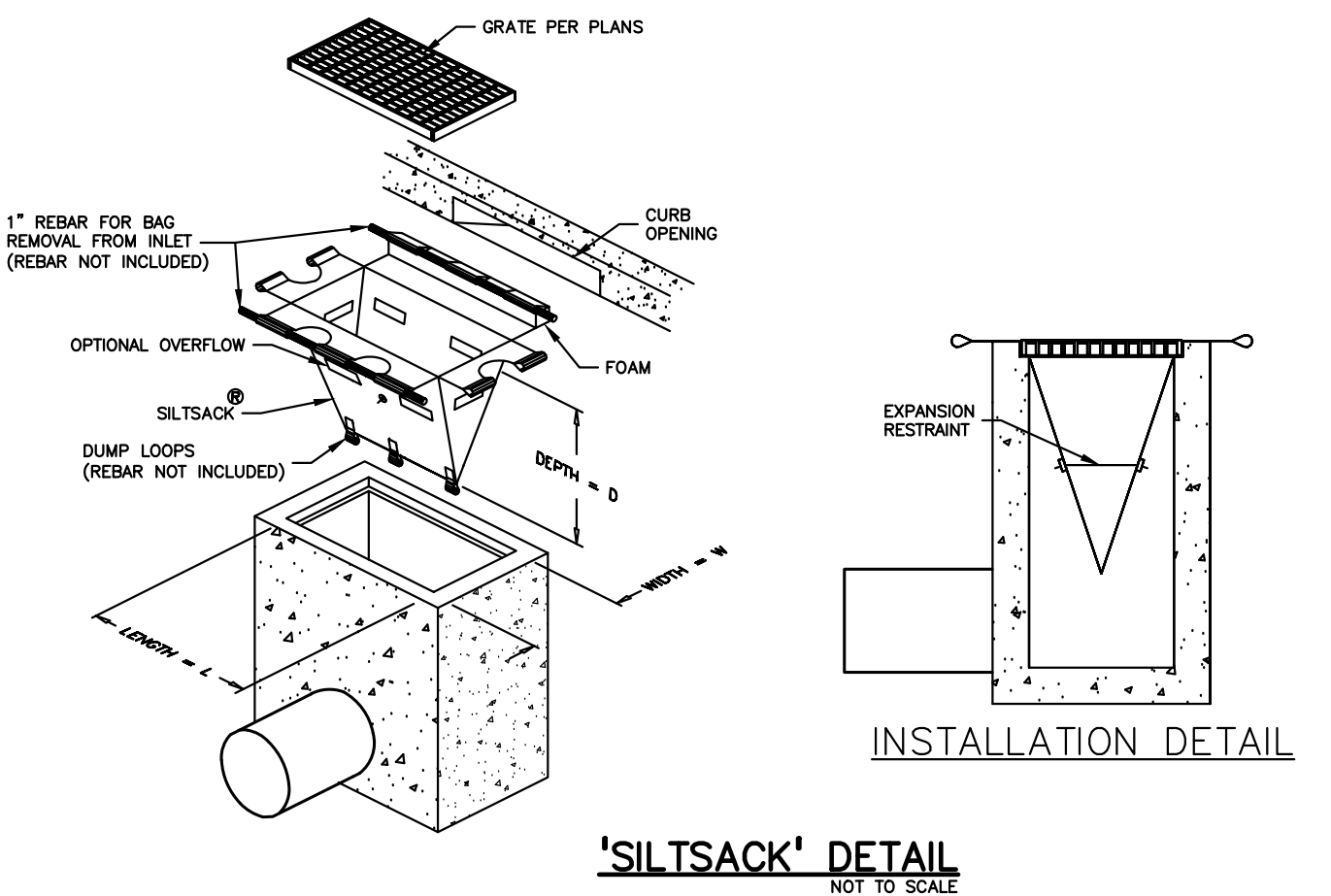
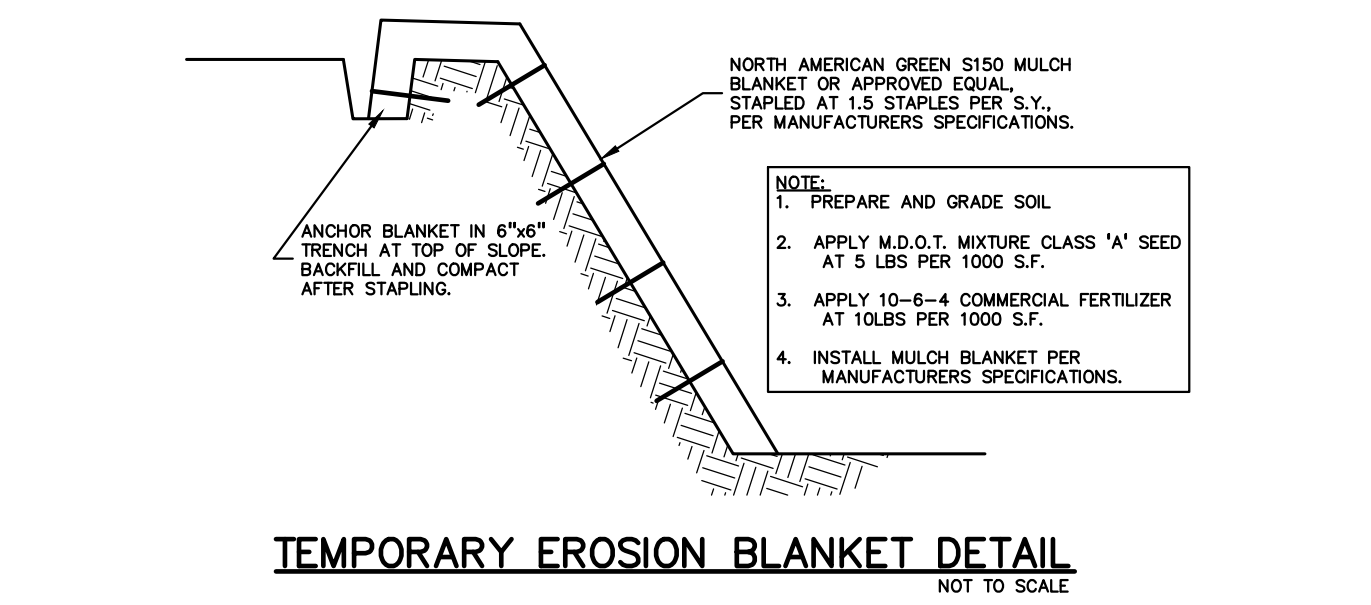
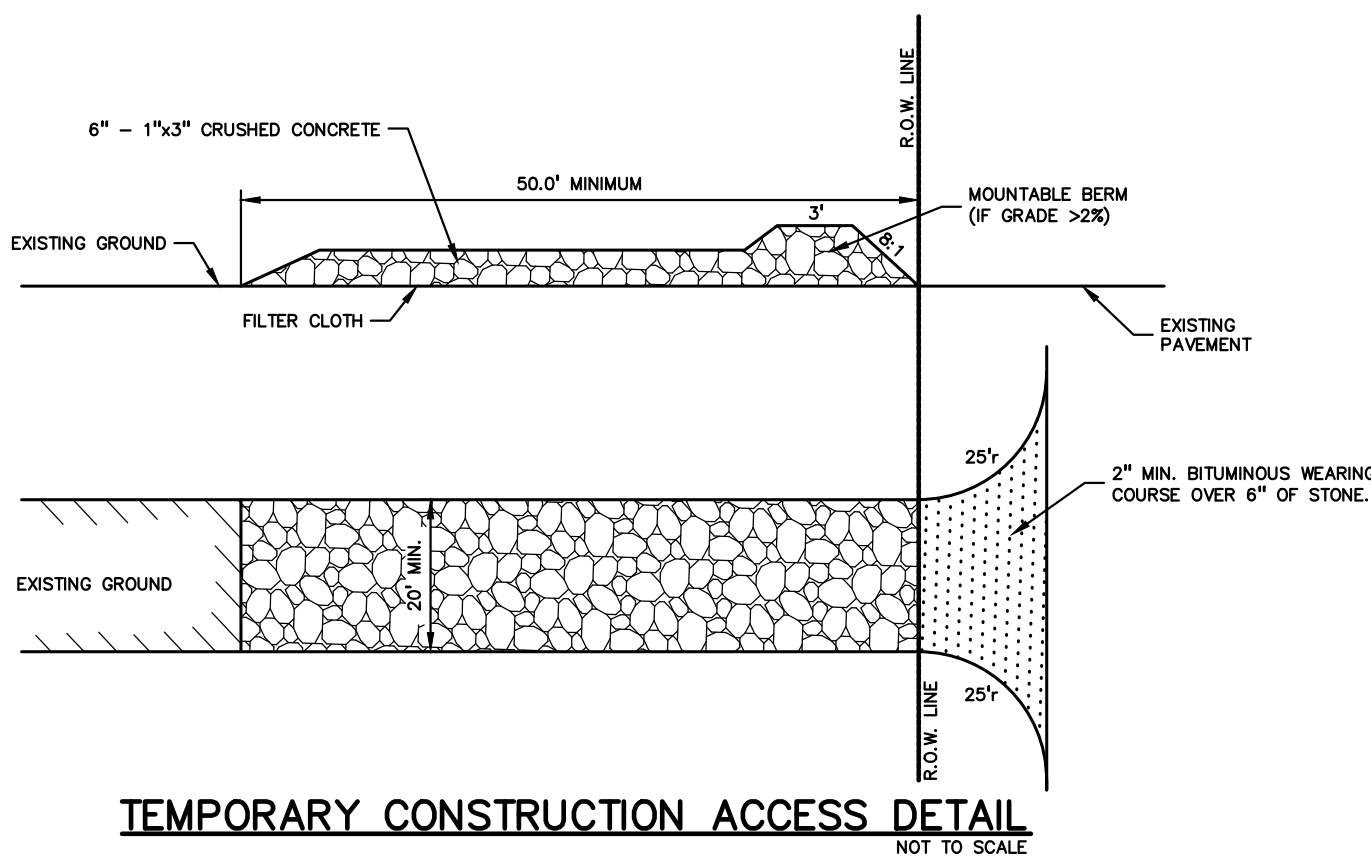
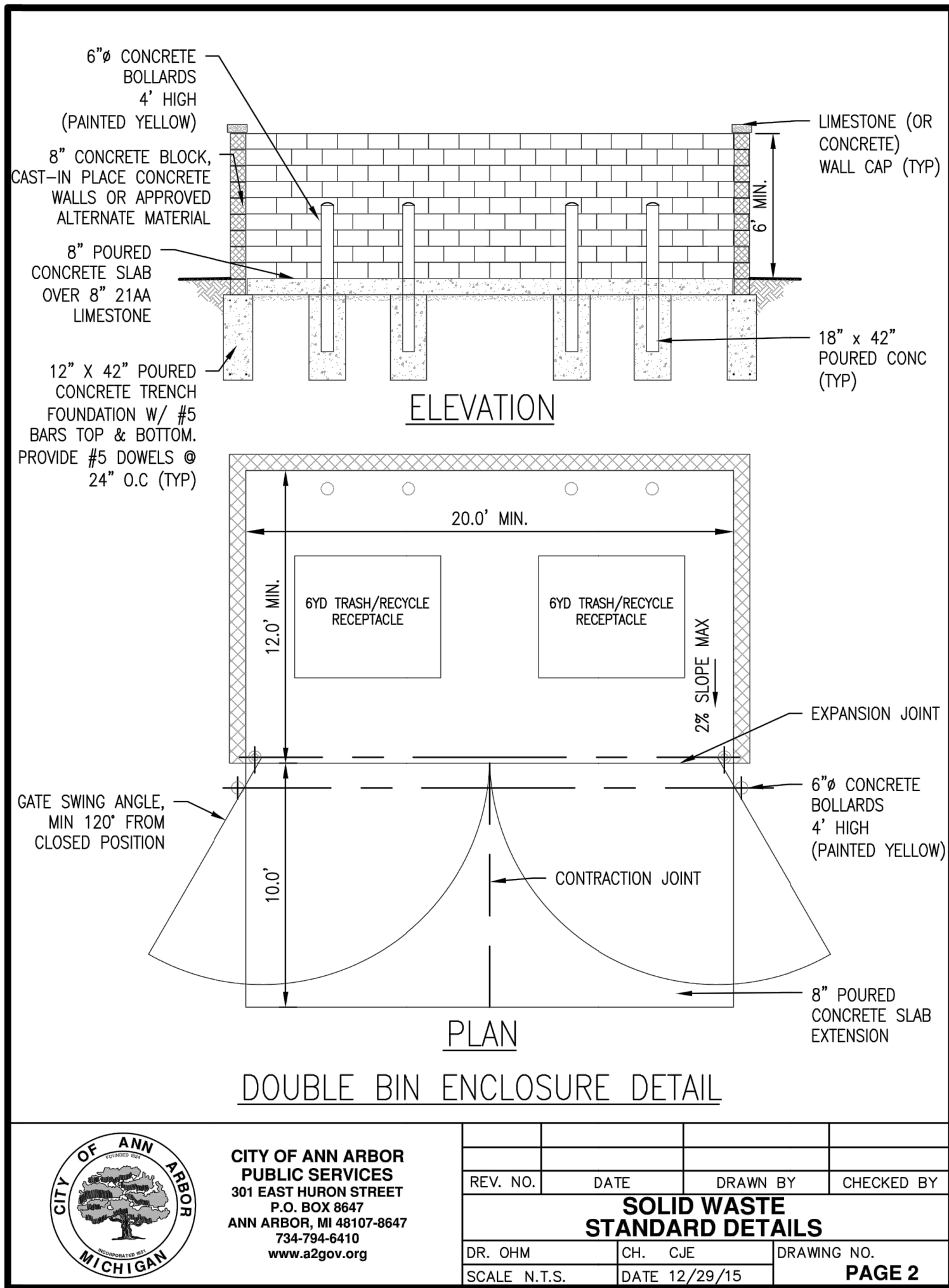
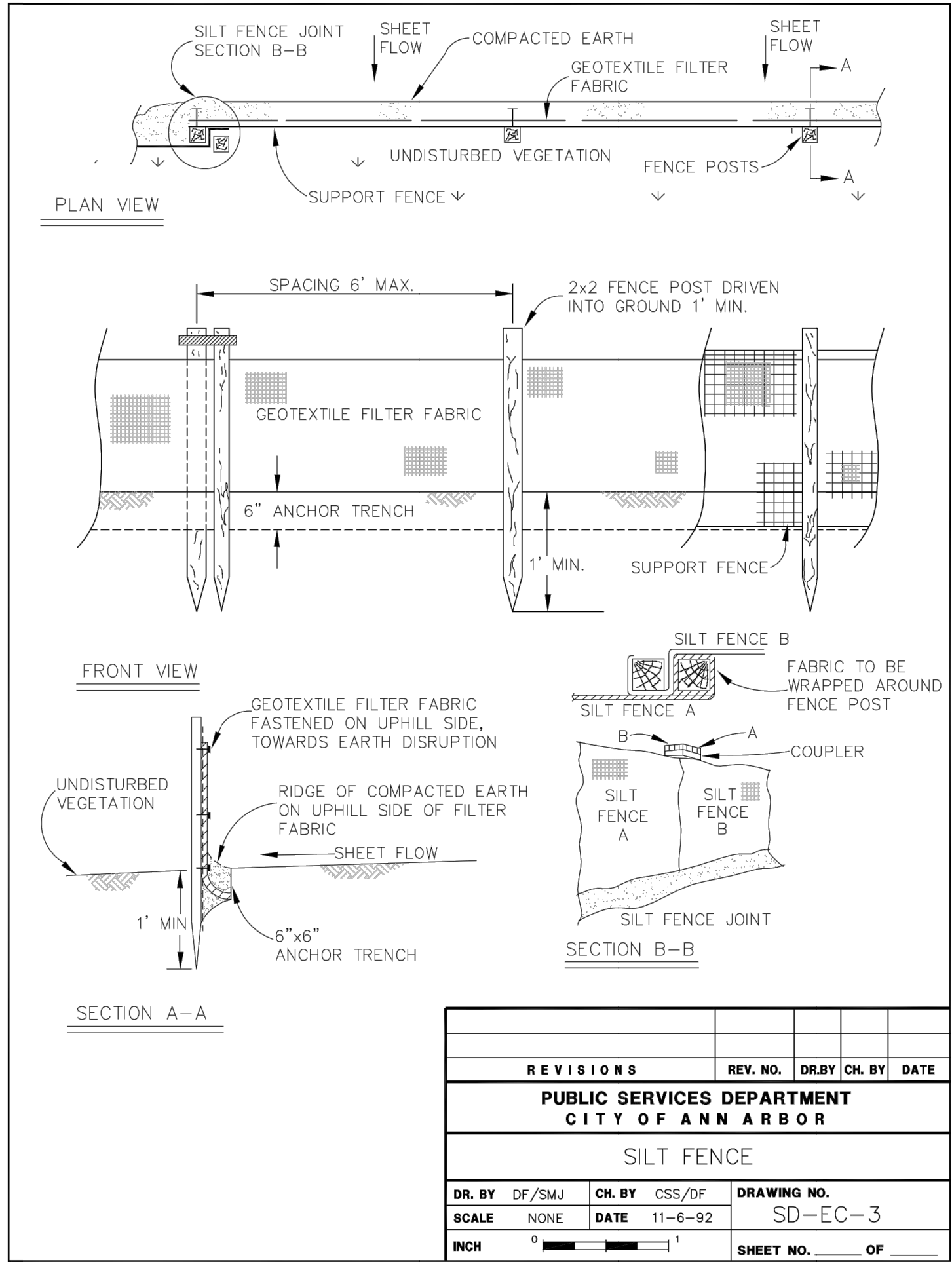












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STATE OF MICHIGAN  
JOSEPH B. WYBROT  
ENGINEER  
No. 45574

0 20 40 80  
SCALE: 1" = 40'

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ORIGINAL ISSUE DATE:  
SEPTEMBER, 2020

DRAWING TITLE  
**NOTES AND DETAILS**

PEA JOB NO.	2020-0151
P.M.	JC
DN.	JW
DES.	JW

DRAWING NUMBER:  
**P-8.0**



NOT FOR  
CONSTRUCTION



Drawn: JG  
Checked: JG  
Date: 12.2020  
Scale: 1" = 40'-0"

## Site Landscape Calculations

### LANDMARK TREE MITIGATION:

Landmark Trees Removed: 107"

Landmark Trees Preserved: 107"

\*There are no regulated woodlands on-site, see basal area calculation this sheet

Mitigation Required: 53.5" (107" x 50%)

Mitigation Provided: 54" (27 - 2" cal. trees)

Note: See sheet L-3 for planting locations

SUMMARY TABLE:	NUMBER OF TREES	TOTAL DBH (inches)
Landmark Trees Removed	6	107"
Landmark Trees Preserved	4**	107"
Woodland Trees Removed	n/a	n/a
Woodland Trees Preserved	n/a	n/a

Total Number of Trees Removed 208\*

Total Number of Trees Preserved 31\*\*

\*This number reflects only trees 8" dbh and greater

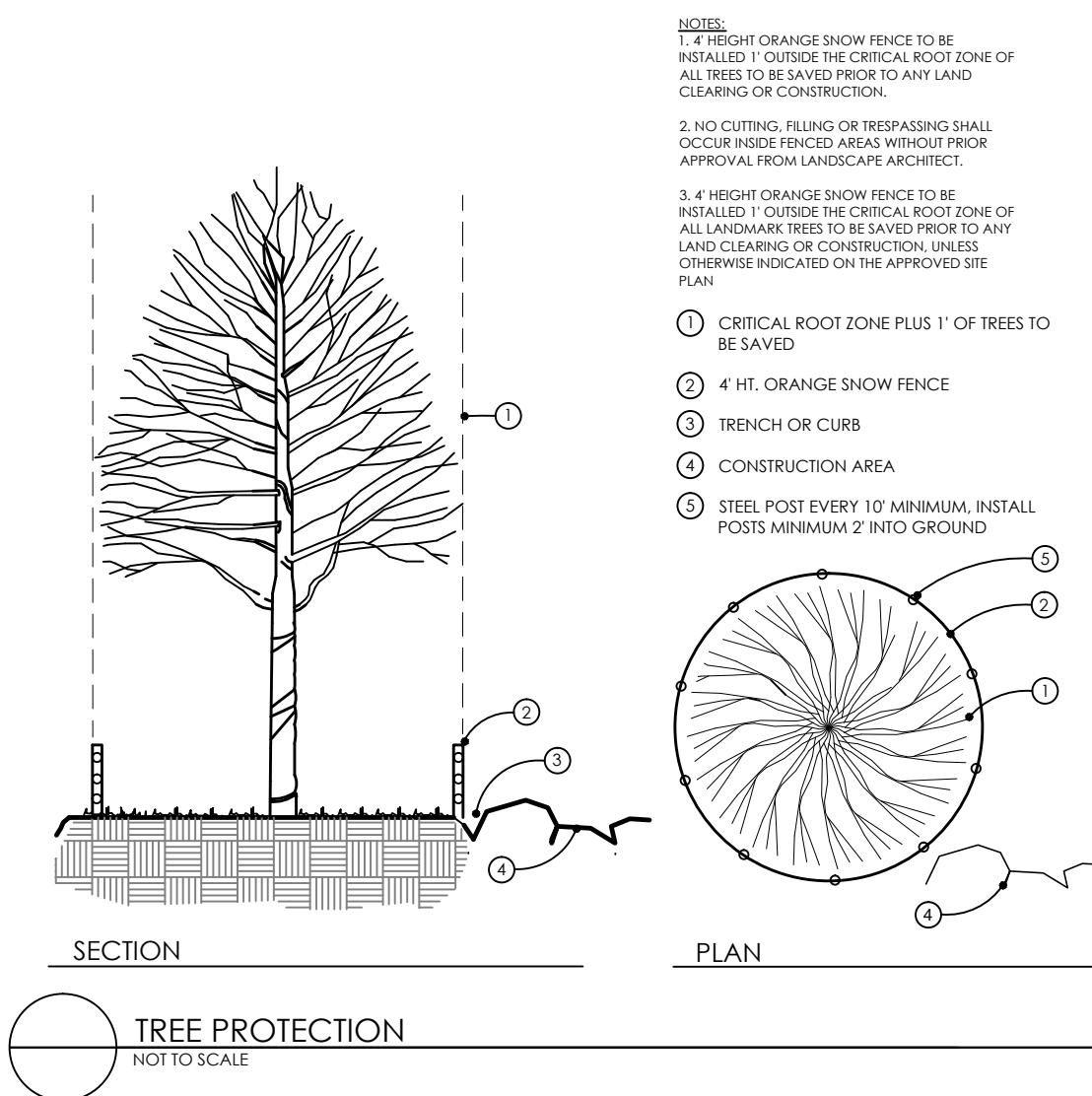
\*\*This number reflects only trees preserved on-site

## Basal Area Calculation:

Tag No.	DBH	To Get Radius		To Get Basal Area in square inches	
		Divide by 2	Squared	Multiply by Pi	
3323	12	6	36	113.04	
3324	6	3	9	28.26	
3325	6	3	9	28.26	
3365	8	4	16	50.24	
3366	6	3	9	28.26	
3367	6	3	9	28.26	
3368	7	3.5	12.25	38.465	
3369	7	3.5	12.25	38.465	
3370	6	3	9	28.26	
Sum				381.51	
X 10				3815	
/ 144				26.5	

## Note Key:

- EXISTING TREE TO REMAIN, SEE TYPICAL TREE PROTECTION DETAIL THIS SHEET
- EXISTING TREE TO BE REMOVED, SEE SHEET L-2 FOR TREE INVENTORY LIST, SEE SITE LANDSCAPE CALCULATIONS THIS SHEET
- EXISTING WETLAND
- 25' NATURAL FEATURE SETBACK
- EXISTING PUBLIC SIDEWALK
- FENCED IN DETENTION BASIN, SEE SHEET L-2
- PROPOSED TOWNHOUSE UNIT, SEE ARCHITECTURE AND SHEET L-3 FOR TYPICAL PLANTING PLAN
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DUMPSTER AND ENCLOSURE, SEE CIVIL ENGINEERING DRAWINGS
- TREE PROTECTION FENCING, SEE TYPICAL DETAIL THIS SHEET



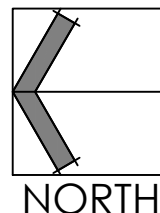
TREE PROTECTION  
NOT TO SCALE

SURVEY PROVIDED BY:

REICHERT SURVEYING, INC.  
140 Flumerfelt Lane  
Rochester, MI 48306  
248.651.0592

Job #: 19-178  
Dated: 05.14.2020

0 20 40 80  
SCALE: 1" = 40'-0"





Issued For:

12.23.2020 Pre-submittal Meeting  
03.05.2021 Site Plan Review  
12.09.2021 Revision  
04.06.2022 Revision - Site Plan Approval

Project:

Platt Road Townhomes  
Ann Arbor, Michigan

Project Sponsor:

Trowbridge Homes  
2617 Beacon Hill Drive  
Auburn Hills, MI 48326

Sheet Name:

## Tree Inventory

Seal:



NOT FOR  
CONSTRUCTION

Drawn: JG  
Checked: JG  
Date: 12.2020  
Scale: No Scale

Project Number:

20.050

Sheet Number:

L-2

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TAG #	ELEV.	DESC.	COND.	REMOVE
3039	827.90	10" WALNUT	G	X
3101	826.73	24" MAPLE	G	
3102	824.14	14" 22" ELM	F	
3103	820.73	17" BOXELDER	F	
3104	819.66	16" WILLOW	P	
3105	819.19	7" ELM	G	
3106	820.77	7" 13" MAPLE	G	
3107	820.41	6" MAPLE	G	
3108	820.76	9" MAPLE	G	
3109	821.14	6" MAPLE	G	
3110	822.85	6" ELM	G	
3111	823.49	10" WALNUT	G	
3112	822.82	7" WALNUT	G	
3113	822.42	11" MAPLE	G	
3114	819.44	20" WILLOW	P	
3115	820.11	7" CHERRY	G	
3116	821.09	7" CHERRY	G	
3117	821.70	8" CHERRY	G	
3118	821.09	18" MAPLE	G	
3119	820.64	6" 9" APPLE	P	
3120	819.18	12" WILLOW	F	
3121	819.20	10" 16" WILLOW	F	
3122	821.05	6" APPLE	F	
3123	819.90	14" ELM	G	
3124	822.18	10" MAPLE	G	
3125	821.63	6" MAPLE	G	
3126	821.63	14" MAPLE	G	
3127	822.48	6" CHERRY	G	
3128	822.52	6" WALNUT	G	
3129	822.61	6" WALNUT	G	
3130	827.63	11" 16" ELM	G	X
3131	828.05	14" ELM	F	X
3132	827.12	18" ELM	G	X
3133	826.94	20" HICKORY	G	
3134	826.78	9" 10" POPLAR	G	
3135	826.78	12" POPLAR	G	
3136	826.75	10" APPLE	F	
3137	827.14	10" APPLE	F	
3138	826.91	6" 7" APPLE	G	
3140	828.57	6" 6" 7" 7" MAPLE	G	X
3141	829.02	7" WALNUT	G	X
3142	829.08	7" WALNUT	G	X
3143	828.30	10" 11" APPLE	F	X
3144	828.03	16" ELM	G	X
3145	829.26	6" 8" ELM	G	X
3146	829.03	18" 18" ELM	G	X
3147	829.48	12" MAPLE	G	X
3148	828.92	14" PINE	F	X
3149	827.56	18" OAK	G	X
3150	829.52	13" HICKORY	G	X
3151	829.52	11" ELM	G	X
3152	829.47	16" WALNUT	G	X
3153	829.30	16" MAPLE	G	X
3154	828.96	6" WALNUT	G	X
3155	828.72	9" WALNUT	G	X
3156	828.98	6" WALNUT	G	X
3157	829.34	10" WALNUT	G	X
3158	829.61	6" 6" 7" 10" ELM	F	X
3159	828.99	7" ELM	F	X
3160	828.81	13" ELM	G	X
3161	828.83	6" ELM	G	X
3162	829.11	9" 9" 10" 10" 11" CHERRY	F	X
3163	828.95	6" WALNUT	G	X
3164	829.96	8" WALNUT	G	X
3165	829.59	6" ELM	G	X

TAG #	ELEV.	DESC.	COND.	REMOVE
3166	829.80	9" ELM	G	X
3167	828.92	16" CHERRY	G	X
3168	824.38	8" CHERRY	G	X
3169	825.03	7" CHERRY	G	
3170	826.12	15" WALNUT	G	X
3171	825.83	6" 6" CHERRY	G	X
3172	826.49	6" 6" CHERRY	G	
3173	825.77	10" CHERRY	G	X
3174	827.06	6" 7" CHERRY	G	X
3175	826.65	6" CHERRY	G	X
3176	825.60	6" 12" CHERRY	G	X
3177	824.17	6" APPLE	G	
3178	828.98	8" ELM	G	X
3179	828.76	11" BOXELDER	F	X
3180	822.12	6" CHERRY	G	
3181	822.41	6" CHERRY	G	
3182	822.10	7" CHERRY	G	
3183	822.08	7" BOXELDER	G	
3184	821.99	7" 7" CHERRY	G	
3185	822.84	8" CHERRY	G	
3186	822.91	8" CHERRY	G	
3187	824.47	6" 6" 7" CHERRY	G	
3188	826.02	6" ELM	G	X
3189	823.70	7" CHERRY	G	
3190	823.58	6" 7" 7" CHERRY	G	
3191	822.91	9" 9" APPLE	G	
3192	823.57	6" 6" 7" 7" CHERRY	G	
3193	823.63	7" BOXELDER	G	
3194	822.51	6" 6" CHERRY	G	
3195	822.28	9" CHERRY	G	
3196	821.85	11" 11" MAPLE	G	
3197	823.41	7" MULBERRY	G	
3198	822.50	9" 11" CHERRY	G	
3199	822.23	6" CHERRY	G	
3200	820.33	6" CHERRY	G	
3201	820.89	6" ELM	G	
3202	819.04	6" 7" WILLOW	G	
3203	819.82	10" 12" 16" 19" WILLOW	P	
3204	820.62	9" CHERRY	F	
3205	825.13	13" 13" APPLE	P	
3206	825.66	8" ELM	G	
3207	825.75	8" 14" ELM	F	
3208	825.86	9" 10" 12" ELM	F	
3209	826.39	11" 13" ELM	G	
3210	828.46	13" CHERRY	G	X
3211	831.85	9" POPLAR	G	X
3212	830.66	7" CHERRY	G	X
3213	831.37	6" 9" 11" 11" CHERRY	G	X
3214	831.21	6" 7" 7" CHERRY	G	X
3215	831.31	7" APPLE	G	X
3216	830.03	6" CHERRY	G	X
3217	829.49	10" HAWTHORNE	F	X
3218	831.31	6" 6" CHERRY	G	X
3219	829.04	6" MAPLE	G	X
3220	826.95	8" HAWTHORNE	G	
3221	826.05	15" HAWTHORNE	G	
3222	826.22	8" HAWTHORNE	G	
3223	825.99	7" APPLE	G	
3224	825.97	7" OAK	G	
3225	824.51	6" 8" APPLE	F	
3226	826.20	8" ELM	G	
3227	820.87	7" CHERRY	G	
3228	821.05	7" CHERRY	G	
3229	821.20	6" CHERRY	G	
3230	821.83	9" CHERRY	F	

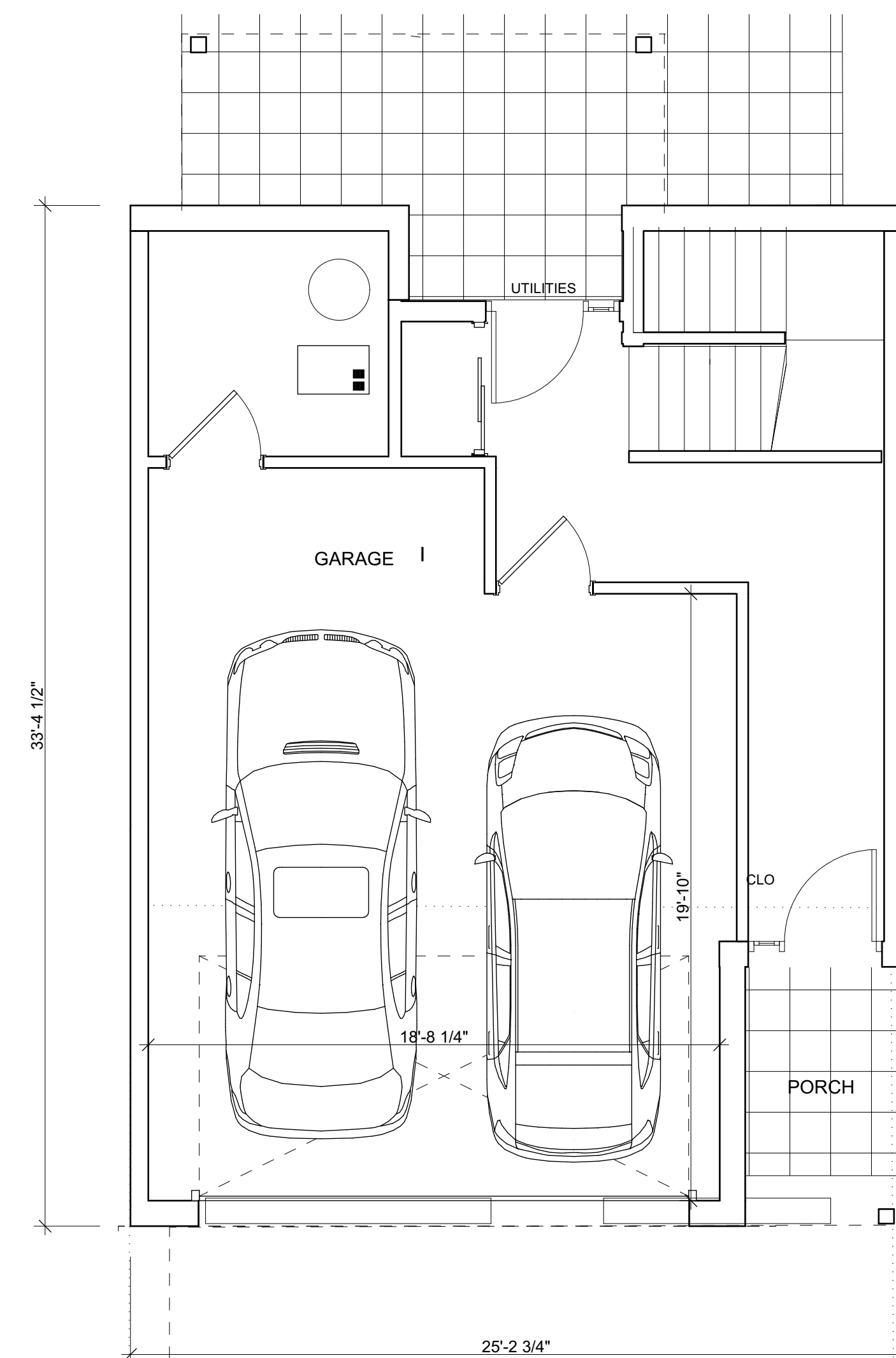
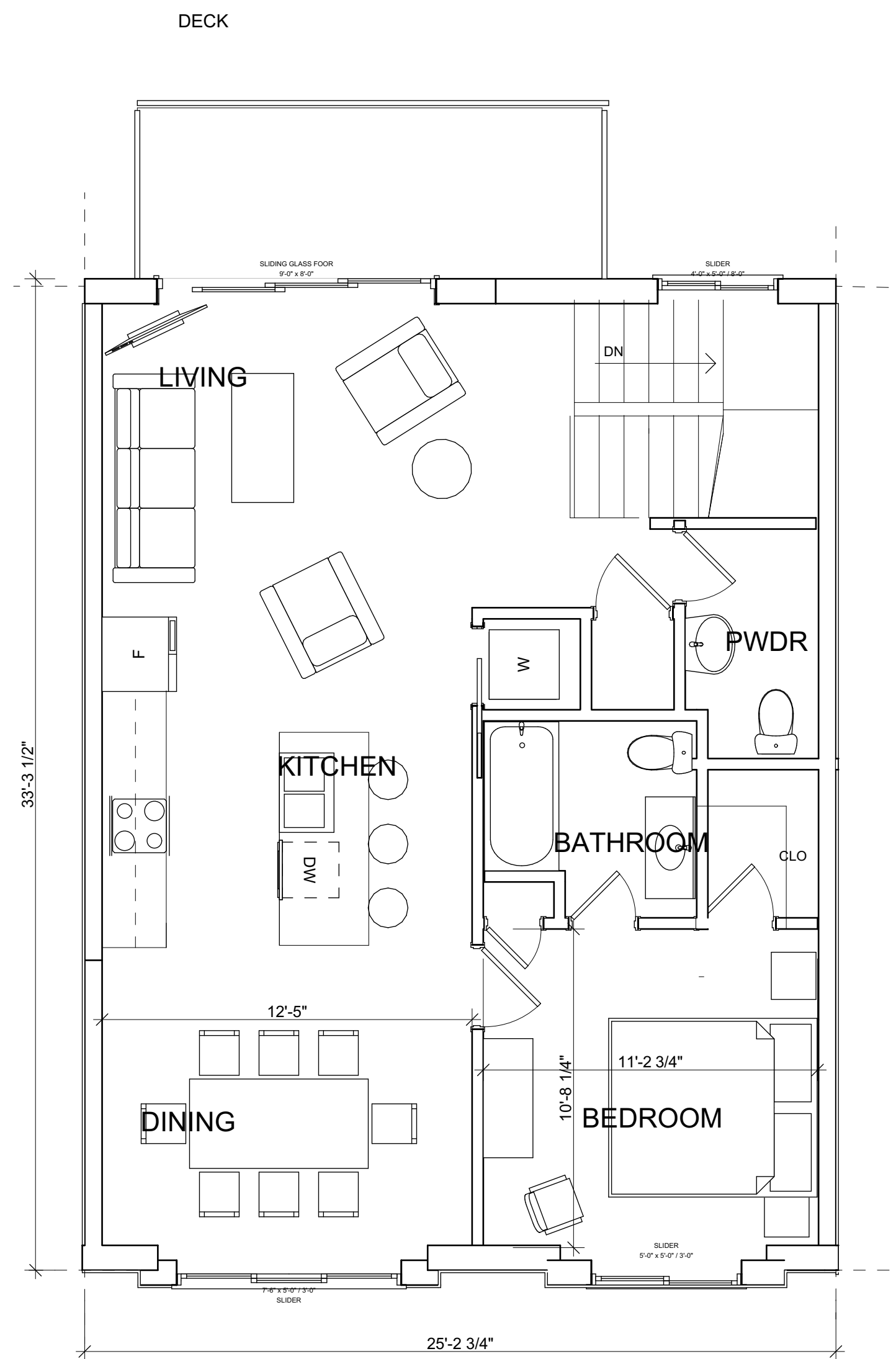
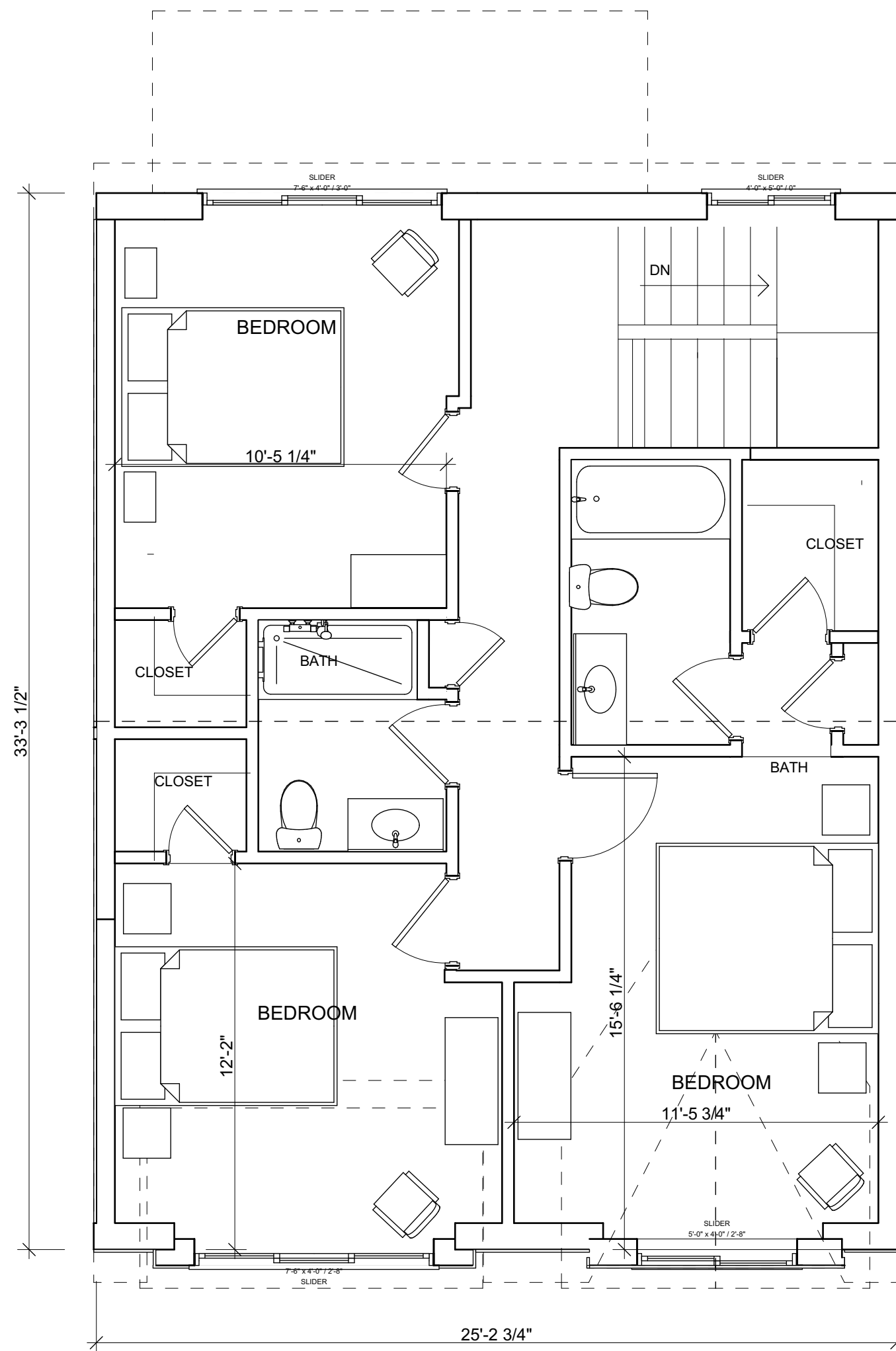
TAG #	ELEV.	DESC.	COND.	REMOVE
3231	823.05	9" ELM	F	
3232	828.06	7" WALNUT	G	X
3233	823.16	13" BOXELDER	F	
3234	823.64	10" BOXELDER	F	
3235	823.89	6" MAPLE	G	
3236	831.90	18" MAPLE	G	
3237	832.19	9" HICKORY	G	X
3238	828.99	11" 11" CHERRY	F	X
3239	830.86	14" PINE	F	X
3240	826.78	9" CHERRY	G	
3241	832.41	12" PINE	G	X
3242	832.35	7" HICKORY	G	X
3243	832.74	6" 6" APPLE	F	X
3244	833.44	10" WALNUT	G	X
3245	832.72	8" 9" APPLE	G	X
3246	832.56	6" 7" APPLE	F	X
3247	832.24	6" 6" 6" 6" PINE	F	X
3248	831.39	7" BOXELDER	F	X
3249	829.58	16" CHERRY	G	
3250	828.61	13" CHERRY	P	X
3251	827.66	9" 9" CHERRY	F	X
3252	825.77	13" BOXELDER	P	
3253	826.38	6" ELM	G	
3254	827.07	14" BOXELDER	P	
3255	828.10	10" BOXELDER	F	
3256	828.58	9" BOXELDER	G	
3257	834.99	12" BOXELDER	F	X
3258	835.40	9" CHERRY	G	X
3259	835.38	7" BOXELDER	G	X
3260	834.93	8" WALNUT	G	X
3261	833.29	6" 6" APPLE	F	
3262	832.56	6" CHERRY	G	X
3263	832.38	6" 7" CHERRY	G	X
3264	831.45	6" CHERRY	G	X
3265	834.65	9" BOXELDER	G	X
3266	834.67	6" BOXELDER	G	X
3267	834.47	7" CHERRY	G	X
3268	834.48	8" CHERRY	G	X
3269	834.53	9" CHERRY	F	X
3270	834.14	7" CHERRY	G	X
3271	833.77	6" 11" BOXELDER	F	X
3272	833.69	10" CHERRY	G	X
3273	829.57	7" CHERRY	G	X
3274	829.08	7" CHERRY	G	X
3275	829.06	6" CHERRY	G	X
3276	828.76	6" CHERRY	G	X
3277	828.13	7" CHERRY	G	X
3278	827.42	7" CHERRY	G	X
3279	826.63	6" CHERRY	G	X
3280	825.52	9" 15" BOXELDER	P	X
3281	827.04	7" CHERRY	G	X
3282	827.75	7" CHERRY	G	X
3283	832.75	20" 20" BOXELDER	P	X
3284	832.63	17" WALNUT	G	X
3285	832.43	10" MULBERRY	F	X
3286	826.71	8" WALNUT	G	X
3287	825.45	7" WALNUT	G	X
3288	835.39	10" WALNUT	G	X
3289	836.16	11" ELM	G	X
3290	836.01	6" ELM	G	X
3291	834.52	6" ELM	G	X
3292	835.69	8" ELM	F	X
3293	835.26	9" BOXELDER	F	X
3294	835.29	13" BOXELDER	F	X
3295	835.41	12" ELM	G	X

TAG #	ELEV.	DESC.	COND.	REMOVE
3296	835.30	10" ELM	F	X
3297	835.49	7" WALNUT	G	X
3298	835.56	7" WALNUT	G	X
3299	836.66	11" ELM	G	X
3300	836.73	6" 9" 9" 9" ELM	F	X
3301	835.49	10" BOXELDER	F	X
3302	836.63	9" 9" ELM	G	X
3303	837.21	11" CEDAR	G	X
3304	836.25	13" ELM	G	X
3305	836.27	13" ELM	G	X
3306	835.42	14" ELM	G	X
3307	836.59	11" 13" APPLE	P	X
3308	834.96	6" ELM	G	X
3309	834.37	11" ELM	F	X
3310	834.95	6" ELM	G	X
3311	835.27	7" ELM	G	X
3312	835.63	7" ELM	G	X
3313	835.60	7" ELM	G	X
3314	835.80	9" 10" ELM	G	X
3315	834.15	9" ELM	G	X
3316	833.56	17" ELM	G	X
3317	831.97	7" ELM	G	X
3318	831.25	8" ELM	G	X
3319	831.66	7" ELM	G	X
3320	831.64	9" ELM	G	X
3321	834.30	6" 7" 11" ELM	G	X
3322	830.45	18" WALNUT	G	X
3323	829.69	12" ELM	F	X
3324	830.11	6" 6" ELM	G	X
3325	830.13	6" 6" ELM	G	X
3326	835.05	7" ELM	G	X
3327	830.96	10" ELM	G	X
3328	831.07	7" ELM	G	X
3329	833.01	10" ELM	G	X
3330	831.84	12" ELM	G	X
3331	832.97	8" 8" 9" ELM	G	X
3332	831.37	9" 13" ELM	G	X
3333	833.37	8" ELM	G	X
3334	834.91	9" 9" ELM	G	X
3335	832.22	6" 6" CHERRY	G	X
3336	829.87	12" BOXELDER	F	X
3337	829.05	10" 13" BOXELDER	F	X
3338	829.02	7" BOXELDER	G	X
3339	828.32	14" BOXELDER	P	X
3340	826.72	7" APPLE	F	
3341	826.98	6" CHERRY	G	X
3342	828.02	10" ELM	G	X
3343	825.72	7" ELM	G	
3344	828.05	10" ELM	G	X
3345	827.59	12" 12" BOXELDER	F	
3346	827.81	7" BOXELDER	G	
3347	827.79	6" CHERRY	G	
3348	834.34	6" 8" 9" CHERRY	F	X
3349	835.07	12" BOXELDER	F	X
3350	835.05	12" BOXELDER	G	X
3351	834.90	11" BOXELDER	F	X
3352	835.00	6" 11" BOXELDER	P	X
3353	831.96	15" 19" ELM	G	X
3354	832.60	10" 13" ELM	F	X
3355	831.36	11" ELM	G	X
3356	832.75	8" 12" ELM	G	X
3357	831.81	11" ELM	G	X
3358	831.88	8" 10" ELM	G	X
3359	831.14	12" ELM	G	X
3360	830.77	11" ELM	G	X



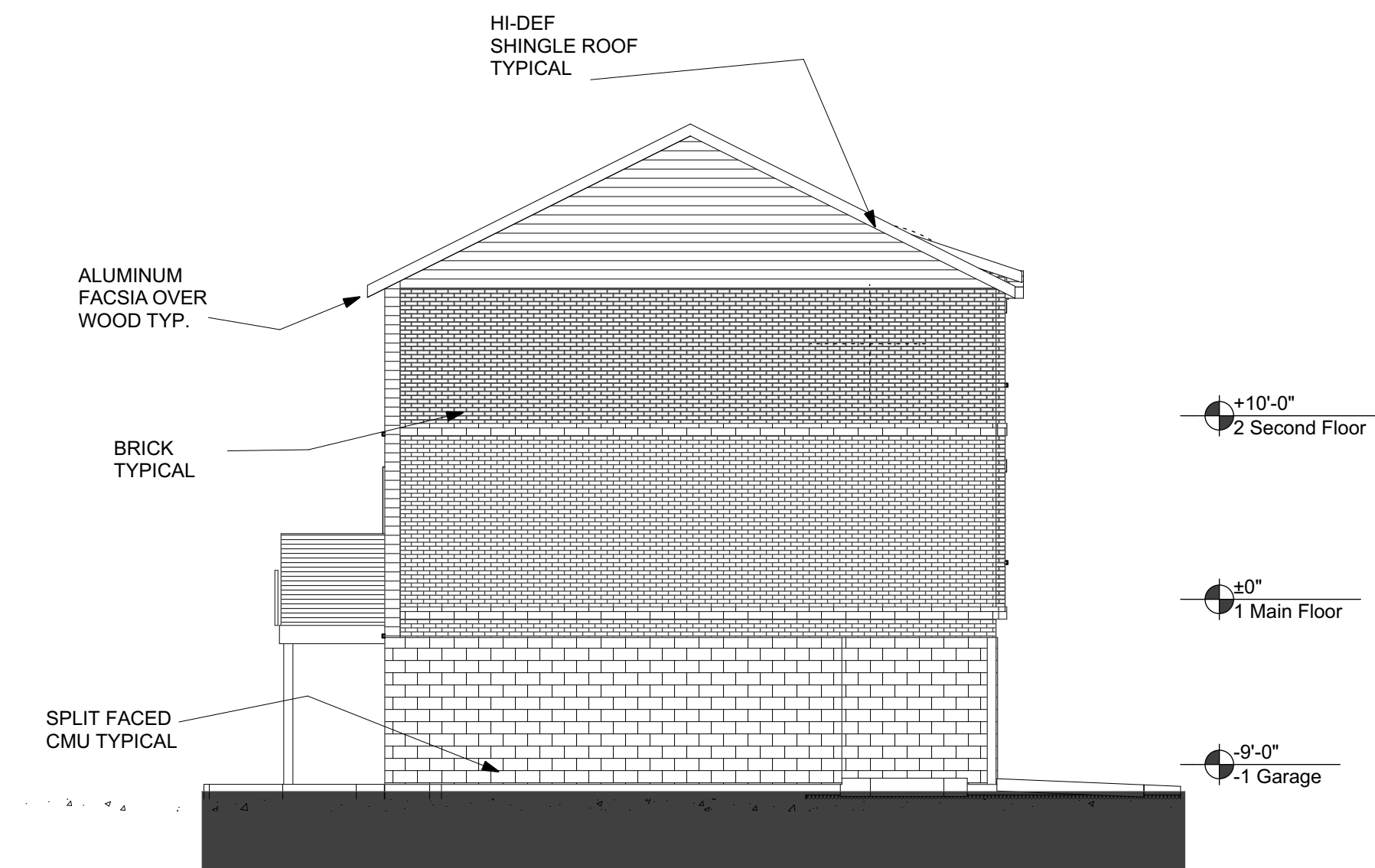






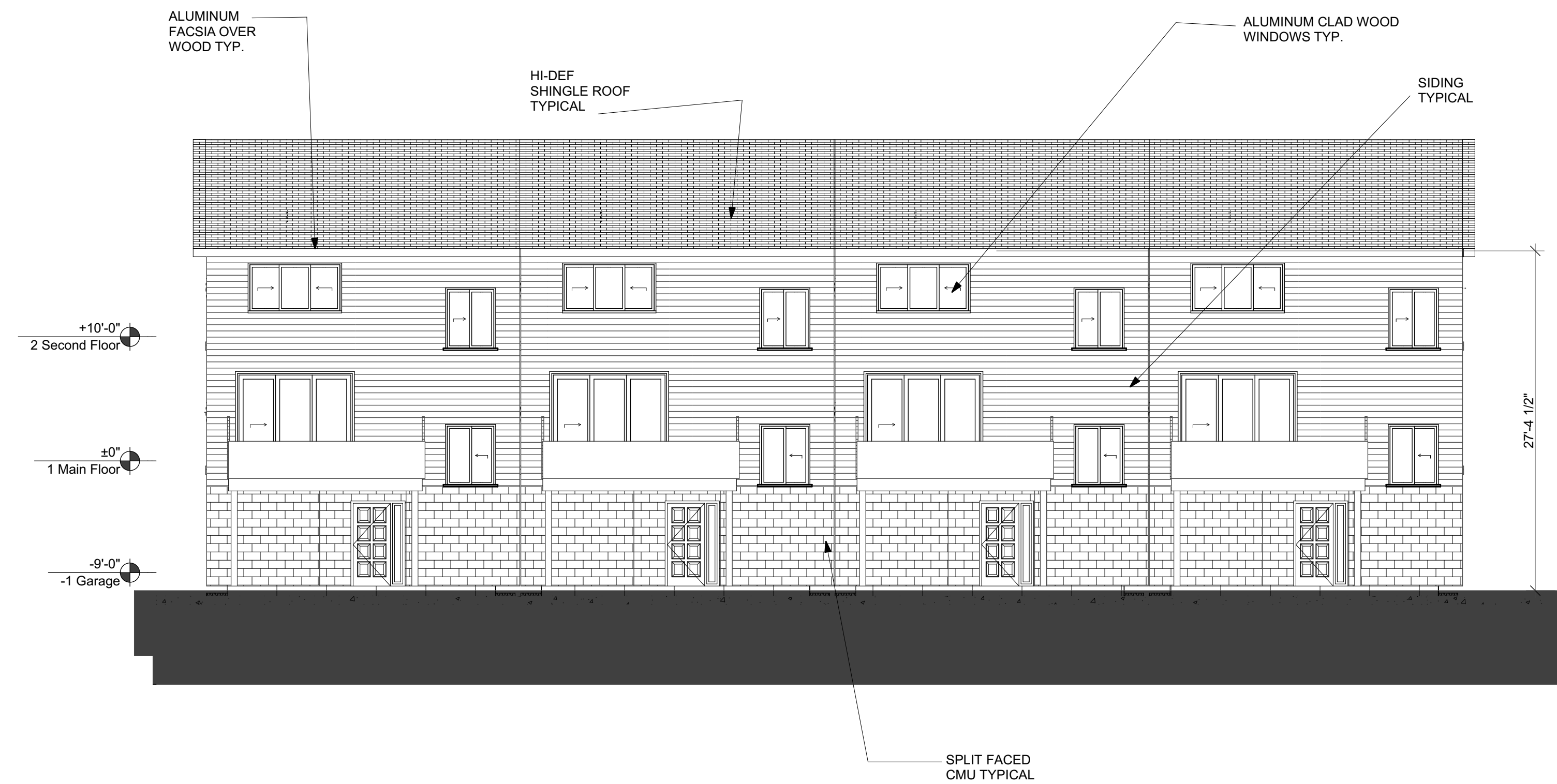
1500 SF townhomes  
4 Bedroom 3 1/2 bath





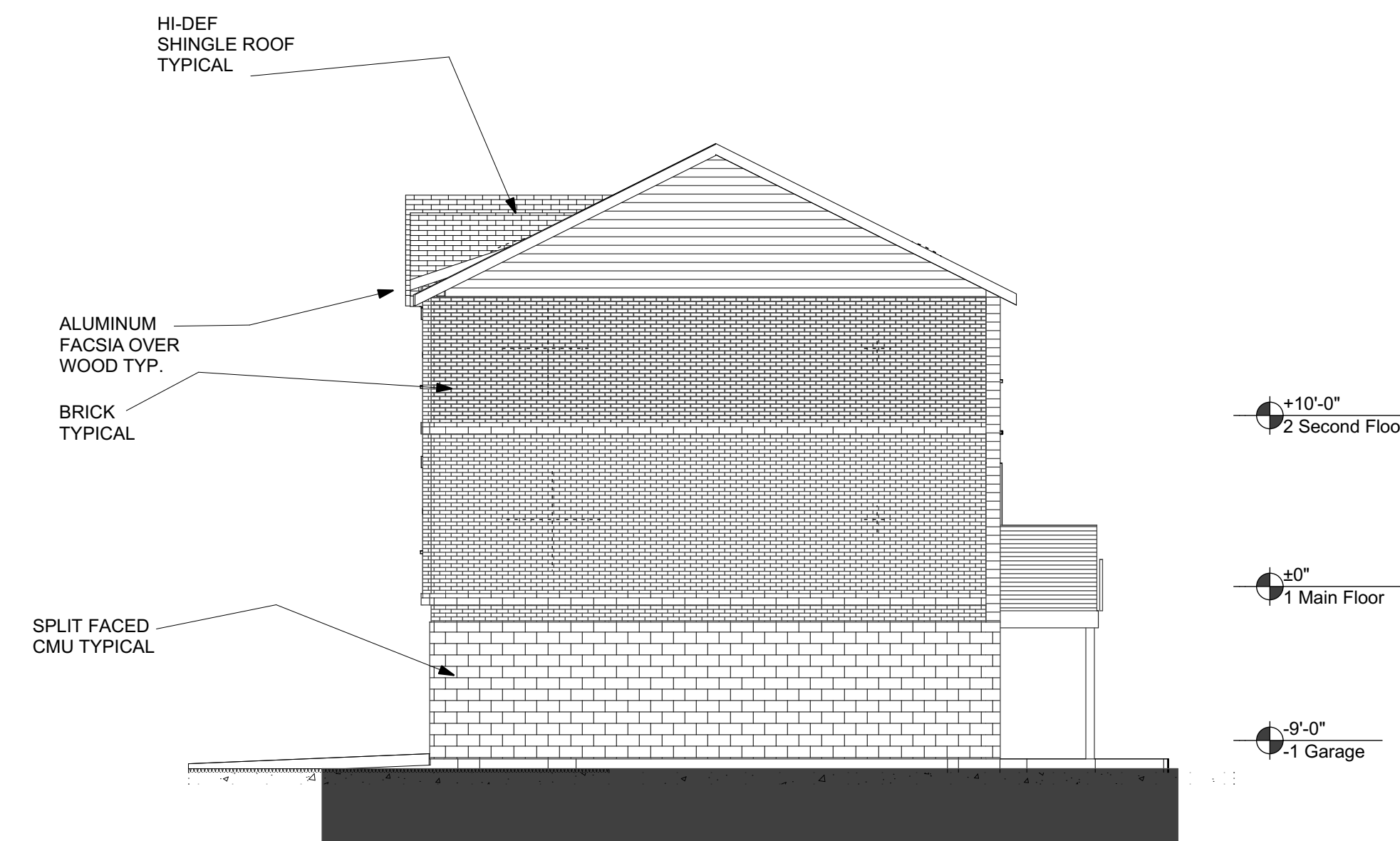
Left Side Elevation

SCALE: 1/8" = 1'-0"



Rear Elevation

SCALE: 1/8" = 1'-0"



Right Side Elevation

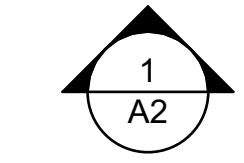
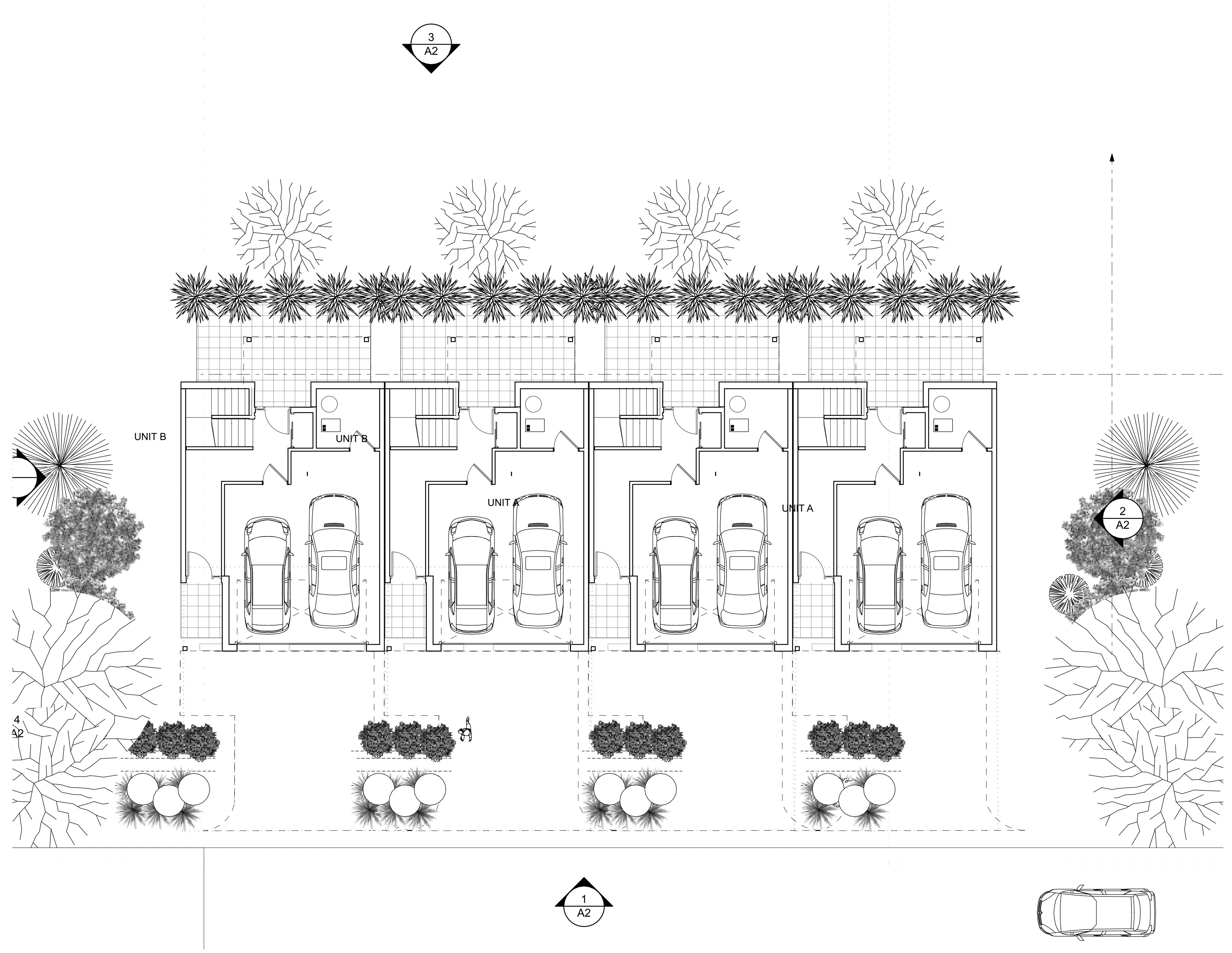
SCALE: 1/8" = 1'-0"



Front Elevation

SCALE: 1/8" = 1'-0"

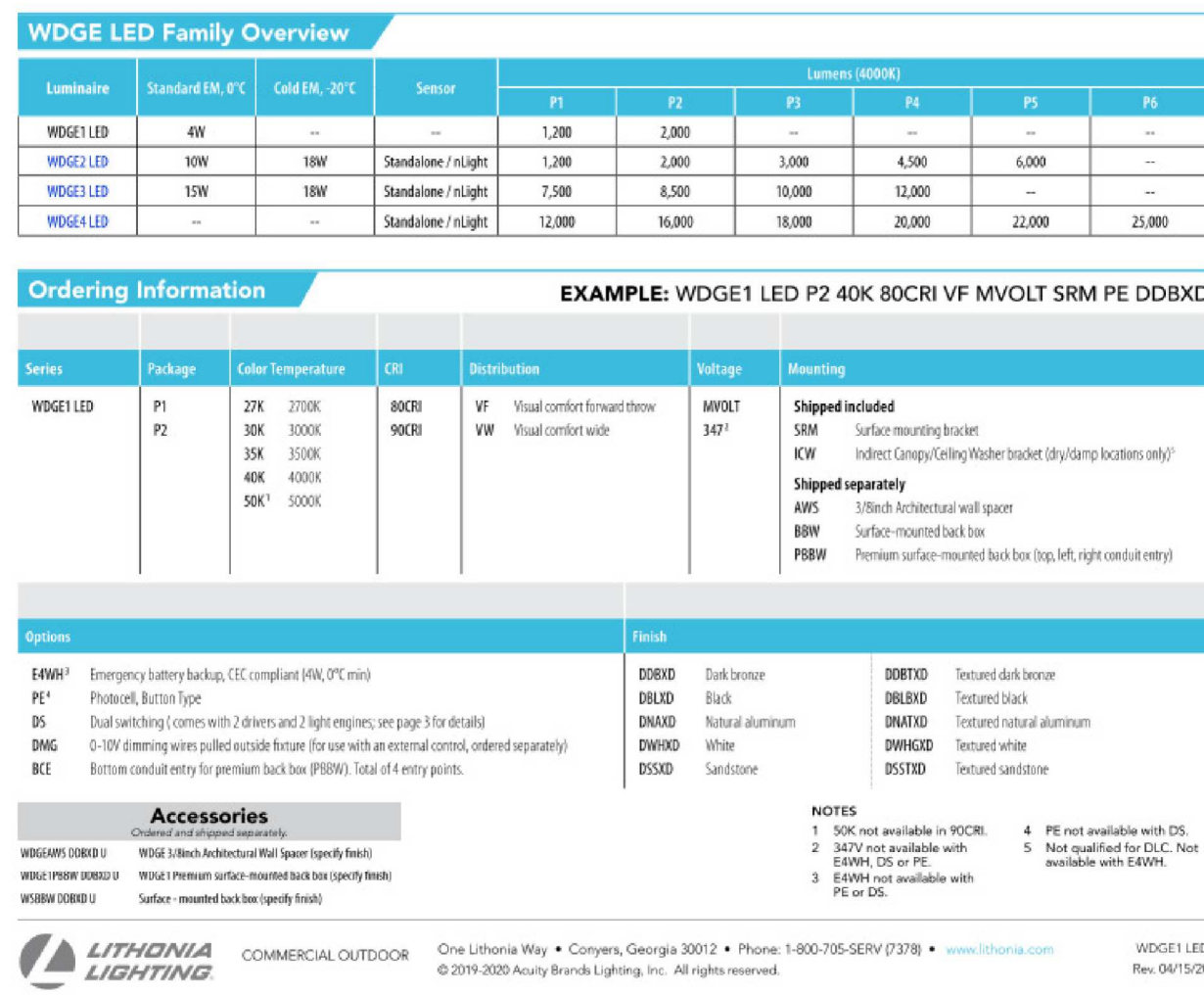
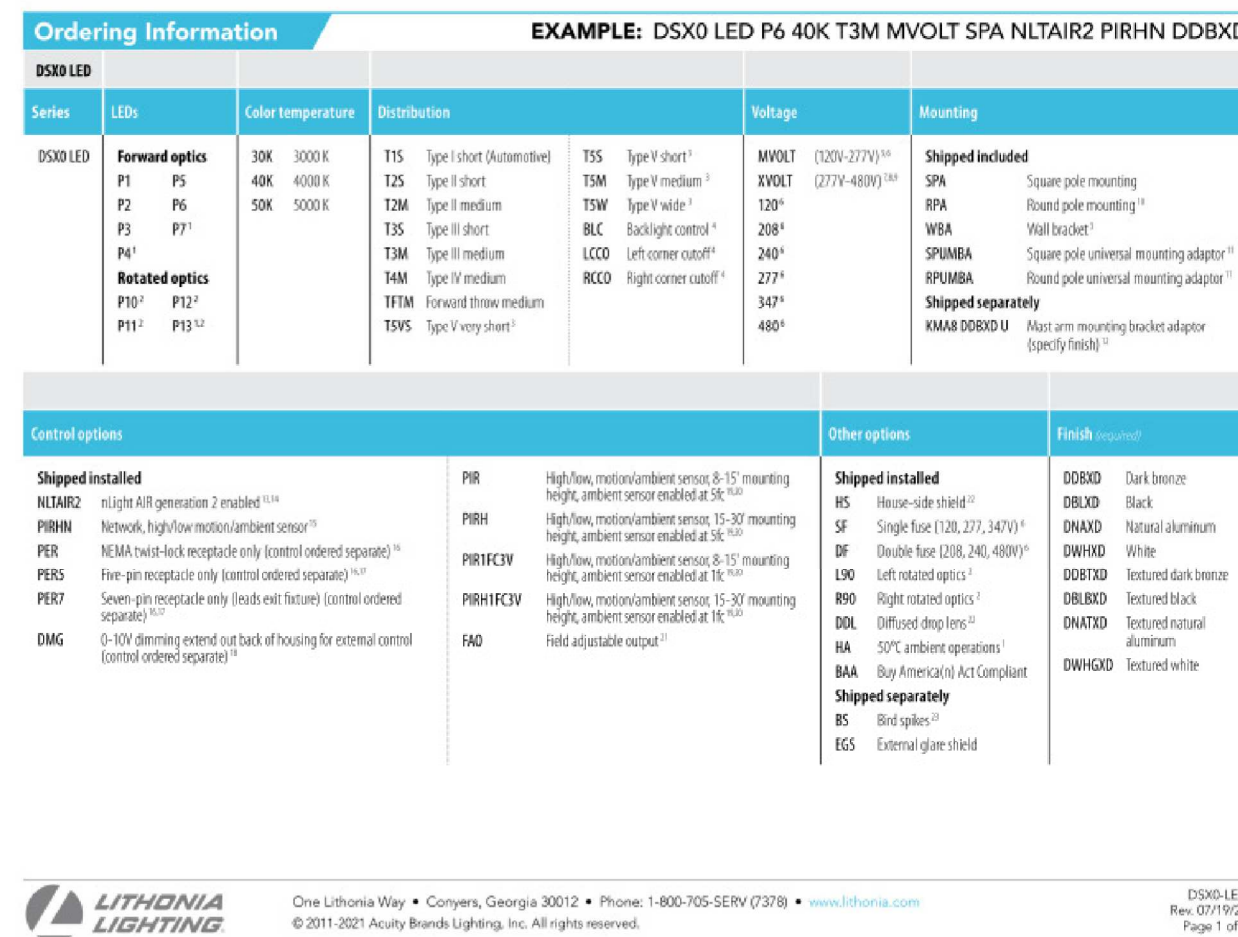
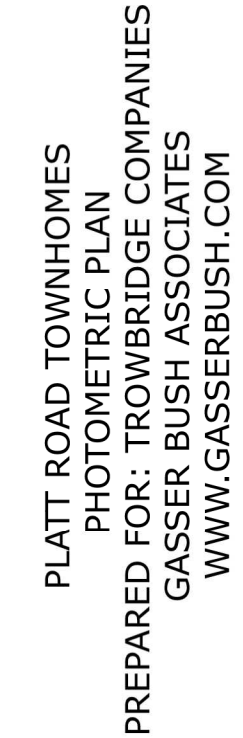






Sample Cluster

SCALE: 1/8" = 1'-0"





Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Grade @ 0'	+	0.3 fc	6.0 fc	0.0 fc	N/A	N/A
Property Line @ 0'	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Roadway	✕	0.7 fc	4.2 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
	<b>A</b>	5	Lithonia Lighting	DSX0 LED P4 30K T4M MVOLT	DSX0 LED P4 30K T4M MVOLT	LED	9593	0.9	92	15'
	<b>B</b>	86	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VF	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	LED	1161	0.7	10.0002	8'

**General Note**

1. SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT [ASG@GASSERBUSH.COM](mailto:ASG@GASSERBUSH.COM) OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT [QUOTES@GASSERBUSH.COM](mailto:QUOTES@GASSERBUSH.COM) OR 734-266-6705.

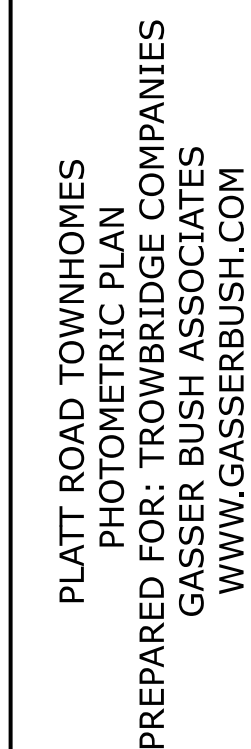
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

The image displays a detailed architectural floor plan of a building, characterized by a complex arrangement of rooms, corridors, and service areas. The plan is overlaid with a grid of small, repeating text blocks, which appear to be a data overlay or a specific architectural detail. The drawing includes various labels, dimensions, and structural elements, such as walls, doors, and furniture. The overall layout suggests a multi-story building with a central corridor system and numerous small, individual rooms. The text blocks are arranged in a regular pattern, covering most of the plan area, and may represent a specific data set or a series of annotations related to the building's design or construction.

**Designer**  
DS  
**Date**  
03/23/2022  
**Scale**  
Not to Scale  
**Drawing No.**  
PM-1





PM-2