



HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647
 Phone: 734.794.6265 ext. 42608 jthacher@a2gov.org
 Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION		
NAME OF PROPERTY OWNER Michael Meyer & Audra Baleisis		HISTORIC DISTRICT Yes - Old West Side
PROPERTY ADDRESS 818 W. Washington St		CITY ANN ARBOR
ZIP CODE 48103	DAYTIME PHONE NUMBER	EMAIL ADDRESS audrute@icloud.com and mrmeyer@umich.edu
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE)		CITY STATE, ZIP

PROPERTY OWNER'S SIGNATURE		
SIGN HERE	PRINT NAME AUDRA BALEISIS	DATE 11/17/12

APPLICANT INFORMATION			
NAME OF APPLICANT (IF DIFFERENT FROM ABOVE) Angelini & Associates Architects			
ADDRESS OF APPLICANT 200 W. Huronview Blvd			CITY Ann Arbor
STATE MI	ZIP CODE 48103	PHONE / CELL # (734) 998-0735	FAX No ()
EMAIL ADDRESS tangelini@angeliniarchitects.com rdavis@angeliniarchitects.com			

APPLICANT'S SIGNATURE (If different from Property Owner)		
SIGN HERE	PRINT NAME x Theresa Angelini	DATE 11/17/22

BUILDING USE -- CHECK ALL THAT APPLY					
<input checked="" type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input checked="" type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input checked="" type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL

PROPOSED WORK
Removal of existing, non-contributing, enclosed porch and rooftop deck from the rear of the house in preparation for new 2-story addition. The proposed 2-story rear addition will be inset from the existing structure and the new roof structure will be lower than the existing. The proposed addition atop crawl space includes a new Rear Covered Porch, Mud Room, and Office on the First Floor as well as an enlargement of the north second floor bedroom. Other renovations include reconfiguring the interior spaces to accommodate a larger Kitchen and a new Second Floor Bathroom. The rear sliding patio door and rear entry door will be removed, but they are not believed to be original. The existing front porch decking and stairs are dilapidated and are to be replaced with new Douglas Fir tongue and groove flooring to match the original. The existing porch ceiling, posts, and railing are to remain. The handrail at the steps will be replaced. The existing roof shingles will be removed and replaced with new asphalt shingles. The existing masonry chimney is to be abandoned and removed completely to free up additional living space.

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:
The proposed addition is located along the side & rear yards and is not visible from the street view. Two (2) existing windows near the northwest corner of the house will be removed to create an interior opening within the New Mud Room. All other original window openings are to remain. The additions are set-in from the existing structure to differentiate the new from the original. The exterior finishes will consist of fiber-cement siding with a 4" exposure to match the existing aluminum siding that is to remain. The rear addition is to be replace an existing, non-historic, enclosed porch and will be within the required setbacks. The proposed covered rear side porch roof will be added with the roof of the addition covering the porch. The eaves will align to avoid conflict with the existing flooring structure. The Second Floor addition is inset from the original house and the new roof will be lower than the existing roof structure to differentiate the new from the original. The existing chimney is no longer needed and it is not a character defining attribute.



HISTORIC DISTRICT COMMISSION APPLICATION

FEE CHART

DESCRIPTION	
STAFF REVIEW FEES	FEE
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to building@a2gov.org.

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to “City of Ann Arbor”

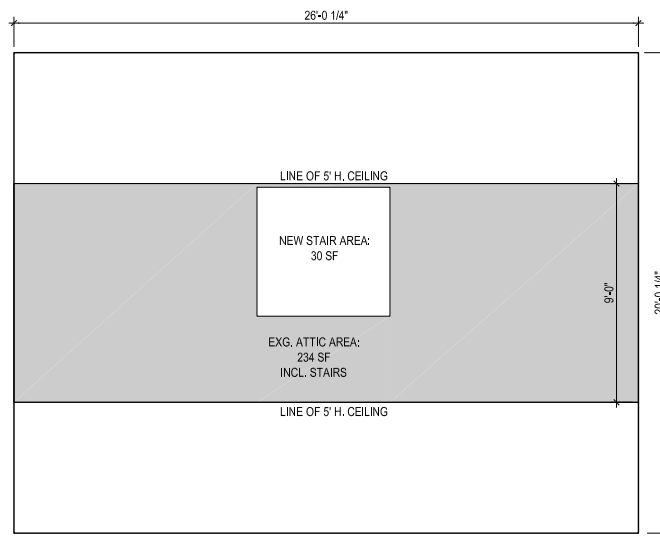
HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

APPLICATION EXPIRATION

HDC applications expire three (3) years after the date of approval.

OFFICE USE ONLY

Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	

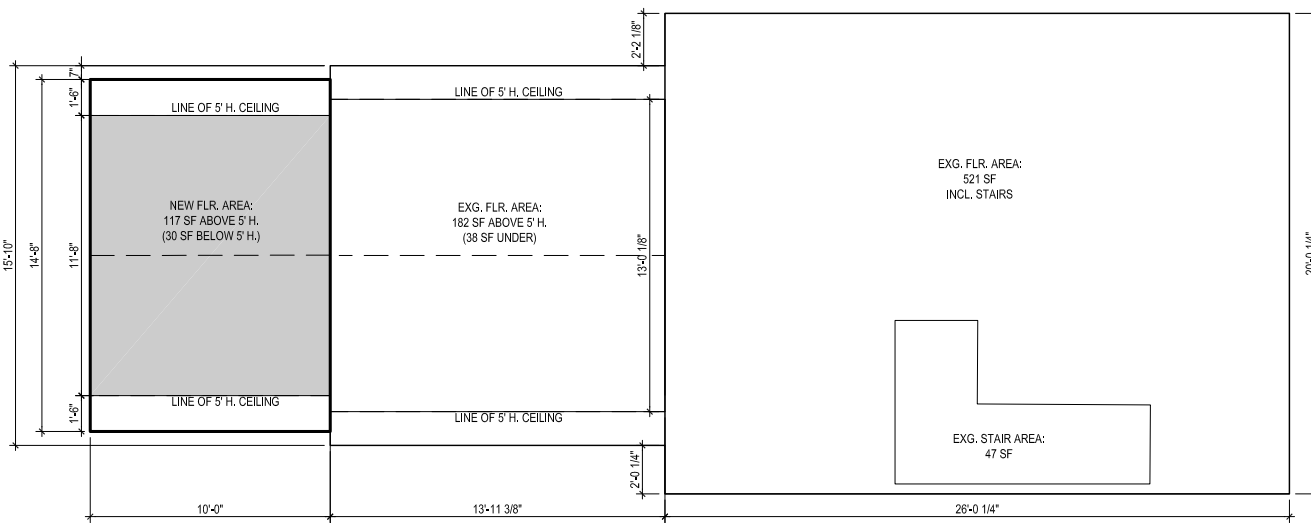


PROPOSED ATTIC PLAN

ATTIC FLOOR AREA

Existing Finished Attic Area:	0 SF
Proposed Finished Attic Area:	204 SF
Total Proposed Finished Attic Area:	204 SF

Note: Area excludes new spiral stair area

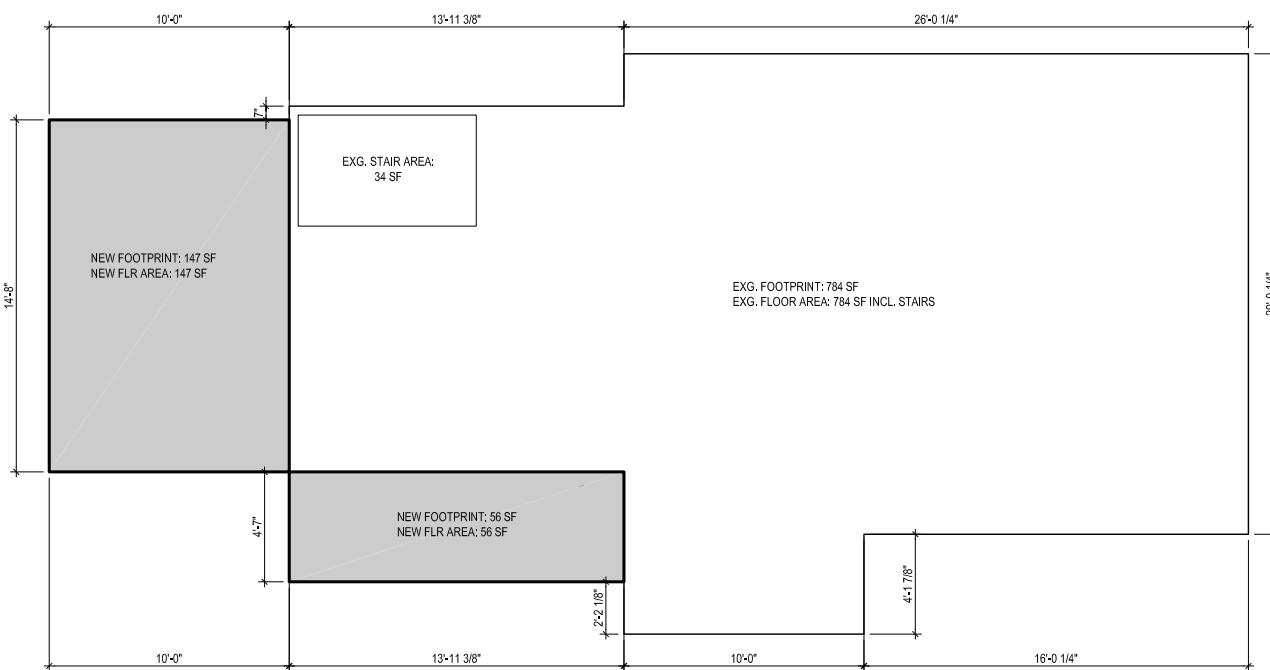


PROPOSED SECOND FLOOR PLAN

SECOND FLOOR AREA

Existing 2nd Floor Area (5' clg):	703 SF*
Proposed 2nd Floor Addition (5'+ clg):	117 SF
Total with Proposed 2nd Floor Area (5'+ clg):	820 SF*

*Area includes 182 SF of 2nd Floor bedroom which is believed to have been completed post-1945, but within a pre-1945 shell.



PROPOSED FIRST FLOOR PLAN

FIRST FLOOR AREA

Existing 1st Floor Area:	784 SF
Proposed 1st Floor Addition:	203 SF
Total Proposed 1st Floor Area:	987 SF

TOTAL AREA		FOOTPRINT AREA	
Existing Floor Area:	1,487 SF* (1,472 SF on record)	Pre-1945 Footprint:	784 SF
Proposed Finished Floor Area:	524 SF	Proposed Addition Footprint:	203 SF
Total Proposed Floor Area:	2,011 SF	Total Proposed Footprint:	987 SF
% Floor Area Increase:	35.2%	% Footprint Increase:	25.6%

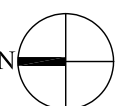
*Area includes 182 SF of 2nd Floor bedroom which is believed to have been completed post-1945, within a pre-1945 shell



**Angelini & Associates
Architects**
200 Huronview Blvd.
Ann Arbor, MI. 48103
(734) 998-0735

Meyer-Baleisis Residence
818 Washington St., Ann Arbor, MI 48103

Proposed Floor Area Calculations
1/8" = 1'-0"
12.01.2022



818 W. Washington, Photos of Existing Exterior,
Angelini & Associates Architects



Southwest Corner of House



South Elevation, Front of House

818 W. Washington, Photos of Existing Exterior
Angelini & Associates Architects



Northwest Corner of House



North Elevation, Rear of House

818 W. Washington, Photos of Existing Exterior
Angelini & Associates Architects



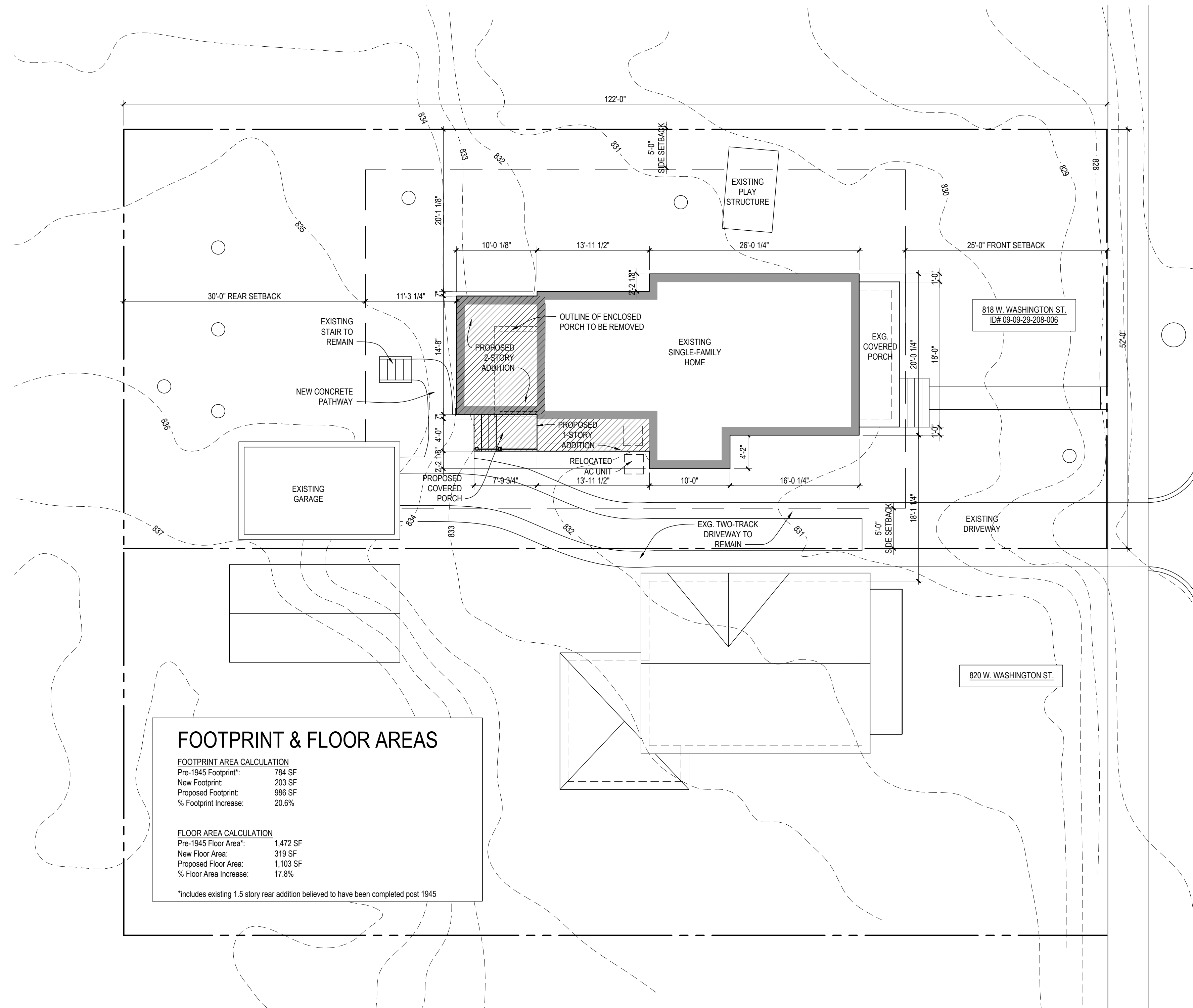
Northeast Corner of House



East Elevation

Meyer Baleisis Addition - HDC Application

818 W. Washington St. • Ann Arbor, MI 48103



FOOTPRINT & FLOOR AREAS	
FOOTPRINT AREA CALCULATION	
Pre-1945 Footprint*	784 SF
New Footprint:	203 SF
Proposed Footprint:	986 SF
% Footprint Increase:	20.6%
FLOOR AREA CALCULATION	
Pre-1945 Floor Area*	1,472 SF
New Floor Area:	319 SF
Proposed Floor Area:	1,103 SF
% Floor Area Increase:	17.8%
*includes existing 1.5 story rear addition believed to have been completed post 1945	

02 Proposed Site Plan
G-001 SCALE: 1/8"=1'-0"

ARCHITECTURAL SYMBOLS

DISCIPLINE: A-1.1 SHEET NUMBERING SYSTEM

CATEGORY: i.e. PLAN, SECTION, ELEVATION, ETC.

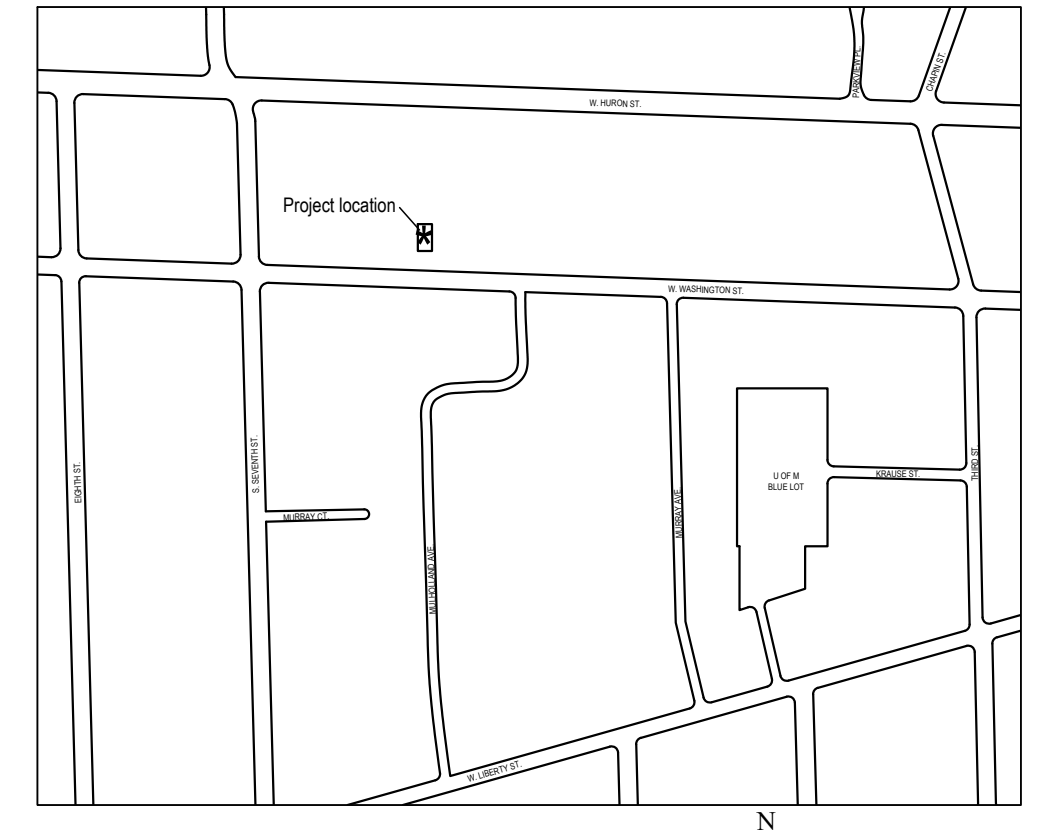
DETAIL NUMBER: A-100/A-101 SCALE: 1-1/2"=1'-0"

CURRENT SHEET: SHEET DETAIL IS REFERENCED FROM

	COLUMN GRID LINE
	ELEVATION MARK
	BUILDING SECTION
	WALL SECTION
	DETAIL (SECTION)
	DETAIL (ENLARGEMENT)
	ELEVATION TARGET
	ROOM NAME / NUMBER
	WINDOW MARK
	DOOR MARK
	FINISH MARK
	ALIGN
	FLOOR MATERIAL ADJACENCY
	INTERIOR ELEVATION

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	M.O.	MASONRY OPENING
B.O.	BOTTOM OF	O.C.	ON CENTER
BSMT	BASEMENT	REQD.	REQUIRED
CLG	CEILING	R.O.	ROUGH OPENING
CMU	CONCRETE MASONRY UNIT	SF	SQUARE FEET
CONC	CONCRETE	TBD	TO BE DETERMINED
ELEV	ELEVATION	T.M.E.	TO MATCH EXISTING
EXG.	EXISTING	TYP.	TYPICAL
F.O.	FACE OF	T.O.	TOP OF
FLR	FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
GYP. BD.	GYPSUM BOARD	VIF	VERIFY IN FIELD
MANUF.	MANUFACTURER	W/	WITH
MIN	MINIMUM	WD	WOOD



01 Site Location Plan
G-001 SCALE: NTS

- ### GENERAL NOTES
- Drawings are intended for a sheet size of 24" x 36". Do not scale drawings. Use written dimensions.
 - See specifications for more information pertaining to the work.
 - Horizontal dimensions shown indicate centerline of column gridline, face of (F.O.) concrete, F.O. masonry, and F.O. stud - unless otherwise noted. Vertical dimensions shown indicate top of (T.O.) concrete and T.O. wall or bottom of (B.O.) beam - unless otherwise noted.
 - Dimensions on Interior Elevations are to finishes, except for plumbing fixtures, which are to rough framing.
 - The contractor shall visit the site and be knowledgeable of conditions thereon. Contractor to field verify all existing conditions and all dimensions pertaining to the work prior to commencing construction. Provide written notification to the architect of any discrepancies with the documents. The architect will issue a written directive if further clarification is required.
 - Details shown are intended to describe scope and profile. Where details have not been provided, the work is intended to be similar in character to those areas detailed. Where specific dimensions, details, or design intent cannot be determined, consult architect prior to proceeding with the work.
 - All work shall comply with all applicable codes and governing authorities, federal and local standards, and shall meet or exceed industry standard for each trade.
 - The contractor shall coordinate all slab & wall openings required by plumbing, mechanical & electrical trades before any such work begins.
 - All pipes, ducts, risers, and other elements that penetrate floor structures shall be installed in a manner that will preserve fire resistive and structural integrity of the building.
 - Contractor shall not proceed with detailing, fabrication or construction of any work connected with or dependent on equipment furnished by "owner" or "other contractors" until he has received certified or approved equipment drawings.
 - Should there be any conflict(s) between or within drawings and/or specifications which are not resolved in writing by the architect prior to receipt of bids, that which requires the highest degree of performance quality, quantity, strength, finish, completion, complexity, sophistication, cost, etc., will be required and shall be provided at no increase in contract amount. All such conflicts must be referred to architect immediately upon discovery.
 - Contractor is responsible to see that those performing the work (including, but not limited to, his subcontractors) have access to the entire set of drawings and specifications for bidding and construction purposes.

SITE INFORMATION

PARCEL NUMBER:
09-09-29-208-006

LEGAL INFORMATION:
W 52.14 FT OF EAST 76.56 FT OF SOUTH 122.34 FT LOT 54 JEWETTS ADDITION

CURRENT ZONING:
R-2A, Single Family Residential

REQUIRED SETBACKS: Front: 25 feet, Side: 5 feet minimum Rear: 30 feet minimum

IMPERVIOUS AREA: Existing: _____ Additional Proposed: _____ Proposed Total: _____

PROJECT TEAM

HOMEOWNERS
Michael Meyer and Audra Baleisis
818 Washington St.
Ann Arbor, MI 48103

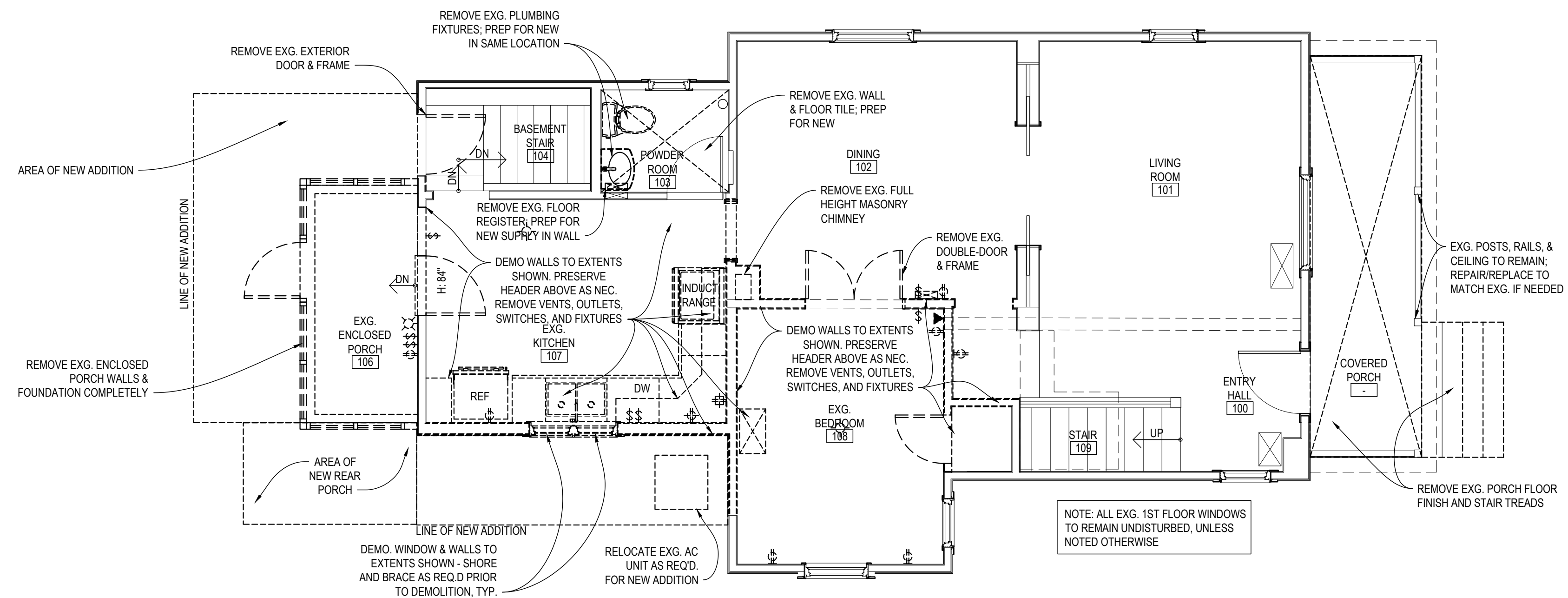
ARCHITECT
Angelini & Associates Architects
200 Huronview Blvd
Ann Arbor, Michigan 48103
(734) 998-0735

Theresa Angelini - Project Architect tangelini@angeliniarchitects.com
Rob Davis - Project Designer rdavis@angeliniarchitects.com

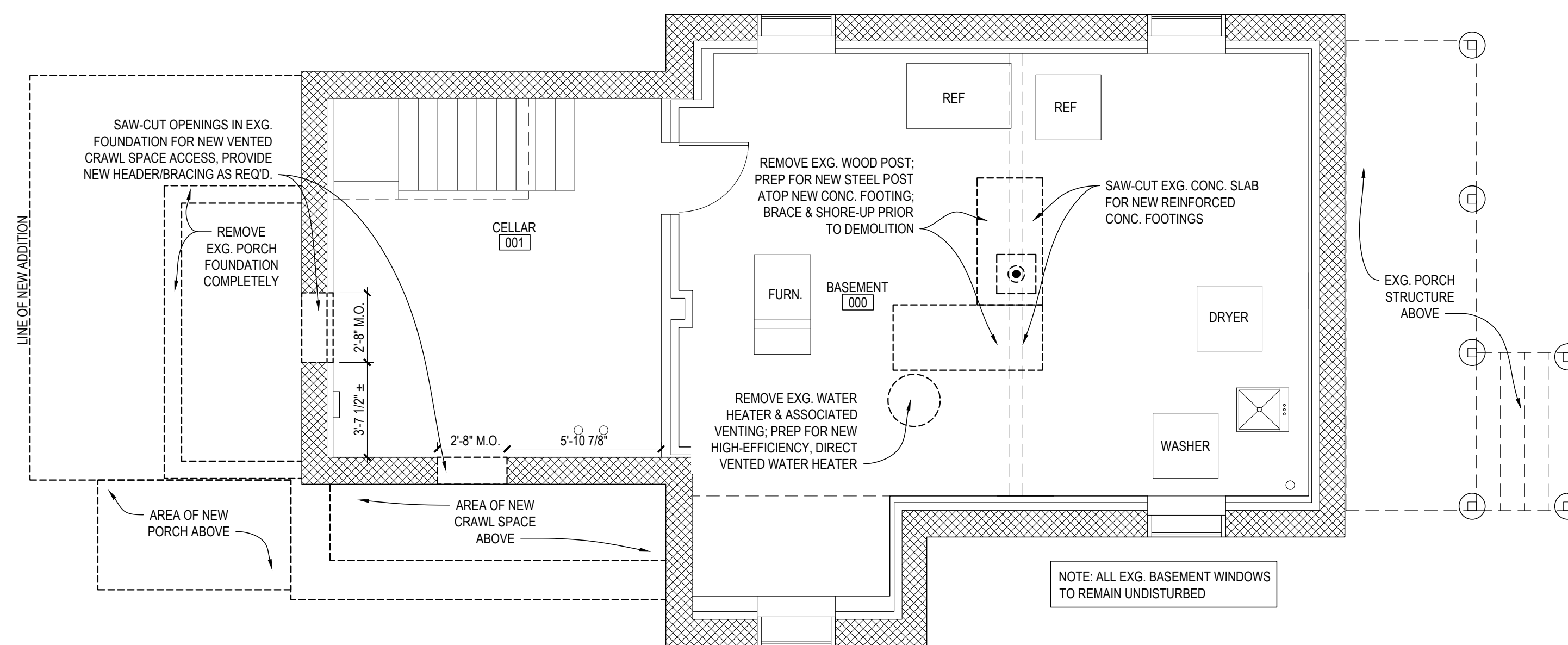
SHEET INDEX

G-001	Title Sheet & Site Plan
A-001	Basement & First Floor Demolition Plans
A-002	Second Floor & Attic Demolition Plans
A-100	Basement & First Floor Plans
A-101	Second Floor & Attic Plans
A-200	Exterior Elevations
A-201	Exterior Elevations

PROJECT NAME	Meyer-Baleisis Addition
PROJECT ADDRESS	818 Washington St., Ann Arbor, MI 48103
PREPARED FOR	Michael Meyer and Audra Baleisis
PROJECT #	22005-01
DATE	11.17.22
DISCIPLINE	HDC Application
ARCHITECT / ENGINEER SEAL	Angelini & Associates Architects 200 Huronview Blvd Ann Arbor, MI 48103 (734) 998-0735
SHEET TITLE	Title Sheet & Site Plan
SHEET #	G-001



02 First Floor Demolition Plan
A-001 SCALE: 1/4"=1'-0"



01 Basement Demolition Plan
A-001 SCALE: 1/4"=1'-0"

1.1.17.22 H.D.C. Application

PREPARED FOR
Michael Meyer
and Audra
Baleisis

PROJECT NO.
22005-01

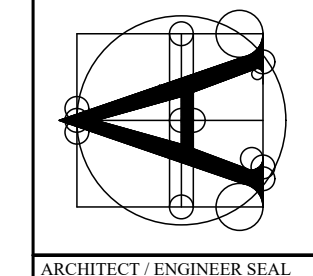
PROJECT NAME
Meyer-Baleisis Addition

PROJECT ADDRESS
818 Washington St., Ann Arbor, MI 48103

CONSULTANT

Angelini
& Associates
Architects

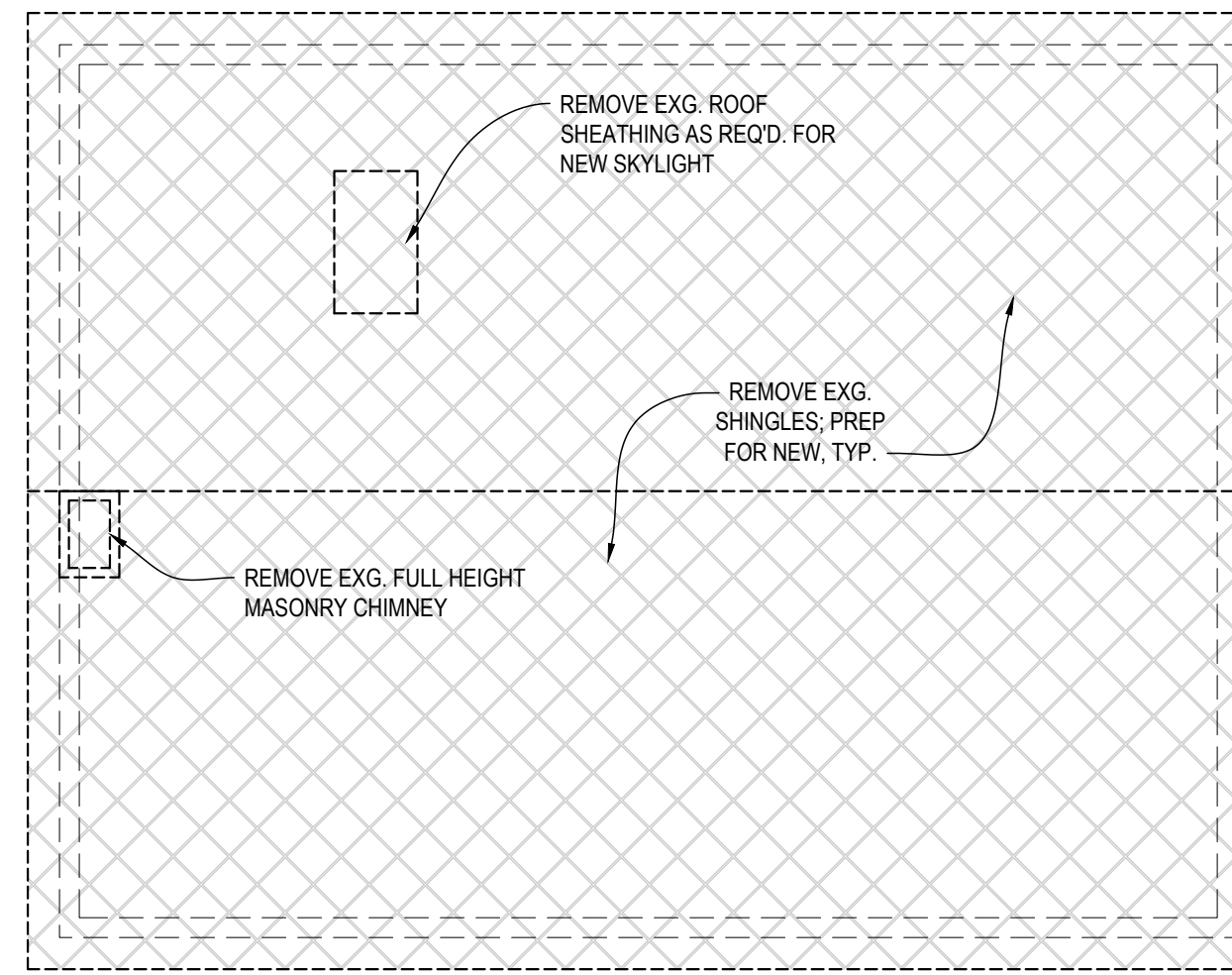
200 Huronview Blvd
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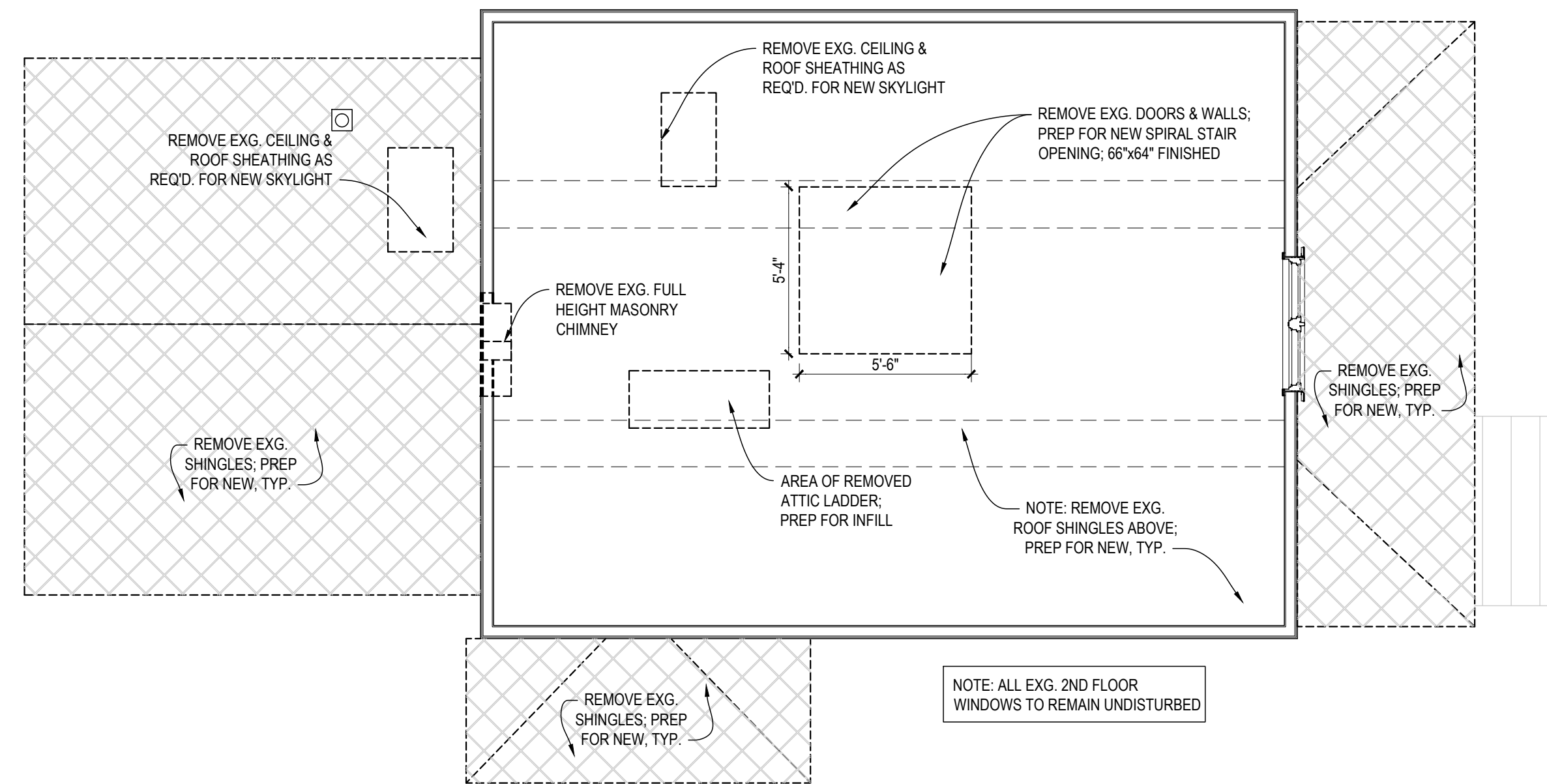
ARCHITECT / ENGINEER SEAL

SHEET TITLE
**Demolition
Plans**

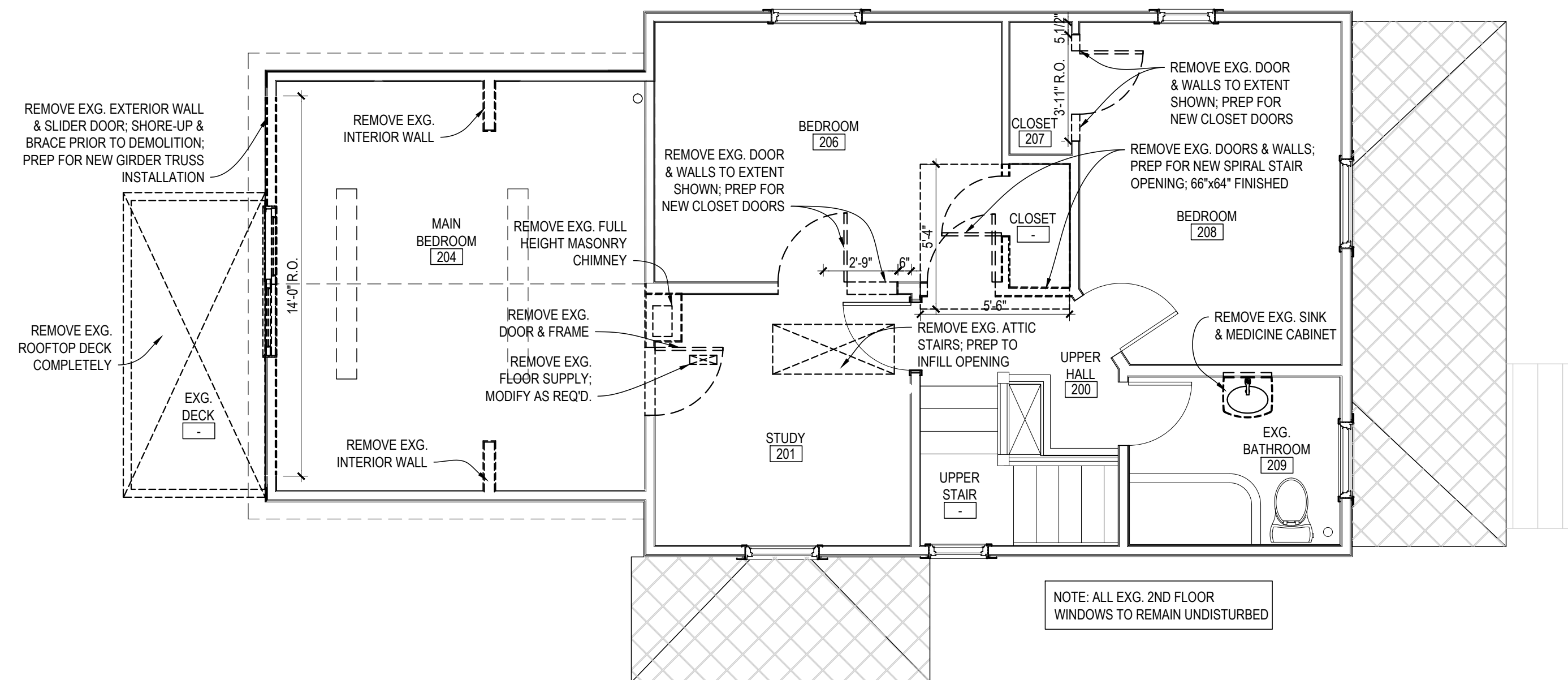
SHEET #
A-001



03 Attic Roof Plan
A-002 SCALE: 1/4"=1'-0"



02 Attic Demolition Plan
A-002 SCALE: 1/4"=1'-0"



01 Second Floor Demolition Plan
A-001 SCALE: 1/4"=1'-0"

1.1.17.22 H.D.C. Application

PREPARED FOR
Michael Meyer
and Audra
Baleisis

PROJECT #
22005-01

PROJECT NAME

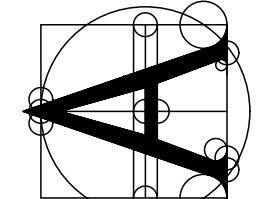
Meyer-Baleisis Addition

PROJECT ADDRESS
818 Washington St., Ann Arbor, MI 48103

CONSULTANT

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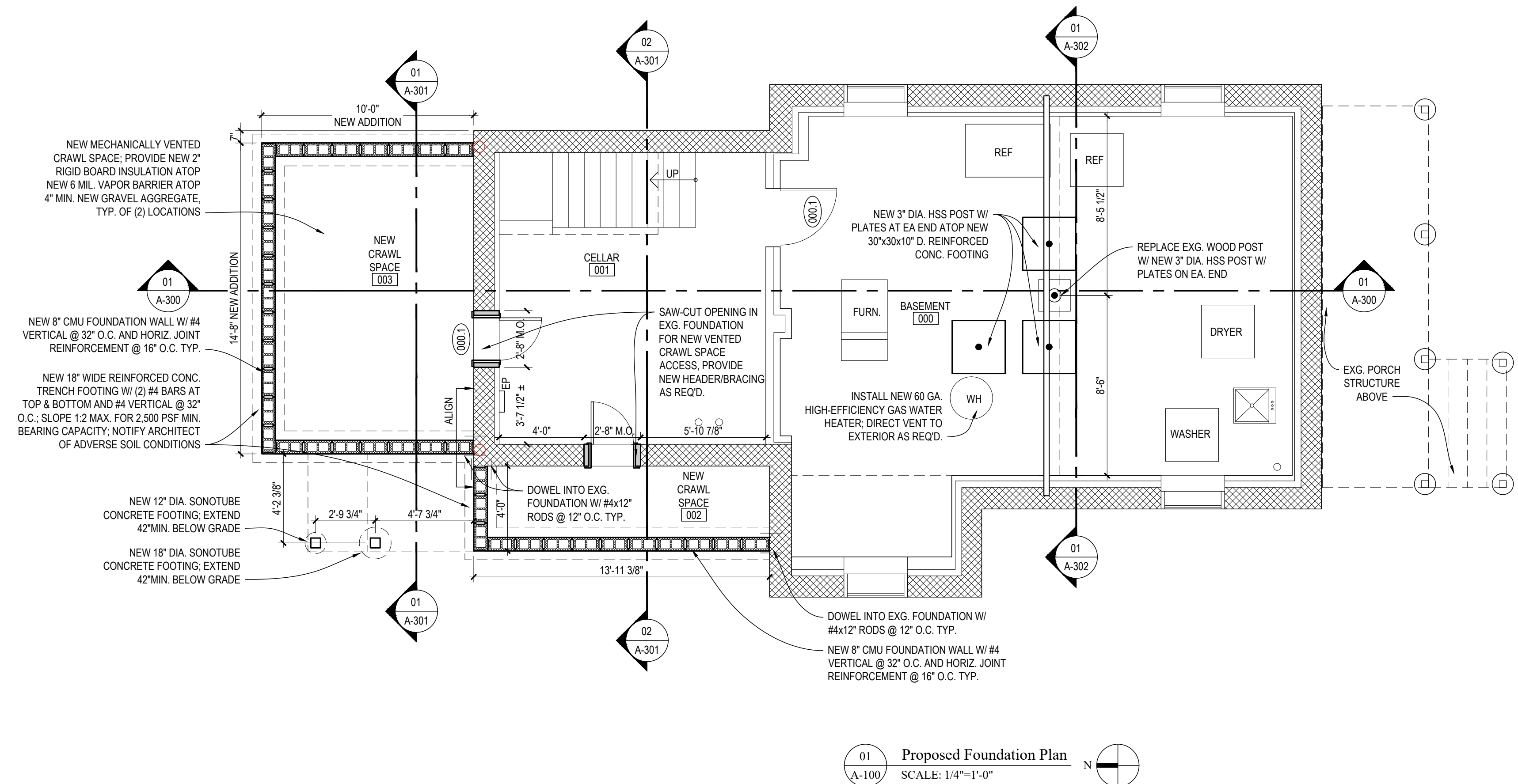
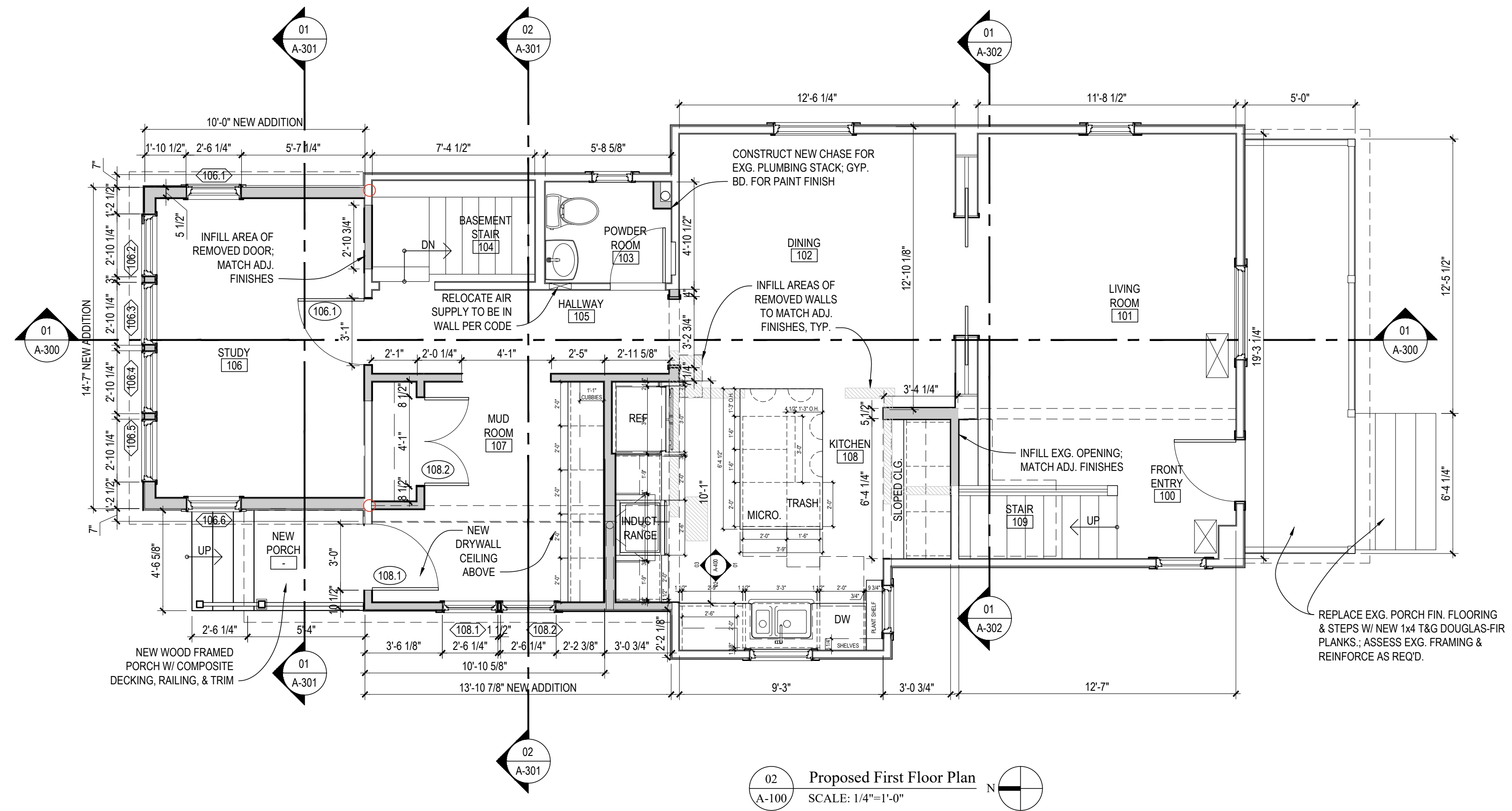
ARCHITECT / ENGINEER SEAL

SHEET TITLE

Demolition
Plans

SHEET #

A-002



1.1.17.22 H.D.C. Application

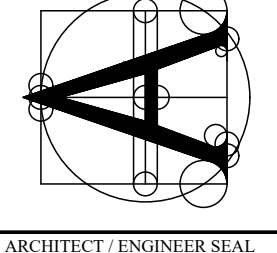
PREPARED FOR
Michael Meyer
and Audra
Baleis

PROJECT #
22005-01

PROJECT NAME
Meyer-Baleis Addition

PROJECT ADDRESS
818 Washington St., Ann Arbor, MI 48103

CONSULTANT
Angelini & Associates Architects
200 Huronview Blvd
Ann Arbor, MI 48103
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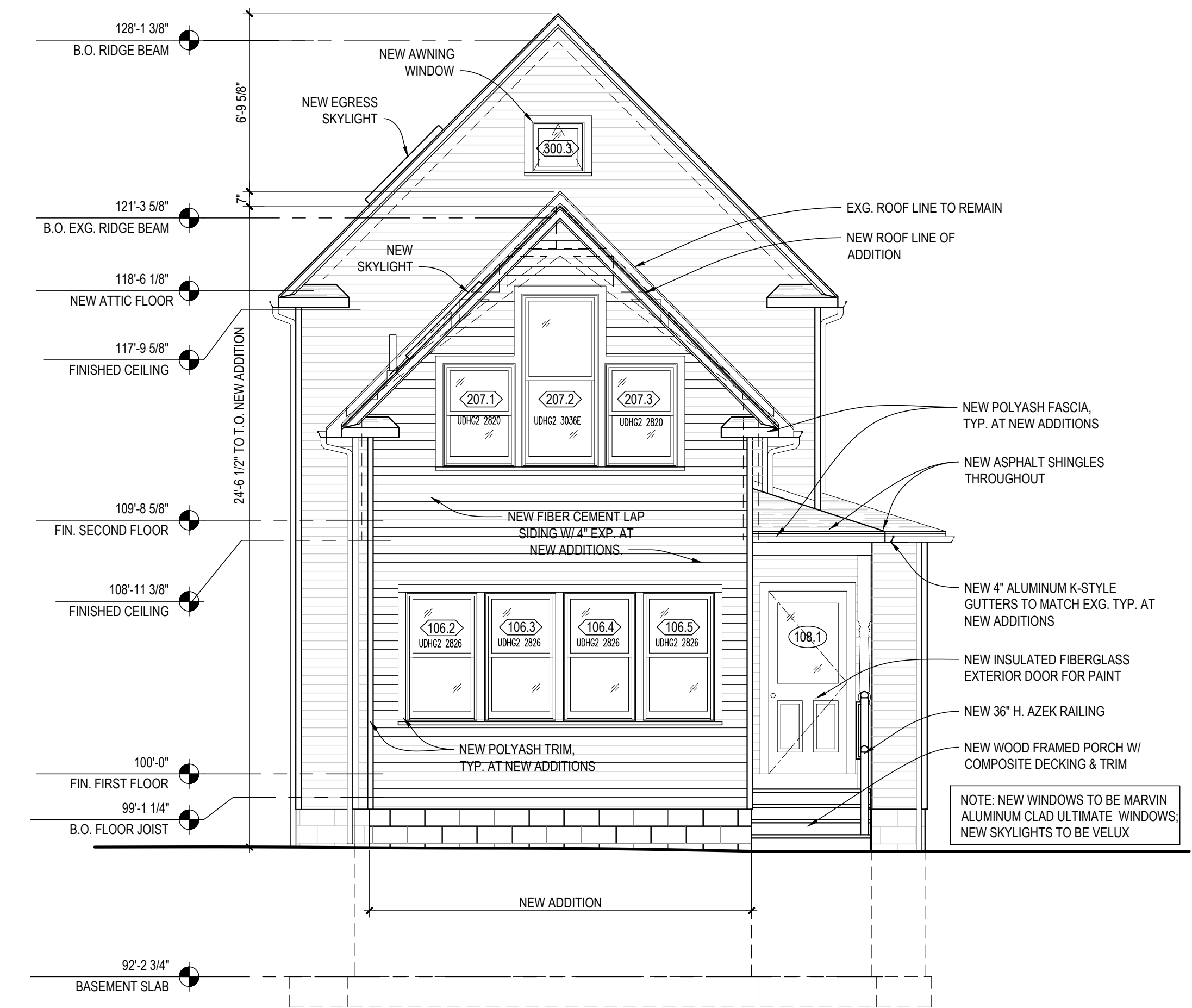


SHEET TITLE
Floor Plans

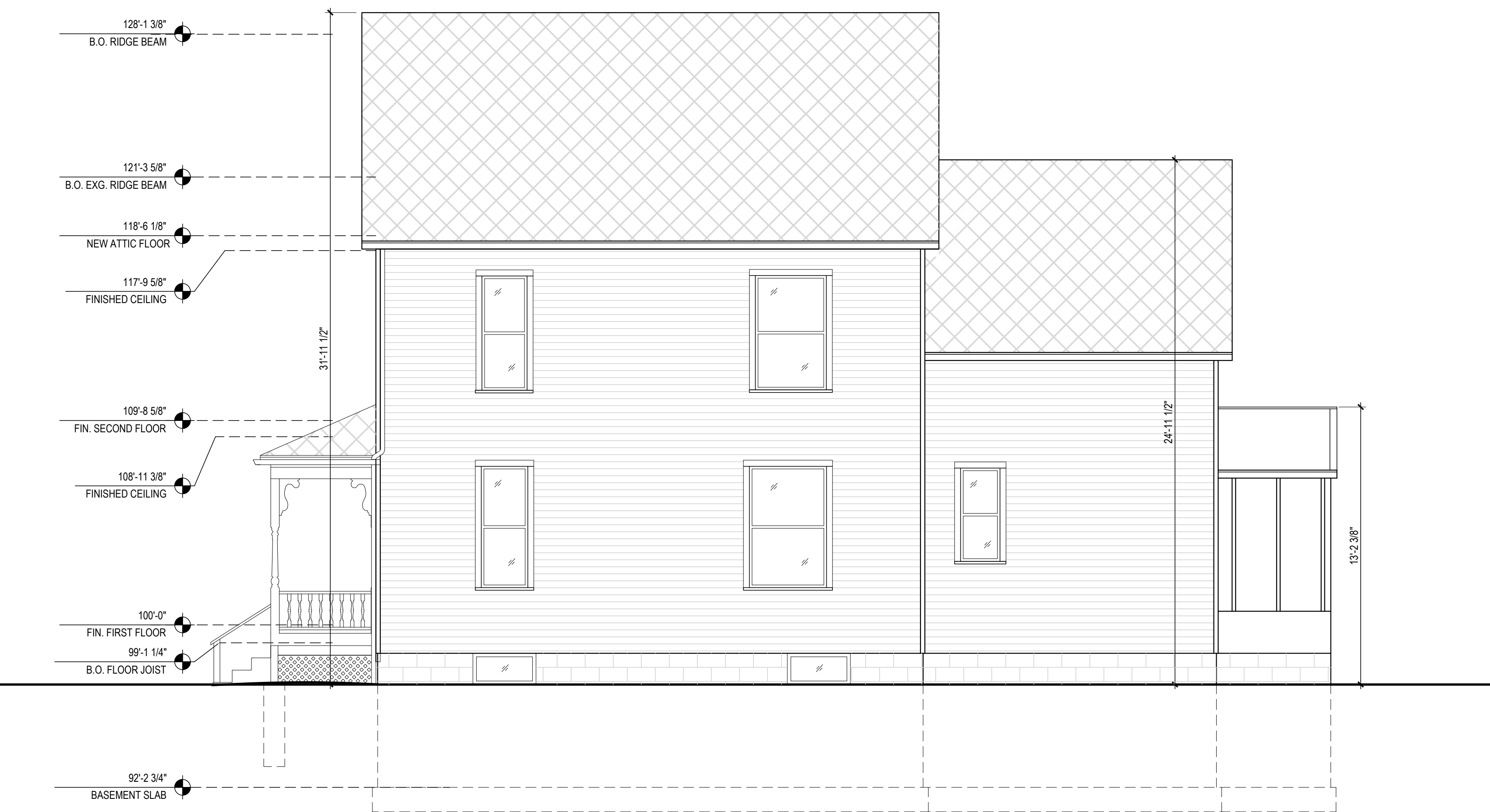
SHEET #
A-100



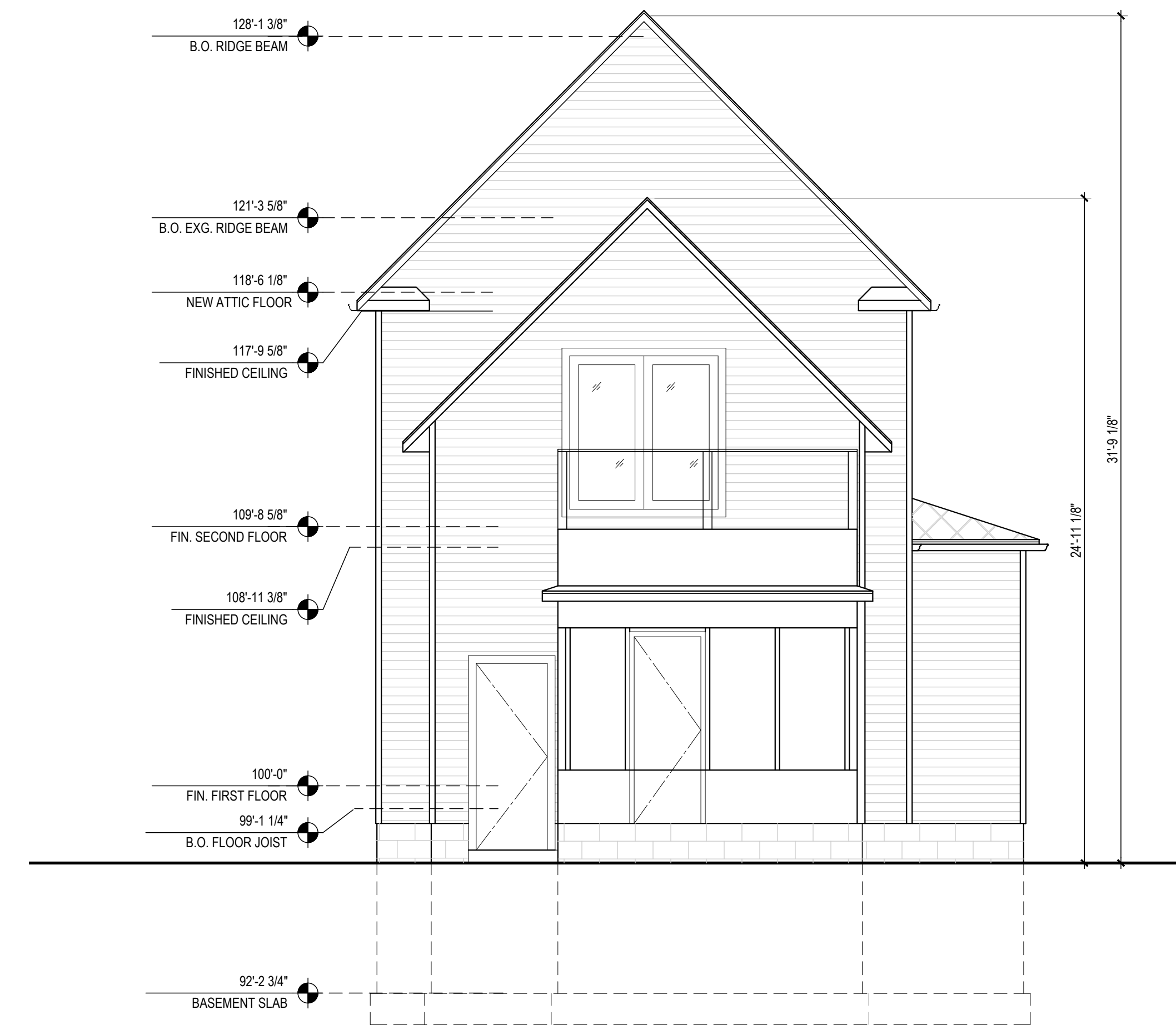
04 Proposed East Exterior Elevation
SCALE: 1/4"=1'-0"



03 Proposed North Exterior Elevation
SCALE: 1/4"=1'-0"



02 Existing East Exterior Elevation
SCALE: 1/4"=1'-0"



01 Existing North Exterior Elevation
SCALE: 1/4"=1'-0"

1.1.17.22 H.D.C. Application

PREPARED FOR
Michael Meyer
and Audra
Baleis

PROJECT #
22005-01

PROJECT NAME
Meyer-Baleis Addition

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CONSULTANT

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ARCHITECT / ENGINEER SEAL

SHEET TITLE
Exterior
Elevations

SHEET #
A-201

818 West Washington, Exterior Materials for HDC Review

- Roofing material replacement
 - Fiberglass-asphalt architectural shingles, to replace existing Sherriff-Goslin shingles
- Removal of existing brick chimney to allow for circulation through the center of the house
- Front Porch Repair
 - Replacement of existing tongue and groove wood flooring with Douglas Fir 1 x 4 tongue and groove wood flooring
 - Replacement of treads, to match existing
 - Repair of any rotted structure or railing pieces with same profile and size pieces in cedar for paint finish.
 - Addition of graspable handrail on treads, ideally of Timbertech or Trex composite graspable railing in white
- New Windows in Addition
 - Marvin Ultimate Aluminum Clad Double Hung Wood Windows, G-2 Series, in new addition on rear of home
- Skylights
 - Velux, dark frame to harmonize with roof shingles
- New Back/Side Porch Entry Door
 - Thermatru Smooth Star Fiberglass Door, ½ glass, Flush glazed, two panel, for paint finish
- Exterior Siding on addition
 - James Hardie Fiber Cement Lap siding, 4" exposure, smooth finish, for paint finish
- New trim on windows and doors on addition
 - Boral Polyash TruExterior siding, 5/4" thickness x 3-1/2"
- New side porch at rear
 - Timbertech composite decking and fascia with lattice below.
 - Simple turned porch posts of wood or composite for paint finish
 - Azek Porch Railing, with graspable handrail, white.
- New Foundation at addition
 - Concrete Masonry Units (CMU – block), Thoroseal stucco coating

Documented Construction History

818 W. Washington Street

<u>Year</u>	<u>Scope of Work</u>	<u>Archive Roll No.</u>	<u>Relevance to Proposed Project</u>	<u>Conclusion, if any</u>
1954	HVAC Installation	#0214	(8) total rooms were identified at this time and there are currently (8) total rooms now after an interior room was converted to a Powder Room.	Excluding the room that was converted into a Powder Room, the total number of rooms would have then been (7) total. This possibly supports that the Master Bedroom was not yet constructed.
1976	Roofing & Siding Replacement	#0214	status of exterior finishing	Original siding appears to have been replaced with the existing aluminum siding at this time
1983	New First Floor Powder Room	#0313	renovation occurred after the period of historical significance	At the time of the submitted permit, a 2'-9 1/2" wide window was identified on the plans. The existing window is only 1'-10" which suggests that the Powder Room window is not original.
1983	Kitchen Alterations	#0313	renovation occurred after the period of historical significance	window openings appeared to remain unchanged at this time
1987	Window Replacement	#0399	original windows were replaced with new	(7) new vinyl replacement windows were installed within existing openings; locations not identified.
1994	Home's status changes to rental	#0648	permits indicate home is no longer Owner occupied	home was converted to a rental property sometime on or around 1994
1997	Repair rear and side porches, insulate & ventilate attic	#0648	the original attic was insulated & ventilated suggesting a "cold roof" scenario. The existing attic is a "hot roof" scenario with spray foam insulation within the rafter cavities and no ventilation to the exterior.	The existing attic area is not original and was refinished post 1997.
1999	HVAC Renovation	#0879a	heat duct added to rear "sleeping room"	Master Bedroom was identified as a bedroom at this time
2000	none	#0879b	use type identified as R-3 (multi-family)	Residence was split up into an Upper and Lower apartment during this time.
2001	none	#0879a	Property use changed after passing of Owner.	Residence was sold and became Owner Occupied at this time.
2002	Roofing Replacement	#0879a	existing house roof was stripped and replaced with new.	no changes were made to the structure at this time
2012	Window Replacement	#0879a	windows were replaced with new	(7) unidentified windows were replaced with new within the existing openings

Documented Construction History according to the Archived Permit Lookup, City of Ann Arbor Construction and Building