

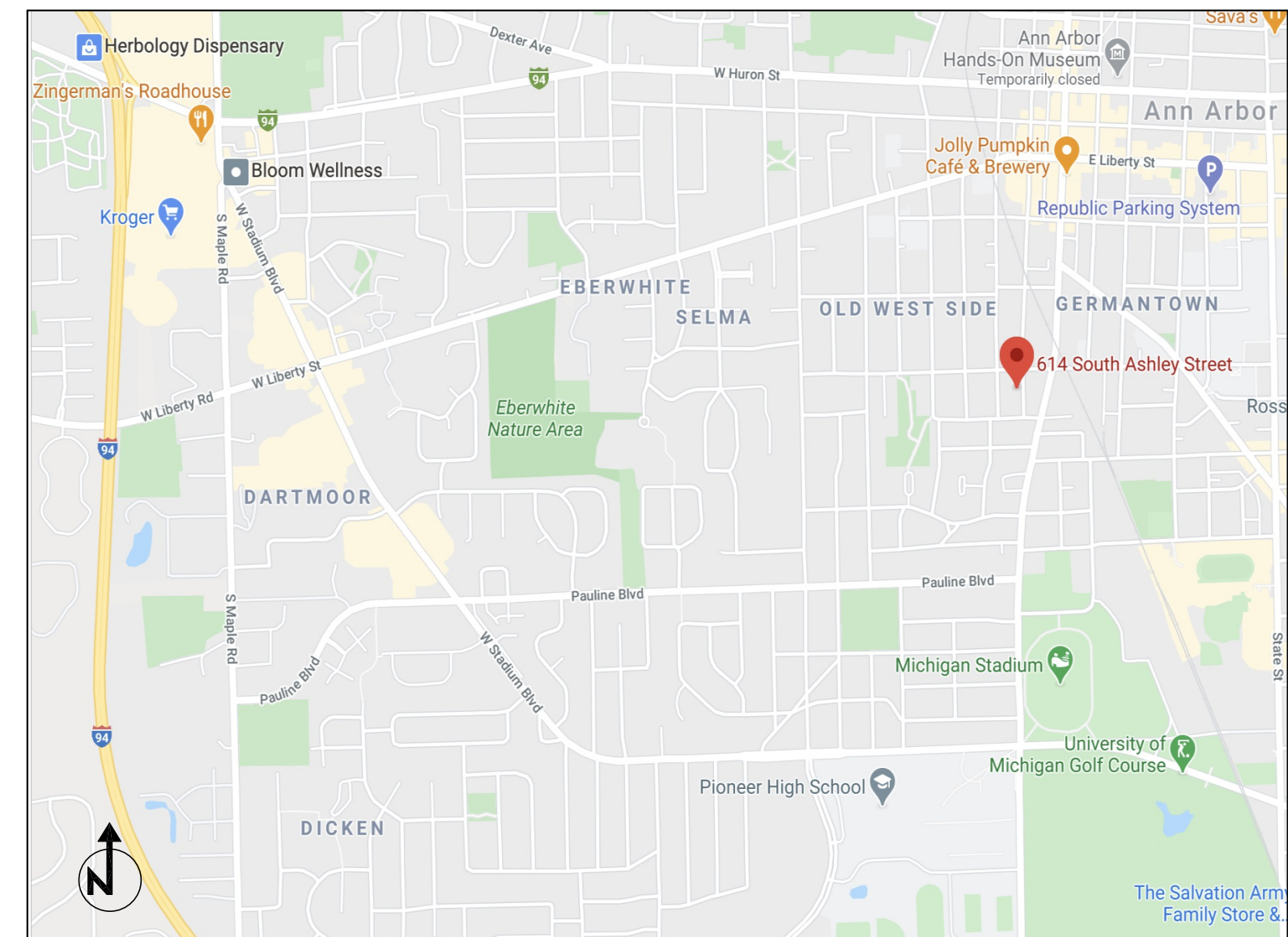
CENTRAL PROPERTY DEVELOPMENT, INC. ADDITION

614 S. ASHLEY STREET, ANN ARBOR 48103

PROJECT DESCRIPTION

THE WORK DESCRIBED IN THE PRECEDING DOCUMENT IS TO REMOVE THE EXISTING REAR AWNING AND RECONSTRUCT THE EXISTING REAR ENTRANCE RAMP. THE PROPOSED REAR ADDITION CONSISTS OF A GARPORT WITH A SMALL, 204 SF, APARTMENT ABOVE. THE NEW ADDITION SHALL BE CONNECTED TO THE REAR OF THE EXISTING RESIDENTIAL/COMMERCIAL STRUCTURE LOCATED AT 614 S. ASHLEY STREET IN ANN ARBOR, MICHIGAN.

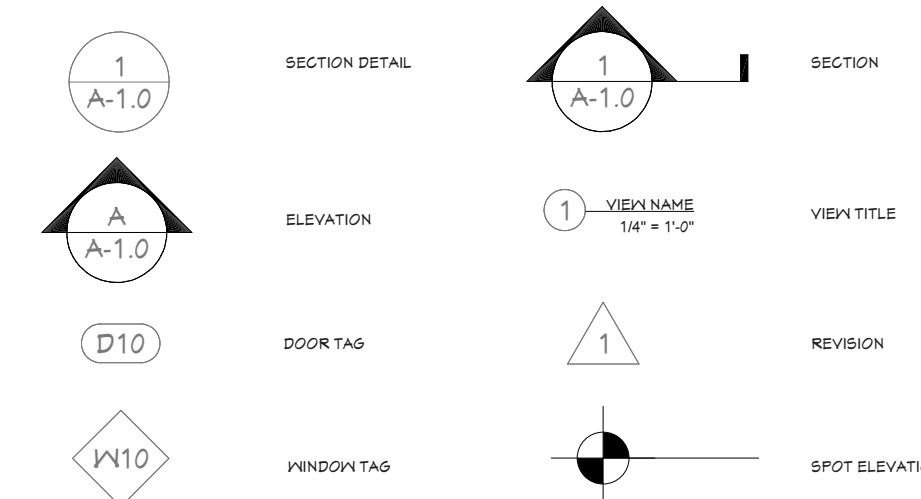
THIS PROJECT IS AN INTERIOR AND EXTERIOR 2 STORY GARPORT/APARTMENT UNIT INCLUDING THE FOLLOWING WORK: EXTERIOR STRUCTURE OF THE GARPORT AND APARTMENT SHALL BE SUPPORTED BY CONCRETE AND STEEL FILLARS. ADDITION OF SECOND STORY APARTMENT SHALL INCLUDE A NEW ROOF STRUCTURE WITH ARCHITECTURAL SHINGLES, GUTTERS AND DOWN SPOUTS, LP SMARTSIDE ENGINEERED WOOD LAP SIDING, SECOND STORY DECK AND NEW KINDDOVS & DOORS. INTERIOR RENOVATIONS TO INCLUDE NEW LIVING SPACE, SMALL KITCHEN & NEW BATH WITH CABINETS AND FIXTURES, NEW FLOORING THROUGHOUT ADDITION, AND LAUNDRY CLOSET. INTERIOR CONSTRUCTION AND FINISHES WILL BE OF STEEL, WOOD, DRYWALL, HARDWOOD, TILE AND PAINT.



PROJECT LOCATION

NO SCALE

SYMBOLS



SHEET INDEX	
SHEET	SHEET NAME
A-0.0	TITLE SHEET
ALT-1.0	ALTANSPS LAND TITLE SURVEY
C1.0	EXISTING CONDITIONS
C2.0	NATURAL FEATURES & REMOVAL PLAN
C3.0	DIMENSIONAL SITE PLAN
C4.0	GRADING, UTILITY, SOIL EROSION CONTROL & STORM WATER MANAGEMENT PLAN
C5.0	LANDSCAPING PLAN
C6.0	FIRE PROTECTION PLAN
D-1.0	DEMOLITION PLANS & SCHEDULES
A-1.0	FLOOR PLANS
A-1.1	FRAMING PLANS
A-2.0	EXTERIOR ELEVATIONS
A-3.0	SECTIONS & DETAILS

Traffic Impact Statement

614 South Ashley Street is an existing single-family building that is currently utilized as an office for a small business on a 0.09-acre lot. Located one block west of South Main Street between West Madison Street and West Mosley Street, the property is surrounded by single-family buildings of similar size, an apartment complex, and other small businesses that front the adjacent Ashley Street intersections to the north and south. The block that the subject property is located on is approximately 350-feet in length, and it experiences significantly lower vehicular trip volumes as compared to South Main Street and Madison Street as the local road does not typically carry through-traffic movements. The major source of traffic on this subject property's block is the 614 South Main apartment complex, which has a garage entrance that connects to the east side of Ashley Street. As a small office use with one full-time and one part-time employee, the 614 South Ashley property generates approximately four to six vehicular trips on a typical weekday. The proposed modification to the existing 614 South Ashley Street building is the addition of a residential space that will complement the current office space. The new residential addition will be for the purposes of the property owner utilizing the building not only for office work, but to also have the option to reside at the building overnight. As a combined single family and small office use with one full-time and one part-time employee, the 614 South Ashley property will generate approximately eight to ten vehicular trips on a typical weekday. The proposed modification to the building will not impact the performance of the surrounding collector roads in the area.

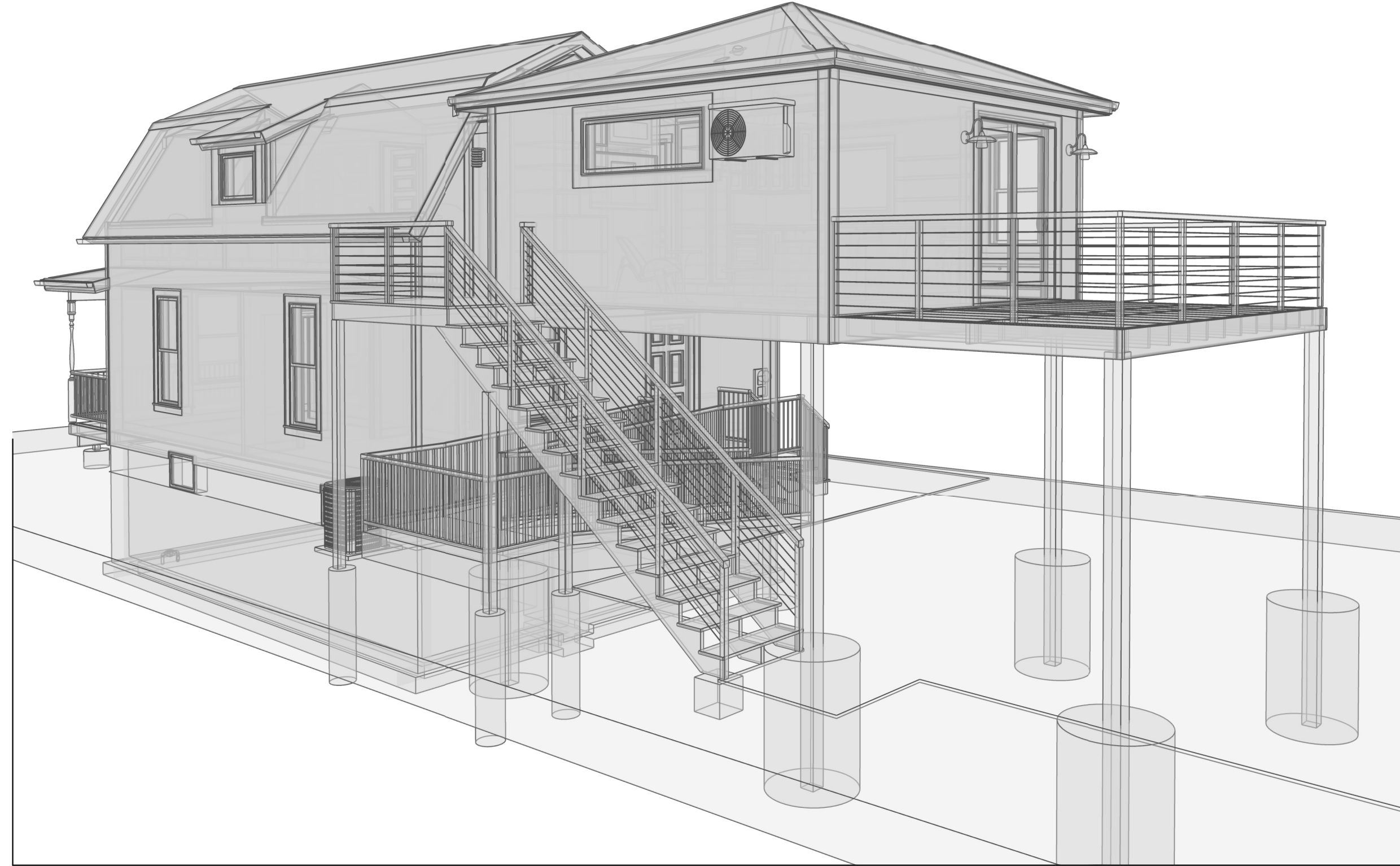
BUILDING STATISTICS

APPLICABLE CODES		
BUILDINGS:	MICHIGAN RES. BUILDING CODE	2015
ENERGY:	MICHIGAN UNIFORM ENERGY CODE	RES.
FIRE:	INTERNATIONAL FIRE CODE	2015
CONSTRUCTION TYPE:	C-BC (RESIDENTIAL/COMMERCIAL)	
BUILDING AREA		
TOTAL EXISTING STRUCTURE	424 SF	
TOTAL PROPOSED ADDITION	204 SF	
TOTAL PROPOSED	1,219 SF	
ZONING, CITY OR ANN ARBOR	C2B	
TAXILEGAL DESCRIPTION	5.8 2 FT LOT 3 & N. 30.3 FT LOT 4 HINMANS SUB	
PARCEL:	04-04-29-414-004	
HISTORIC DISTRICT:	OLD WEST SIDE	
FLOOD PLAN:	NO	
RENTAL PROPERTY:	NO	
LOT AREA:	0.098 ACRES	
PROPERTY SETBACK(S):	REQ.	EXIST./PROP.
FRONT	25 FT.	NO CHANGE
BACK	30 FT.	NO CHANGE
SIDE	0 FT.	NO CHANGE
MAXIMUM HEIGHT:	55 FT.	NO CHANGE

PROJECT INFORMATION

CLIENT:	JOHN STROBEL CENTRAL PROPERTY DEVELOPMENT, INC. 614 S. ASHLEY STREET ANN ARBOR, MI. 48103	ABBREVIATIONS ADA American with disabilities act AFF Above finish floor DNF Drawing EL Elevation EQ Equal FE Fire extinguisher SA Storage GPF Gallons per flush (toilets) GWB Gypsum wall board HVAC Heating, ventilation and air conditioning LM Lumens MIN Minimum NTS Not to scale PSI or PSF Pounds per square inch or Pounds per square foot UNO Unless otherwise noted R-Value Thermal resistance RCP Reflected ceiling plan SHG Solar Heat Gain SF Square foot SIM Similar STRUC Structural T.O. Top of TYP. Typical VF Verify in field VT Visual transmittance, a measure of transparency/translucency W/C Water closet, otherwise known as a bathroom
BUILDER:	RICH NAYLOR & MIKE SIEFKER 1174 JUDD ROAD SALINE, MI. 48176 (734) 255-4104	
CIVIL ENGINEERS:	JOSEPH K. MAYNARD, P.E. WASHTENAW ENGINEERS CO. INC. 3625 N. LIBERTY SUITE 400 PO BOX 1128 ANN ARBOR, MI. 48106 (734) 761-5500, EXT. 145	
STRUCTURAL ENGINEER:	DAVID R. ARNSDORF, PE LDA CONSULTANTS, LLC 3450 VINTAGE VALLEY ROAD ANN ARBOR, MI. 48105 (734) 216-3045	

STATEMENT OF INTEREST IN LAND	
NO.	DESCRIPTION
1	PROPERTY OWNER, CENTRAL PROPERTY DEVELOPMENT, INC., IS EXPANDING THE EXISTING BUILDING FOR RESIDENTIAL USE AS PART OF THE MIXED-USE ZONING.
REQUIRED STATEMENTS FOR SITE PLAN REVIEW	
APPLICATION IDENTIFICATION	I NO ASSOCIATED APPLICATIONS ARE SUBMITTED WITH THIS SITE PLAN.
	I SITE HAS NO SIGNIFICANT NATURAL FEATURES. SITE VARIANCES GRANTED BY ZONING BOARD OF APPEALS ON 1/12/21. PROPOSED PLAN HAS RECEIVED A CERTIFICATE OF APPROPRIATENESS FROM HDG ON 1/11/22.
PROPOSED DEVELOPMENT	II PROPOSED LAND USE: MIXED COMMERCIAL/RESIDENTIAL
	II PROPOSED IMPROVEMENTS: THE EXISTING DEVELOPED PROPERTY IS TO BE IMPROVED WITH THE ADDITION OF A BUILDING EXPANSION, A DECK, AN ELECTRIC VEHICLE PARKING SPOT AND BICYCLE PARKING.
	II EXISTING SITE ACCESS TO REMAIN: DRIVENWAY INGRESS AND EGRESS ON EASEMENT AND SITE.
	II PREVIOUS PLOT PLAN INDICATES 3 PARKING SPACES. PROPOSED SITE PLAN INCLUDES 3 PARKING SPACES INCLUDING 1 EV CHARGING STATION. NO HANDICAP PARKING ARE REQUIRED FOR THIS SITE.
	II PRELIMINARY CONSTRUCTION SCHEDULE: STARTING MAY 2021, COMPLETION SEPTEMBER 2021.
	II ESTIMATED CONSTRUCTION COSTS: \$300,000
PROPOSED DEVELOPMENT	III
a	IMPACT ON PUBLIC SCHOOLS: NONE, EXCEPT IMPROVEMENTS WILL ADD MORE TAX REVENUES THAT BENEFIT THE ANN ARBOR PUBLIC SCHOOLS.
b	RELATIONSHIP OF INTENDED USE TO NEIGHBORING USES: THE PROPOSED DEVELOPMENT IS IN THE HINMANS SUBDIVISION. THE ZONING IS MIXED-USE. THE LOTS TO THE NORTH AND SOUTH ARE RESIDENTIAL. THE WASHTENAW DAIRY IS LOCATED AT THE NORTH CORNER AND THE ARMEN CLEANERS IS LOCATED AT THE SOUTH CORNER. SOME OF THE HOUSES ON S. ASHLEY STREET ARE RENTALS. ACROSS THE STREET IS THE 615 S. MAIN CONDOMINIUMS. THE PROPOSED IMPROVEMENTS TO THE PROPERTY WILL FIT WITH THE SURROUNDING USES.
c	IMPACT OF ADJACENT USES ON THE PROPOSED DEVELOPMENT: NONE
d	IMPACT OF PROPOSED DEVELOPMENT ON THE AIR AND WATER QUALITY, AND ON EXISTING NATURAL FEATURE OF THE SITE AND NEIGHBORING SITES: THERE ARE NO SIGNIFICANT NATURAL FEATURES ON THIS SITE. NO IMPACT FROM THE PROPOSED IMPROVEMENTS IS EXPECTED.
e	IMPACT OF PROPOSED DEVELOPMENT ON HISTORIC SITES OR STRUCTURES: THE SITE IS IN THE OLD WEST SIDE HISTORIC DISTRICT. THE HISTORIC DISTRICT APPROVED THE PROPOSED PROJECT AND A CERTIFICATE OF APPROPRIATENESS FROM THE HDG WAS ISSUED ON 1/11/2022. THE ARCHITECTURE AND SCALE ARE CONSISTENT WITH NEIGHBORING HOMES AND ZONING.
f	SEE SHEET C2.0 FOR INFORMATION ON EXISTING SITE AND NATURAL FEATURES.
TRAFFIC	IV TRAFFIC STATEMENT: THE NUMBER OF VEHICULAR TRIPS PER UNIT PER PEAK HOUR, THE NUMBER OF VEHICLE TRIPS DOES NOT MEET THE THRESHOLD OF REQUIRING A TRAFFIC STUDY.
	IV THE HOUSE OFFICE IS ESTIMATED TO HAVE 3 EMPLOYEES, WITH 1 TO 2 CARS ARRIVING AND DEPARTING DURING TYPICAL BUSINESS HOURS.
	IV THE REAR APARTMENT WILL HAVE 1 CAR PARKED 24 HOURS A DAY FOR 1 WEEK EACH MONTH.
SIDEWALK MAINTENANCE	V SIDEWALK TO BE MAINTAINED BY OWNER.



GENERAL NOTES:

- DO NOT SCALE TO DRAWING - WORK FROM DIMENSIONS ONLY.
- IF THIS PROJECT INVOLVES AN EXISTING STRUCTURE, DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. THE GENERAL CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS IN THE FIELD AND CONFIRM SUCH DIMENSIONS AGAINST ACTUAL SITE CONDITIONS. ANY CONFLICT OR DISCREPANCIES IN DIMENSIONS OR ELEVATIONS AGAINST THE IN FIELD CONDITIONS SHALL BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK OR PROCUREMENT OF MATERIALS.
- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES.
- PERMITS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, FEES, LABOR, EQUIPMENT, ETC., AS MAY BE REQUIRED FOR A COMPLETE PROJECT.
- THE CONTRACTOR SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINERS COMMENTS WITHIN 48 HOURS OF THE RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT/DISIGNER.
- ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS AND ADDENDA TO THE ARCHITECT/DISIGNER.
- CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
- EXTERIOR PAVING AND GRADE SHALL SLOPE AWAY FROM BUILDING TO DRAINAGE PAVES.
- NOTIFY OWNER BEFORE PENETRATING OR MODIFYING JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL MEMBERS.
- IN THE CASE OF WINDOW INSTALLATION, INSTALL WINDOWS & FLASHING FOLLOWING MANUFACTURERS INSTRUCTIONS WITH STICK-ON FLASHING TO PROVIDE WATERPROOF SEAL.
- PROVIDE A CONTINUOUS BEAD OF SEALANT IN ALL JOINTS IN BUILDING, INCLUDING: ENVELOPE PERIMETER, ISOLATION JOINTS, COLUMN FINE, ALL PENETRATIONS AND CONDITIONS SO THAT NO MOISTURE, VAPOR OR GAS MAY PASS THROUGH STRUCTURE.
- PROVIDE PRE-MOULDDED ISOLATION STRIP BETWEEN ALL FOUNDATION WALLS AND CONCRETE SLAB.
- ALL HEIGHTS ARE DIMENSIONED AS ABOVE FINISHED FLOOR (A.F.F.), G. G. TO LOCATE SLAB HIGH POINT(S) TO USE AS A BENCHMARK FOR VERTICAL DIMENSIONS (U.O.N.).
- THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH INSTALLATION OF "N.I.C." ITEMS.
- THE GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, AND TELEPHONE ITEMS (INCLUDING PIPING, DUCTWORK AND/OR CONDUIT) AND THAT ALL REQUIRED CLEARANCES OR INSTALLATIONS FOR THE ABOVE EQUIPMENT ARE PROVIDED.
- THE GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND IMMEDIATELY NOTIFY OWNER OF ANY DISCREPANCIES IN THE FIELD.

GENERAL CONSTRUCTION NOTES:

- IT IS ESSENTIAL THAT THE CONTRACTOR FAMILIARIZE HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL.
- ALL WORK ON THIS SITE WILL BE IN ACCORDANCE WITH ALL APPLICABLE CURRENT STANDARDS & SPECIFICATIONS OF THE CITY OF ANN ARBOR EXCEPT AS HEREINAFTER MODIFIED.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO AND THE REPAIR OF ANY EXISTING UTILITY LINE IN THE CONSTRUCTION ZONE.
- AT LEAST 24 HOURS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) FOR UTILITY LOCATIONS.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM EXISTING PLANS. LOCATIONS WERE FIELD VERIFIED WHERE POSSIBLE.
- THE CONTRACTOR WILL BE REQUIRED TO PROOF ROLL (WITH A HEAVY RUBBER TIERED VEHICLE) ALL FILL AREAS PRIOR TO PLACING ADDITIONAL FILL AND ALL CUT AREAS UPON COMPLETION OF THE CUT AND PRIOR TO FLAGGING SUBBASE MATERIAL. IF THE PROOF ROLLING INDICATES UNSTABLE AREAS THE UNSTABLE MATERIAL MUST BE REMOVED AND REPLACED WITH MATERIAL MATCHING THE ADJACENT SOILS TO THE ELEVATION OF THE SUB-GRADE.
- ALL FILL MATERIAL MUST BE PLACED IN LIFTS NOT EXCEEDING 9 INCHES AND COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT.
- THE FINISHED SUBGRADE MUST BE GRADED WITHIN A TOLERANCE OF ± 0.1 FEET OF DESIGN GRADE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT TO A DEPTH OF INCHES AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLACEMENT OF THE SUBBASE. FINE GRADING PRIOR TO THE PLACEMENT OF THE BASE MATERIAL SHALL BE INCIDENTAL TO THE COST OF PREPARING THE SUBGRADE.
- THE WORK OF CONSTRUCTING AN AGGREGATE BASE COURSE SHALL CONFORM TO MDOT SPECIFICATION 3.01 EXCEPT THAT FINE GRADING PRIOR TO PLACEMENT OF THE BITUMINOUS SURFACINGS SHALL BE INCLUDED IN THE COST OF FURNISHING AND FLAGGING THE AGGREGATE BASE.
- ALL PAVEMENT GRADES SHOWN REPRESENT TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION TRAFFIC CONTROL SHALL BE SIGNED PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES PER THIS APPROVED PLAN.
- CONTRACTOR MUST OBTAIN AN EROSION CONTROL PERMIT FROM THE CITY OF ANN ARBOR PRIOR TO BEGINNING EARTH MOVING.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.

JOHN STROBEL ADDITION
CENTRAL PROPERTY DEVELOPMENT, INC.
614 S. ASHLEY STREET, ANN ARBOR, MI. 48103

TITLE SHEET

DRAWINGS PROVIDED BY:
LANETTE WILLIAMS
VACHON DESIGN, LLC
2749 MANCHESTER ROAD
ANN ARBOR, MI. 48104
734.271.0152 (cell)

No. Revision Date

DATE:

3/23/21

SCALE:

AS INDICATED

SHEET:

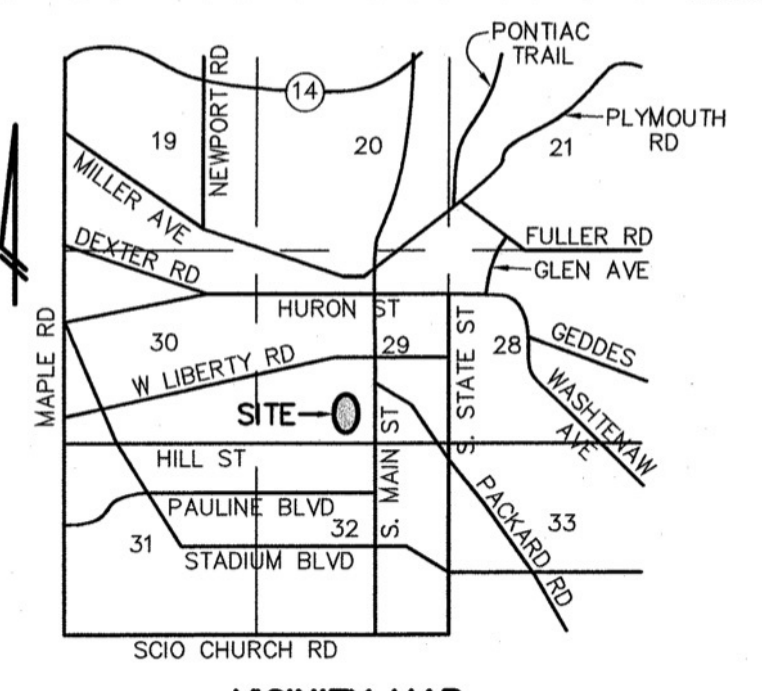
A-0.0

PRELIMINARY SET - NOT FOR CONSTRUCTION

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH AN ATTEMPT HAS BEEN MADE TO LOCATE THEM AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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VICINITY MAP
(NO SCALE)

DESCRIPTION

Land in the City of Ann Arbor, County of Washtenaw, State of Michigan, and described as follows:
The South 8.2 feet of Lot 8, and the North 30.8 feet of Lot 9, Hinman's Subdivision, as recorded in Liber 1 of Plats, Page(s) 42, Washtenaw County Records.

Commonly known as: 614 S. Ashley St., Ann Arbor, MI 48103

Subject to the following Easements, Agreements, Right-of-Way and Restrictions as listed in Schedule B - Section II, Exceptions.

- Right of Way for mutual driveway, as disclosed by instrument recorded in Liber 323, page 21, Washtenaw County Records. Right of Way for mutual driveway is shown on survey.

CERTIFICATION

To Central Property Development, Inc., a Michigan corporation.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes no items of Table A thereof. The field work was completed on October 14, 2020.

Date of Plat or Map: February 15, 2021

Robert A. Warty
Robert Aaron Warty, P.S.
Michigan No. 4001085549



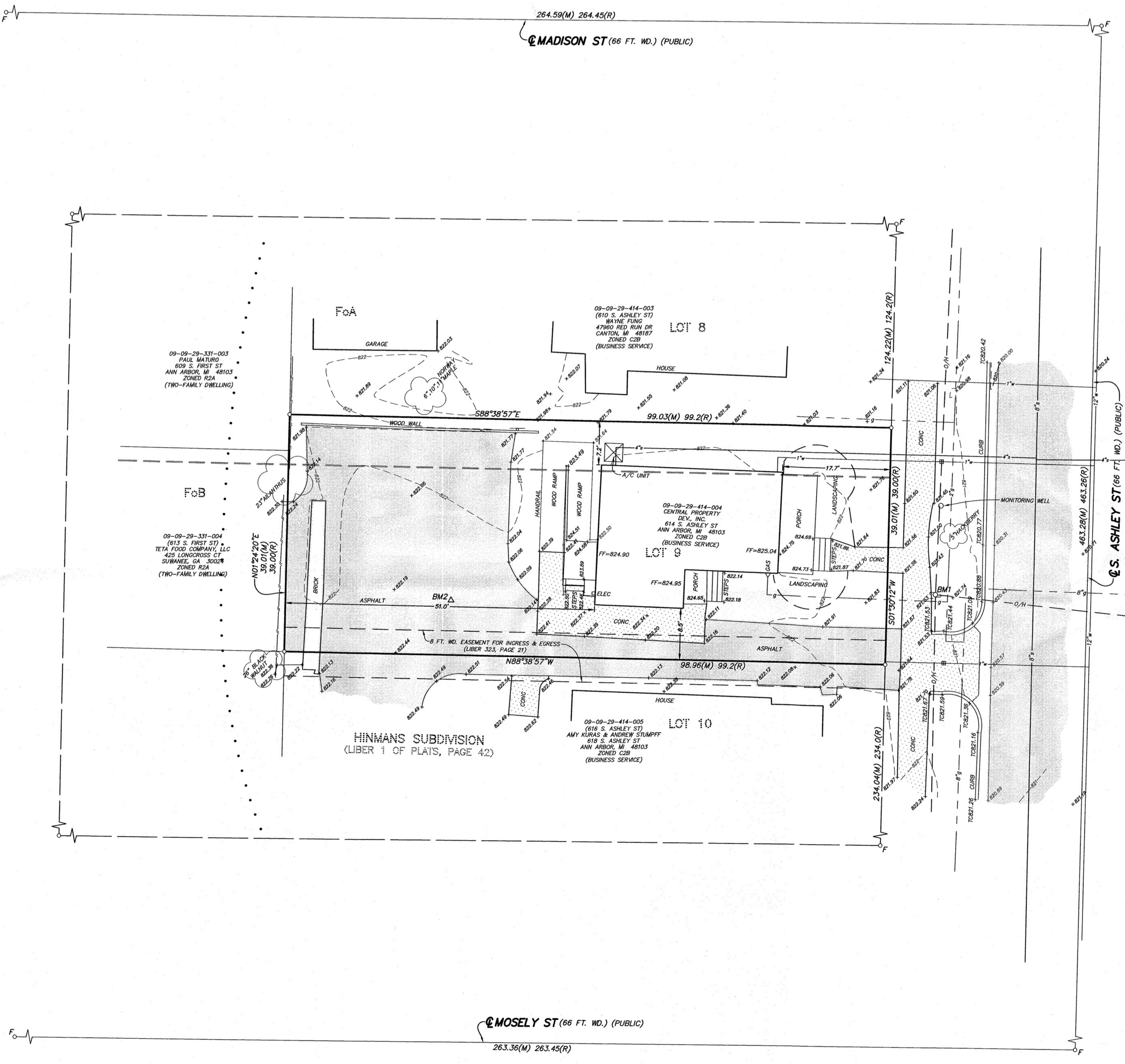
WASHTEAW COUNTY SOIL SURVEY CLASSIFICATION

- FA - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
 - FB - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES
 - - SOILS BOUNDARY
- SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEAW COUNTY.

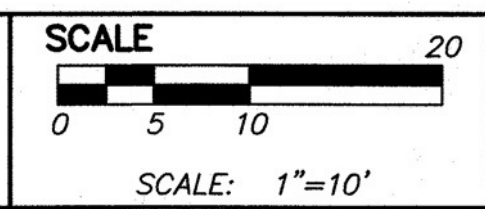
ANN ARBOR GEODETIC REFERENCE SYSTEM (AAGRS) NOTE:
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- F = FOUND IRON MARKER
- S = SET IRON MARKER
- (M) = MEASURED (R) = RECORDED

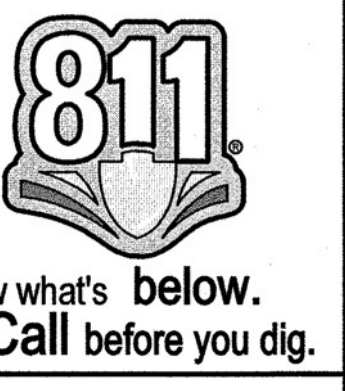
LEGEND		BENCHMARK	
☆ = LIGHT POLE	○ = SPOT ELEV.	BM1 = NAIL IN SOUTH FACE OF UTILITY POLE, EAST OF 614 S. ASHLEY ST., ELEV=823.23 (NAVD 88).	REVISIONS
○ = UTILITY POLE	○ = TOP OF WALL	BM2 = NAIL IN ASPHALT PARKING LOT OF 614 S. ASHLEY ST., ELEV=822.31 (NAVD 88).	
○ = GUY ANCHOR	○ = MANHOLE		
○ = HYDRANT	○ = GATE VALVE		
	○ = CATCHBASIN		
	○ = END SECTION		
	○ = SIGN		
	○ = GRAVEL		
	○ = FENCE		
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	○ = EXISTING ELECTRIC		
	○ = EXISTING TELEPHONE		



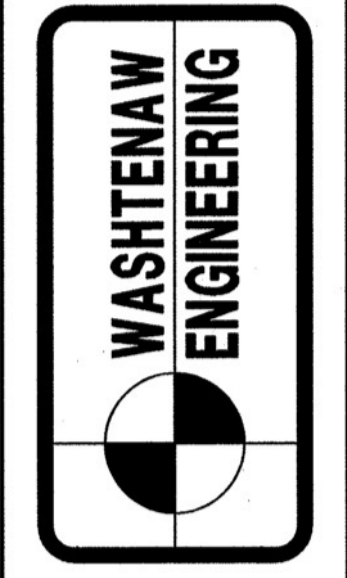
NOTES:
FIRST AMERICAN TITLE INSURANCE COMPANY FILE NO. CM23220 WITH A COMMITMENT DATE OF JULY 18, 2014 AT 8:00AM WAS USED IN THE PREPARATION OF THIS SURVEY.



PREPARED BY _____



CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3528 W. LIBERTY RD.
SUITE 400
ANN ARBOR, MI 48103
FAX: 734-761-9530
WWW.WASHTEAWENGINEERING.COM



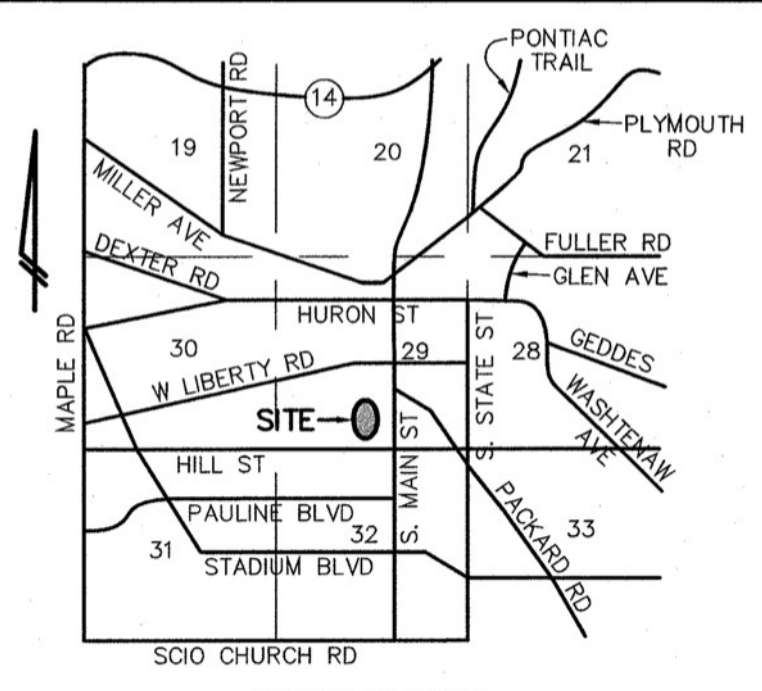
CENTRAL PROPERTY DEVELOPMENT, INC.
614 S. ASHLEY ST.
ANN ARBOR, MI 48103

ALTA/NSPS LAND TITLE SURVEY

09-09-29-414-004
614 S. ASHLEY ST

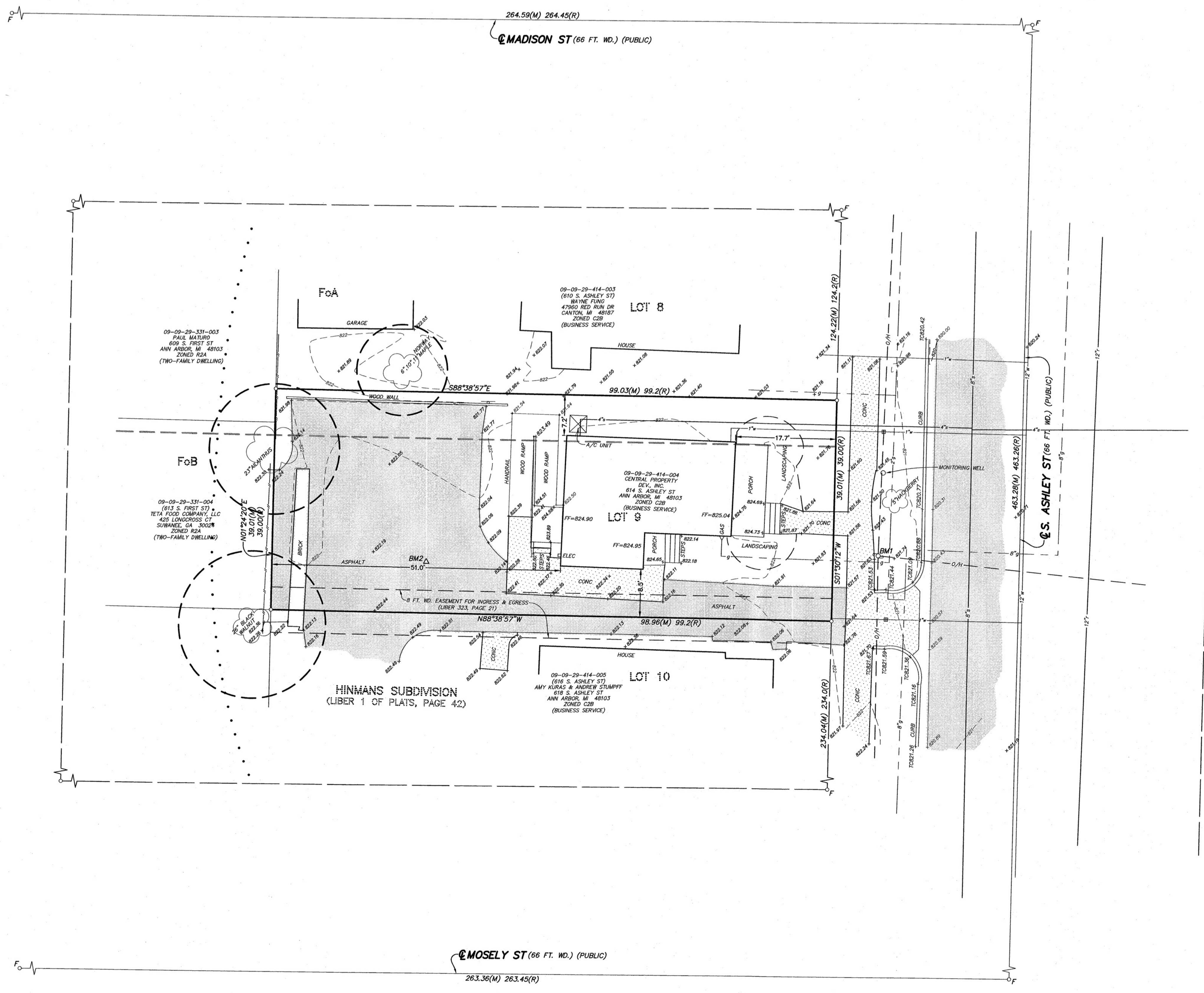
SECTION 29	TOWN 2	RANGE 6	EAST
CITY OF ANN ARBOR			
WASHTEAW COUNTY • MICHIGAN			
DATE 2-15-21	JOB NO. 32761	DWG NO. 761-ALTA	FIELD BOOK 659
SHEET			FILE NO. 10662

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WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION
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 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEANAW COUNTY.

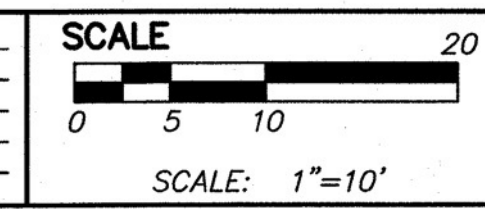
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 Commonly known as 614 S. Ashley St., Ann Arbor, MI 48103

LEGEND	● = SPOT ELEV.	TC = TOP OF CURB	--- = GRAVEL	--- = EXISTING STORM
○ = POST	○ = MANHOLE	TW = TOP OF WALL	--- = FENCE	--- = EXISTING SANITARY
○ = GUY ANCHOR	□ = CATCHBASIN	○ = GATE VALVE	--- = CONCRETE	--- = EXISTING WATER
○ = HYDRANT	--- = END SECTION	--- = SIGN	--- = ASPHALT	--- = EXISTING GAS
				--- = EXISTING ELECTRIC
				--- = EXISTING TELEPHONE

BENCHMARK	BM1=NAIL IN SOUTH FACE OF UTILITY POLE, EAST OF 614 S. ASHLEY ST., ELEV=823.23 (NAVD 88).
	BM2=NAIL IN ASPHALT PARKING LOT OF 614 S. ASHLEY ST, ELEV=822.31 (NAVD 88).

REVISIONS	2-15-21 PER REVIEW, 2-19-21 PER REVIEW, 3-11-21 PER REVIEW
	3-23-21 PER REVIEW



PREPARED BY: *Joseph K. Maynard*
 JOSEPH K. MAYNARD P.E., MICH No. 52559

SECTION 29	TOWN 2	SOUTH	RANGE 6	EAST
	CITY OF ANN ARBOR			
DATE 10-23-20	WASHTEANAW COUNTY • MICHIGAN		JOB NO. 32781	DWG NO. 761-excon
SHEET C10			FIELD BOOK 659	FILE NO. 10662

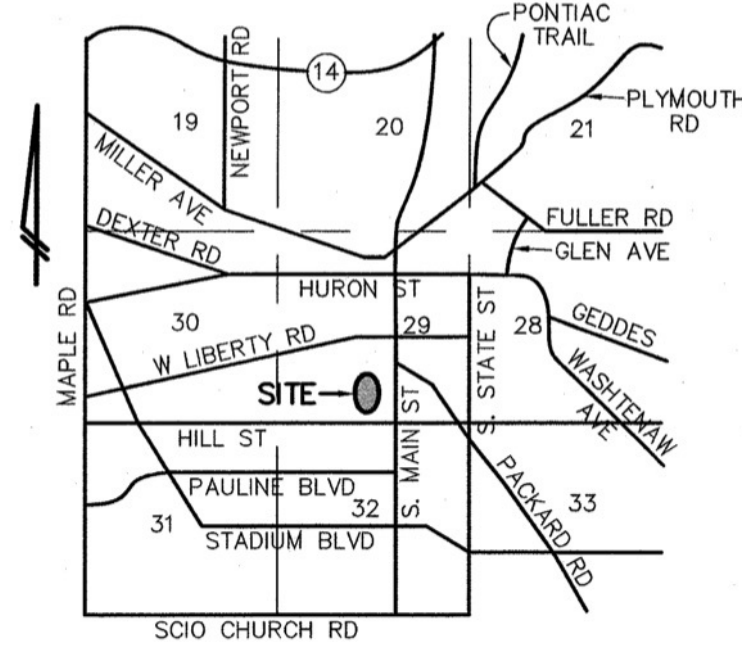
PROJECT
09-09-29-414-004
614 S. ASHLEY ST

SHEET
 EXISTING CONDITIONS

CLIENT
 CENTRAL PROPERTY DEVELOPMENT, INC.
 614 S. ASHLEY ST
 ANN ARBOR, MI 48103

WASHTEANAW ENGINEERING
 CIVIL ENGINEERS
 PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 3526 W. LIBERTY RD
 SUITE 400
 ANN ARBOR, MI 48103
 TEL: 734-761-8500
 FAX: 734-761-8550
 WASHTEANAWENGINEERING.COM

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VICINITY MAP
(NO SCALE)

NATURAL FEATURES STATEMENT
614 S Ashley Street

TOPOGRAPHY
The land is sloped 1.5%.

WETLANDS
There are NO wetlands on the property.

THREATENED AND ENDANGERED SPECIES
There are NO endangered threatened or endangered plant or animal species on the property.

100 YEAR FLOOD PLAIN
The site exists outside of the flood plain.

STEEP SLOPES
There are no existing steep slopes.

WATER COURSES
There are NO watercourses on the property.

NATURAL FEATURES

RESIDENTIAL HOME -
The property at 614 S. Ashley is a residential structure located on a 39' x 99' lot. The land is zoned C2B and is a commercial use, a proposed expansion of the building structure is in process.
The site is an urban lot, the natural features are limited to domestic lawn and perennial flowers located along the north and east property lines.

OPEN SPACE -
The parcel is a city lot.

MATURE WOODLAND -
There are no mature woodland or regulated trees on site.

BUILT FEATURES

LAND USE
The site currently has one (1) office use residential style house on it. There are NO other existing structures on-site.

ACCESS POINT
Vehicular access is directly from South Ashley Street only.

There are 5' wide pedestrian sidewalks on the property located on the east side of the Ashley St. R.O.W.

PROPOSED LAND USE
Office, refer to architectural drawing overlay for proposed development and its relationship to existing, adjoining properties.

NATURAL FEATURES PROTECTION PLAN

Landmark Tree 23' Black Walnut
(This tree is located off site at 617 First St.)
Critical Root Zone (CRZ) at 614 S. Ashley = 66.12 SF
This area is currently entirely paved over to service joint parking with 616 S. Ashley.
Proposed Plan reduces paved area within CRZ by 42.12 SF
This newly opened area will be maintained as a mulch bed. This area will be protected during construction with a 5 ft high tree protection fence.

Other Impacted mature trees -

23' Tree of Heaven, off-site, invasive, location, 610 S. Ashley St.
Planting bed to be extended within CRZ by 126 SF
13' Norway Maple, off-site, invasive, location, 613 First St.
Planting bed to be extended within CRZ by 28 SF.

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

- FOA - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
- FoB - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES
- - SOILS BOUNDARY

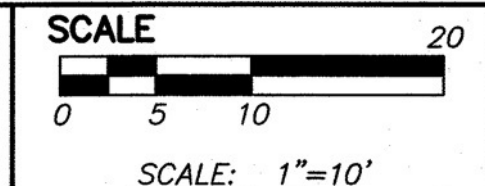
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

- F = FOUND IRON MARKER
- S = SET IRON MARKER
- (M) = MEASURED (R) = RECORDED

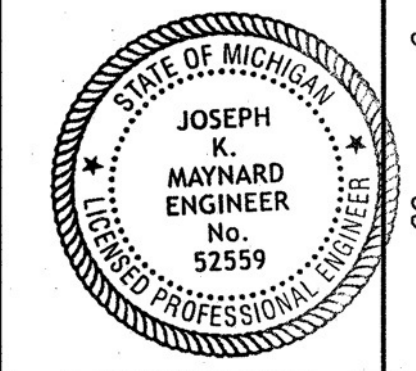
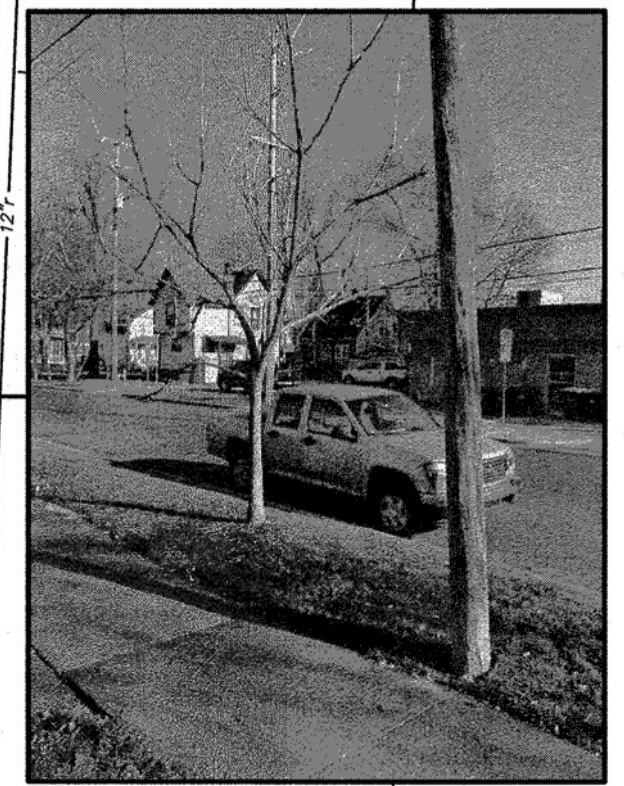
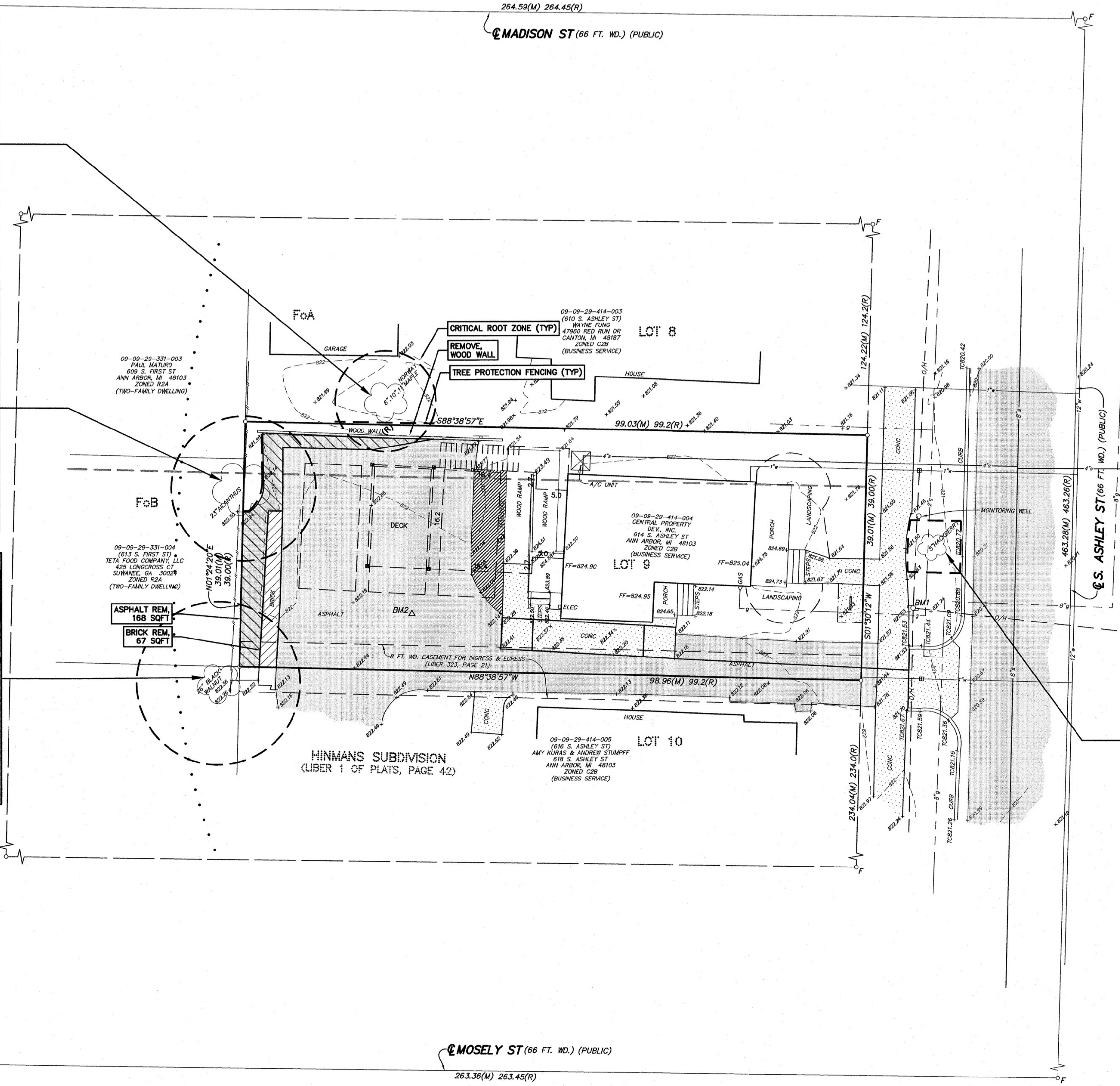
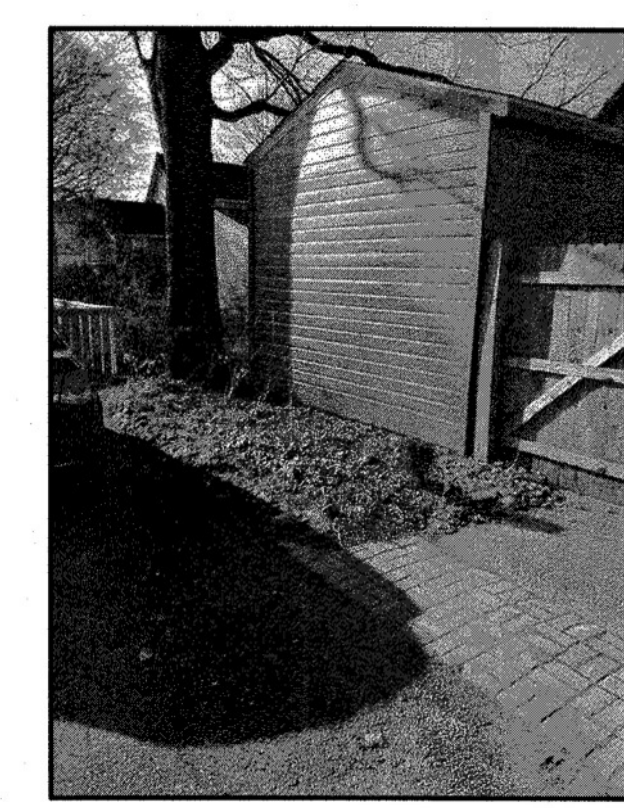
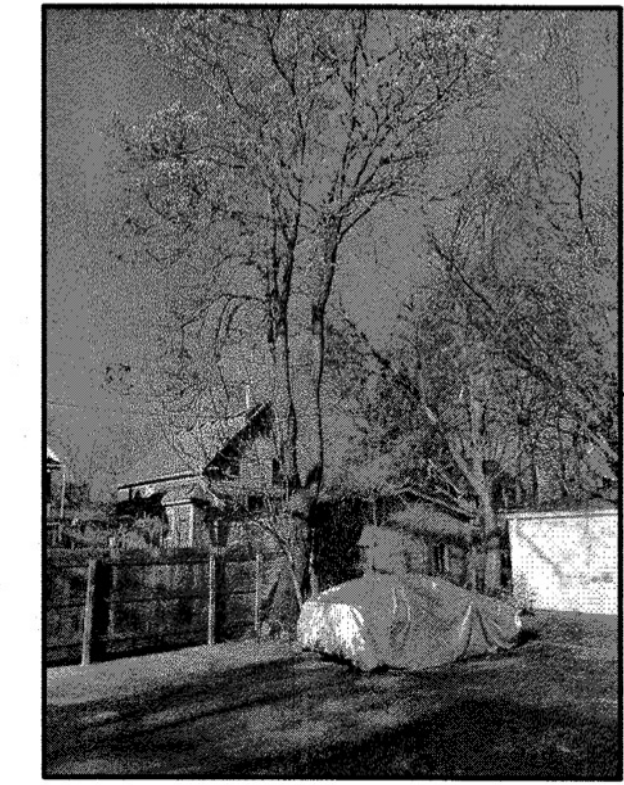
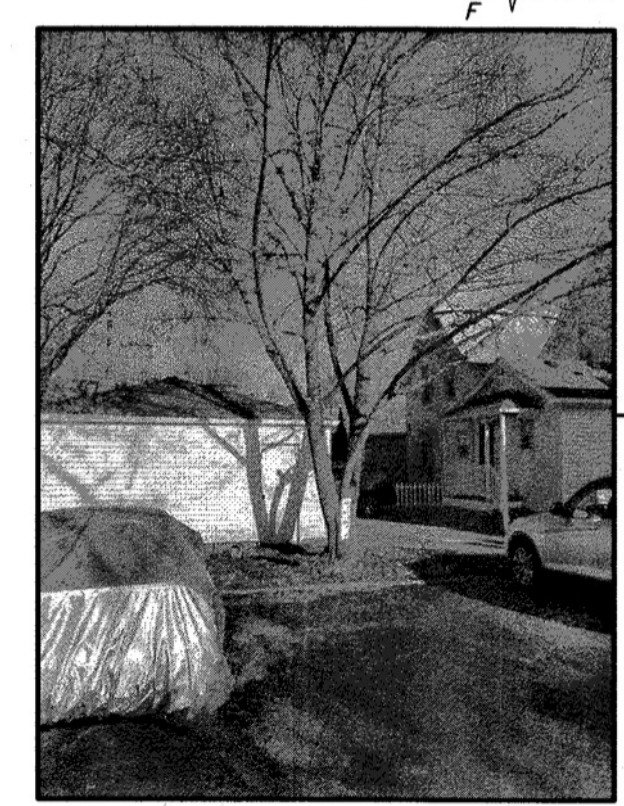
SPOT ELEV.	TOP OF CURB	GRAVEL	EXISTING STORM
POST	TOP OF WALL	FENCE	EXISTING SANITARY
GATE VALVE	MANHOLE	CONCRETE	EXISTING WATER
HYDRANT	CATCHBASIN	ASPHALT	EXISTING GAS
	END SECTION		EXISTING ELECTRIC
			EXISTING TELEPHONE

BENCHMARK BM1=NAIL IN SOUTH FACE OF UTILITY POLE, EAST OF 614 S. ASHLEY ST., ELEV=823.23 (NAVD 88).
BM2=NAIL IN ASPHALT PARKING LOT OF 614 S. ASHLEY ST, ELEV=822.31 (NAVD 88).

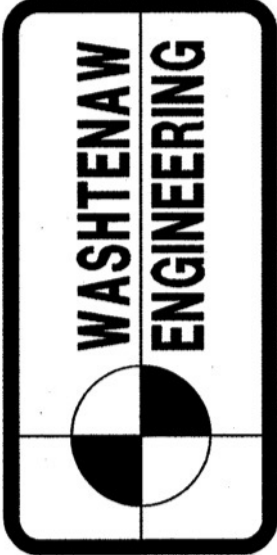
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614 S. ASHLEY ST
ANN ARBOR, MI 48103

NATURAL FEATURES & REMOVAL PLAN

SHEET

PROJECT
09-09-29-414-004
614 S. ASHLEY ST

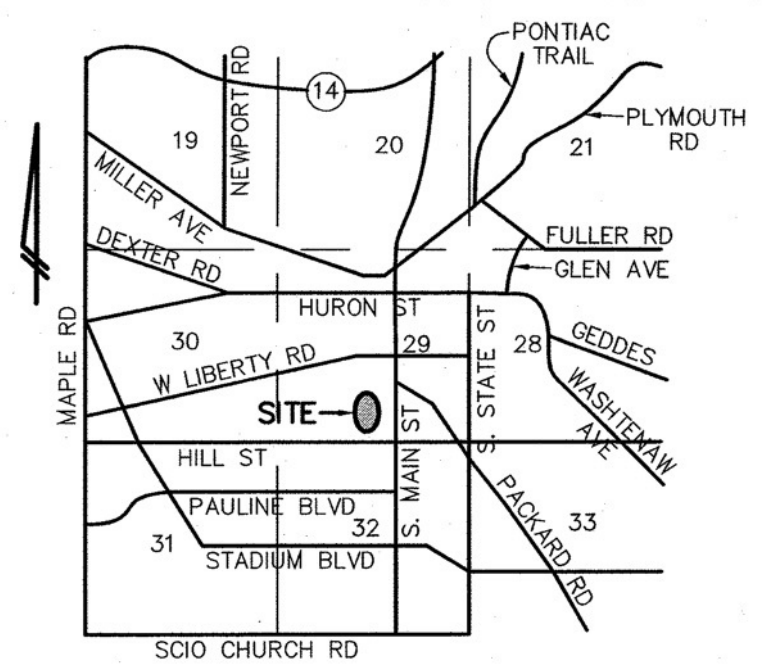
SECTION 29	TOWN 2	RANGE 6	EAST
CITY OF ANN ARBOR			
WASHTENAW COUNTY • MICHIGAN			
DATE 10-23-20	JOB NO. 32761	DWG NO. 761-mxon	FIELD BOOK 659
SHEET			FILE NO. 10662

C2.0

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMBINE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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VICINITY MAP
(NO SCALE)

EXISTING ZONING: C2B (BUSINESS SERVICE)
SETBACKS:
FRONT = 25'
SIDE = 0'
REAR = 30'
IMPERVIOUS AREA:
EXISTING = 2,761 SF±
REMOVED = -235 SF±
NEW = 129 SF±
PROPOSED TOTAL = 2,655 SF±

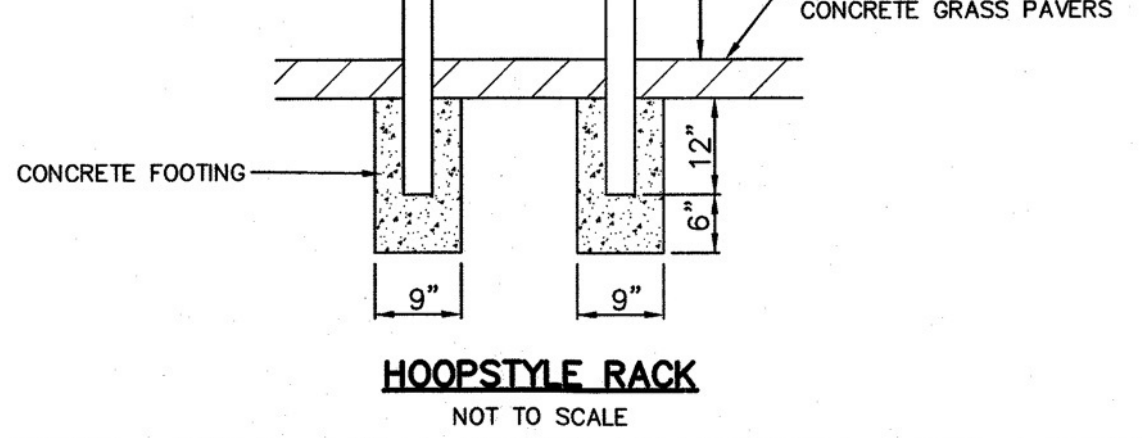
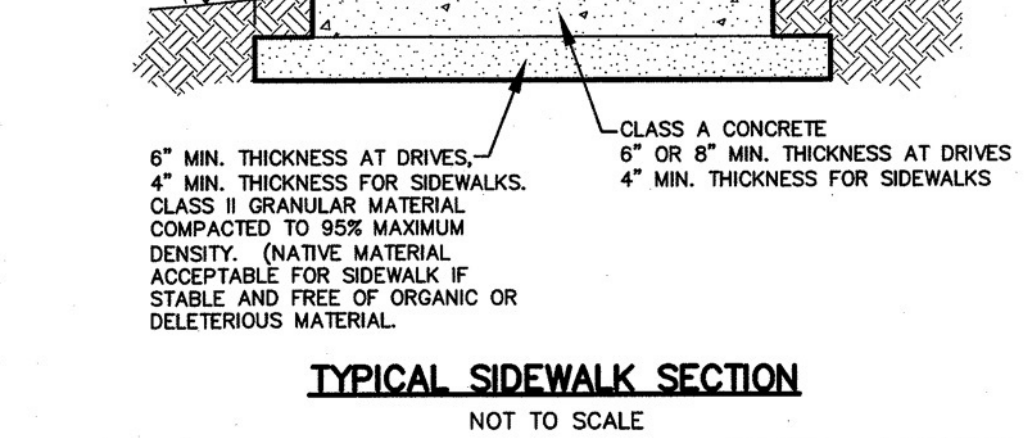
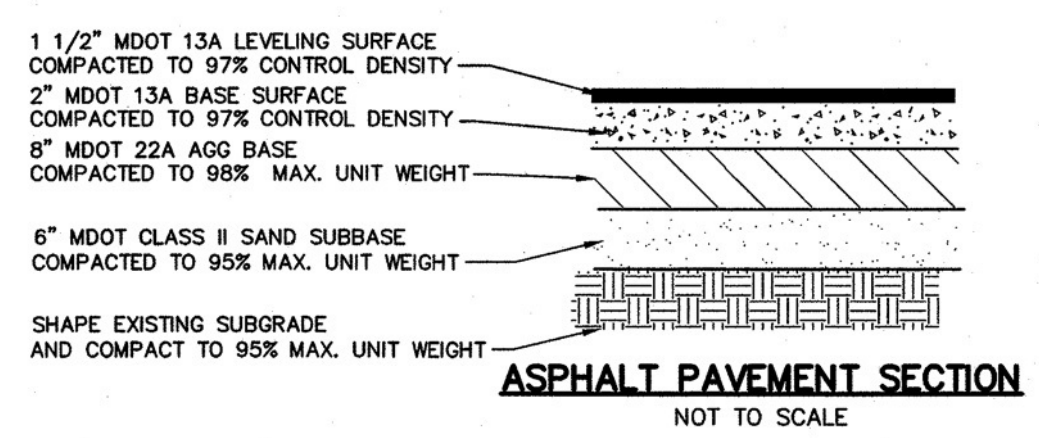
- SITE NOTES:
- SITE HAS NO SIGNIFICANT NATURAL FEATURES.
 - TRASH SERVICE IS BY INDIVIDUAL CURB CARTS THAT ARE STORED IN THE REAR OF THE BUILDING.
 - EXISTING UTILITY SERVICE ON SITE WILL NOT BE REVISED AND NO NEW SERVICES ARE PROPOSED.
 - EXISTING DRIVE CURB CUT AND ENTRANCE IS NOT PROPOSED TO BE ALTERED.
 - EXISTING SIDEWALK IN ASHLEY STREET IS NOT PROPOSED TO BE ALTERED.
 - STORM WATER MANAGEMENT WILL BE PROVIDED PER CITY OF ANN ARBOR CODE REQUIREMENTS. AS THE SITE IS LESS THAN 5000 SF AND THERE IS NO INCREASE IN IMPERVIOUS SURFACE, NO CHANGES ARE PROPOSED TO THE EXISTING STORM WATER MANAGEMENT.
 - NO HANDICAP PARKING SPACES ARE PROPOSED FOR THIS SITE.
 - ONE ELECTRIC VEHICLE PARKING SPACE IS REQUIRED FOR THIS SITE.
 - TOTAL OF 3 PARKING SPACES REQUIRED.
 - TOTAL OF 1 CLASS C BICYCLE PARKING REQUIRED. 2 CLASS C BICYCLE PARKING PROVIDED.

WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION
FO - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
FS - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES
..... SOILS BOUNDARY

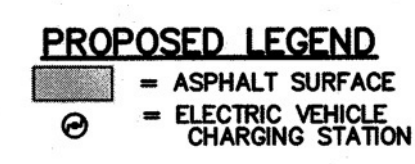
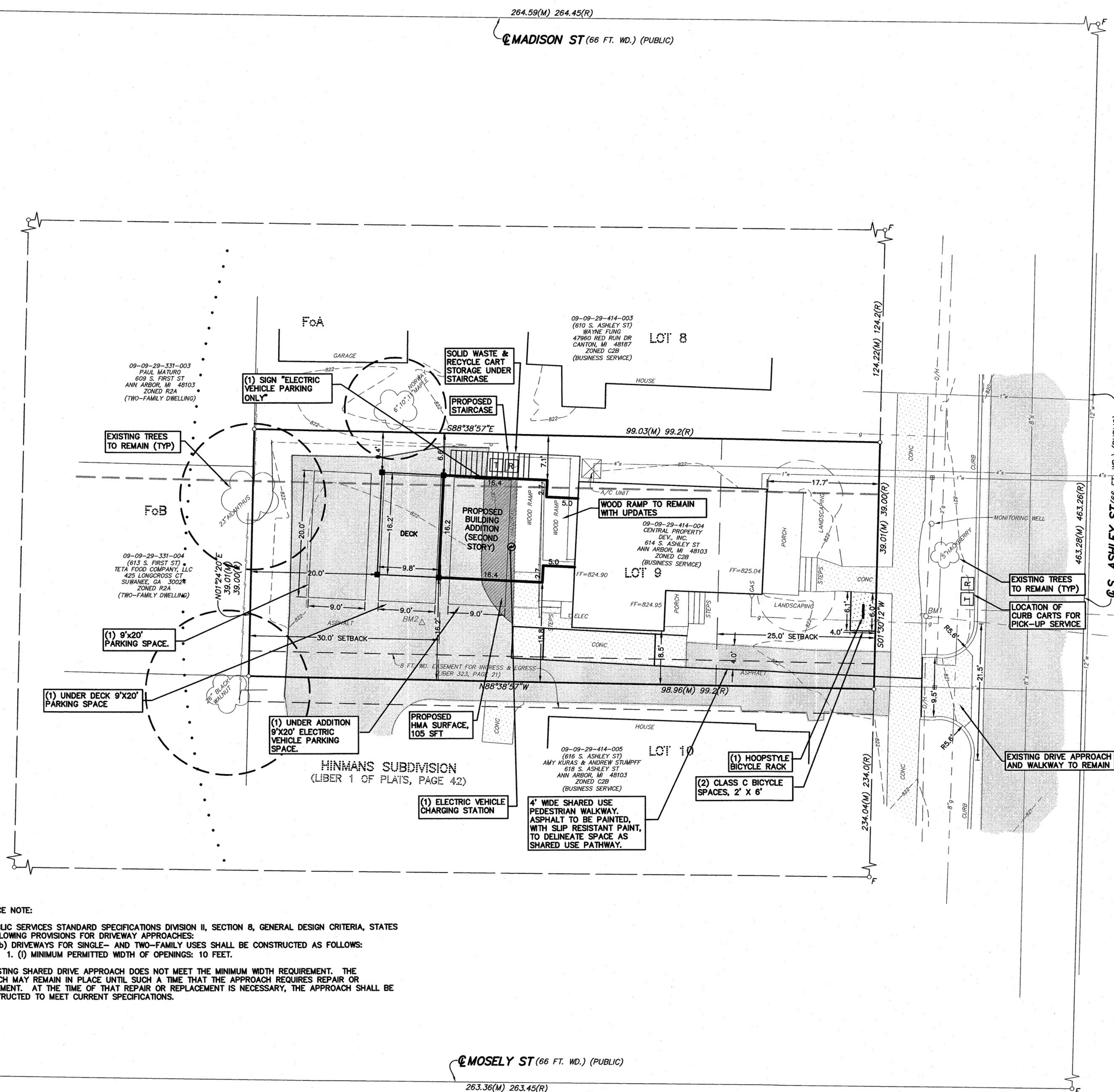
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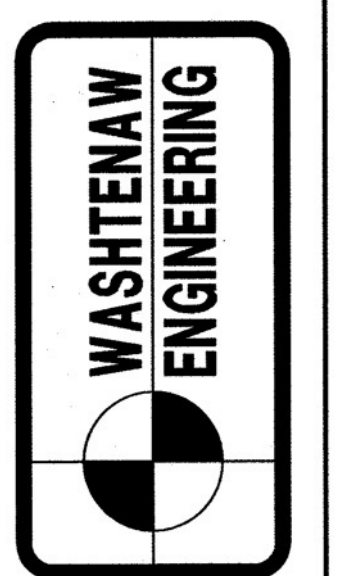
LEGEND	TC = TOP OF CURB	TW = TOP OF WALL	--- = GRAVEL	--- = EXISTING STORM
☆ = LIGHT POLE	○ = MANHOLE	□ = CATCHBASIN	--- = FENCE	--- = EXISTING SANITARY
○ = UTILITY POLE	○ = END SECTION	--- = ASPHALT	--- = CONCRETE	--- = EXISTING WATER
○ = GUY ANCHOR				--- = EXISTING GAS
○ = HYDRANT				--- = EXISTING ELECTRIC
				--- = EXISTING TELEPHONE



ENTRANCE NOTE:
THE PUBLIC SERVICES STANDARD SPECIFICATIONS DIVISION II, SECTION 8, GENERAL DESIGN CRITERIA, STATES THE FOLLOWING PROVISIONS FOR DRIVEWAY APPROACHES:
1. (b) DRIVEWAYS FOR SINGLE- AND TWO-FAMILY USES SHALL BE CONSTRUCTED AS FOLLOWS:
1. (1) MINIMUM PERMITTED WIDTH OF OPENINGS: 10 FEET.
THE EXISTING SHARED DRIVE APPROACH DOES NOT MEET THE MINIMUM WIDTH REQUIREMENT. THE APPROACH MAY REMAIN IN PLACE UNTIL SUCH A TIME THAT THE APPROACH REQUIRES REPAIR OR REPLACEMENT. AT THE TIME OF THAT REPAIR OR REPLACEMENT IS NECESSARY, THE APPROACH SHALL BE RECONSTRUCTED TO MEET CURRENT SPECIFICATIONS.



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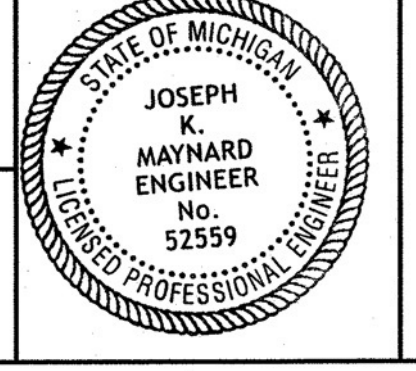
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SHEET
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09-09-29-414-004
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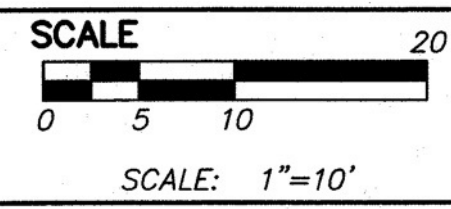
SECTION 29 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTEANAW COUNTY • MICHIGAN
DATE 10-23-20 JOB NO. 32781
DWG NO. 761-site
FIELD BOOK 659
SHEET C3.0 FILE NO. 70662



Know what's below.
Call before you dig.



PREPARED BY
JOSEPH K. MAYNARD P.E., MICH No. 52559



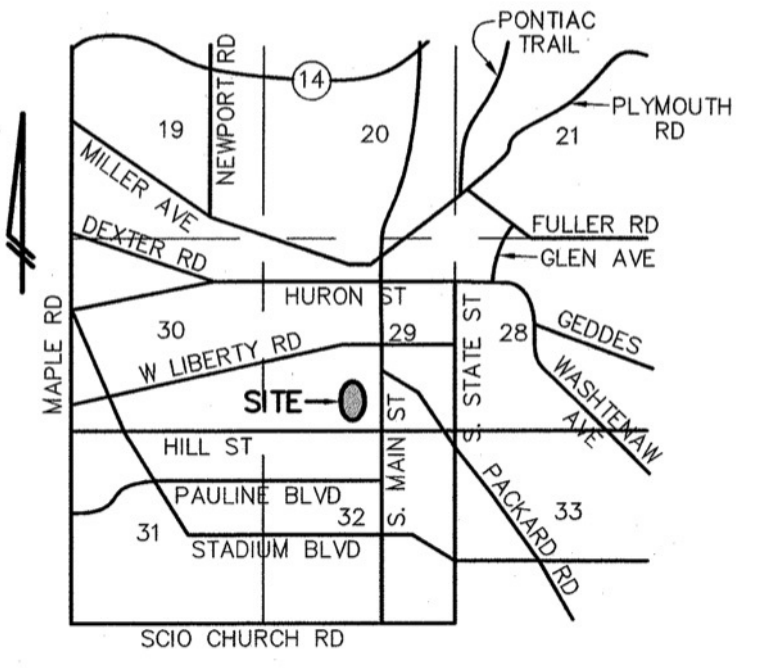
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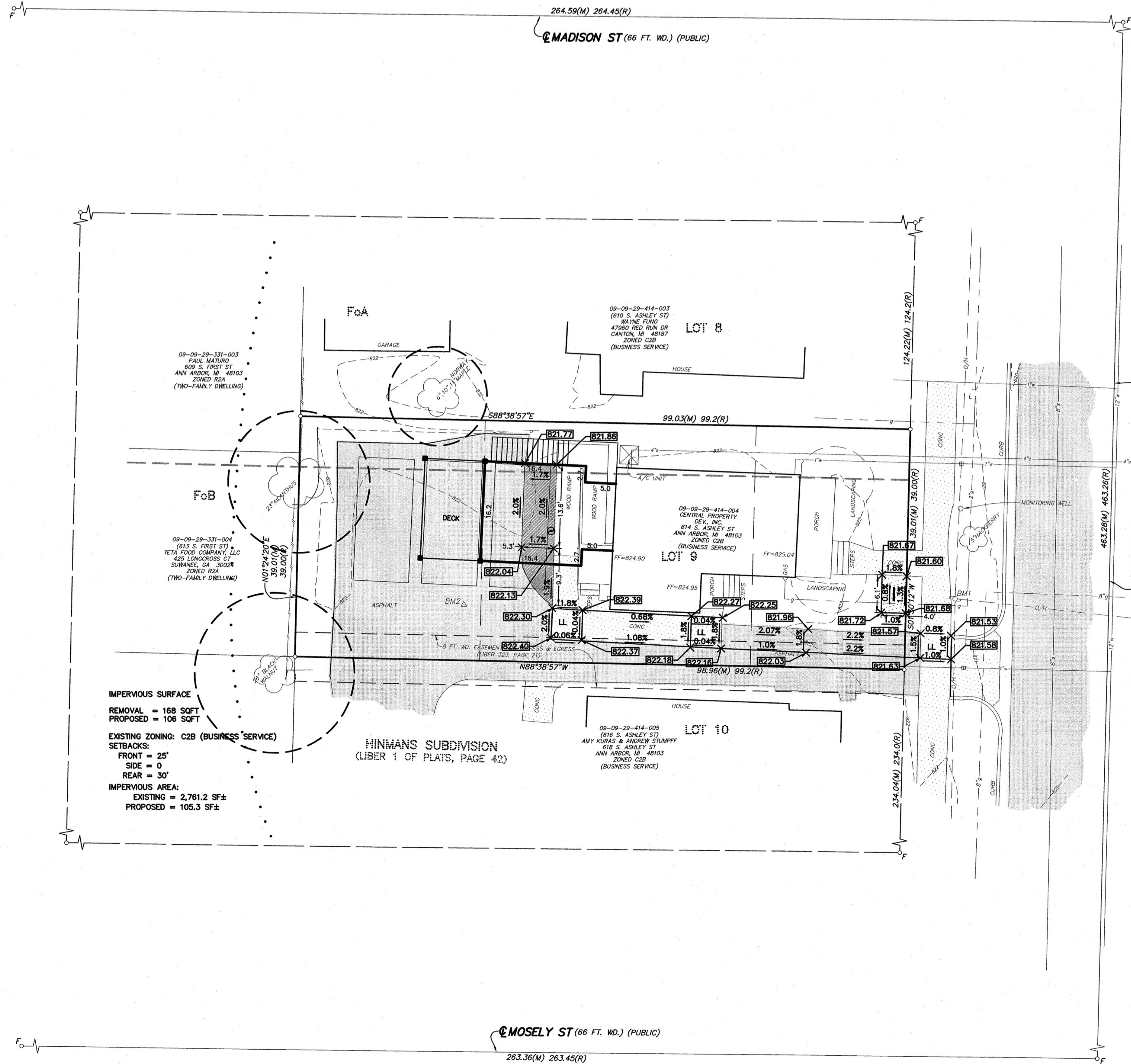
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VICINITY MAP
(NO SCALE)



IMPERVIOUS SURFACE
REMOVAL = 168 SQFT
PROPOSED = 106 SQFT
EXISTING ZONING: C2B (BUSINESS SERVICE)
SETBACKS:
FRONT = 25'
SIDE = 0'
REAR = 30'
IMPERVIOUS AREA:
EXISTING = 2,761.2 SF±
PROPOSED = 105.3 SF±

HINMANS SUBDIVISION
(LIBER 1 OF PLATS, PAGE 42)

- SITE NOTES:**
- SITE HAS NO SIGNIFICANT NATURAL FEATURES.
 - TRASH SERVICE IS BY INDIVIDUAL CURB CARTS THAT ARE STORED IN THE REAR OF THE BUILDING.
 - EXISTING UTILITY SERVICE ON SITE WILL NOT BE REVISED AND NO NEW SERVICES ARE PROPOSED.
 - EXISTING DRIVE CURB CUT AND ENTRANCE IS NOT PROPOSED TO BE ALTERED.
 - STORM WATER MANAGEMENT WILL BE PROVIDED PER CITY OF ANN ARBOR CODE REQUIREMENTS.

- SIDEWALK NOTE:**
PER CHAPTER 48, SECTION 4-59 'ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME' PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE. ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- WATER NOTES:**
- NO BOOSTER PUMPS ARE PROPOSED FOR BUILDING WATER SERVICE LEADS.
- STORM WATER NOTES:**
- SITE DISTURBED AREAS AS FOLLOWS:
 - PAVEMENT REMOVAL 167 SFT
 - BRICK REMOVAL 64 SFT
 - NEW PAVEMENT 128 SFT
 - THERE IS A 0 SFT INCREASE IN IMPERVIOUS SURFACE.
 - TOTAL DISTURBED AREA IS 359 SFT.
 - NO PROPOSED CHANGES TO STORM WATER DETENTION/TREATMENT.
- SANITARY SEWER NOTES:**
- THE PLAN PROPOSES TO BUILD AS ONE (1) SINGLE INDEPENDENT BUILDING. ALL THE HABITABLE INTERIOR FLOOR SPACES MAY BE ACCESSED WITHOUT GOING OUTSIDE. ONLY ONE (1) SANITARY SEWER LEAD IS PROPOSED. THE BUILDING DOES NOT CONTAIN ANY FIRE WALLS.
- SANITARY FLOW OFFSITE MITIGATION CALCULATIONS:**
- DESIGN FLOW
 - NON-MEDICAL OFFICE SPACE IS 0.06 GPD/SQ. FT. GROSS FLOOR AREA.
 - RESIDENTIAL APARTMENT UNIT UP TO 600 SQUARE FEET 175 GPD/UNIT.
 - PROPOSED - EXISTING FLOWS
(924 SQ. FT. X 0.06 GPD/SQ. FT. + 175 GPD)
(924 SQ. FT. X 0.06 GPD/SQ. FT.) = 175 GPD
175 GPD X 4 (PEAKING FACTOR) X 1.1 (SYSTEM RECOVERY FACTOR) = 770 GPD
770 GPD X 1 DAY/24 HRS X 1 HR/60 MIN = 0.53 GPM PEAK FLOW TO BE MITIGATED.
 - PROJECT REQUIRES 1 GPM MITIGATION
 - AS SITE IMPACTS ARE LIMITED, NO SECC MEASURES ARE REQUIRED FOR PERMIT AND IS EXEMPT.
 - PROJECT HAS A FOOTING DRAIN CONNECTION THAT WILL BE REQUIRED TO BE DISCONNECTED AS PART OF THE PROJECT. FOOTING DRAINS REMOVED FROM ANY EXISTING BUILDINGS MAY OFFSET ANY REQUIRED MITIGATION. IF CONFIRMED TO EXIST, REMOVAL OF THE FOOTING DRAIN MUST BE INSPECTED BY ENGINEERING IN ORDER FOR CREDIT TO BE GIVEN AGAINST SANITARY SEWER FLOW MITIGATION REQUIREMENTS FOR THIS PROJECT.

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

FoA - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
FoB - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES

..... SOILS BOUNDARY

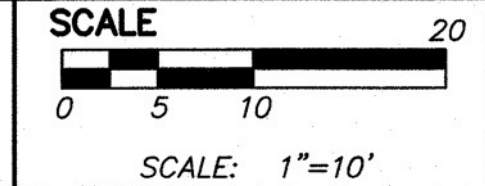
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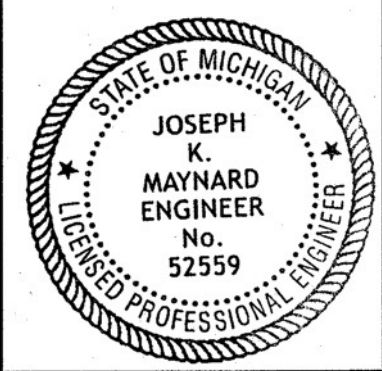
○	SPOT ELEV.	—	EXISTING STORM
○	POST	—	EXISTING SANITARY
○	GATE VALVE	—	EXISTING WATER
○	HYDRANT	—	EXISTING GAS
○		—	EXISTING ELECTRIC
○		—	EXISTING TELEPHONE
○		—	GRAVEL
○		—	FENCE
○		—	CONCRETE
○		—	ASPHALT

BENCHMARK BM1=NAIL IN SOUTH FACE OF UTILITY POLE, EAST OF 614 S. ASHLEY ST., ELEV=823.23 (NAVD 88).
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PREPARED BY *Joseph K. Maynard*
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ANN ARBOR, MI 48103

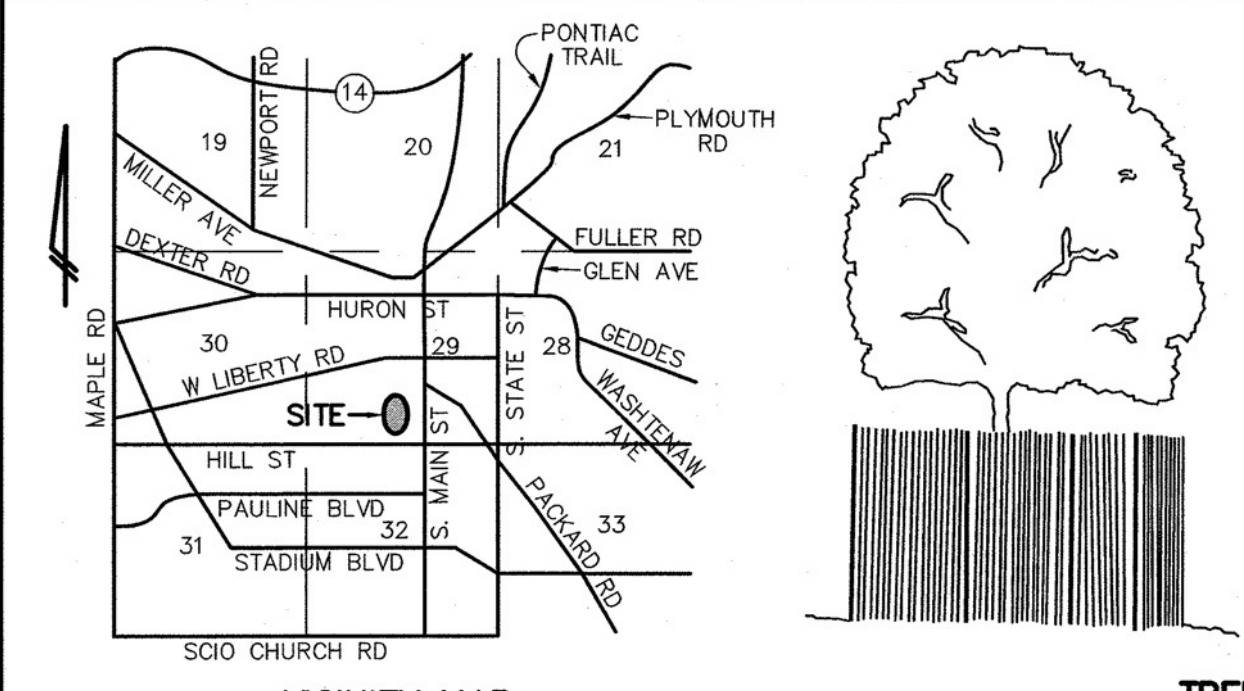
GRADING, UTILITY, SOIL EROSION CONTROL & STORM WATER MANAGEMENT PLAN

PROJECT: 09-09-29-414-004
614 S. ASHLEY ST

SECTION 29 TOWN 2 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY • MICHIGAN
JOB NO. 32761
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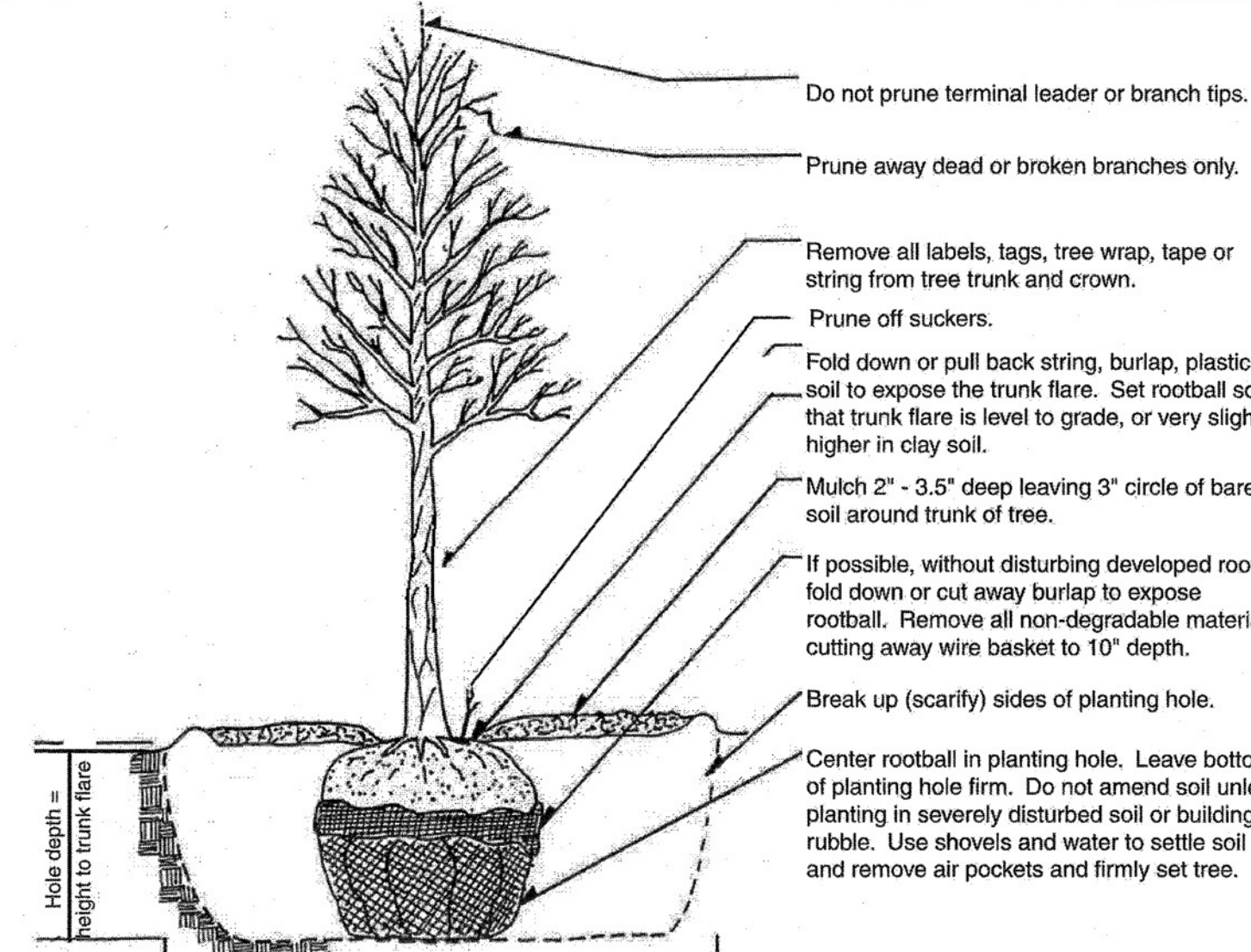
SHEET C4.0

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VICINITY MAP (NO SCALE)

TREE PROTECTION FENCING NOT TO SCALE



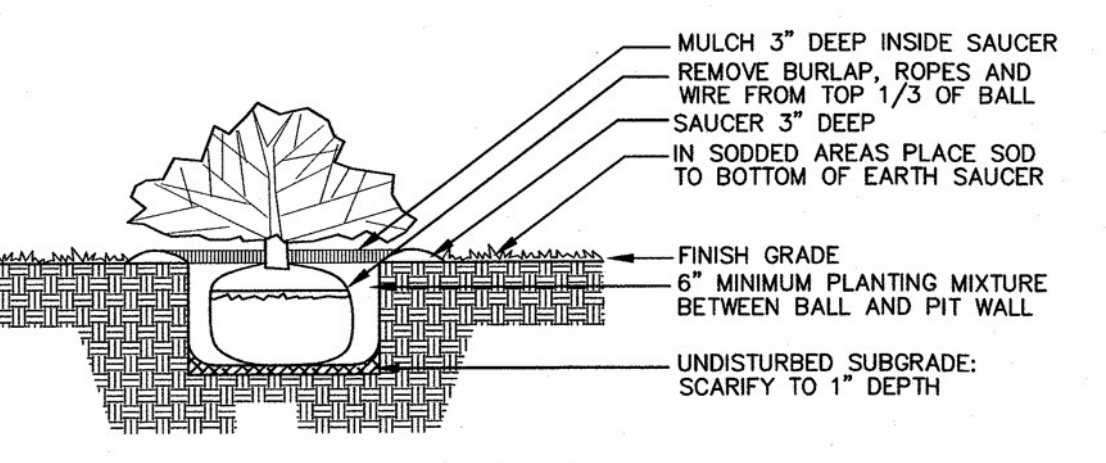
TREE PLANTING SCHEDULE: MARCH 15, THRU AUGUST 1, SEPTEMBER 5, THRU NOVEMBER 1.

Do not stake unless in heavy clay soil, windy conditions, 3\"/>

- Stake with 2 x 2 hardwood stakes, or approved equal, driven 6\"/>
- Loosely stake tree trunk to allow for trunk flexing.
- Stake trees just below first branch with 2\"/>
- Remove all staking materials after 1 year.

TREE PLANTING DETAIL

Original: Dr. Bonnie Applegate, Virginia Polytechnic Institute and State University, modified by the Michigan Department of Natural Resources, Forest Management Division, and the City of Ann Arbor.



SHRUB PLANTING DETAIL NOT TO SCALE

- NOTE: • BEFORE BACKFILLING AROUND PLANT REMOVE ALL PLASTIC BALLING MATERIAL AND METAL CONTAINERS. PUNCH HOLES IN FIBER POTS TO PROVIDE DRAINAGE. ADD \"MYCORRHIZAE\" ROOT GROWTH ENHANCER TO PLANTING SOIL MIX. PRODUCT MANUFACTURER, PREMIER TECH 1-800-606-6926 APPLICATION RATE: TREES 10 CUPS PER 2.5\"/>
- ALL EVERGREEN TREES AND SHRUBS TO BE TREATED WITH AN ANTI-DESICCANT PRIOR TO THE FALL AND WINTER SEASONS. BURLAP WIND SCREENS MAY BE NEEDED AS EXTRA FOLIAGE PROTECTION THROUGHOUT THE WINTER SEASON.

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

- FOA - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
 - FOB - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES
 - SOILS BOUNDARY
- SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

- F = FOUND IRON MARKER
- S = SET IRON MARKER
- (M) = MEASURED (R) = RECORDED

- LEGEND
- ☆ = LIGHT POLE
- = UTILITY POLE
- = GUY ANCHOR
- = HYDRANT
- = SPOT ELEV.
- = POST
- = MANHOLE
- = GATE VALVE
- = SIGN
- = GRAVEL
- = FENCE
- = CONCRETE
- = ASPHALT
- = EXISTING STORM
- = EXISTING SANITARY
- = EXISTING WATER
- = EXISTING GAS
- = EXISTING ELECTRIC
- = EXISTING TELEPHONE

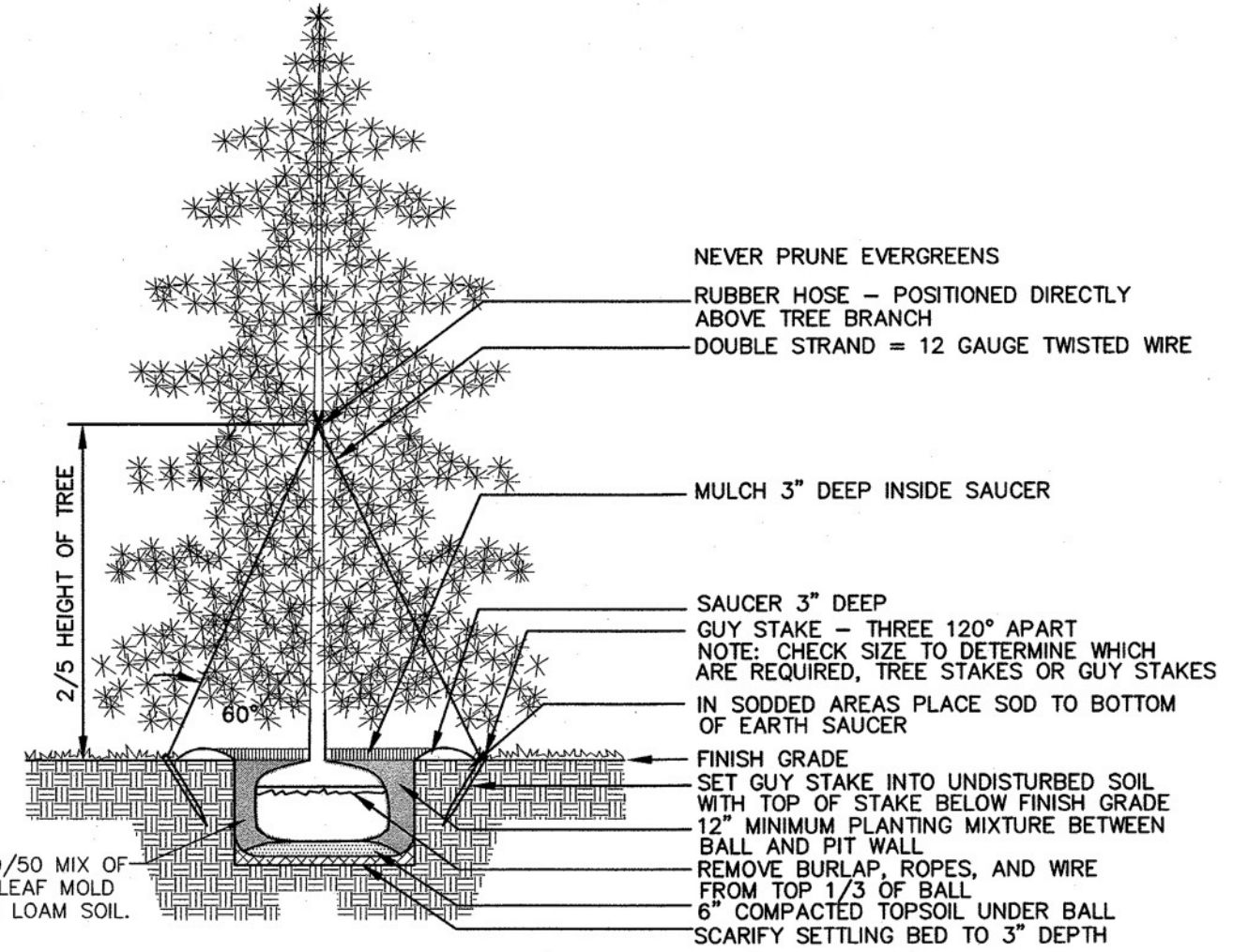
PLANTING SCHEDULE

- EVERGREEN TREES AND SHRUBS • MAY 15, THRU AUGUST 1 • NO FALL PLANTING ALLOWED. • TREAT ALL EVERGREENS WITH ANTI-DESICCANT IN SEPTEMBER
- DECIDUOUS TREES AND SHRUBS • MARCH 15, THRU AUGUST 1 • SEPTEMBER 5, THRU NOVEMBER 1.

- NOTES: • ADJOINING PROPERTY TO THE WEST ARE RESIDENTIAL USE. • CLASS C FIXED BIKE RACK PROVIDED. • C.L.U.B. IS REQUIRED BY ORDINANCE ALONG WEST BOUNDARIES (15' WIDTH). • EXISTING CONDITIONS ONLY ALLOW REDUCED C.L.U.B. WIDTHS. • 2 LARGER OFF SITE TREE CANOPIES INFLUENCE PLANT SPACING IN THE NORTH AND WEST BOUNDARIES. • SNOW TO BE PUSHED INTO INTERIOR LANDSCAPE. • BENEFITS TO NEIGHBORHOOD 383 SQFT LESS IMPERMEABLE SURFACES.

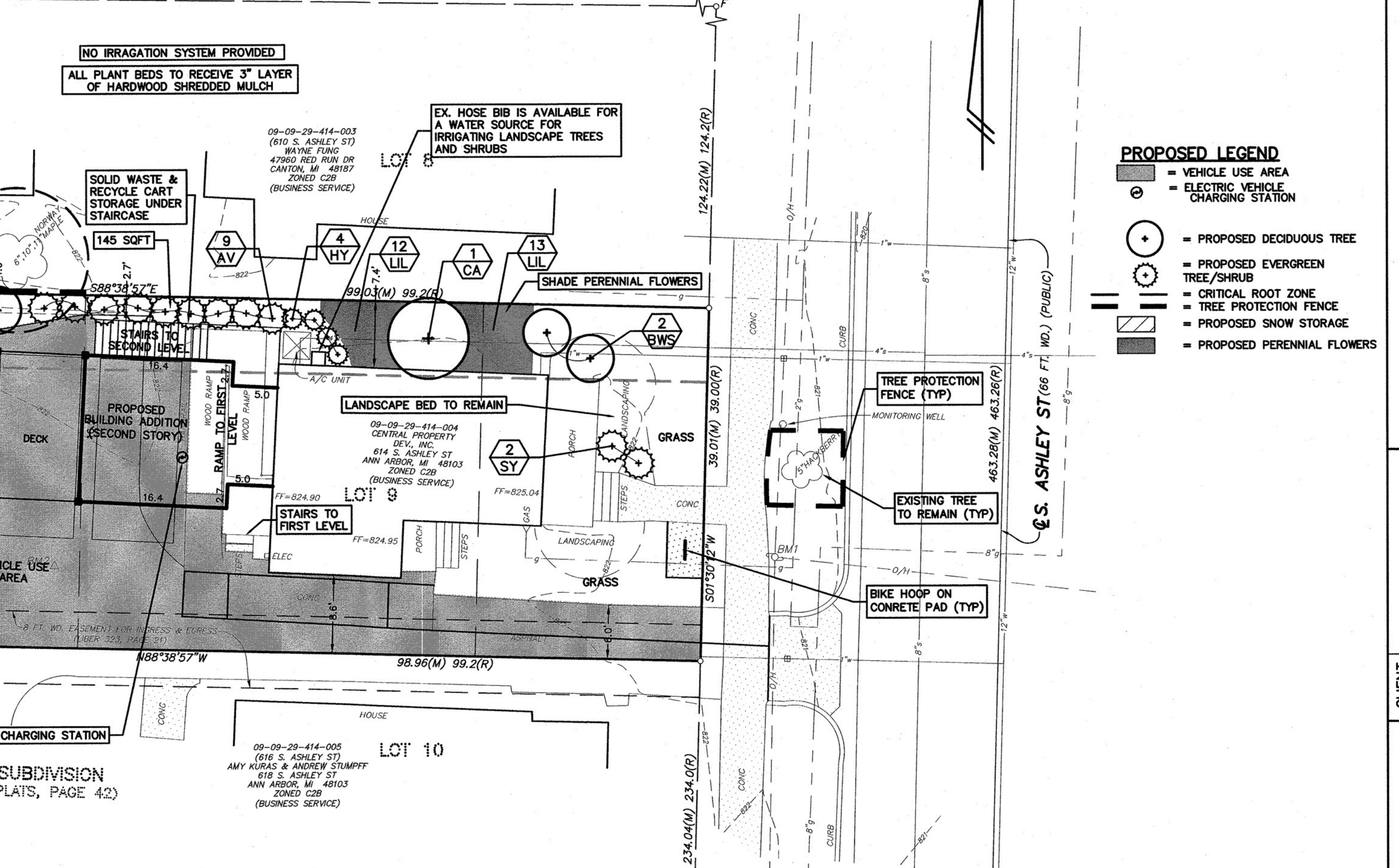
PLANT LIST

KEY	QUA.	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENT
AV	9	<i>Thuja occidentalis</i>	ARBORVITAE	7' HT.	B&B
CA	1	<i>Malus baccata</i>	NATIVE CRABAPPLE	2.5\" CAL.	B&B
BWS	6	<i>Spiraea prunifolia</i>	BRIDAL WREATH SPIRAEA	36\" HT.	CONT.
SL	4	<i>Syringa vulgaris</i>	COMMON LILAC	36\" HT.	CONT.
HB	2	<i>Celtis occidentalis</i>	HACKBERRY	2.5\" CAL.	B&B
SY	5	<i>Taxus x media 'densiformis'</i>	SPREADING YEW	24\" HT.	CONT.
HY	4	<i>Taxus x media 'hickall'</i>	HICKS YEW	36\" HT.	CONT.
PERENNIAL FLOWERS					
LIL	25	<i>Lilium michiganense</i>	MICHIGAN LILY	2 GAL.	CONT.



EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

- BENCHMARK BM1=NAIL IN SOUTH FACE OF UTILITY POLE, EAST OF 614 S. ASHLEY ST., ELEV=823.23 (NAVD 88).
- BM2=NAIL IN ASPHALT PARKING LOT OF 614 S. ASHLEY ST., ELEV=823.31 (NAVD 88).



- PROPOSED LEGEND
- = VEHICLE USE AREA
 - ⊖ = ELECTRIC VEHICLE CHARGING STATION
 - = PROPOSED DECIDUOUS TREE
 - = PROPOSED EVERGREEN TREE/SHRUB
 - = CRITICAL ROOT ZONE
 - = PROPOSED PROTECTION FENCE
 - = PROPOSED SNOW STORAGE
 - = PROPOSED PERENNIAL FLOWERS

STREET TREE ESCROW CALCULATIONS

\$1.30 PER LINEAR FOOT
39 LF X \$1.30 = \$50.70
(1) = TREE
TOTAL REQUIRED ESCROW = \$0.00
(1) TREE REQUIRED
(1) TREE PROPOSED

GENERAL LANDSCAPE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO CITY OF ANN ARBOR STANDARDS AND SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
3. ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEEOUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF TWELVE INCHES (12") AND ALL BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
4. PLANTING MIXTURE SHALL BE 33% COMPOSTED LEAF MOLD & 67% FRIABLE LOAM SOIL.
5. ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A THREE INCH (3") LAYER OF SHREDDED BARK MULCH. MULCH SHALL CONFORM TO 201 M.D.O.T. SPECIFICATION 917.14.
6. C.L.U.B. AREAS ARE ALONG THE WEST AND NORTH ARE REDUCED IN WIDTH THRU LANDSCAPE MODIFICATION REQUEST DUE TO LIMITED LOT WIDTH. ALL C.L.U.B. WILL RECEIVE 4" DEPTH OF ORGANIC SHREDDED BARK MULCH.
7. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
8. EDGING, WHERE NOTED ON THE PLANS, SHALL BE RYERSON STEEL EDGING, 3/4"x4". INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT, TRUE LINES WITHOUT IRREGULARITIES.
9. ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED OR LANDSCAPED SHALL BE SEEDED AND MULCHED, AS SPECIFIED WITH SHREDDED BARK WOOD MULCH.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEEDED AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
11. ALL AREAS OF THE SITE SCHEDULED FOR SEEDING SHALL BE DISCED AND GRADED IN CONFORMANCE WITH THE GRADING PLAN.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THE UTILITIES, BOTH ABOVE AND UNDERGROUND PRIOR TO LANDSCAPING. ANY CONFLICTS BETWEEN UTILITIES AND PLANT MATERIAL SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
13. ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ANN ARBOR ZONING ORDINANCE AND BY THE END OF THE FOLLOWING PLANTING SEASON, AS A CONTINUING OBLIGATION FOR THE DURATION OF THE SITE PLAN.
14. MULCH - ALL SHRUB BEDS AND TREE PLANTING TO RECEIVE 3" DEPTH OF HARDWOOD SHREDDED BARK MULCH UNDER ENTRY CANOPY SHALL RECEIVE 5"-6" WASHED COBBLE STONE ON GEO-FABRIC. ALL CURB AREAS TO RECEIVE 3" DEPTH OF HARDWOOD SHREDDED BARK MULCH.
15. TREATMENT OF COMPACTED SOILS ROOT ZONE SOILS ALONG EXISTING, REMAINING TREES SHALL BE PROTECTED FROM CONSTRUCTION VEHICLES BY CONSTRUCTION MATS. ANY SOIL COMPACTED BY CONSTRUCTION IN EXCESS OF 83% PROCTOR SHALL BE AERATED MECHANICALLY USING A DISC, OTO-TILLER AND/OR SURFACE AERATOR IMPLEMENT.
16. PLANTING MEDIA 33% ORGANIC COMPOST AND 67% SANDY LOAM TOPSOIL.
17. THE CITY OF ANN ARBOR HAS ADOPTED AN ORDINANCE LIMITING PHOSPHORUS IN FERTILIZERS. THE PROPERTY DEVELOPER WILL RESTRICT THE APPLICATIONS OF FERTILIZER DURING THE INITIAL TOPSOIL AND SEEDING AND SHALL BE A FERTILIZER COMPOSITION WITH NO PHOSPHORUS.
18. DEVIATION IN PLANT SPECIES FROM THE APPROVED SITE PLAN MUST BE APPROVED BY THE CITY OF ANN ARBOR IN WRITING PRIOR TO INSTALLATION.

ANNUAL LANDSCAPE MAINTENANCE

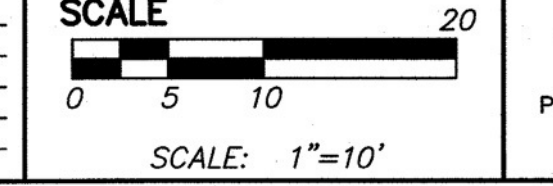
- WEED REMOVAL (HERBICIDE APPLICATION UPON NEED)
- PROPER TRIMMING OF TREES AND SHRUBS
- BED EDGES MAINTAINED
- DEADHEADING TO ENCOURAGE RE-BLOOM
- SPRING PERENNIAL CUT DOWN AND POST-WINTER GARDEN CLEANUP
- FALL CLEANUP AND ANTI-DESICCANT SPRAY TO EVERGREENS
- MULCH APPLIED EACH YEAR (FINE HARDWOOD BARK OR OWNERS CHOICE)
- COMPOST BLENDED INTO MULCH TO ADD SOIL STRUCTURE
- SLOW RELEASE FERTILIZER CUSTOM FORMULATED GARDEN
- LAWN MOWING TO MAINTAIN 2 1/2" HEIGHT

LANDSCAPE REQUIREMENTS

5.20.3 - VEHICLE USE AREA (VJA)

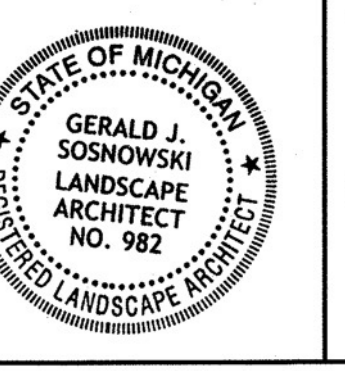
	REQUIRED	EXISTING	PROPOSED	
1. VJA AREA		DOES NOT APPLY		
5.20.4 - CONFLICTING LAND USE BUFFER (C.L.U.B.)		EXISTING	PROPOSED	
1. WEST CLUB	REQUIRED	39'	39'	
LENGTH	LOT LINE	0	6'	
WIDTH	15'	0	2	
TREES	2.6	0	7 SHRUBS	
SHRUBS	4' HIGH HEDGE OR FENCE	7' FENCE		
LANDSCAPE MODIFICATION REQUEST: LIMITED LOT AREA, EXISTING MATURE TREES ON PROPERTY LINES LIMITS PLANTING AREAS.				
2. NORTH CLUB	REQUIRED	EXISTING	PROPOSED	
LENGTH	LOT LINE	99.3'	99.3'	
WIDTH	15'	0	4'	
TREES	6.62	0	1	
SHRUBS	4' HIGH HEDGE OR FENCE	0	19 SHRUBS	
LANDSCAPE MODIFICATION REQUEST: LIMITED LOT AREA, EXISTING MATURE TREE ON PROPERTY LINES, LIMITS PLANTING AREAS AVAILABLE BETWEEN EXISTING BUILDINGS.				
3. SOUTH CLUB	REQUIRED	EXISTING	PROPOSED	
LENGTH	LOT LINE	98.96'	N/A	
WIDTH	15'	0	0	
TREES	2.6	0	0	
SHRUBS	4' HIGH HEDGE OR FENCE	0	SHARED DRIVE	
LANDSCAPE MODIFICATION REQUEST: LIMITED LOT AREA, SHARED DRIVEWAY EXISTING BETWEEN PROPERTIES.				
5.20.10.B - TREES IN PUBLIC RIGHT OF WAY (ROW)		REQUIRED	EXISTING	PROPOSED
1. ROW TREES		1	0	
(1 TREE PER 45 LF FRONTAGE)				

REVISIONS - 2-15-21 PER REVIEW, 2-19-21 PER REVIEW, 3-11-21 PER REVIEW 3-23-21 PER REVIEW



PREPARED BY: *Gerald J. Sosnowski*
GERALD J. SOSNOWSKI RLA, MICH No. 982

811 Know what's below. Call before you dig.



CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
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SUITE 400
ANN ARBOR, MI 48103
TEL: 734-761-8500
WWW.WASHTENAWENGINEERING.COM

CLIENT
CENTRAL PROPERTY DEVELOPMENT, INC.
614 S. ASHLEY ST
ANN ARBOR, MI 48103

PROJECT
09-09-29-414-004
614 S. ASHLEY ST

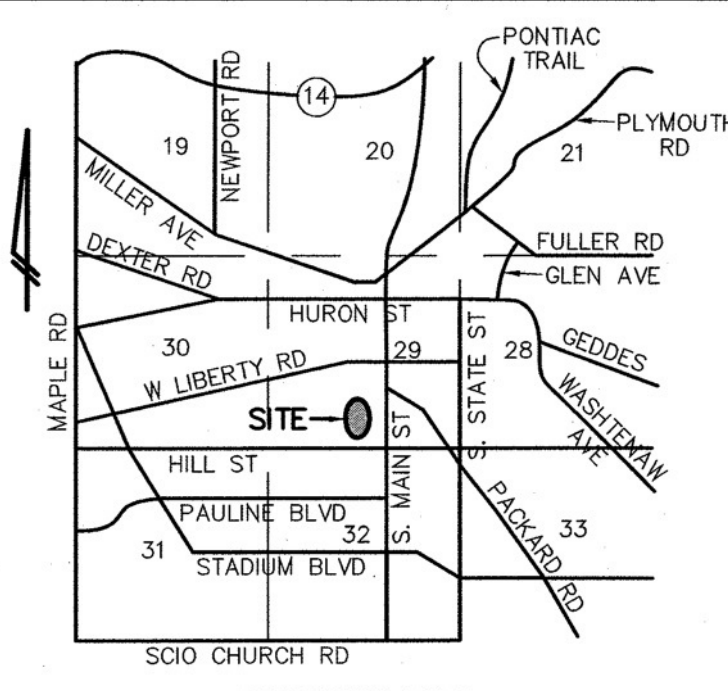
SHEET
C5.0

SECTION 29 TOWN 2 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY • MICHIGAN
JOB NO. 32761
DATE 10-23-20
DWG NO. 761-land
FIELD BOOK 659
FILE NO. 10662

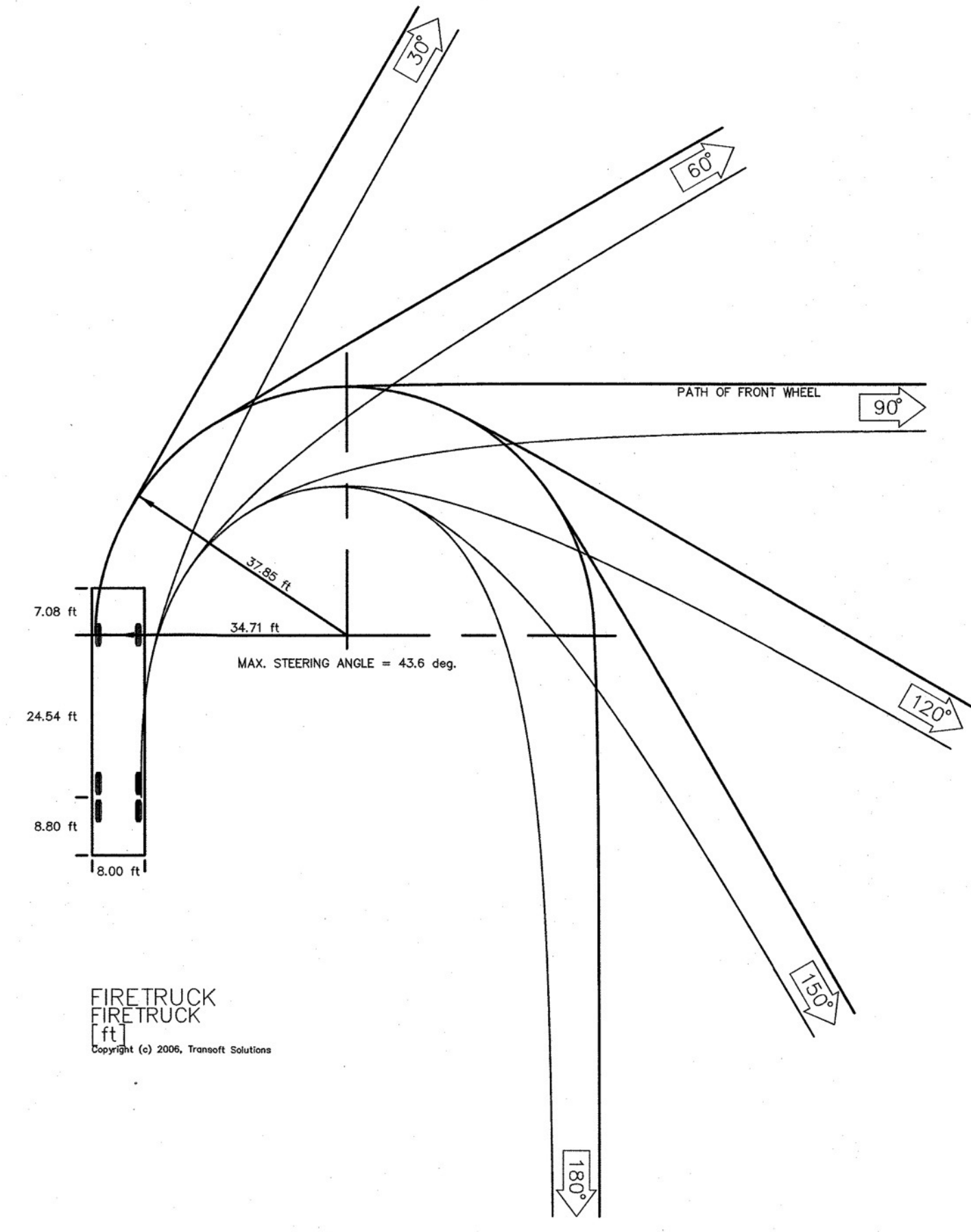
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THROUGHOUT THE DRAWING, THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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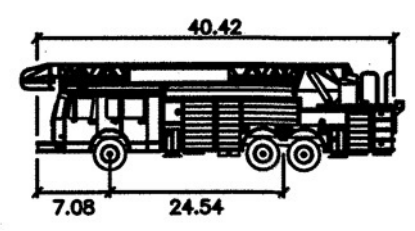
THE OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSON TO USE THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA AND OTHER INSTRUMENTS OF SERVICE ON OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY OTHER INSTRUMENTS OF SERVICE, THE SURVEYOR'S PROFESSIONAL INVOLVEMENT WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO WECO. THE OWNER SHALL MAINTAIN AND HOLD HARMLESS WECO, WECO'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM UNAUTHORIZED REUSE OF DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA OR OTHER INSTRUMENTS OF SERVICE.



VICINITY MAP
(NO SCALE)



FIRE TRUCK
ft
Copyright (c) 2006, Transoft Solutions



FIRETRUCK		feet
Width	:	8.00
Track	:	6.91
Lock to Lock Time	:	1.00
Steering Angle	:	45.00

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

- FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
- FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES
- SOILS BOUNDARY

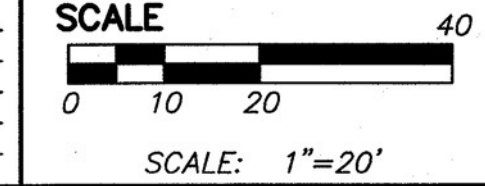
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

F = FOUND IRON MARKER
S = SET IRON MARKER
(M) = MEASURED (R) = RECORDED

LEGEND	
○	SPOT ELEV.
○	POST
○	GATE VALVE
○	SIGN
○	TOP OF CURB
○	TOP OF WALL
○	MANHOLE
○	CATCHBASIN
○	END SECTION
○	GRAVEL
○	FENCE
○	CONCRETE
○	ASPHALT
○	EXISTING STORM
○	EXISTING SANITARY
○	EXISTING WATER
○	EXISTING GAS
○	EXISTING ELECTRIC
○	EXISTING TELEPHONE

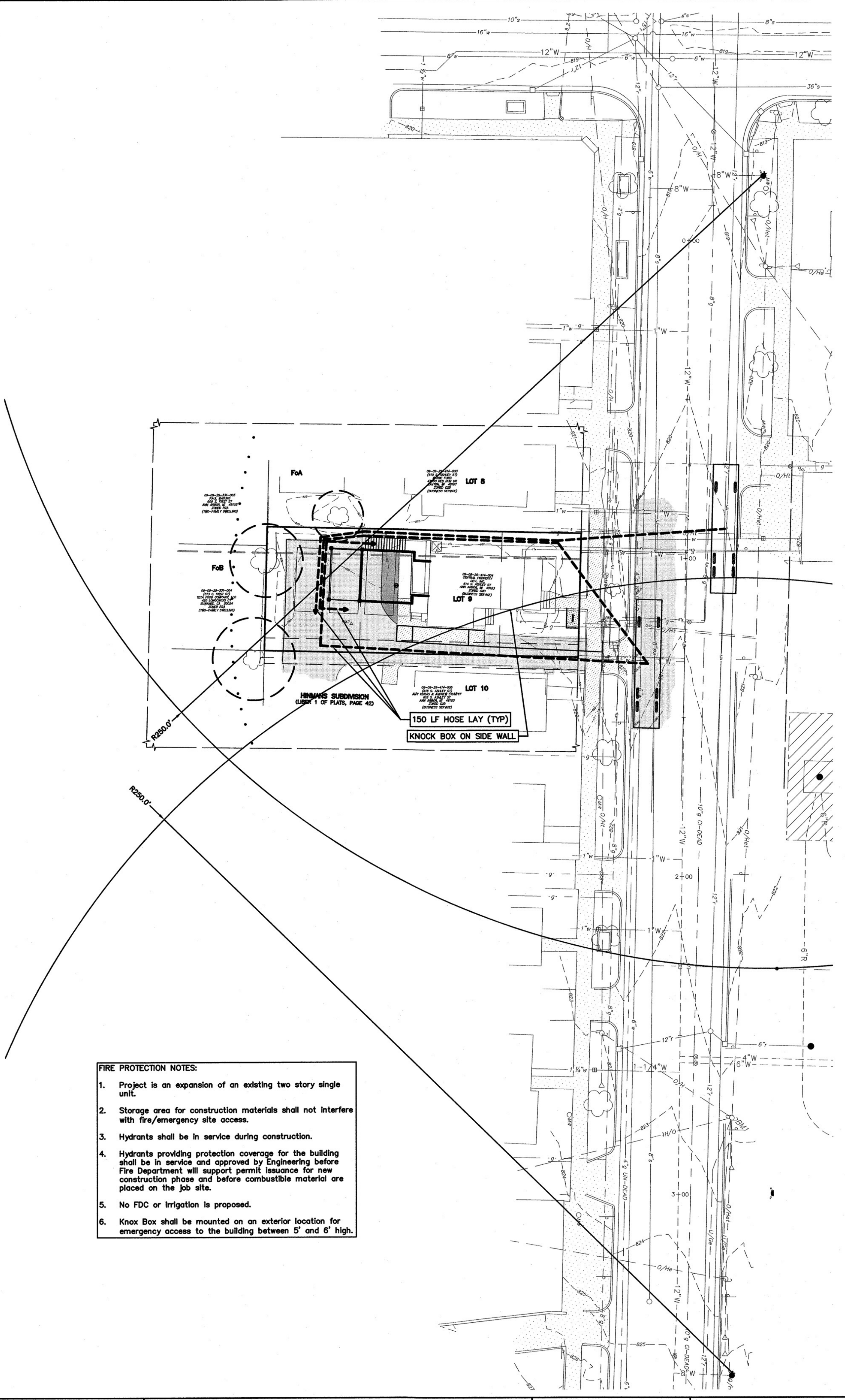
BENCHMARK	
BM1=NAIL IN SOUTH FACE OF UTILITY POLE, EAST OF 614 S. ASHLEY ST., ELEV=823.23 (NAVD 88).	
BM2=NAIL IN ASPHALT PARKING LOT OF 614 S. ASHLEY ST, ELEV=822.31 (NAVD 88).	

REVISIONS	
2-15-21 PER REVIEW	2-19-21 PER REVIEW
3-23-21 PER REVIEW	3-11-21 PER REVIEW

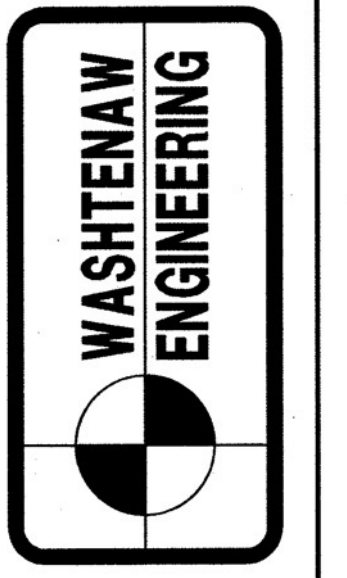


PREPARED BY: *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559

- FIRE PROTECTION NOTES:**
- Project is an expansion of an existing two story single unit.
 - Storage area for construction materials shall not interfere with fire/emergency site access.
 - Hydrants shall be in service during construction.
 - Hydrants providing protection coverage for the building shall be in service and approved by Engineering before Fire Department will support permit issuance for new construction phase and before combustible material are placed on the job site.
 - No FDC or Irrigation is proposed.
 - Knock Box shall be mounted on an exterior location for emergency access to the building between 5' and 6' high.



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CLIENT
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614 S. ASHLEY ST
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SHEET
FIRE PROTECTION PLAN

PROJECT
09-09-29-414-004
614 S. ASHLEY ST

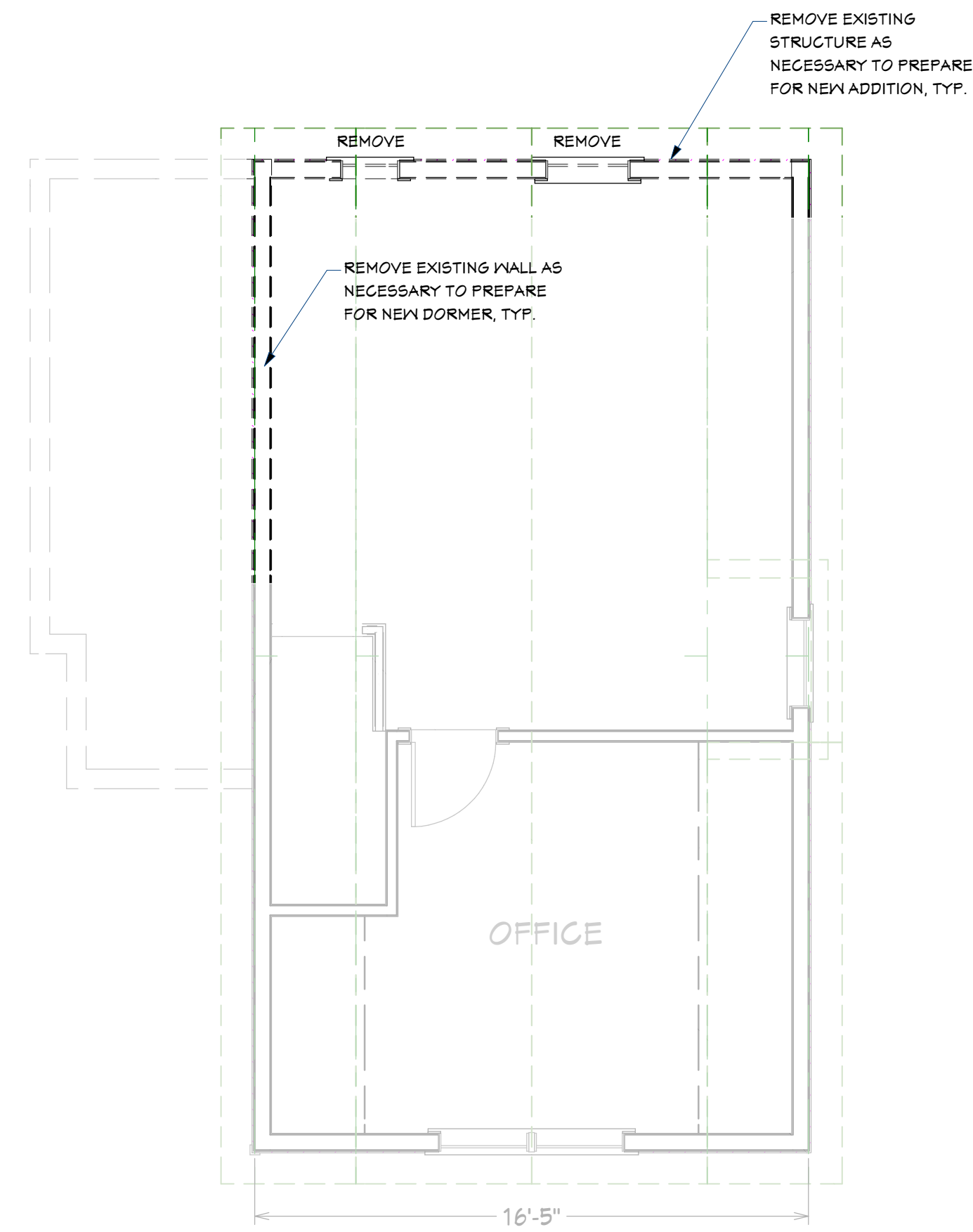
SECTION 29	TOWN 2	SOUTH	RANGE 6	EAST
CITY OF ANN ARBOR				
WASHTENAW COUNTY • MICHIGAN				
DATE 10-23-20	JOB NO. 32791	DWG NO. 761-fire	FIELD BOOK 659	FILE NO. 10662
SHEET				C6.0



D1 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL DEMOLITION NOTES:

1. STRICTLY COMPLY WITH APPLICABLE CODES, REGULATIONS, AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
2. ALL DEMOLITION TO BE COORDINATED DIRECTLY WITH THE OWNER. THE OWNER ASSUMES NO RESPONSIBILITY NOR MAKES ANY CLAIM AS TO THE ACTUAL CONDITION OR STRUCTURAL ADEQUACY OF ANY EXISTING CONSTRUCTION TO BE DEMOLISHED. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY & CONFIRM THE CONDITION OF WORK TO BE DEMOLISHED, AND SHALL TAKE ALL PRECAUTIONS TO ENSURE SAFETY OF PERSONS AND PROPERTY. DURING DEMOLITION, ENSURE THE NORMAL USE OF PUBLIC WAYS AND OTHER ADJACENT FACILITIES.
3. PROPERTY FINISHES TO REMAIN FREE FROM DAMAGE DURING DEMOLITION. IMMEDIATELY REPAIR DAMAGED PROPERTY TO ITS ORIGINAL CONDITION. MAINTAIN EXISTING HVAC, ELECTRICAL, AND FIRE PROTECTION SYSTEMS IN OPERATION THROUGHOUT THE WORK OF THE PROJECT.
4. CONTROL DUST AND NOISE TO AVOID DISTURBING OTHER AREAS OF THE BUILDING.
5. DO NOT INTERRUPT UTILITIES SERVICING USED AREAS WITHOUT FIRST OBTAINING PERMISSION FROM THE UTILITY COMPANY AND THE OWNER.
6. THE INTENT IS TO DEMOLISH, REMOVE FROM SITE, AND LEGALLY DISPOSE OF ALL EXISTING CONSTRUCTION AND IMPROVEMENTS AS INDICATED.
7. G.C. SHALL BE RESPONSIBLE FOR COORDINATING WITH OWNER ALL ITEMS THAT SHALL BE REMOVED AND STORED.
G.C. SHALL COORDINATE WITH OWNER THE EXACT LOCATION OF WHERE MATERIALS ARE TO BE STORED.
G.C. SHALL BE RESPONSIBLE FOR THE RELOCATION OF ALL MATERIALS TO BE STORED TO THE DESIGNATED AREA.
8. REMOVE ALL DOORS, WALLS AND FRAMES AS SHOWN DASHED ON DRAWING.
9. PATCH AND REPAIR ALL DISTURBED SURFACES TO RECEIVE NEW FINISHES.
10. ALL EXISTING ELECTRICAL DEVICES & COVER PLATES TO BE REMOVED & REPLACED WITH NEW.
11. ANY ABANDONED ELECTRICAL WIRING OR CONDUIT FOUND DURING DEMOLITION SHALL BE REMOVED.
ANY SECURITY DEVICES, CONTACTS, CABLES, ETC. FOUND DURING DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR & OWNER/BUILDING MANAGER PRIOR TO REMOVAL.



D2 DEMOLITION SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

DEMOLITION NOTES:

1. PROVIDE SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS THEY ARE MODIFIED FOR NEW WORK.
2. PROTECT EXISTING STRUCTURE AND BUILDING ELEMENTS DURING CONSTRUCTION. TARP AS NEEDED TO PREVENT MOISTURE DAMAGE.
3. ALL PLUMBING LINES AND DRAINS TO BE MODIFIED FOR NEW WORK TO BE CAPED AND COVERED.
4. VERIFY WITH OWNERS ALL FIXTURES, CABINETS AND WINDOWS, ETC. TO BE SALVAGED PRIOR TO DEMOLITION.

PRELIMINARY SET - NOT FOR CONSTRUCTION

JOHN STROBEL ADDITION
CENTRAL PROPERTY DEVELOPMENT, INC.
614 S. ASHLEY STREET, ANN ARBOR, MI. 48103

DEMOLITION PLANS

DRAWINGS PROVIDED BY:
LANETTE WILLIAMS
VACHON DESIGN, LLC
2749 MANCHESTER ROAD
ANN ARBOR, MI. 48104
734.271.0152 (cell)

No.	Revision	Date

DATE:

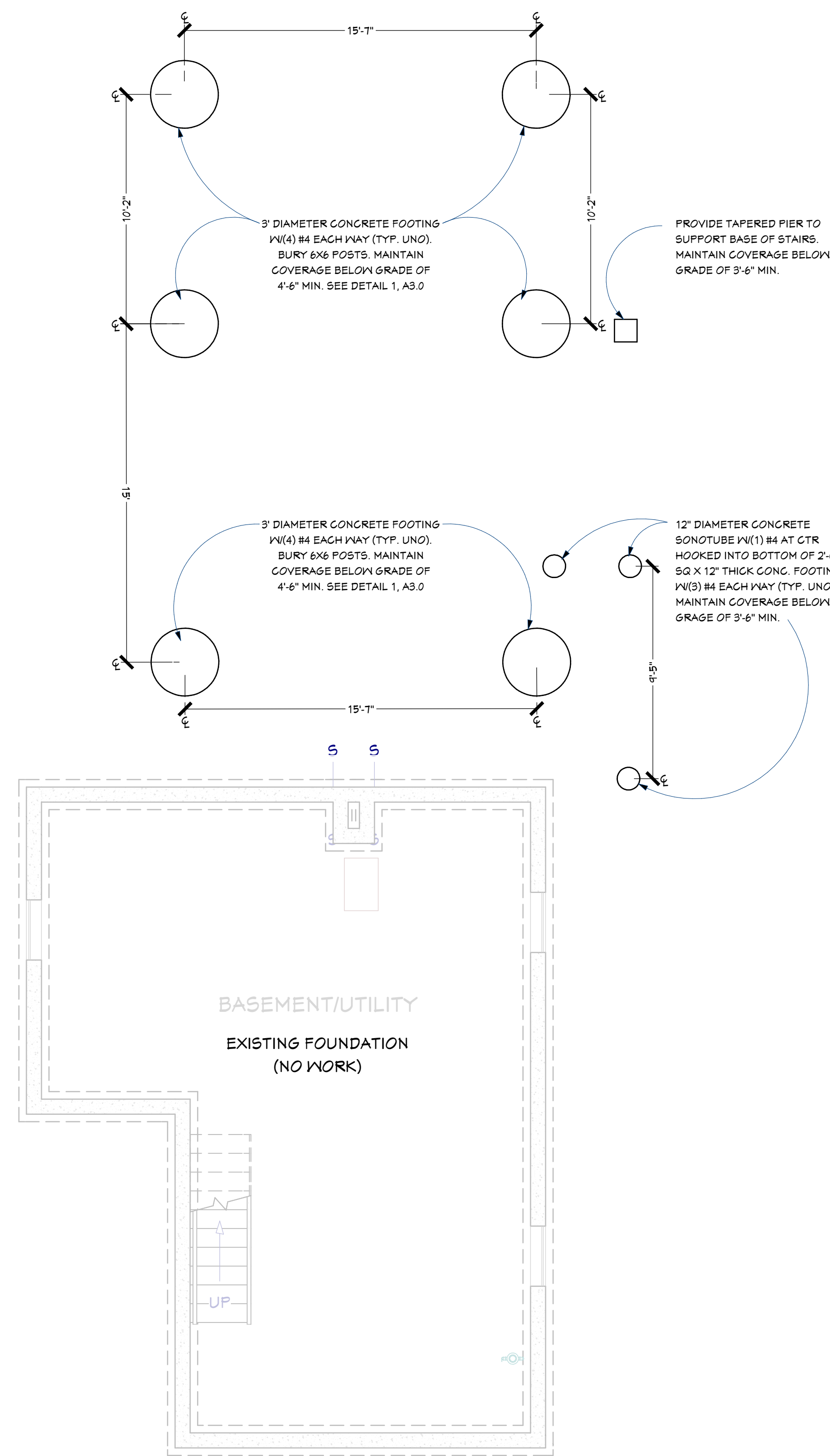
3/23/21

SCALE:

1/4" = 1'-0"

SHEET:

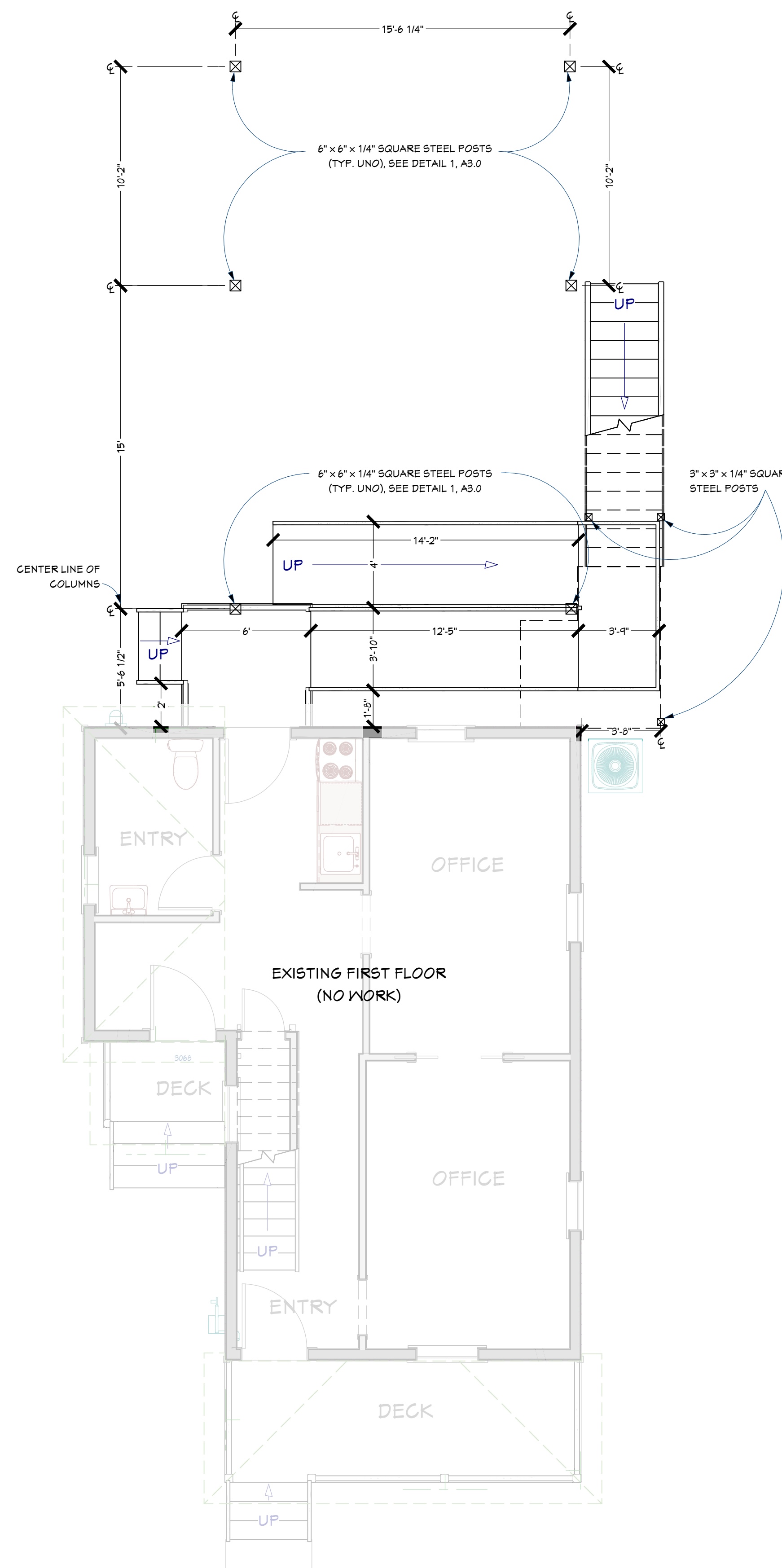
D-1.0



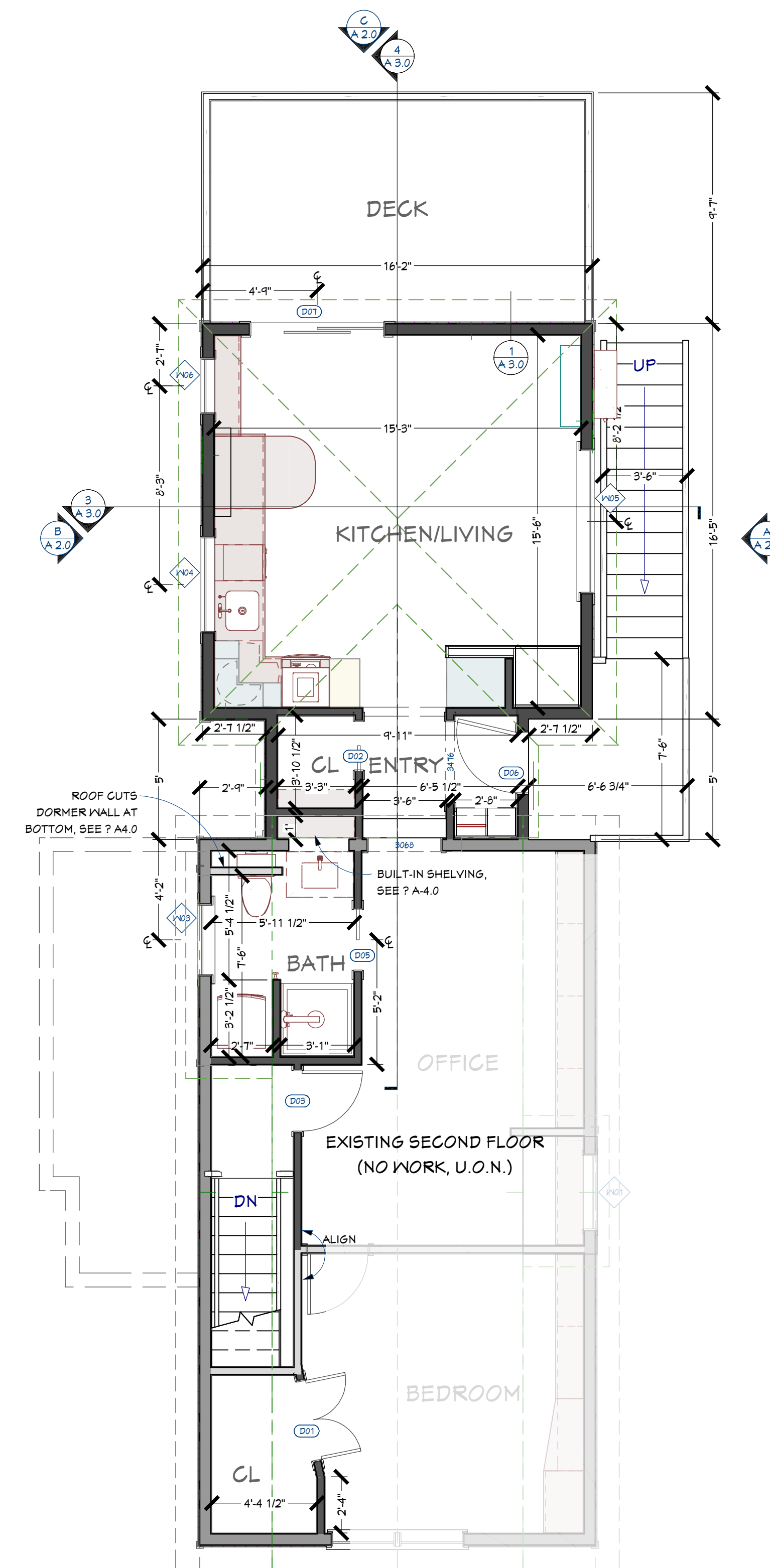
1 FOUNDATION FLOOR PLAN
SCALE: 1/4"=1'-0"

FOUNDATION NOTES:

1. ALL FOOTINGS AND FOUNDATIONS TO BE BELOW FROST DEPTH, 42" MIN. BELOW GRADE, TYP.
2. ALL EXTERIOR FOUNDATION WALLS SHALL BE SUPPORTED BY A CONTINUOUS CONCRETE FOOTING. FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL.
3. ALL FOOTINGS FOR FOUNDATION WALLS TO HAVE FOOTING DRAIN WITH PERFORATED DRAIN PIPE, 4" MIN. DIAMETER COVERED BY 12" MIN. WASHED GRAVEL OR STONE (ABOVE). WRAP ENTIRE STONE BED WITH GEO-TEXTILE FILTER FABRIC. (SEE DETAILS)
4. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2800 PSI. NOTE: IF CONCRETE IS SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION IT SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH MICHIGAN BUILDING CODE (NOT LESS THAN 5% AND NO GREATER THAN 1% PERCENT BY VOLUME OF CONCRETE)
5. SITE SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. GRADE SHALL BE A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.



2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALL
- NEW EXTERIOR WALL

PRELIMINARY SET - NOT FOR CONSTRUCTION

JOHN STROBEL ADDITION
CENTRAL PROPERTY DEVELOPMENT, INC.
614 S. ASHLEY STREET, ANN ARBOR, MI. 48103

FOUNDATION & FLOOR
PLANS

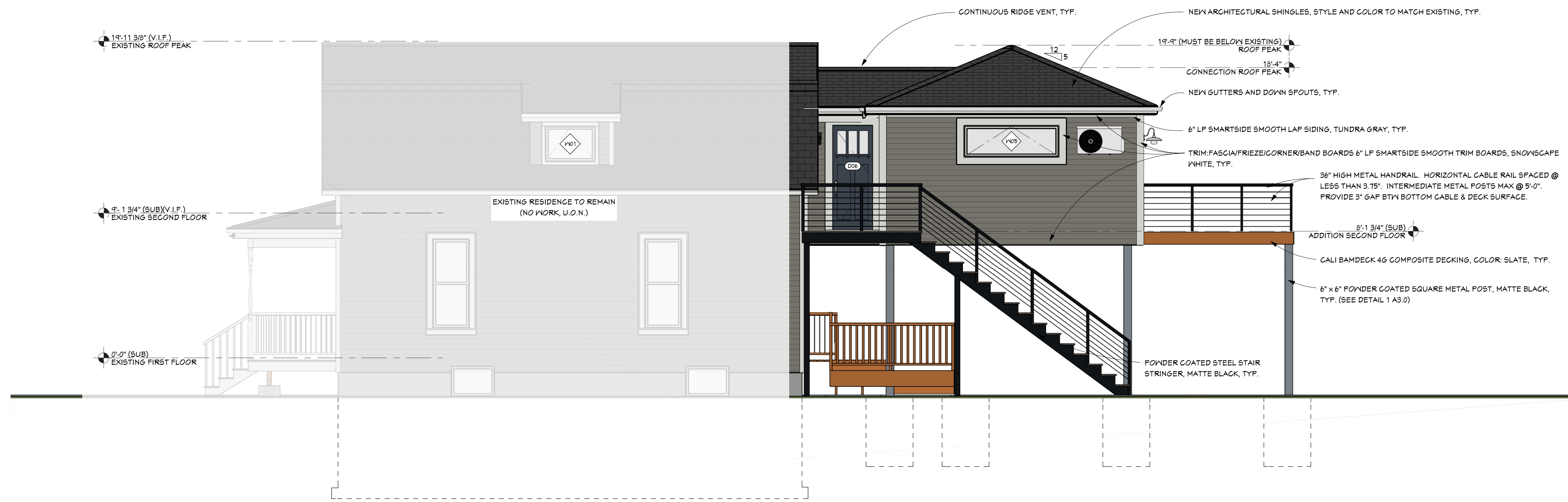
DRAWINGS PROVIDED BY:
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2749 MANCHESTER ROAD
ANN ARBOR, MI. 48104
734.271.0152 (cell)

No. Revision Date

DATE:
3/23/21

SCALE:
1/4" = 1'-0"

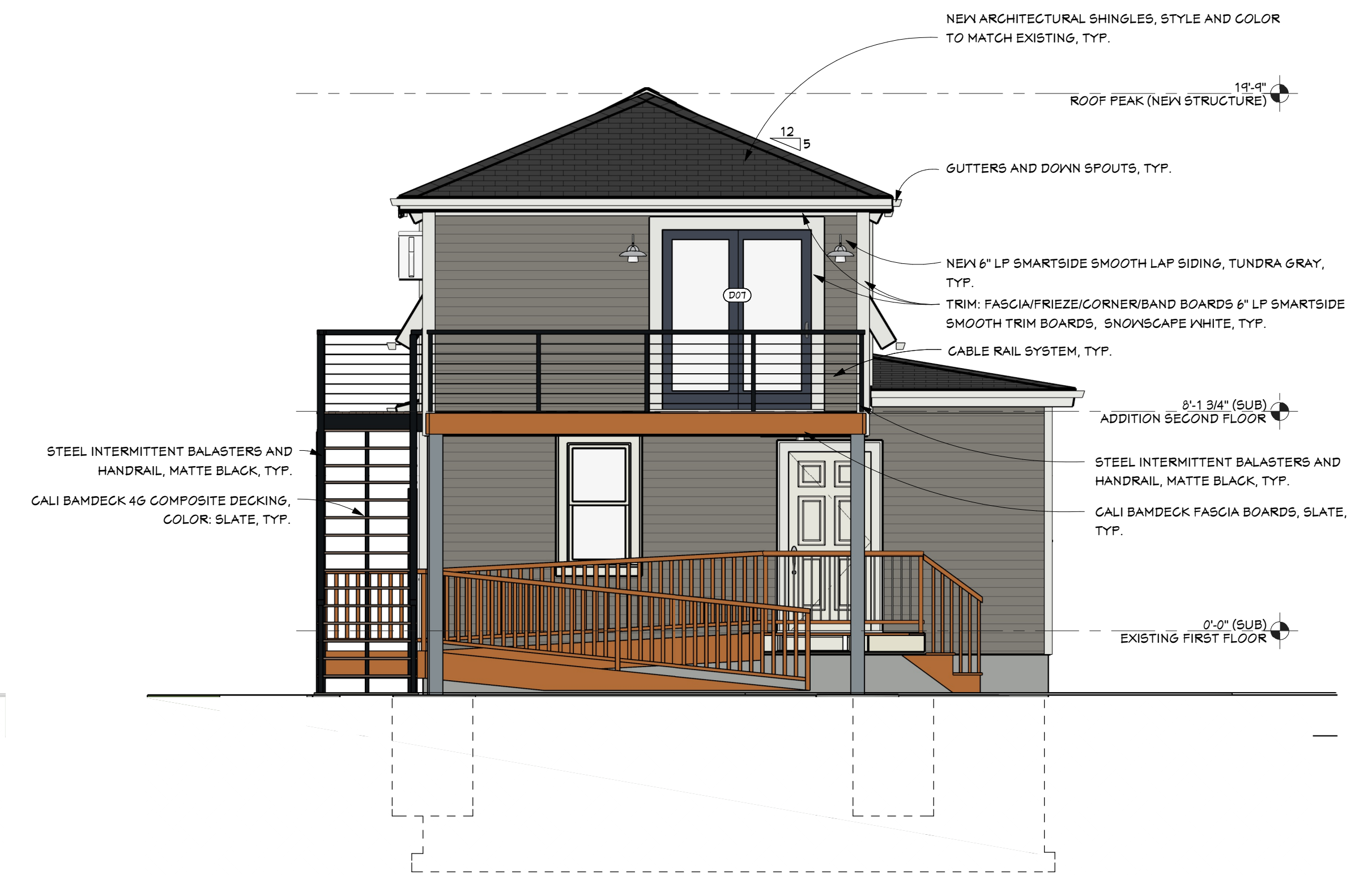
SHEET:
A-1.0



A NORTH ELEVATION
SCALE: 1/4"=1'-0"



B SOUTH ELEVATION
SCALE: 1/4"=1'-0"



C WEST ELEVATION
SCALE: 1/4"=1'-0"

PRELIMINARY SET - NOT FOR CONSTRUCTION

JOHN STROBEL ADDITION
CENTRAL PROPERTY DEVELOPMENT, INC.
614 S. ASHLEY STREET, ANN ARBOR, MI. 48103

EXTERIOR ELEVATIONS

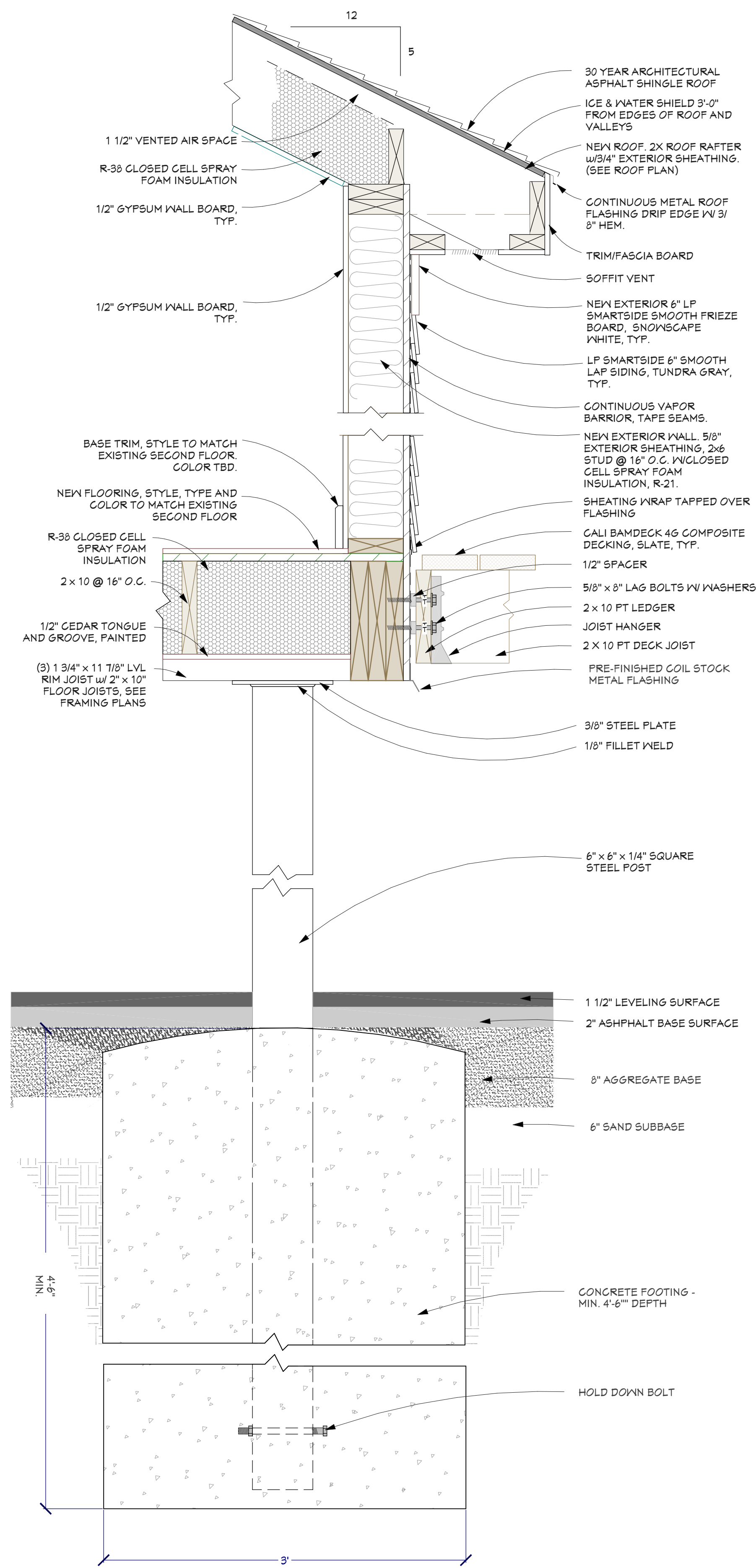
DRAWINGS PROVIDED BY:
LANETTE WILLIAMS
VACHON DESIGNS, LLC
2749 MANCHESTER ROAD
ANN ARBOR, MI. 48104
734.271.0152 (cell)

No.	Revision	Date

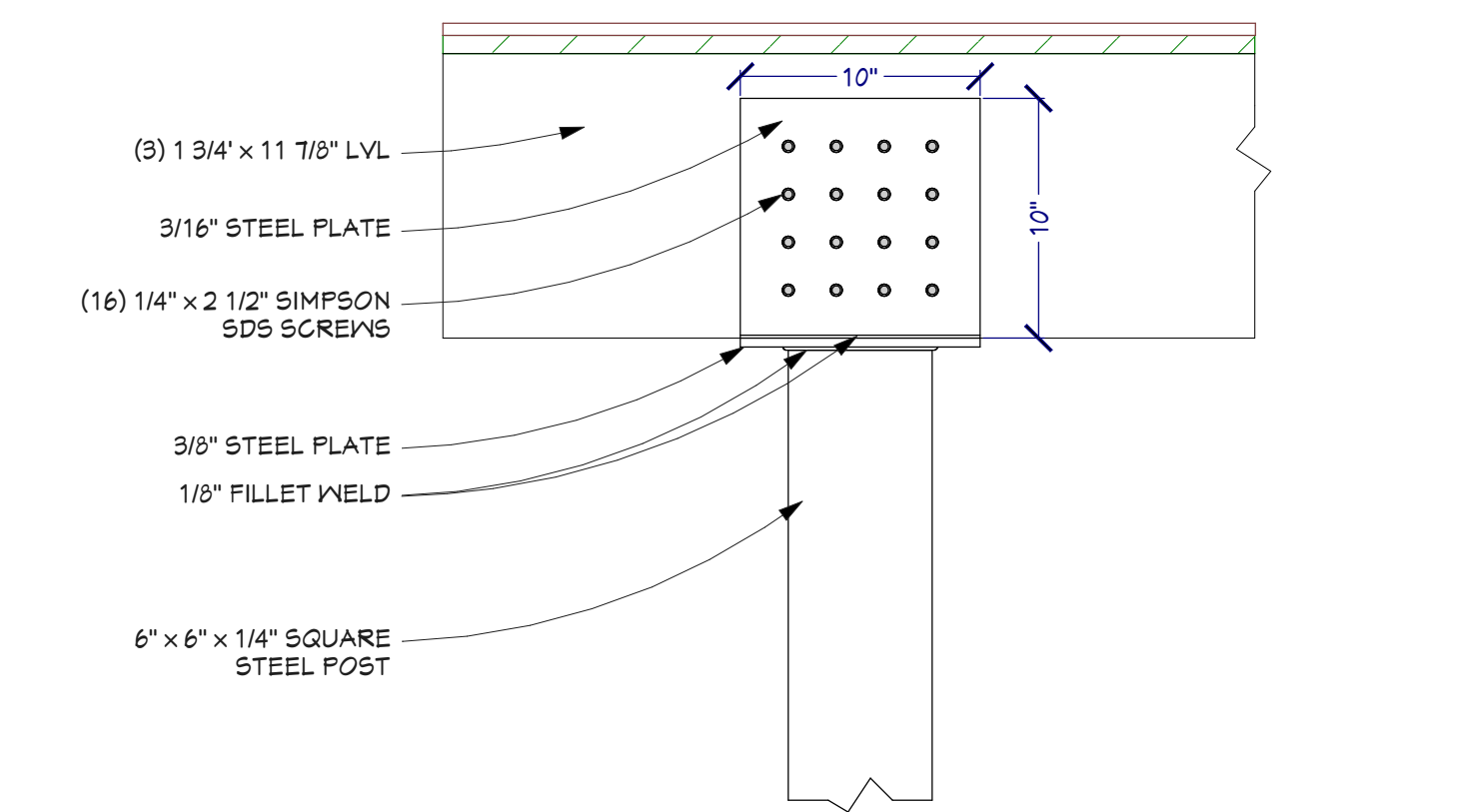
DATE:
3/23/21

SCALE:
1/4" = 1'-0"

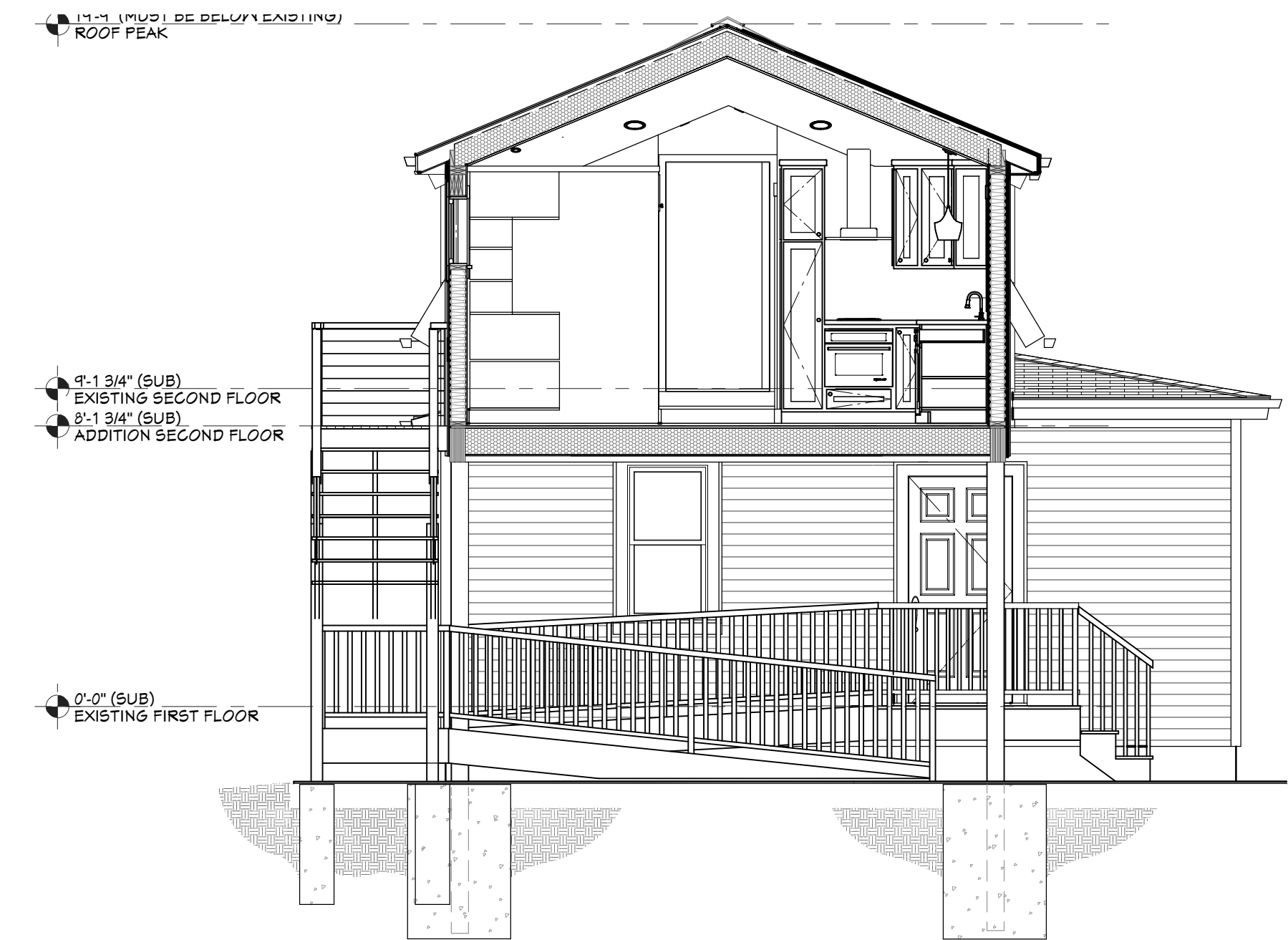
SHEET:
A-2.0



1 FOUNDATION/WALL SECTION DETAIL
SCALE: 1 1/2"=1'-0"



2 POST/RIM JOIST DETAIL @ OVERHANGS
SCALE: 1 1/2"=1'-0"



2 TYPICAL BUILDING SECTION
SCALE: 1/2"=1'-0"

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DETAILS & SECTIONS

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2749 MANCHESTER ROAD
ANN ARBOR, MI. 48104
734.271.0152 (cell)

No. Revision Date

DATE:

3/23/21

SCALE:

AS NOTED

SHEET:

A-3.0