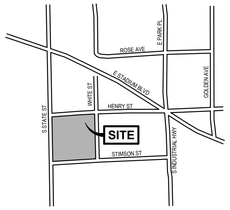


LOCATION MAP

NOT TO SCALE

LEGEND

△	Benchmark / Control Point		Utility Pole
▦	Catch Basin - Square	W	Water Manhole
CO	Cleanout	WV	Water Valve
	Deciduous Tree	YD	Yard Drain
E	Electric Manhole	— C —	Cable TV
EM	Electric Meter	— UE —	Underground Electric
GM	Gas Meter	— G —	Gas
	Guy Anchor	— OH —	Overhead Utility
HH	Hand Hole	— SS —	Sanitary
	Hydrant	— ST —	Storm
○	Iron - Found	— UT —	Underground Telephone
	Light Pole	— W —	Watermain
MB	Mailbox	— X — X —	Fence
	Miss Dig Flag - Cable		Railroad
	Miss Dig Flag - Gas		Zoning Setback
H	Manhole		Asphalt
S	Sign		Concrete
S	Sanitary Sewer Manhole		Gravel
D	Stormwater Manhole		Existing Building
T	Telephone Manhole	M=	Measured Dimension
TR	Transformer	P=	Platted Dimension

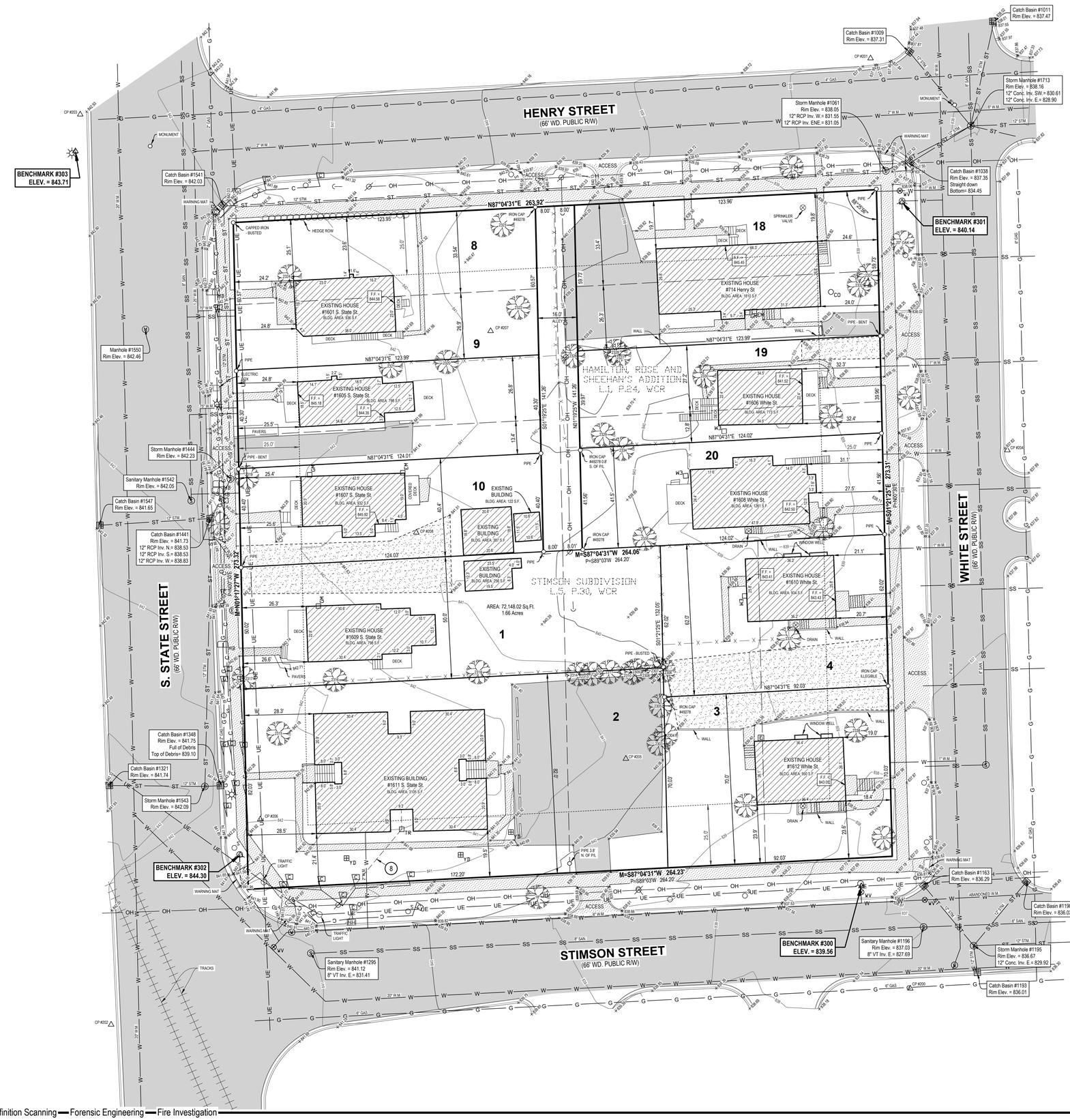
BENCHMARKS

BENCHMARK #300 ELEV. = 839.56 (NAVD88)
Steamer valve on South side of hydrant, located 6' +/- North of back of curb and 24' +/- West of catch basin at Northwest corner of Stimson Street and White Street.

BENCHMARK #301 ELEV. = 840.14 (NAVD88)
Steamer valve on East side of hydrant, located 25' +/- West of centerline of White Street and 15' +/- South of catch basin at Southwest corner of Henry Street and White Street.

BENCHMARK #302 ELEV. = 844.30 (NAVD88)
Steamer valve on North side of hydrant, located 36' +/- East of centerline of State Street and 12' +/- North of Stimson Street traffic light at Northeast corner of State Street and Stimson Street.

BENCHMARK #303 ELEV. = 843.71 (NAVD88)
Northeast bolt on light pole base, located 15' +/- South of control point 203 and 30' +/- West of centerline of State Street at end of Henry Street .



0' 10' 20' 40'

SCALE: 1" = 20'

811 Know what's **below.** **CALL** before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANV" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

NEDERVELD
www.nederveld.com
800.222.1868
ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963
CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Synecdoche Design Studio
Lisa Sauve

1342 N Main Street
Suite #5
Ann Arbor, MI 4810

CREATED:
Drawn: R.Paramo Date: 04.19.22

REVISIONS:
Rev: Revisions per comments
Drawn: RP Date: 06.03.22
Rev: Add certification name
Drawn: RP Date: 06.09.22
Rev: Add new commitments and information
Drawn: RP Date: 07.11.22
Rev: Add new commitment for 1606 White
Drawn: RP Date: 07.14.22
Rev: Revisions per comments
Drawn: RP Date: 07.15.22
Rev: Revisions per comments
Drawn: RP Date: 07.21.22
Rev: Revisions per comments
Drawn: RP Date: 07.22.22

HENRY STREET ANN ARBOR

ALTA/NSPS Land Title Survey

714 Henry Street, Ann Arbor, MI 48104
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
Brandon George Parrent
License No. 4001063096
LICENSED PROFESSIONAL SURVEYOR

PROJECT NO:
21500282

SHEET NO:
AL.7

SHEET: 1 OF 2

21500282 02.01.22 RP Reg

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3540, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3540

The land is described as follows: City of Ann Arbor, County of Washtenaw

The North 40.02 feet, excepting the North 20.15 feet thereof, of Lot(s) 18, Block 3, also the South 13.5 feet of Lot 18 and the North 26.7 feet of Lot 19, all in Block 3 of HAMILTON, ROSE AND SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR, according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(11) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 714 Henry St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3535, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3535

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 26.9 feet of Lot(s) 9 and the South 33.54 feet of Lot 8, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1601 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3536, dated June 03, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3536

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 26.8 feet of Lot 9 and the North 13.4 feet of Lot 10, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1605 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3537, dated June 06, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3537

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 40.3 feet of Lot(s) 10, Block 3 of HAMILTON ROSE & SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1607 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3542, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3542

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 41.18 feet of Lot(s) 20, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1608 White St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, File No: MIFA22-3538, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3538

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 50 feet of Lot(s) 1 and 2 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1609 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3543, dated June 3, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3543

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 62 feet of Lot(s) 3 and 4 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1610 White St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, File No: MIFA22-3539, dated June 3, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3539

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 82 feet of Lot(s) 1 and 2 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement in favor of The Detroit Edison Company and the Michigan Bell Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1075, page 439. **The easement described in this document is a blanket easement.**

(8) Agreement in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1076, page 518. **The easement route described in this document is shown on this survey. No width has been provided.**

(9) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1611 S. State St. Ann Arbor, MI 48104-4366

TITLE INFORMATION

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3544, dated May 31, 2022.

TITLE DESCRIPTION

Issuing Office File Number: MIFA22-3544

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 70 feet of Lot(s) 3 and 4 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

SCHEDULE B - SECTION II NOTES

(7) Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1612 White St. Ann Arbor, MI 48104-4366

ZONING INFORMATION

ALTA TABLE "A" ITEM NO. 6(a) - CURRENT ZONING CLASSIFICATION
Zoning of property: C1 A/R (After rezoning) Campus Business Residential District
ALTA TABLE "A" ITEM NO. 6(b) - CURRENT ZONING REQUIREMENTS
C1 A/R Zoning Requirements
A) Minimum Lot Area = None
B) Minimum Lot Width = None
C) Maximum Building Height = None
D) Maximum Lot Coverage = 300%(Normal); 600%(With Premiums)
Setbacks
A) Front Yard = 25 FT.
B) Side Yard = 25 FT.
C) Rear Yard = 25 FT.

Parking Required: 1.5 Unit, 1/333 SQ.FT.

SOURCE OF ZONING INFORMATION: Code of Ordinances City of Ann Arbor, Michigan Chapter 55 and Henry Street Feasibility Study November 2021.

NOTE: This may not be a complete compilation of the zoning regulations governing the subject property, and the Code of Ordinances City of Ann Arbor, Michigan Chapter 55 and Henry Street Feasibility Study November 2021 should be consulted for the accuracy and completeness of the information shown hereon.

Tree ID	Scientific Name	Common Name	DBH	Landmark	Notes
2301	*Acer saccharinum*	Silver Maple	30.5"	Yes	
2302	*Thuja occidentalis*	Arborvitae	10"	No	
2303	*Ulmus pumila*	Siberian Elm	27.5"	No	
2304	*Acer platanoides*	Norway Maple	8"	No	
2305	*Ulmus pumila*	Siberian Elm	13.6"	No	multi-stem
2306	*Acer platanoides*	Norway Maple	11"	No	
2307	*Ulmus pumila*	Siberian Elm	9"	No	
2308	*Ulmus pumila*	Siberian Elm	14"	No	
2309	*Ulmus pumila*	Siberian Elm	16"	No	
2310	*Ulmus pumila*	Siberian Elm	7.5"	No	
2311	*Ulmus pumila*	Siberian Elm	9"	No	
2312	*Ulmus pumila*	Siberian Elm	8"	No	
2313	*Ulmus pumila*	Siberian Elm	17"	No	
2314	*Ulmus pumila*	Siberian Elm	21.7"	No	multi-stem
2315	*Acer platanoides*	Norway Maple	13.5"	No	
2316	*Ulmus americana*	American Elm	8.5"	No	
2317	*Acer platanoides*	Norway Maple	24.5"	No	
2318	*Acer platanoides*	Norway Maple	28"	No	
2319	*Acer platanoides*	Norway Maple	19"	No	
2320	*Morus alba*	Muberry	25"	No	
2321	*Juglans nigra*	Black Walnut	7"	No	
2322	*Acer Saccharum*	Sugar Maple	20"	Yes	
2323	*Ulmus pumila*	Siberian Elm	23.5"	No	
2324	*Morus alba*	Muberry	15.6"	No	multi-stem
2325	*Juglans nigra*	Black Walnut	8"	No	
2326	*Juglans nigra*	Black Walnut	28.5"	Yes	
2327	*Morus alba*	Muberry	24"	No	
2328	*Ulmus americana*	American Elm	8"	No	
2329	*Pinus resinosa*	Red Pine	21"	No	
2330	*Thuja occidentalis*	Arborvitae	21.3"	Yes	multi-stem
2331	*Juniperus virginiana*	Eastern Red Cedar	9.5"	Yes	
2332	*Juniperus virginiana*	Eastern Red Cedar	10"	Yes	
2333	*Thuja occidentalis*	Arborvitae	17"	Yes	multi-stem
2334	*Celtis occidentalis*	Common Hackberry	7"	No	
2335			14"	No	stump
2336	*Thuja occidentalis*	Arborvitae	17.5"	Yes	multi-stem
2337	*Ulmus pumila*	Siberian Elm	8"	No	
2338	*Thuja occidentalis*	Arborvitae	14"	Yes	multi-stem
1	*Acer miyabe*	Miyabe Maple	8"	No	Street Tree
2	*Acer Saccharum*	Sugar Maple	21.5"	Yes	Street Tree
3	*Acer Saccharum*	Sugar Maple	21"	Yes	Street Tree
4	*Acer platanoides*	Norway Maple	10"	No	Street Tree
5	*Acer platanoides*	Norway Maple	16.5"	No	Street Tree

*Tree survey performed April 21, 2022 by Wade Lehmann ISA Certified Arborist ID# MI-4593A

**Multi-stemmed trees DBH calculated using the formula: $\sqrt{(x^2 + y^2)}$ (Certified)

SURVEYOR'S NOTES

1) ALTA TABLE "A" ITEM NO. 1 - Existing and placed monuments at all major corners of the boundary of the property have been shown.
2) ALTA TABLE "A" ITEM NO. 2 - Address of the surveyed property is 714 Henry Street; 1601, 1605, 1607, 1609, 1611 S. State Street; 1606, 1608, 1610, and 1612, Ann Arbor, MI 48104.
3) ALTA TABLE "A" ITEM NO. 3 - Flood Zone Classification: **An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260213, Map Number 26161C0263E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X (subject to map scale uncertainty).**
4) ALTA TABLE "A" ITEM NO. 4 - **Gross Land Area: 72,148.02 Square Feet / 1.66 Acres**
5) ALTA TABLE "A" ITEM NO. 5 - Vertical relief shown per ground survey at 1' contour interval, NAVD88 Datum.
6) ALTA TABLE "A" ITEM NO. 6(a) - A zoning letter or report has not been provided to the surveyor at this time. Zoning is shown per research performed by Nederveld and Henry Street Feasibility Study November 2021. See "Zoning Information".
7) ALTA TABLE "A" ITEM NO. 6(b) - A zoning letter or report has not been provided to the surveyor at this time. Building setbacks are shown per research and interpretation performed by Nederveld and Henry Street Feasibility Study November 2021..
8) ALTA TABLE "A" ITEM NO. 7(a) - **Exterior dimensions of all permanent buildings at ground level have been shown.**
9) ALTA TABLE "A" ITEM NO. 7(b)(1) - **Building Area: 13,062 Square Feet** (Total)
10) ALTA TABLE "A" ITEM NO. 8 - Substantial features observed in the process of conducting fieldwork have been shown.
11) ALTA TABLE "A" ITEM NO. 10 - No division or party walls with respect to adjoining properties were observed in the process of conducting fieldwork.
12) ALTA TABLE "A" ITEM NO. 11 - See Note 17 below.
13) ALTA TABLE "A" ITEM NO. 13 - Names of adjoining owners have been shown according to current tax records.
14) ALTA TABLE "A" ITEM NO. 16 - Evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork. **None observed.**
15) ALTA TABLE "A" ITEM NO. 17 - Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork. **None observed.**
16) Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
17) Basis of Bearing: NAD83 Michigan State Planes, South Zone, International Foot
18) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
19) Access to property is from S. State Street, Henry Street, White Street, and Stimson Street.
20) The surveyed boundary shown hereon is contiguous with adjoining properties and/or rights of way without any gaps, gores, or overlaps.
21) Survey includes a survey of the real property located at 1606 White Street, Ann Arbor, however this property is not part of the collateral in connection with that certain mortgage loan from ROSS-ANN ARBOR, LLC, a Delaware limited liability company, as lender, to South Town By 4M LLC, a Michigan limited liability company, as borrower, dated as of [ ].

SURVEYOR'S CERTIFICATION

To First American Title Insurance Company; Southtown by 4M LLC; Land Services USA LLC; Northeast Bank; ROSS-Ann Arbor:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7(a), 7(b)(1), 8, 10, 11, 13, 16, 17, & 20 of Table A thereof. The fieldwork was completed on April 19, 2022.

Date of Plat or Map: July 21, 2022

STATE OF MICHIGAN
Brandon George Parrent
License No. 4001063096
LICENSED PROFESSIONAL SURVEYOR

Brandon G. Parrent
Professional Surveyor No. 4001063096
Nederveld, Inc.
bparrent@nederveld.com

NEDERVELD
www.nederveld.com
800.222.1868
ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963
CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Synecdoche Design Studio
Lisa Sauve

1342 N Main Street
Suite #5
Ann Arbor, MI 4810

CREATED:
Drawn: R.Paramo Date: 04.19.22

REVISIONS:
Rev: Revisions per comments
Drawn: RP Date: 06.03.22
Rev: Add certification name
Drawn: RP Date: 06.09.22
Rev: Add new commitments and information
Drawn: RP Date: 07.11.22
Rev: Add new commitment for 1606 White
Drawn: RP Date: 07.14.22
Rev: Revisions per comments
Drawn: RP Date: 07.15.22
Rev: Revisions per comments
Drawn: RP Date: 07.21.22
Rev: Revisions per comments
Drawn: RP Date: 07.22.22

HENRY STREET ANN ARBOR

ALTA/NSPS Land Title Survey

714 Henry Street, Ann Arbor, MI 48104
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:

PROJECT NO: 21500282

SHEET NO: AL.7

SHEET: 2 OF 2

21500282AL.dwg RP 12/12/2022 10:23