

**Zoning Board of Appeals  
February 23, 2022 Regular Meeting**

**STAFF REPORT**

**Subject: ZBA22-003; 140 Hill Street**

**Summary:**

Mark Schroeder, property owner, is requesting a 15-foot variance from Section 5.20.4 (B) Conflicting Land Use Buffers. The property is zoned R4C, Multiple Family Dwelling. This site layout utilizes a shared driveway along the western border with the adjacent property at 132 Hill Street, where a conflicting land use buffer is required.

**Background:**

The petitioner seeks approval to demolish the existing 3,266-square foot duplex and construct a new 5,600-square foot four-unit apartment building with four bedrooms each. The site is 9,600- square feet and allows for a maximum of four units. The Unified Development Code (UDC) was recently amended that excludes four-unit complexes from requiring site plan approval. If this variance is granted, the petitioner may start applying for permits.

The adjacent 132 Hill Street project received site plan approval in 2018 for a five-unit complex and received a variance from the ZBA on October 24, 2018 from the eastern property line CLUB where the shared driveway exists.

**Description and Discussion:**

A 15-foot wide conflicting land use buffer (CLUB) is required along both sides of the site and the rear of the property as this site is adjacent to residential uses. Two of the three sides meet the CLUB requirements for width and landscaping. The petitioner is requesting a variance from the western side CLUB requirement as this is the location of the existing shared driveway with 132 Hill Street.

**Standards for Approval- Variance**

The Zoning Board of Appeals has all the power granted by State law and by Section 5.29.12, Application of the Variance Power from the City of Ann Arbor Zoning Ordinance. The following criteria shall apply:

- (a). *That the practical difficulties are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the City.***

The applicant states that the 15-foot buffer requirement on each side of the lot (30 feet total) results in a 36 foot wide building envelope taking away nearly half of their building envelope.

- (b). That the practical difficulties will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.**

Without the variance, the reduced building envelope makes it extremely difficult to develop the property for multiple-family.

- (c). That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.**

A shared driveway between 132 and 140 Hill Street exists. The variance allows for a shared driveway with the adjacent property which eliminates the need for a curb cut and minimizes impervious surface.

- (d). That the conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.**

The variance request is not self-imposed as the narrow 66-foot lot width is an existing condition along with the location of the existing shared driveway.

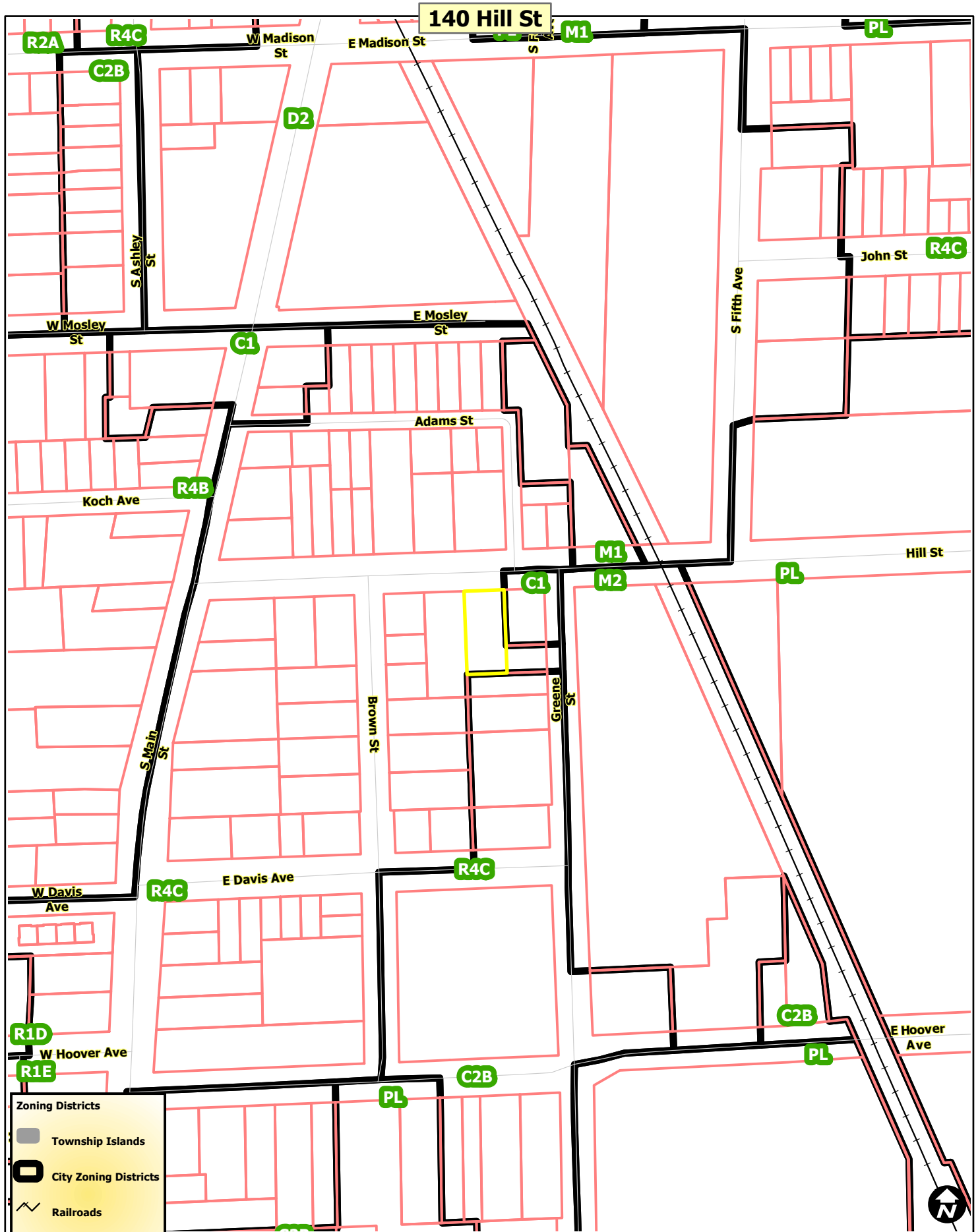
- (e). A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.**

The variance being requested is the minimum necessary to allow for a shared driveway. The applicant will install the 15-foot wide buffer along the east and south sides of the property, containing a mixture of 15 trees and numerous shrubs in the buffer.

Respectfully submitted,



Chris Cheng  
City Planner



**Zoning Districts**




- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels



Map date: 2/2/2022  
 Any aerial imagery is circa 2020 unless otherwise noted  
 Terms of use: [www.a2gov.org/terms](http://www.a2gov.org/terms)

140 Hill St



-  Railroads
-  Huron River
-  Tax Parcels



City of Ann Arbor 




Map date: 2/2/2022  
 Any aerial imagery is circa 2020  
 unless otherwise noted  
 Terms of use: [www.a2gov.org/terms](http://www.a2gov.org/terms)

140 Hill St

Adams St

Hill St



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 2/2/2022  
Any aerial imagery is circa 2020 unless otherwise noted  
Terms of use: [www.a2gov.org/terms](http://www.a2gov.org/terms)



# ZONING BOARD OF APPEALS APPLICATION

City of Ann Arbor Planning Services

City Hall: 301 E Huron Street Ann Arbor, MI 48107-8647

Phone: 734-794-6265 Fax: 734-794-8460 Email: [planning@a2gov.org](mailto:planning@a2gov.org)

## PROPERTY INFORMATION

ADDRESS OF PROPERTY

140 Hill

ZIP CODE

48104

ZONING CLASSIFICATION

R4C

NAME OF PROPERTY OWNER \*If different than applicant, a letter of authorization from the property owner must be provided

MARK E Perry Schroeder

PARCEL NUMBER

09-09-32-111-019

OWNER EMAIL ADDRESS

mark.schroeder22@gmail.com

## APPLICANT INFORMATION

NAME

Mark Schroeder / Mahalo Properties, LLC

ADDRESS

P.O. Box 2198

CITY

Ann Arbor

STATE

MI

ZIP CODE

48106

EMAIL

mark.schroeder22@gmail.com

PHONE

(734) 476-8023

APPLICANT'S RELATIONSHIP TO PROPERTY

Owner / Developer

## REQUEST INFORMATION

VARIANCE REQUEST

Complete Section 1 of this application

REQUEST TO ALTER A NONCONFORMING STRUCTURE

Complete Section 2 of this application

## REQUIRED MATERIALS

One hard copy application complete with all required attachments must be submitted. Digital copies of supportive materials included in the submitted hard copy will only be accepted in PDF format by email or accompanying the hard copy application on a USB flash drive.

**Required Attachments:**

- Boundary Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
- Building floor plans showing interior rooms, including dimensions.
- Photographs of the property and any existing buildings involved in the request.

OFFICE USE ONLY

Fee Paid:

ZBA:

DATE STAMP

## ACKNOWLEDGEMENT

All information and materials submitted with this application are true and correct.

Permission is granted to City of Ann Arbor Planning Services and members of the Zoning Board of Appeals to access the subject property for the purpose of reviewing the variance request.

Property Owner Signature:

Date: 12/15/21

# Section 1 City of Ann Arbor Planning Services – Zoning Board of Appeals Application

## VARIANCE REQUEST

ARTICLE(S) AND SECTION(S) FROM WHICH A VARIANCE IS REQUESTED: (Example: Article 3, Section 5.26)

Chapter 62, Section 5:603 (C.L.U.B.)

REQUIRED DIMENSION: (Example: 40' front setback)

Feet: Inches: ~15'

PROPOSED DIMENSION: (Example: 32 foot 8 inch front setback)

Feet: Inches: 0'

DESCRIPTION OF PROPOSED WORK AND REASON FOR VARIANCE:

Requesting variance for conflicting land use buffer to allow for shared driveway w/ adjacent property 132 Hill. Both are zoned R4C and variance was granted to 132 Hill, using land owned by 140 Hill st. The shared

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:29. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when all of the following statements are found to be true. Please provide a complete response to each of the statements below.

The alleged practical difficulties are exceptional and peculiar to the property of the Person requesting the variance, and result from conditions that do not exist generally throughout the City.

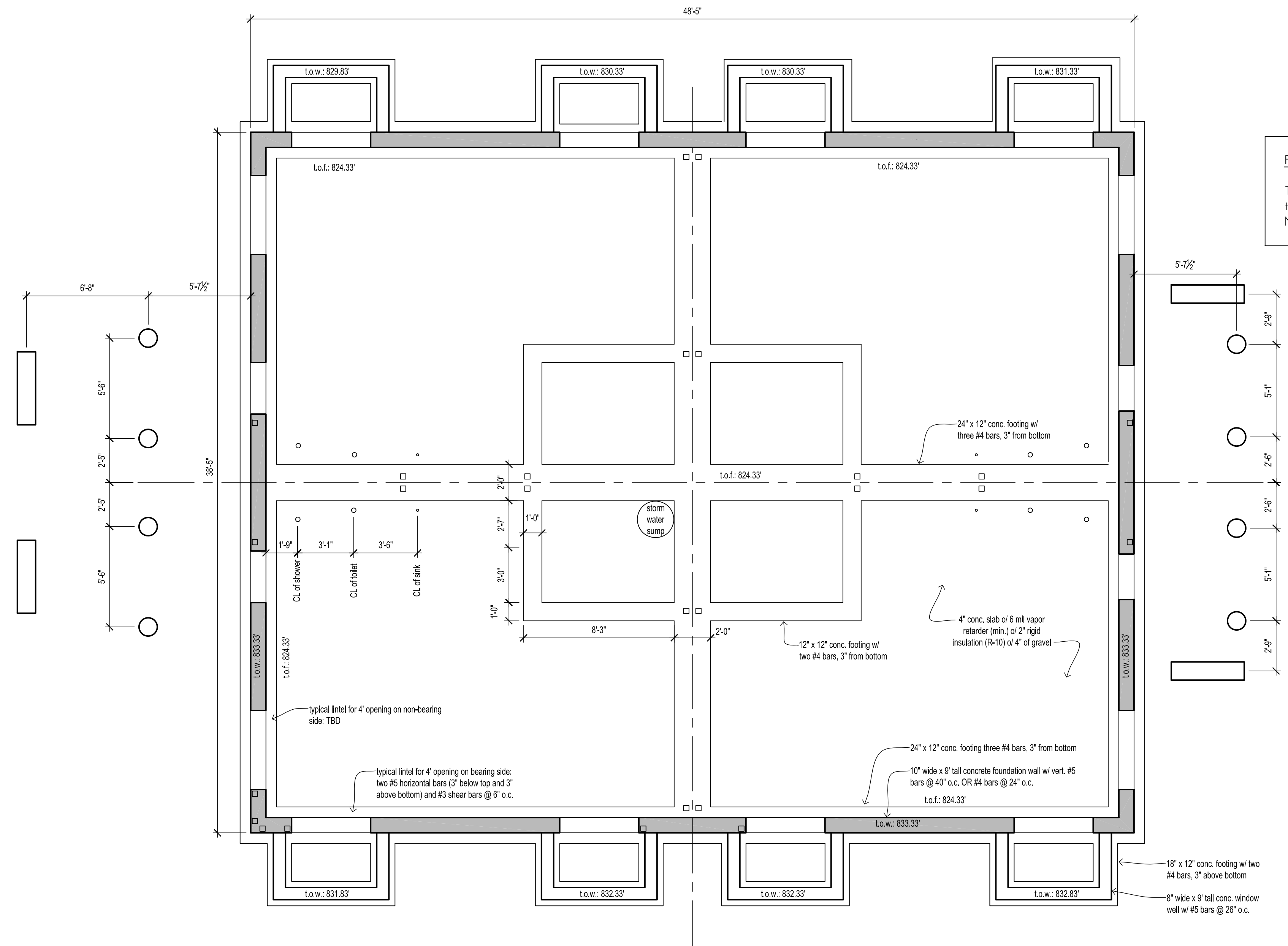
driveway meets the 18' width requirement to accommodate the new 140 Hill st. building

The alleged practical difficulties that will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.

Allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the practical difficulties that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.

The conditions and circumstances on which the variance request is based shall not be a self-imposed practical difficulty.

A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.



**FIRE DEPT / BLDG DEPT NOTE:**  
This building is four townhouses to be reviewed under the MRC. No fire suppression is required.

**M a h a l o Properties**

new four-unit apartment building

140 Hill Street  
Ann Arbor, MI 48104

project no: 21013

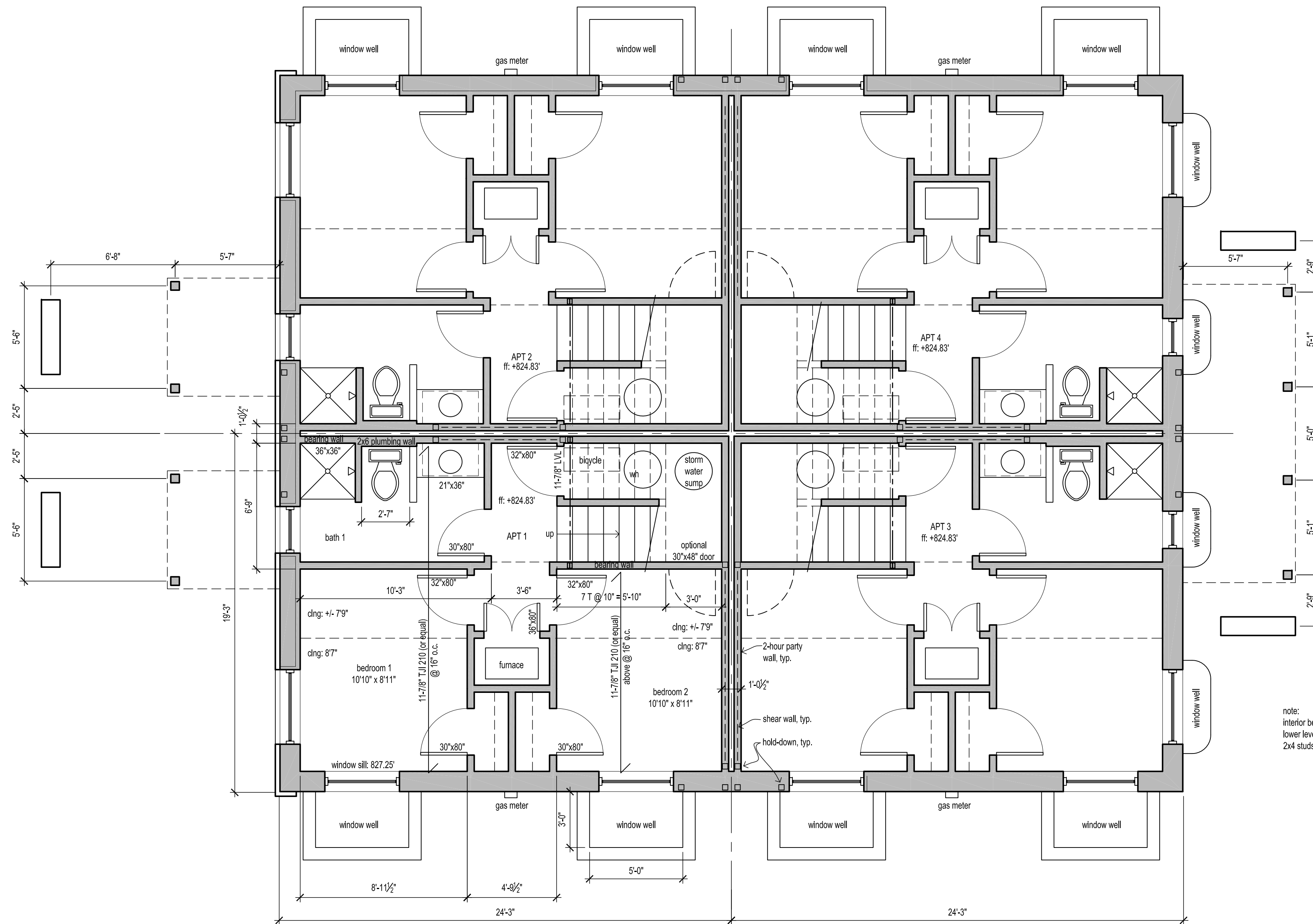
issue no:

owner review	13 Aug '21
owner review	30 Sep '21
Planning Department	18 Oct '21
revised	8 Nov '21
revised	30 Nov '21

PRELIMINARY

1 FOUNDATION PLAN  
1/4" = 1'-0"





**FIRE DEPT / BLDG DEPT NOTE:**  
This building is four townhouses to be reviewed under the MRC. No fire suppression is required.

**Mahalo Properties**

new four-unit apartment building

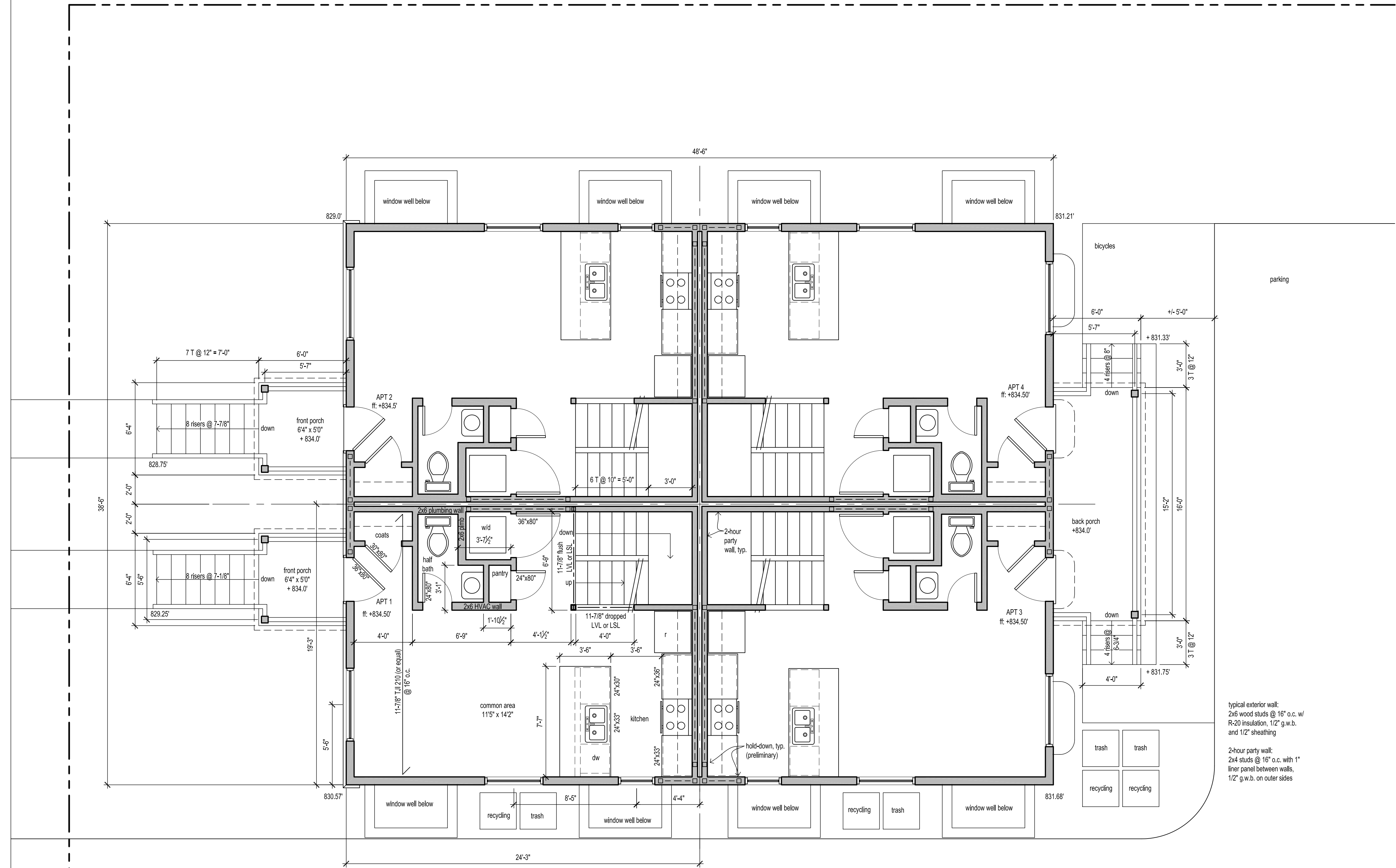
140 Hill Street  
Ann Arbor, MI 48104

project no: 21013

issue no:  
owner review 13 Aug '21  
owner review 30 Sep '21  
Planning Department 18 Oct '21  
revised 8 Nov '21  
revised 30 Nov '21

PRELIMINARY

1 LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"



**Mahalo Properties**

new four-unit  
apartment  
building

140 Hill Street  
Ann Arbor, MI 48104

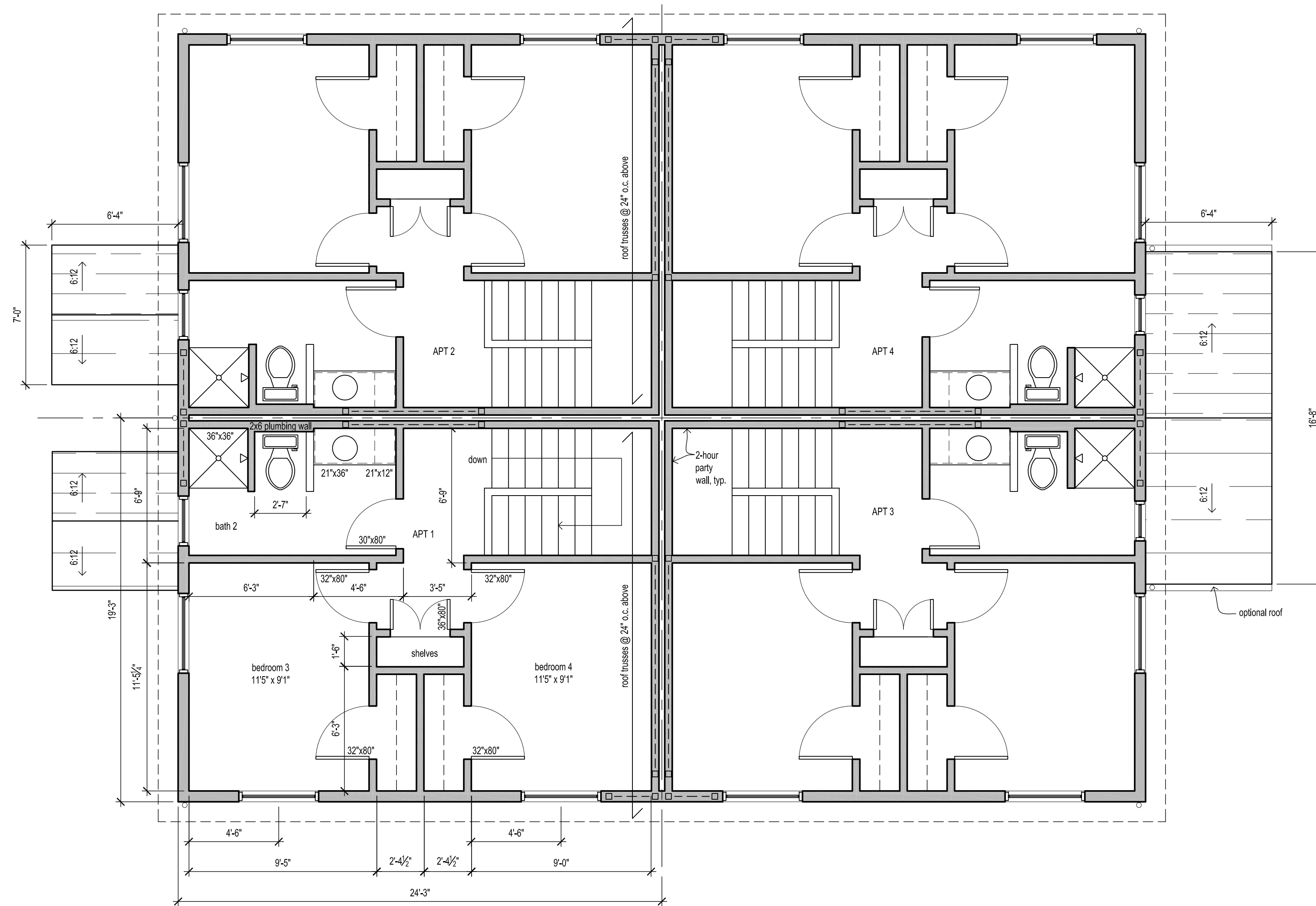
project no: 21013

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PRELIMINARY

1 FIRST FLOOR PLAN  
1/4" = 1'-0"



**M a h a l o  
Properties**

new four-unit  
apartment  
building

140 Hill Street  
Ann Arbor, MI 48104

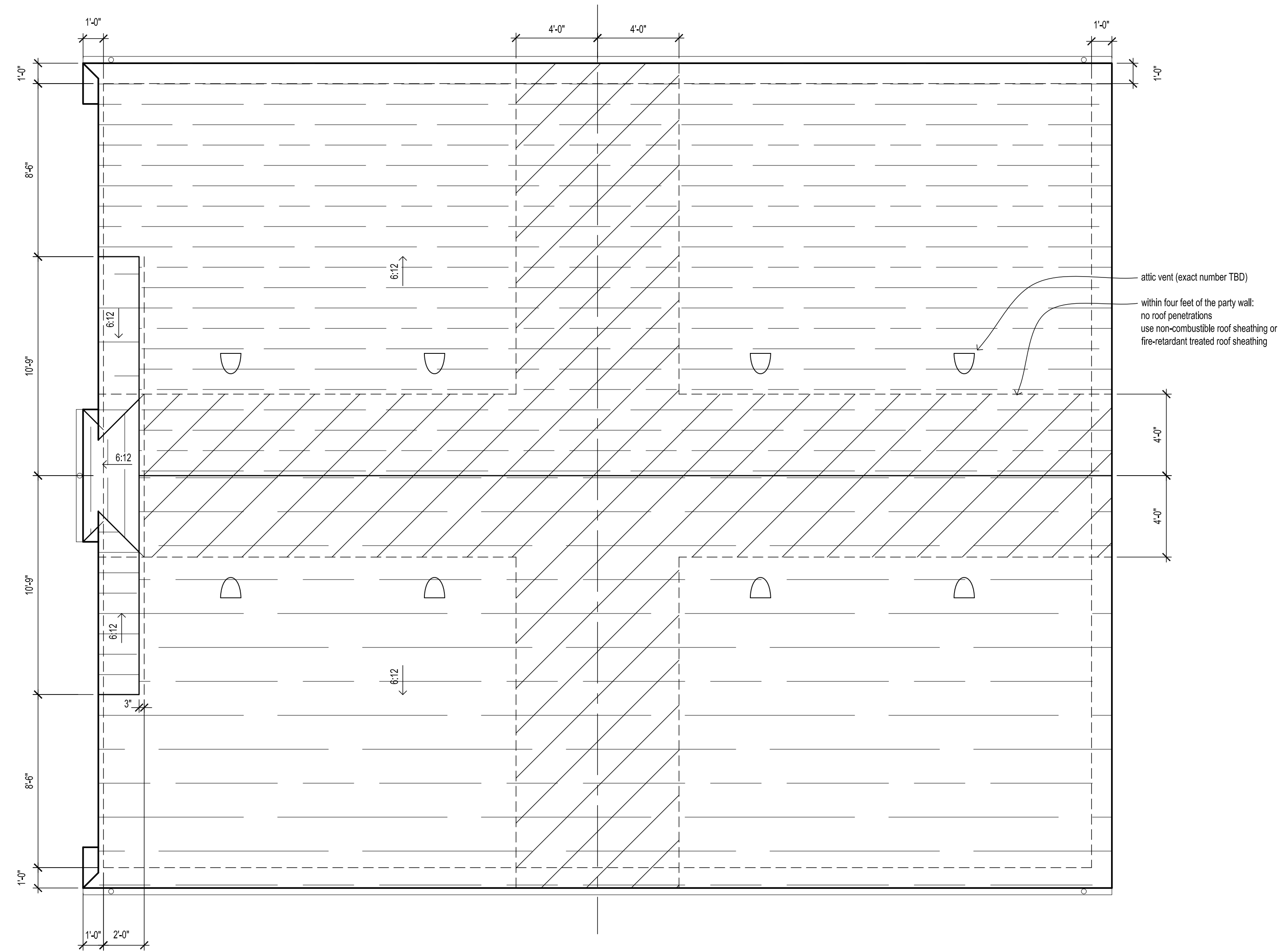
project no: 21013

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PRELIMINARY

1 SECOND FLOOR PLAN  
1/4" = 1'-0"



**M a h a l o  
Properties**

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PRELIMINARY

WINDOW SCHEDULE

NO.	LOCATION	QUANTITY	MFR. / MFR. NO.	TYPE	FRAME SIZE width x height	ROUGH OPENING width x height	GLASS	FINISH interior / exterior	JAMB	SCREEN Style / Color	HARDWARE Style / Color	GRILLE Style / Finish (optional)	FACTORY OR FIELD MULLED	EGRESS	NOTES
A	living room	4	5040	gliding	4'11-1/2" x 3'11-1/2"	60" x 48"	Insul, low-E	TBD	6 9/16"	TBD / TBD	TBD	-	-	no	-
B	bedroom	20	4040	gliding	3'11-1/2" x 3'11-1/2"	48" x 48"	Insul, low-E	TBD	6 9/16"	TBD / TBD	TBD	-	-	yes	-
C	bathroom	4	2026	awning	1'11-1/2" x 2'5-1/2"	24" x 30"	Insul, low-E	TBD	6 9/16"	TBD / TBD	TBD	-	-	no	1
D	kitchen	4	2640	casement	2'5-1/2" x 3'11-1/2"	30" x 48"	Insul, low-E	TBD	6 9/16"	TBD / TBD	TBD	-	-	no	-
E	bedroom	4	4020	gliding	3'11-1/2" x 1'11-1/2"	48" x 24"	Insul, low-E	TBD	6 9/16"	TBD / TBD	TBD	-	-	no	-
F	bathroom	4	2020	awning	1'11-1/2" x 1'11-1/2"	24" x 24"	Insul, low-E	TBD	6 9/16"	TBD / TBD	TBD	-	-	no	1

- GENERAL NOTES:  
1. Windows to be Andersen 100  
2. Refer to exterior elevations for tempered glazing locations (contractor and supplier to verify tempered glazing)  
3. For fixed windows, provide stationary sash  
4. No grilles  
5. Contractor and supplier to verify all quantities  
6. Refer to exterior elevations for swing direction for operable windows

- KEYED NOTES:  
1. tempered glazing  
2. ...



2 SOUTH / REAR ELEVATION  
1/4" = 1'-0"



3 WEST / SIDE ELEVATION (EAST ELEVATION SIMILAR)  
1/4" = 1'-0"



1 NORTH / FRONT ELEVATION  
1/4" = 1'-0"

PRELIMINARY

Mahalo Properties

new four-unit  
apartment  
building

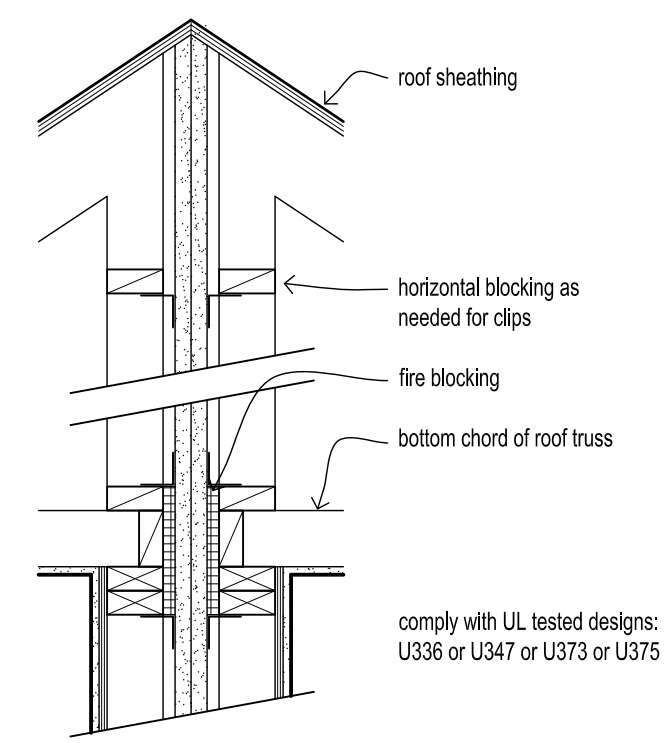
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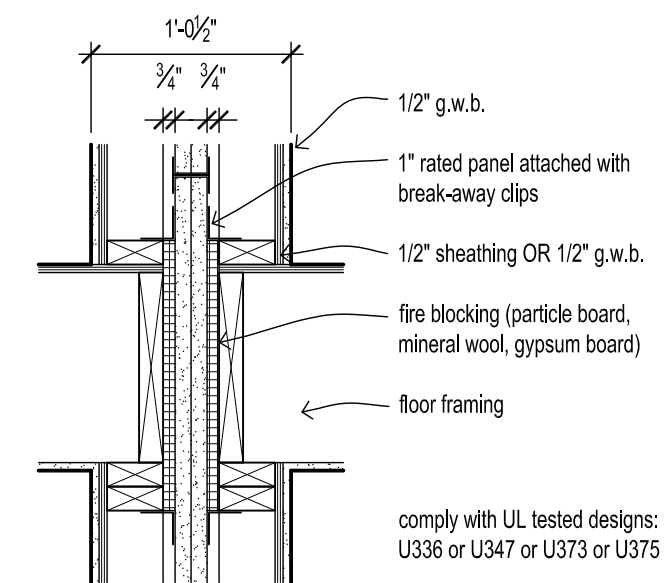
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owner review 13 Aug '21  
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revised 9 Dec '21



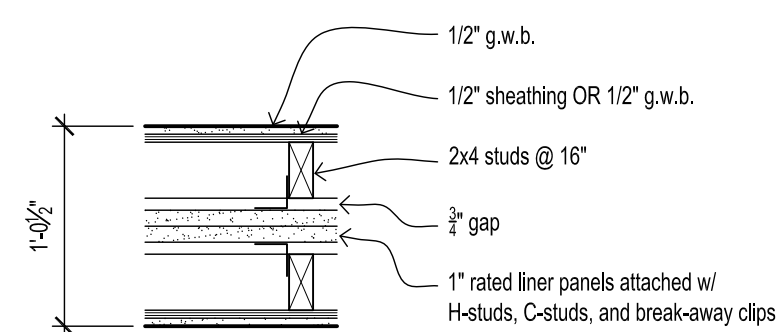




5 2-HOUR PARTY WALL AT ATTIC  
 1" = 1'-0"



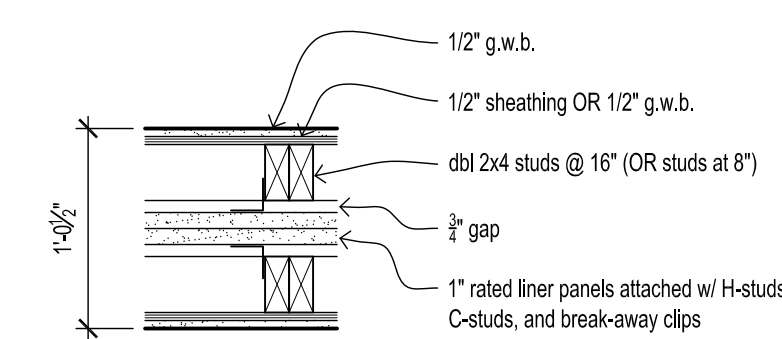
4 2-HOUR PARTY WALL AT FLOOR  
 1" = 1'-0"



NOTE:  
 for walls between 24' and 44' tall, clips to be 10' o.c. (max.) for top 24' of wall, and 5' o.c. (max.) for the remainder of the wall

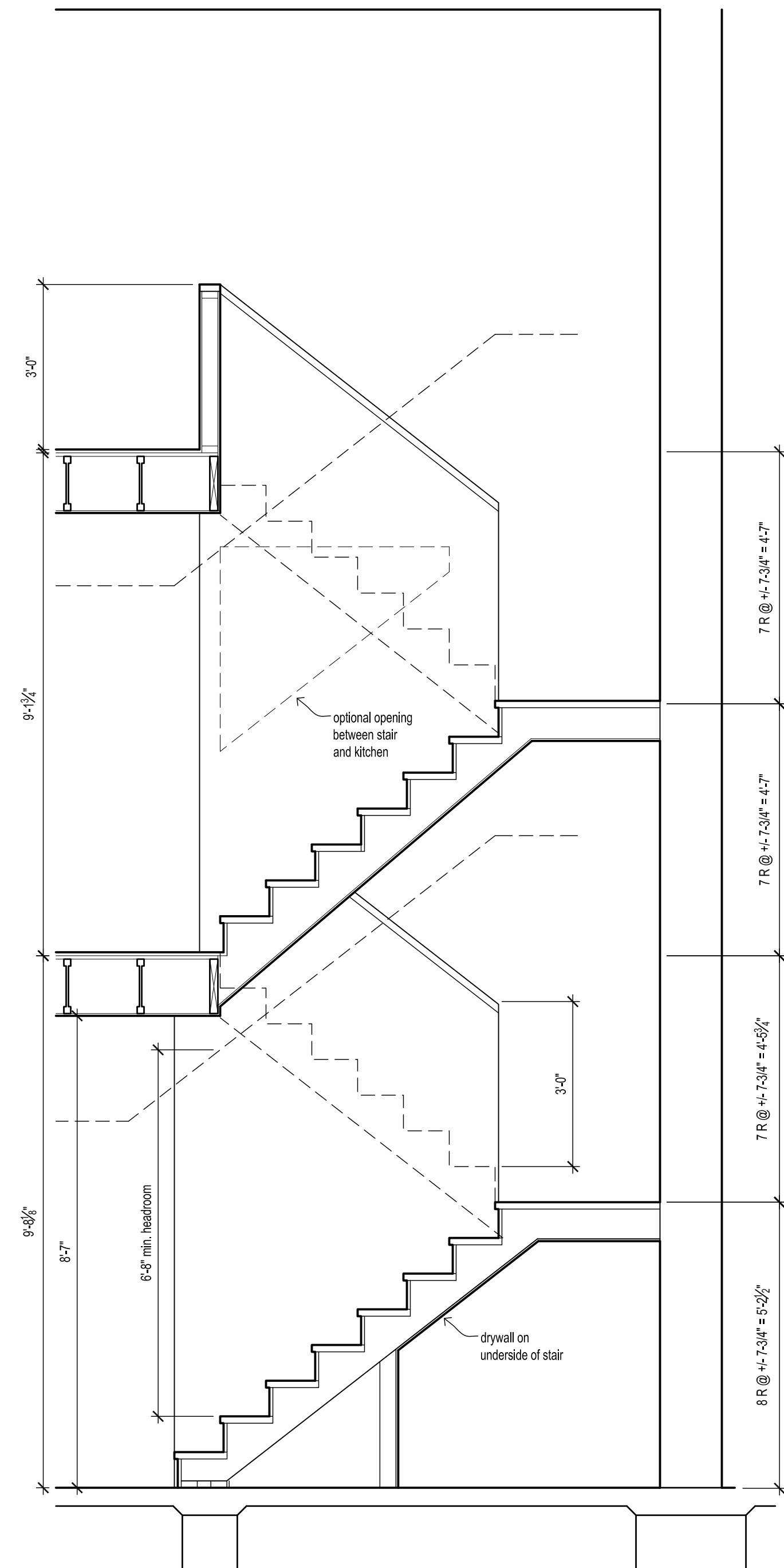
comply with UL tested designs:  
 U336 or U347 or U373 or U375

3 2-HOUR PARTY WALL (TYPICAL)  
 1" = 1'-0"



comply with UL tested designs:  
 U336 or U347 or U373 or U375

2 2-HOUR PARTY WALL (BASEMENT)  
 1" = 1'-0"



1 TYP. STAIR SECTION  
 1/2" = 1'-0"

PRELIMINARY

**Mahalo Properties**

new four-unit apartment building

140 Hill Street  
 Ann Arbor, MI 48104

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STRUCTURAL NOTES

GENERAL

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN THE INFORMATION ON THE DRAWINGS AND THESE NOTES, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE COMPLETED STRUCTURE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION TO ACCOUNT FOR ALL FORCES, INCLUDING BUT NOT LIMITED TO: GRAVITY, WIND, EARTH PRESSURE, AND UNBALANCED FORCES DUE TO CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND JOB SAFETY.
- THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL WORK WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WORK, AS WELL AS ANY OTHER APPLICABLE TRADES. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES AND/OR INTERFERENCES IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE BEGINNING WORK. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND BE RESPONSIBLE FOR SAME.
- IN CASES OF CONFLICT BETWEEN DRAWINGS AND OTHER DISCIPLINES OR EXISTING CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND/OR PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL OPENING SIZES AND LOCATIONS WITH OTHER DISCIPLINES. THE DRAWINGS DO NOT SHOW ALL OPENINGS REQUIRED. ADDITIONAL OPENINGS, BLOCKOUTS, AND SLEEVES MAY BE REQUIRED BY OTHER DISCIPLINES. OPENINGS REQUIRED BUT NOT SHOWN ON STRUCTURAL DRAWINGS MUST BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD.
- DO NOT SCALE DRAWINGS. ONLY USE DIMENSIONS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN COPIES OF THE LATEST CONTRACT DOCUMENTS INCLUDING ALL BULLETINS AND ADDENDA, AND SHALL PROVIDE THE RELEVANT PORTIONS TO ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO SUBMITTAL OF SHOP DRAWINGS, FABRICATION, AND ERECTION OF STRUCTURAL MEMBERS.
- STRUCTURAL ENGINEER OF RECORD'S ACCEPTANCE MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, OR OTHERWISE REDUCED IN STRENGTH UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD.
- SUPPORT DETAILS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT IS BASED UPON AVAILABLE INFORMATION OF MANUFACTURER. CONTRACTOR SHALL COORDINATE REQUIREMENTS OF ACTUAL EQUIPMENT SUPPLIED WITH DETAILS AND SHALL PROVIDE ANY ADDITIONAL FRAMING REQUIRED.
- PERIODIC SITE OBSERVATION VISITS MAY BE PROVIDED BY THE ARCHITECT/ENGINEER. THE SOLE PURPOSE OF THESE OBSERVATIONS IS TO REVIEW THE GENERAL CONFORMANCE OF THE CONSTRUCTION WITH THE CONTRACT DOCUMENTS. THESE LIMITED OBSERVATIONS SHOULD NOT BE CONSIDERED AS CONTINUOUS OR EXHAUSTIVE INVESTIGATIONS TO VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.

REFERENCED CODES AND STANDARDS

- PERFORM ALL CONSTRUCTION IN CONFORMANCE WITH THE LATEST EDITIONS OF THE BUILDING AND DESIGN CODES REFERENCED WITHIN THESE DOCUMENTS. THE CONTRACT DOCUMENTS REFER TO THE FOLLOWING CODES AND STANDARDS, LATEST EDITIONS AS REFERENCED IN THE CURRENT BUILDING CODE IN THE STATE OF THE PROJECT, UNLESS NOTED OTHERWISE:
  - 2015 MICHIGAN BUILDING CODE
  - ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
  - NDS, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION

DESIGN CRITERIA

- GENERAL
  - WOOD DESIGN ASD II
  - RISK CATEGORY II
- WIND LOADS
  - BASIC WIND SPEED (V) 115 MPH
  - EXPOSURE CATEGORY B
  - MWFRS PRESSURE 12.4 PSF

SUBMITTALS

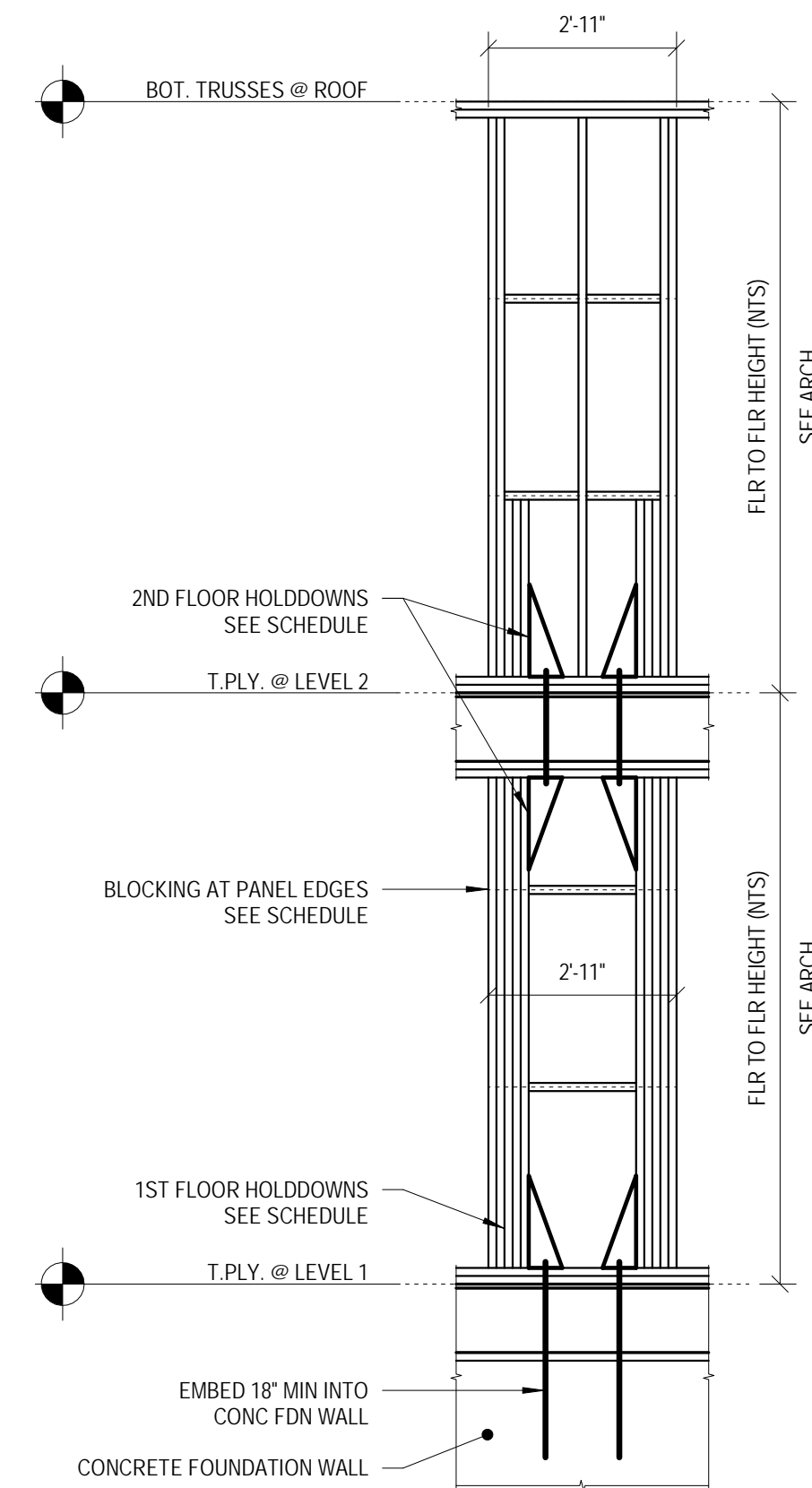
- THE CONTRACTOR SHALL SUBMIT FOR ARCHITECT/ENGINEER REVIEW A SCHEDULE WHICH DETAILS THE ESTIMATED QUANTITY OF SUBMITTALS, AND THE DATE THEY WILL BE RECEIVED, AT LEAST TWENTY (20) WORKING DAYS PRIOR TO THE FIRST SUBMITTAL. THE SCHEDULE SHOULD ACCOUNT FOR AT LEAST TEN (10) WORKING DAYS OF REVIEW TIME BY THE ARCHITECT/ENGINEER FOR EACH SUBMITTAL.
- SHOP DRAWINGS AND/OR DETAILS THAT ARE PREPARED FROM REPRODUCTIONS OF THE STRUCTURAL ENGINEER OF RECORD'S DESIGN DOCUMENTS, IN WHOLE OR IN PART, SHALL NOT BE USED AND WILL BE REJECTED.
- THE ARCHITECT/ENGINEER MAY RETURN, WITHOUT COMMENT, SUBMITTALS WHICH THE CONTRACTOR HAS NOT STAMPED OR WHICH DO NOT MEET THE PROJECT REQUIREMENTS.
- THE CONSTRUCTION, MANUFACTURE, AND/OR FABRICATION OF ANY ITEMS PRIOR TO THE ARCHITECT/ENGINEER REVIEW WILL BE ENTIRELY AT THE RISK OF THE CONTRACTOR.
- ARCHITECT/ENGINEER'S REVIEW IS FOR GENERAL CONFORMANCE AND COMPLIANCE WITH THE DESIGN CONCEPT AND CONTRACT DOCUMENTS. ANY ACTION NOTED DOES NOT WAIVE ANY REQUIREMENT OF CONTRACT DOCUMENTS, COORDINATION OF TRADES, AND SATISFACTORY PERFORMANCE OF THEIR WORK WHICH ARE THE CONTRACTOR'S COMPLETE RESPONSIBILITY.
- ITEMS THAT REQUIRE SUBMITTAL FOR STRUCTURAL REVIEW ARE:
  - ANCHOR RODS

SAW CUTTING EXISTING CONCRETE AND/OR MASONRY

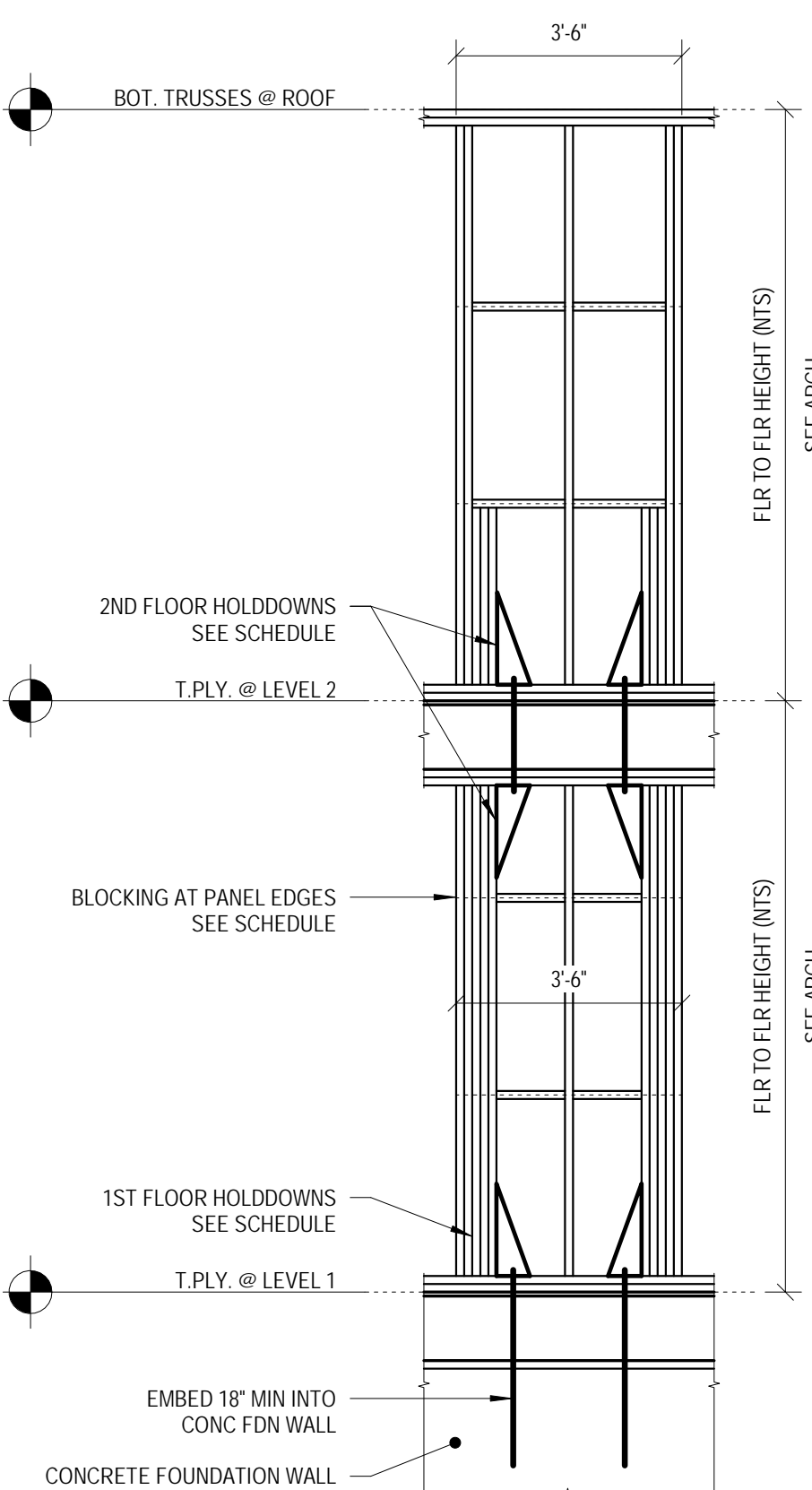
- SAW CUTTING OF NEW OPENINGS IN EXISTING CONCRETE AND/OR MASONRY WALLS SHALL BE DONE WITHOUT OVERCUTTING BEYOND THE BOUNDARIES OF THE INTENDED OPENING. ANY STRUCTURAL REPAIRS REQUIRED BY THE STRUCTURAL ENGINEER OF RECORD AS A RESULT OF OVERCUTTING BEYOND THE BOUNDARIES OF AN OPENING SHALL BE PAID FOR BY THE SAW CUTTING CONTRACTOR. SEE DRAWINGS FOR ADDITIONAL INFORMATION.

WOOD FRAMING

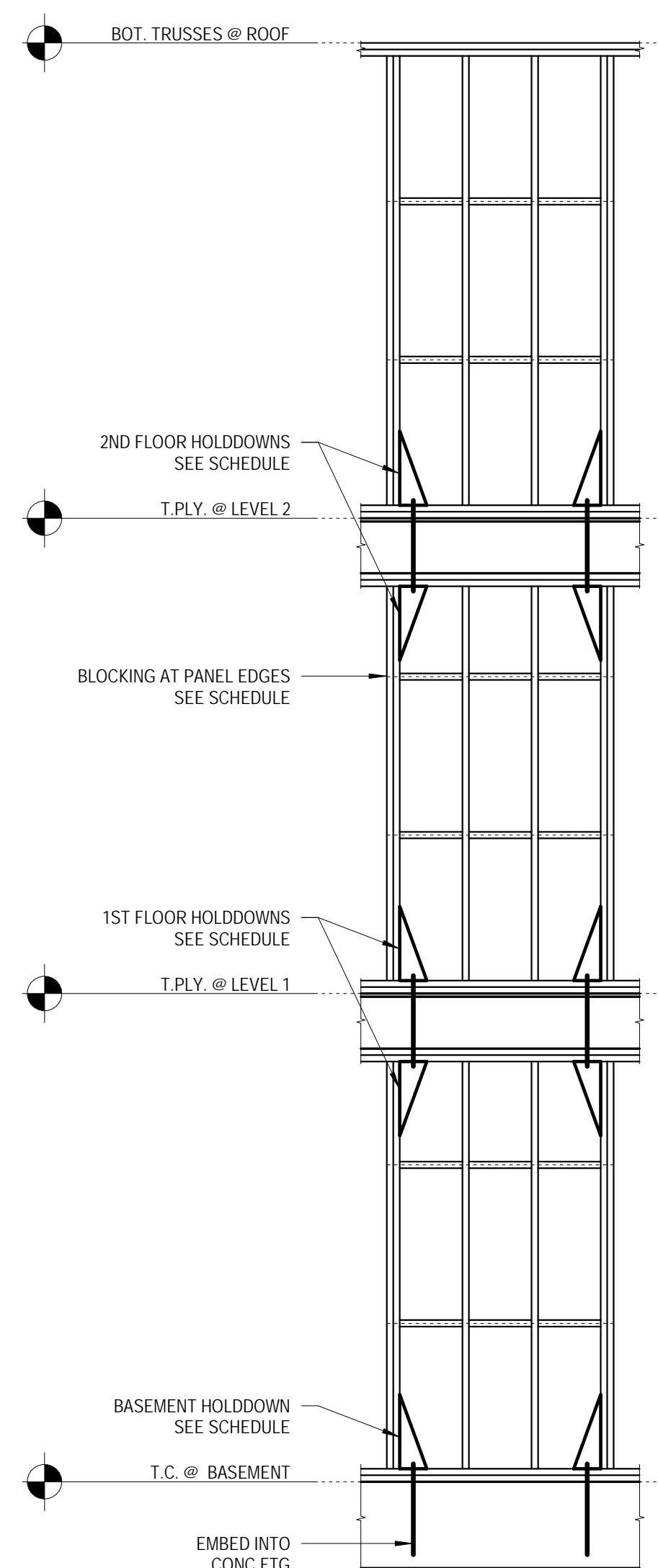
- ALL WOOD FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION - AMERICAN WOOD COUNCIL.
- WOOD FOR SHEAR WALL FRAMING SHALL CONFORM TO THE FOLLOWING:
  - DOUGLAS FIR-LARCH (DF) - NO.2 OR BETTER
  - BENDING (F<sub>b</sub>) 900 PSI
  - SHEAR (F<sub>v</sub>) 180 PSI
  - TENSION PARALLEL TO THE GRAIN (F<sub>t</sub>) 575 PSI
  - COMPR. PARALLEL TO THE GRAIN (F<sub>c</sub>) 1350 PSI
  - COMPR. PERPEN. TO THE GRAIN (F<sub>c</sub>) 625 PSI
  - MODULUS OF ELASTICITY (E) 1,600,000 PSI
- PLYWOOD WALL SHEATHING SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE TRADEMARK OF THE APA - THE ENGINEERED WOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF "U.S. PRODUCT STANDARDS, PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD". PLYWOOD THICKNESS IS SHOWN ON THE DRAWINGS.
- GLUE FOR WOOD CONSTRUCTION SHALL COMPLY WITH SPECIFICATION AFG-01 OF THE APA - THE ENGINEERED WOOD ASSOCIATION.
- THE NUMBER AND SIZE OF FASTENERS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THE REQUIREMENTS SET FORTH IN THE BUILDING CODE FASTENING SCHEDULE.
- ALL WOOD CONSTRUCTION CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL.
- ALL WALL, FLOOR, AND ROOF SHEATHING IS TO BE ORIENTATED PERPENDICULAR TO ITS SUPPORTING MEMBER, UNLESS OTHERWISE NOTED.



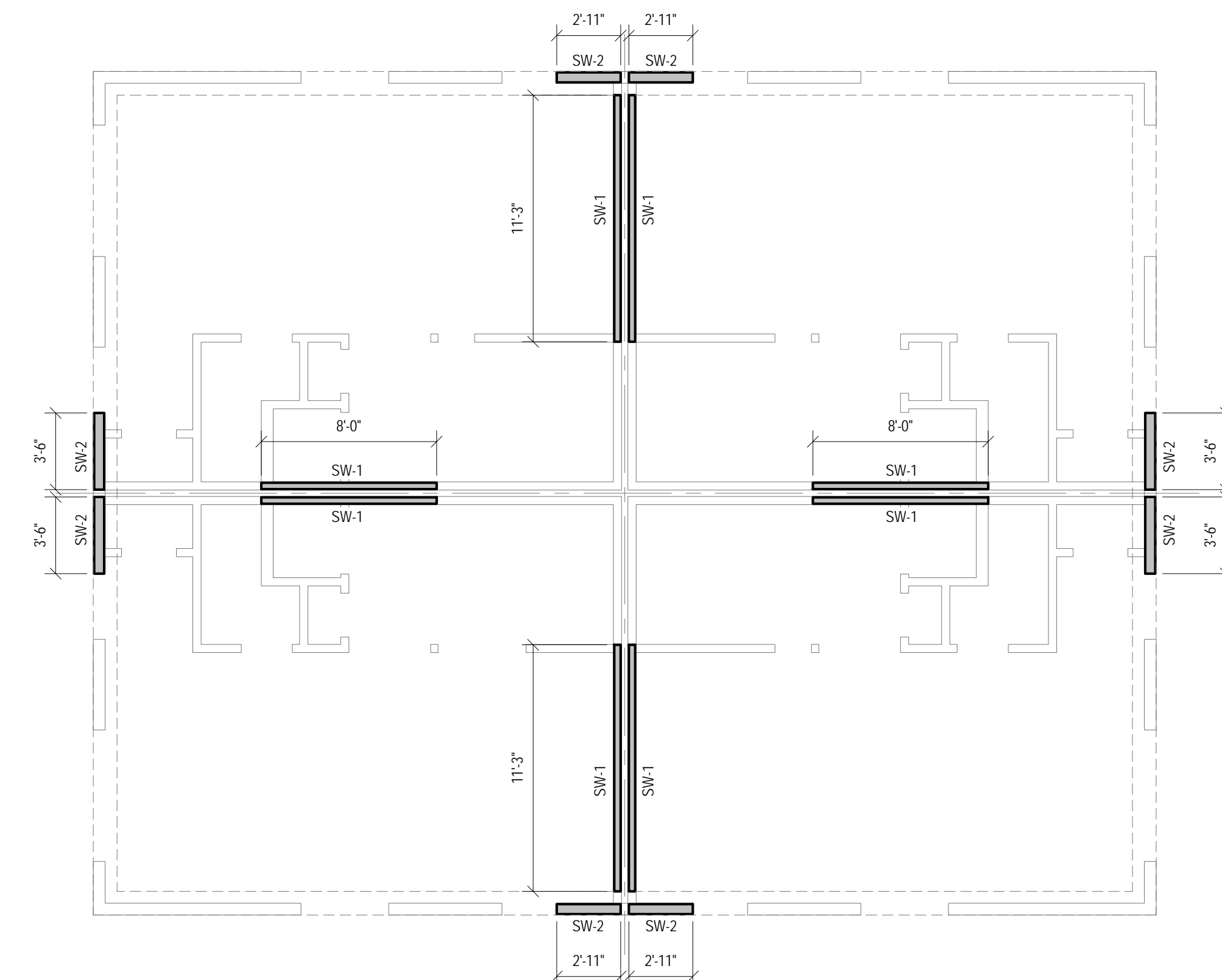
3 | SW-2 ELEVATION (2'-11" LENGTH)  
S1.0 | Scale: 3/8" = 1'-0"



4 | SW-2 ELEVATION (3'-6" LENGTH)  
S1.0 | Scale: 3/8" = 1'-0"



2 | SW-1 ELEVATION  
S1.0 | Not to Scale



1 | SHEAR WALL LAYOUT  
S1.0 | Scale: 3/16" = 1'-0"

SHEAR WALL TYPES						
TYPE	STUD SIZE	SHEATHING	SIDES	BLOCKING	EDGE NAILS	FIELD NAILS
A	2x4 STUDS @ 16" O.C.	7/16" PLYWOOD OR OSB	1 SIDE	ALL EDGES	8d @ 6" O.C.	8d @ 12" O.C.
B	2x6 STUDS @ 16" O.C.	7/16" PLYWOOD OR OSB	1 SIDE	ALL EDGES	8d @ 4" O.C.	8d @ 12" O.C.
C	2x6 STUDS @ 16" O.C.	7/16" PLYWOOD OR OSB	1 SIDE	ALL EDGES	8d @ 4" O.C.	8d @ 12" O.C.

SHEAR WALL SCHEDULE						
MARK	HOLDDOWN	BASEMENT	HOLDDOWN	1ST FLOOR	HOLDDOWN	2ND FLOOR
SW-1	HDU4-SDS2.5	A	HDU4-SDS2.5	A	DDT2Z	A
SW-2	--	--	HDU14-SDS2.5	C	HDU4-SDS2.5	B

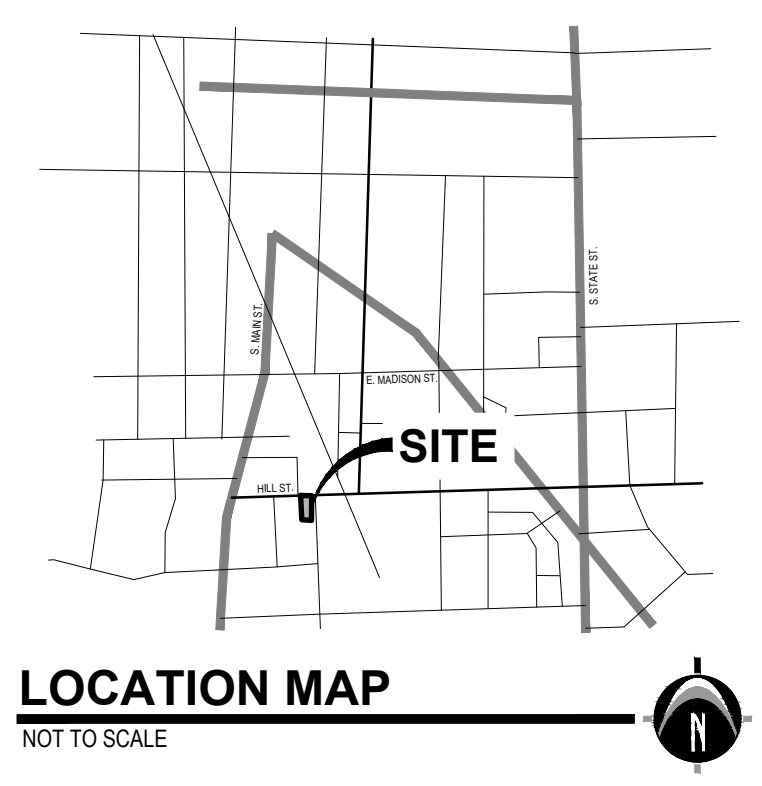


**NOT FOR CONSTRUCTION**

**PREPARED FOR:**  
 Mahalo Properties, LLC  
 Mark Schroeder  
 P.O. Box 2198  
 Ann Arbor, MI 48106

**CREATED:**  
 Drawn: RP Date: 06-01-21

**REVISIONS:**  
 Rev: Additional road topo Date: 06-09-21  
 Drawn: RP  
 Rev: Revisions per comments Date: 07-08-21  
 Drawn: RP



**LEGEND**

□ <sub>AC</sub>	Air Conditioner	⊙	Sanitary Sewer Manhole
△	Benchmark	⊕	Stormwater Manhole
⊗	Catch Basin - Round	⊖	Telephone Manhole
⊠	Catch Basin - Square	⊗	Utility Pole
○ <sub>CD</sub>	Cleanout	⊠ <sub>WM</sub>	Water Meter
⊗ <sub>EM</sub>	Electric Meter	⊕	Water Manhole
⊠ <sub>ER</sub>	Electric Riser	⊗ <sub>VV</sub>	Water Valve
⊠ <sub>GM</sub>	Gas Meter	- X - X -	Fence
⊗ <sub>GV</sub>	Gas Valve	- G -	Gas
-	Guy Anchor	- OH -	Overhead Utility
○ <sub>GP</sub>	Guy Pole	-	Sanitary
⊗	Hydrant	- UT -	Underground telephone
●	Iron - Set	- W -	Water Main
⊗	Iron - Found	▨	Asphalt
⊙	Light Pole	▨	Concrete
⊗	Manhole	▨	Gravel
⊙	Monument	▨	Building
⊙	Post	▨ <sub>YD</sub>	Yard Drain
⊠	Phone Riser		

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from Ciso Title Company, Commitment No. 12-49422, Revision No. 3, dated October 1, 2012.

**TITLE DESCRIPTION**

The land referred to in this Commitment, situated in the City of Ann Arbor, County of Washtenaw, State of Michigan, is described as follows:

Part of Lot 14 and all of Lot 15 of William A. Benedict's Plat, City of Ann Arbor, Washtenaw County, Michigan, as recorded in Liber 44 of Deeds, Page 748, Washtenaw County Records, described as: Beginning at the Northeast corner of said Lot 15 distant due West 65.96 feet (recorded as 66.00 feet) from the Northeast corner of Lot 16 of said plat and proceeding thence South 00 degrees 47 minutes 09 seconds West 136.05 feet; thence North 89 degrees 57 minutes 24 seconds West 66.03 feet (recorded as 66.00 feet); thence North 00 degrees 48 minutes 56 seconds East 136.00 feet to the Northwest corner of said Lot 15; thence along the North line of said Lot 15, due East 65.96 feet (recorded as 66.00 feet) to the point of beginning.

**SCHEDULE B - SECTION II NOTES**

No easements listed.

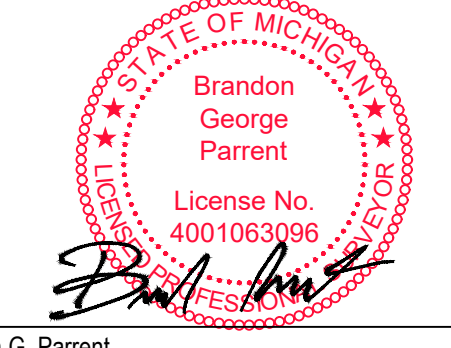
**SURVEYOR'S NOTES**

- ALTA TABLE "A" ITEM NO. 1 - Existing and placed monuments at all major corners of the boundary of the property have been shown.
- ALTA TABLE "A" ITEM NO. 2 - Address of the surveyed property is 140 Hill Street, Ann Arbor, MI 48104.
- ALTA TABLE "A" ITEM NO. 3 - Flood Zone Classification: An examination of the National Flood Insurance Rate Map for Community Number 260213, Map Number 26161C0263E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X (subject to map scale uncertainty).
- ALTA TABLE "A" ITEM NO. 4 - Gross Land Area: 9,006 Square Feet / 0.201 Acres
- ALTA TABLE "A" ITEM NO. 5 - Vertical relief shown per ground survey at 1' contour interval, NAVD88 Datum.
- ALTA TABLE "A" ITEM NO. 7(a) - Exterior dimensions of all permanent buildings at ground level have been shown.
- ALTA TABLE "A" ITEM NO. 8 - Substantial features observed in the process of conducting fieldwork have been shown.
- ALTA TABLE "A" ITEM NO. 11 - See Note 11 below.
- ALTA TABLE "A" ITEM NO. 13 - Names of adjoining owners have been shown according to current tax records.
- Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- Basis of Bearing: Ciso Title Company, Commitment No. 12-49422, Revision No. 3, dated October 1, 2012.
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- The land shown in this survey is the same as that described in Ciso Title Company, Commitment No. 12-49422, Revision No. 3, dated October 1, 2012.
- Access to property is from Hill Street.

**SURVEYOR'S CERTIFICATION**

To Ciso Title Company, First American Title Insurance Company:  
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 11, & 13 of Table A thereof. The fieldwork was completed on May 5, 2021.

Date of Plat or Map: July 8, 2021



Brandon G. Parrent  
 Professional Surveyor No. 4001063096  
 Nederveld, Inc.  
 bparrent@nederveld.com

**140 HILL STREET**  
**ALTA/NSPS Land Title Survey**  
 PART OF THE N.E. 1/4 OF SECTION 32, T2S, R1E  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

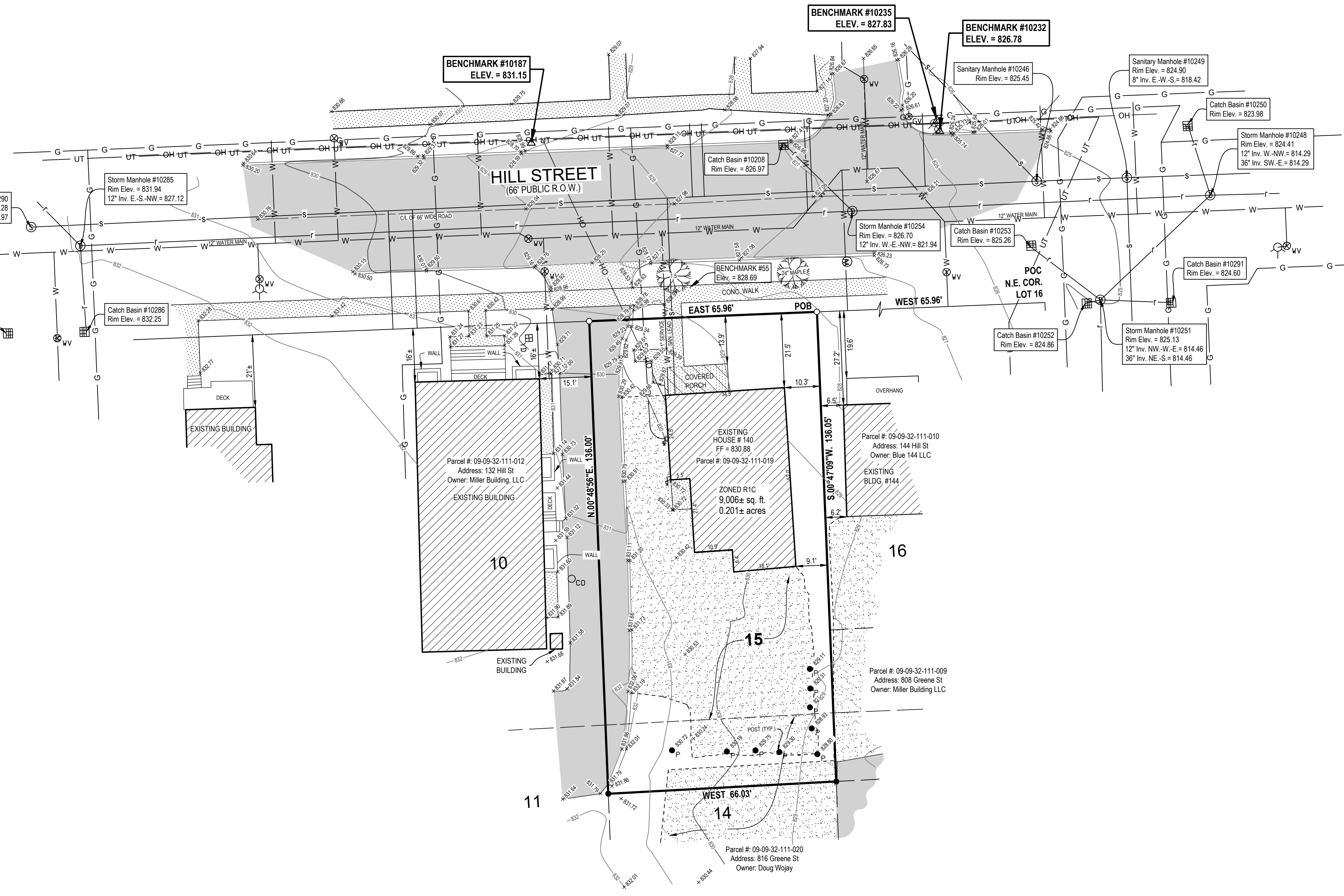
**STAMP:**

**PROJECT NO:**  
 18500026

**SHEET NO:**  
**AL.1**

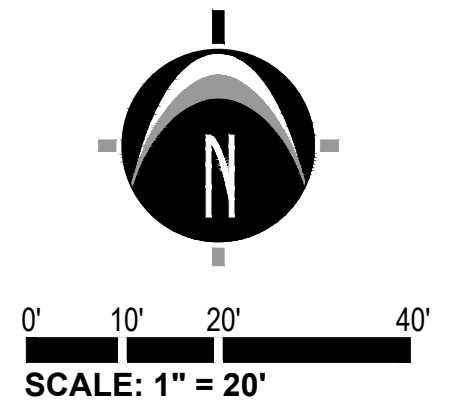
**SHEET: 1 OF 1**

**LOCATION MAP**  
 NOT TO SCALE



**BENCHMARK**

- BENCHMARK #55 ELEV. = 828.69 (NAVD88)**  
 CHISELED X NORTH EDGE OF SIDEWALK  
 30' EAST OF WEST PROPERTY LINE  
 @ #140 HILL ST.
- BENCHMARK #10187 ELEV. = 831.15 (NAVD88)**  
 BENCHTIE IN SOUTHEAST SIDE OF POWER POLE ON NORTH SIDE OF HILL STREET.
- BENCHMARK #10232 ELEV. = 826.78 (NAVD88)**  
 RR SPIKE IN SOUTH SIDE OF POWER POLE ON NORTH SIDE OF HILL STREET, EAST OF ADAMS AVENUE.
- BENCHMARK #10235 ELEV. = 827.83 (NAVD88)**  
 RR SPIKE IN NORTH SIDE OF POWER POLE ON NORTH SIDE OF HILL STREET, EAST OF ADAMS AVENUE.



**811 Know what's below. CALL before you dig.**

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

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← 140 Hill St Ann Arbor, Michigan

**Ann Arbor** ✕  
 Ann Arbor, MI, USA  
 42.28°N, 83.74°W




📍 Google

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