

**Zoning Board of Appeals
April 28, 2021 Regular Meeting**

STAFF REPORT

Subject: ZBA 21-013; 625 North Fourth Avenue

Summary:

Rob Fowler, representing property owner, is requesting relief from Section 5.32.2 Alteration to a Nonconforming Structure. The subject property is zoned R4C Multiple-Family Dwelling and is a nonconforming duplex that does not meet the required lot area, lot width and setbacks for the district. The applicant is seeking to add a second story to the existing structure that will increase both units to six bedrooms.

Background:

The subject property is located on the west side of North Fourth Avenue and east of North Main Street. The residence is adjacent to North Main Park. The nonconforming duplex was constructed in 1910 and is 1,172 square feet in size.

Description:

The nonconforming duplex currently has one bedroom in each unit. The second story addition and finished basement will accommodate six bedrooms in each unit. The second story is required to be inset a minimum of one foot five inches in order to meet the three-foot distance from the side lot line per Building Code.

The subject property received approval for the basement Alteration to a Nonconforming Structure in June of 2020. This approval allowed for two bedrooms and habitable space in the basement.

Standards for Approval- Alteration to a Nonconforming Structure

The Zoning Board of Appeals has all the power granted by State law and by Section 5.32.2, Application of the Variance Power from the UDC. The following criteria shall apply:

- A) The alteration is approved by the Zoning Board of Appeals upon a finding that it complies as nearly as practicable with the requirements of this chapter and that it will not have a detrimental effect on neighboring property.

The applicant states that the property is in a neighborhood consisting primarily of multi-family homes that are two and three story in nature. The remodeling of the property will be more consistent with the character of the neighborhood.

Respectfully submitted,






**Jon Barrett
Zoning Coordinator**

625 N Fourth Ave

N Fourth Ave




-  Railroads
-  Huron River
-  Tax Parcels





Map date: 4/5/2021
 Any aerial imagery is circa 2020 unless otherwise noted
 Terms of use: www.a2gov.org/terms

625 N Fourth Ave



 Railroads

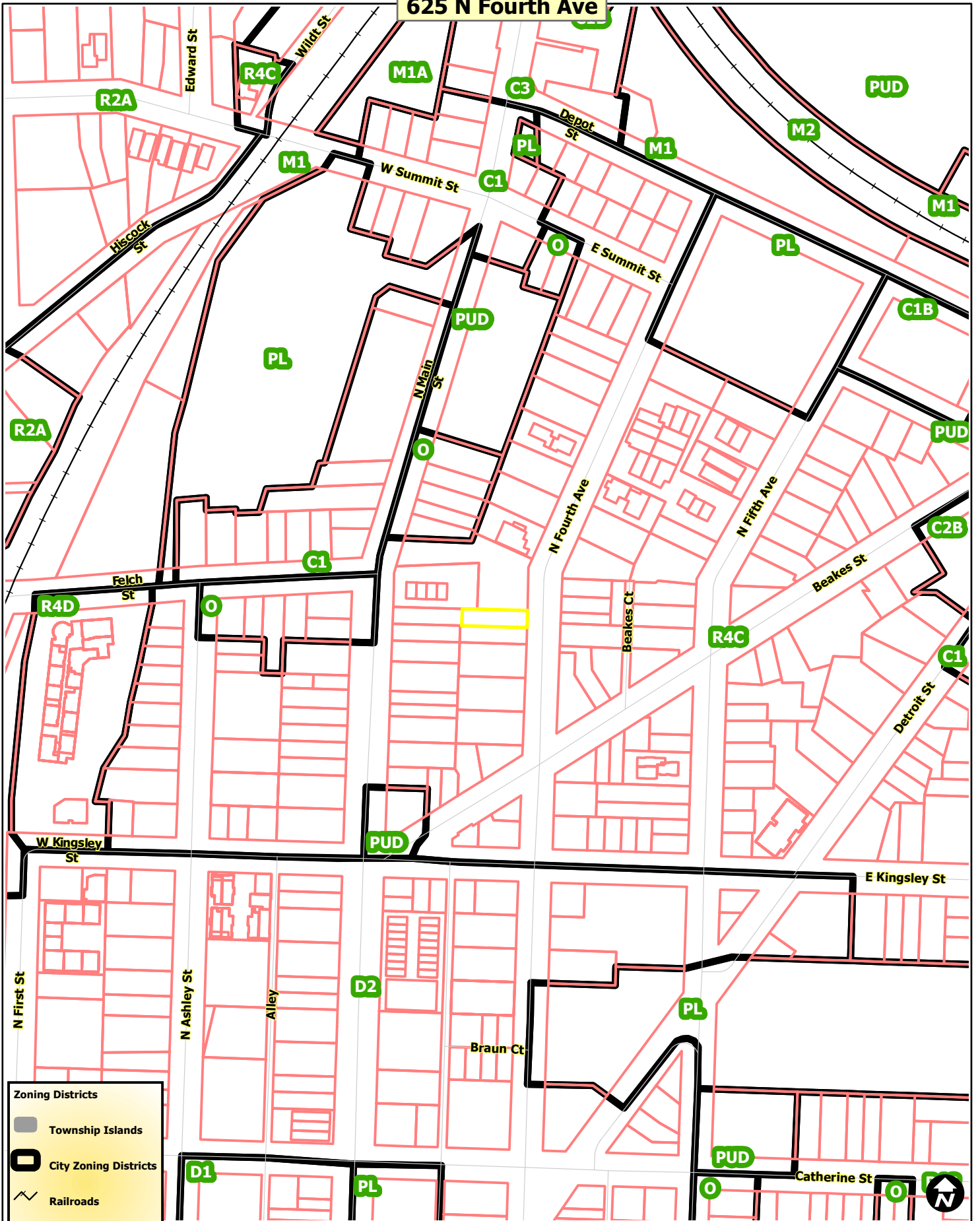
 Huron River

 Tax Parcels



Map date: 4/5/2021
Any aerial imagery is circa 2020 unless otherwise noted
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625 N Fourth Ave



Zoning Districts

- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels



Map date: 4/5/2021
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ZONING BOARD OF APPEALS APPLICATION

City of Ann Arbor Planning Services

City Hall: 301 E Huron Street Ann Arbor, MI 48107-8647

Phone: 734-794-6265 Fax: 734-794-8460 Email: planning@a2gov.org

PROPERTY INFORMATION

ADDRESS OF PROPERTY 625 N Fourth		ZIP CODE	
ZONING CLASSIFICATION	NAME OF PROPERTY OWNER *If different than applicant, a letter of authorization from the property owner must be provided Zaki Alawi		
PARCEL NUMBER	OWNER EMAIL ADDRESS		

APPLICANT INFORMATION

NAME Rob Fowler			
ADDRESS 5550 Fox Run	CITY Saline	STATE MI	ZIP CODE 48176
EMAIL rfowler17@comcast.net		PHONE 734-476-4851	
APPLICANT'S RELATIONSHIP TO PROPERTY Builder			

REQUEST INFORMATION

<input type="checkbox"/> VARIANCE REQUEST Complete Section 1 of this application	<input checked="" type="checkbox"/> REQUEST TO ALTER A NONCONFORMING STRUCTURE Complete Section 2 of this application
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REQUIRED MATERIALS

One hard copy application complete with all required attachments must be submitted. Digital copies of supportive materials included in the submitted hard copy will only be accepted in PDF format by email or accompanying the hard copy application on a USB flash drive.

Required Attachments:

- Boundary Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
- Building floor plans showing interior rooms, including dimensions.
- Photographs of the property and any existing buildings involved in the request.

OFFICE USE ONLY	
Fee Paid:	ZBA:
DATE STAMP	

ACKNOWLEDGEMENT

All information and materials submitted with this application are true and correct.

Permission is granted to City of Ann Arbor Planning Services and members of the Zoning Board of Appeals to access the subject property for the purpose of reviewing the variance request.

Property Owner Signature: Date: March 7, 2021

Section 2 City of Ann Arbor Planning Services – Zoning Board of Appeals Application

REQUEST TO ALTER A NONCONFORMING STRUCTURE

For the purposes of Article VI: Nonconformities Section 5.32.2 Nonconforming Structure, **alteration** is defined as any change in a Building that results in additional Floor Area being fit for occupancy, a greater number of dwelling or rooming units or an increase in the exterior dimensions of the Building.

A nonconforming structure may be maintained or restored, but permission to alter a nonconforming structure will only be approved by the Zoning Board of Appeals upon finding that it complies as nearly as practicable with the requirements of this Chapter and that it will not have a detrimental effect on neighboring property.

In the space below, describe the current use of the property, the proposed alteration, and the impact it would have on neighboring property.

Existing house is a single story duplex with 1 bedroom each
 Proposed change would be 2 story duplex with finished basement for a total 6 bedrooms each unit
 Almost all surrounding houses are 2- 3 story and multi family
 Remodeling this house will make it fit in with neighbor hood

Please complete the table below as it relates to your request

Requirement	Existing Condition	Code Requirement
Lot Area		
Lot Width		
Floor Area Ratio		
Setbacks		
Parking		
Landscaping		
Other		

CERTIFIED SURVEY

PROPERTY DESCRIPTION:

LAND SITUATED IN THE CITY OF ANN ARBOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

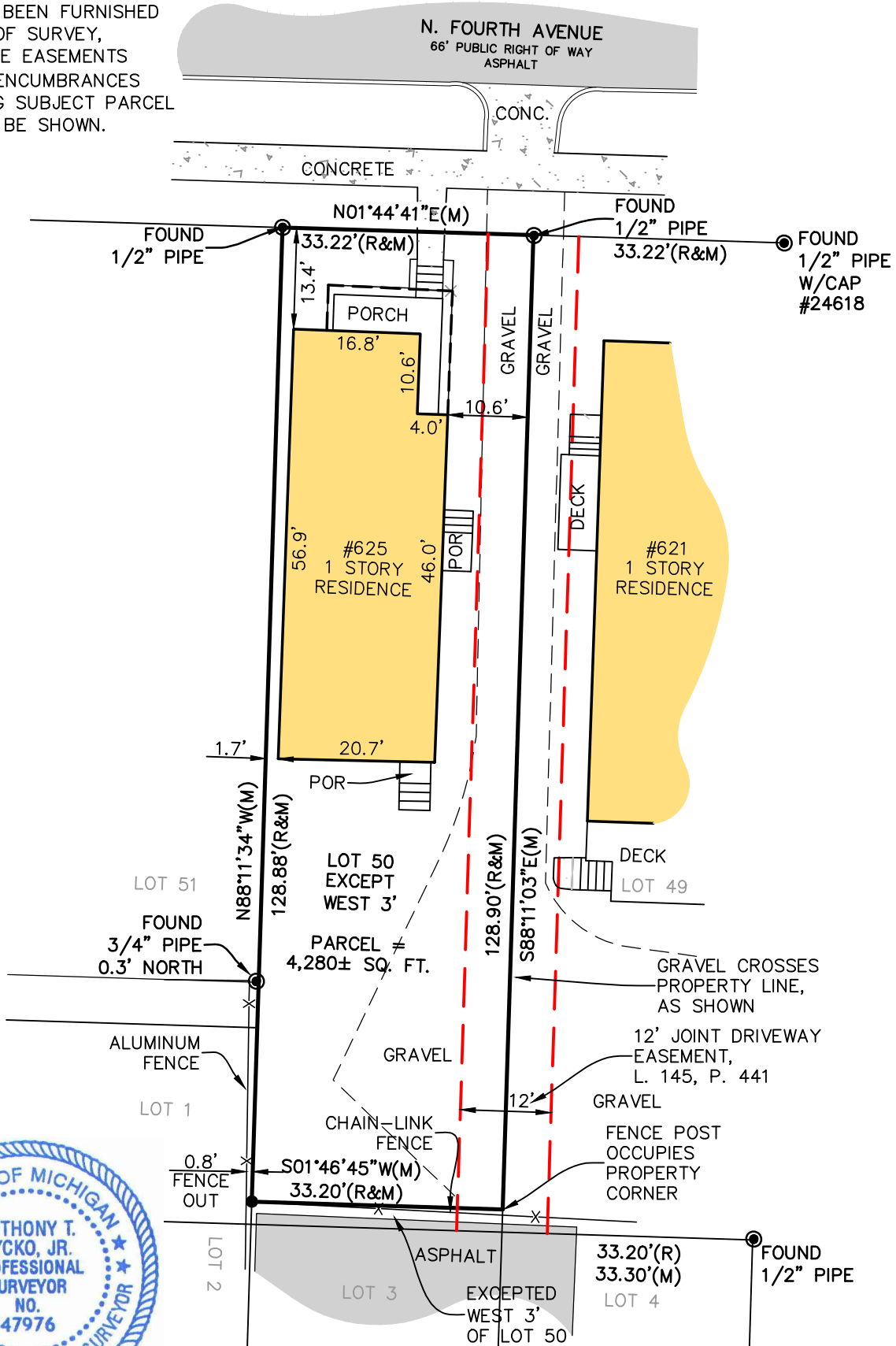
LOT 50, EXCEPT THE WEST 3 FEET THEREOF, ASSESSOR'S PLAT No. 29, VILLAGE (NOW CITY) OF ANN ARBOR, ACCORDING TO THE PLAT THEREOF, RECORDED IN LIBER 9 OF PLATS, PAGE 20, WASHTENAW COUNTY RECORDS.

NOTE:

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.



SCALE: 1"=20'



I CERTIFY THAT THE REQUIREMENTS FOR 1970 PA 132, MCL 54.213 HAVE BEEN MET, AND THAT THE RELATIVE POSITIONAL PRECISION IDENTIFIED FOR THIS SURVEY AND SHOWN ON THE MAP ARE WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.

Anthony T. Sycko, Jr.

ANTHONY T. SYCKO, JR., P.S. NO. 47976

KEM-TEC PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES

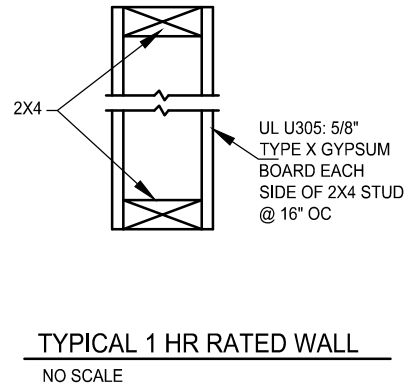
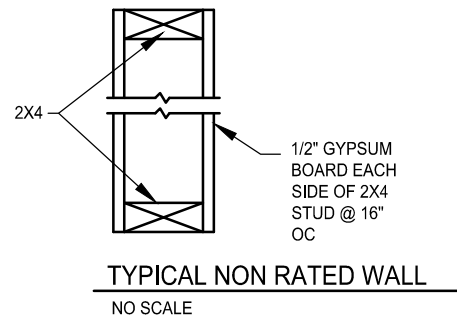
A GROUP OF COMPANIES

Eastpointe (800) 295.7222	Detroit (313) 758.0677	Ann Arbor (734) 994.0888	Grand Blanc (888) 694.0001
FAX: (586) 772.4048	FAX: (586) 772.4048	FAX: (734) 994.0667	FAX: (810) 694.9955

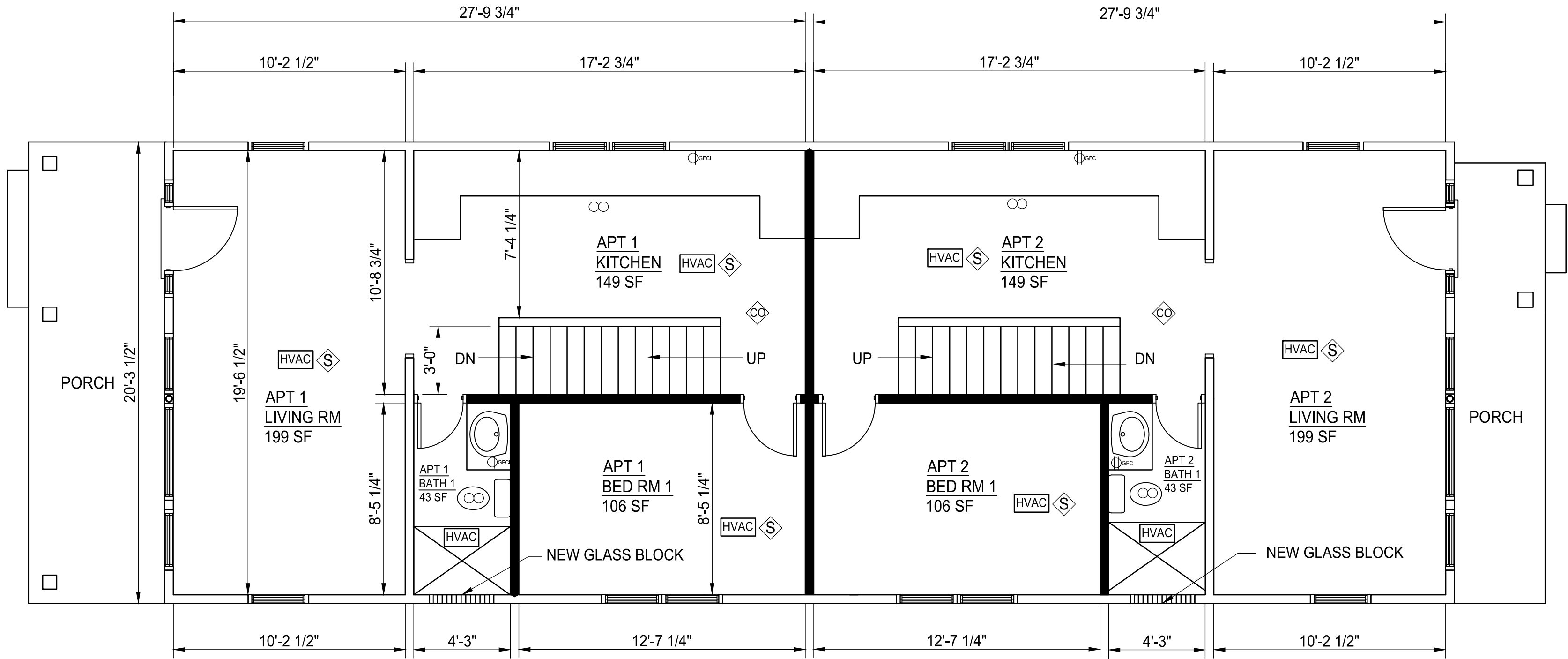
www.kemtecagroupofcompanies.com

CERTIFIED TO: ROB FOWLER CONSTRUCTION	
FIELD SURVEY: KB CK	DATE: APRIL 21, 2020
DRAWN BY: RCE	SHEET: 1 OF 1
SCALE: 1" = 20'	JOB NO.: 20-00975

ALL BEDROOMS TO HAVE AN EGRESS WINDOW, SEE SHEET A-1 FOR REQUIREMENTS



- GFCI GROUND FAULT INTERRUPTER
- SMOKE DETECTOR
- EXHAUST FAN
- CARBON MONOXIDE DETECTOR
- HEATED AND COOLED SPACE PER CODE
- WASHER
- DRYER
- STACKABLE WASHER AND DRYER
- NEW WALL
- EXISTING WALL



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ARCHITECT
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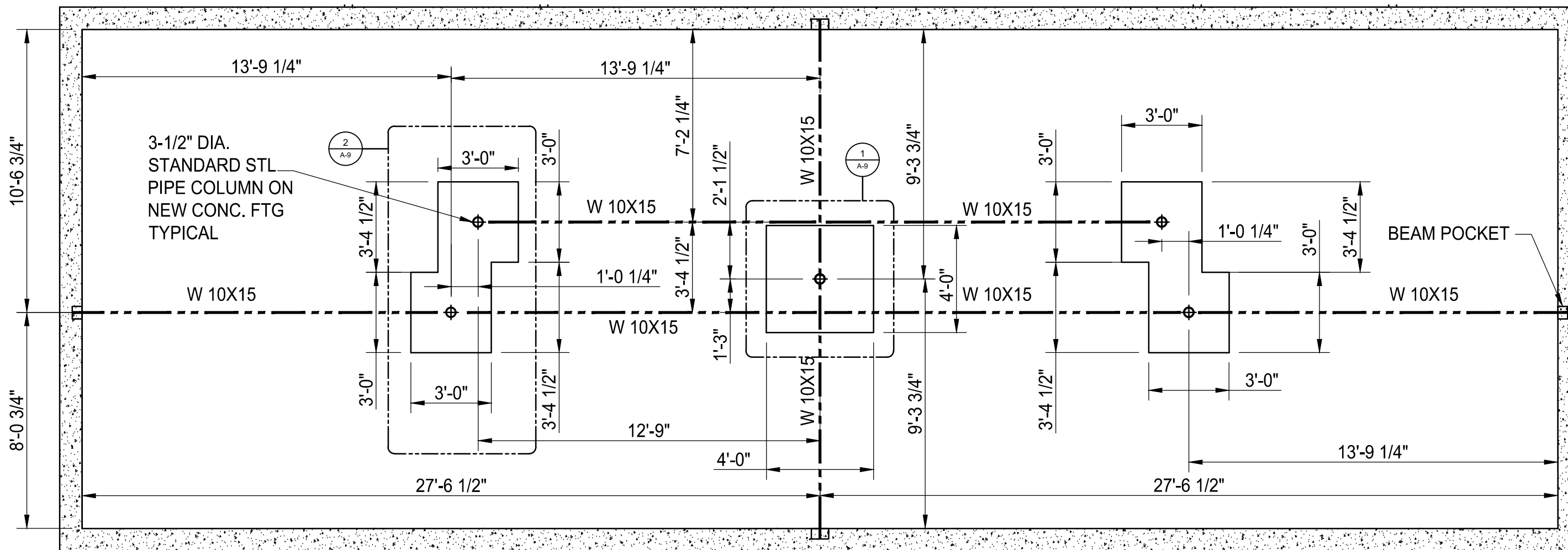
PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
**625 N 4TH ST.
ANN ARBOR, MI**

SHEET TITLE:
NEW 1ST FLOOR
SCALE: 1/4"=1'-0"

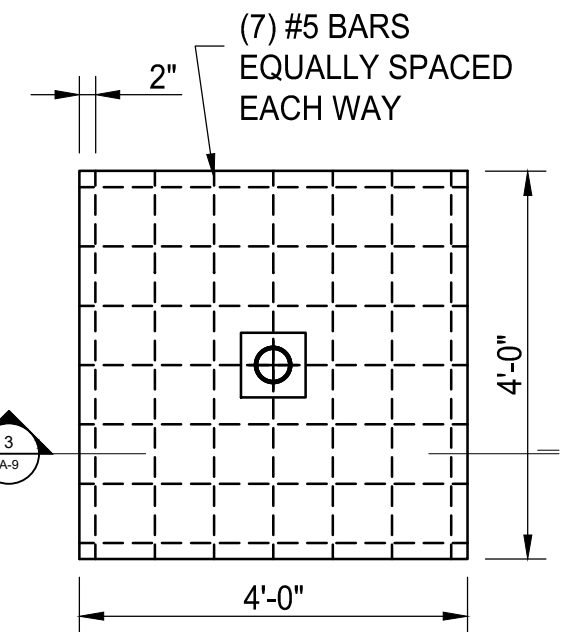
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	3/10/21	PERMITS			

SHEET NO:
2 OF 14
A-2



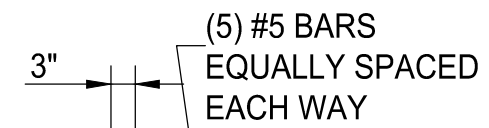
NEW FOUNDATION PLAN

SCALE: 1/4"=1'-0"



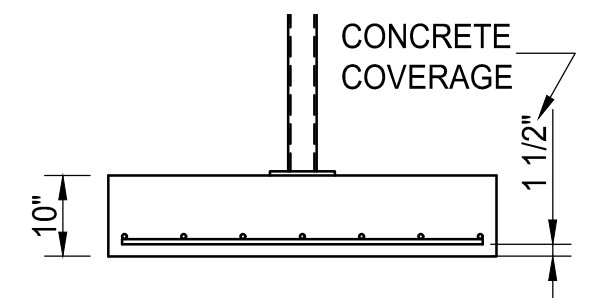
PLAN FOOTING

SCALE: 1/2"=1'-0"



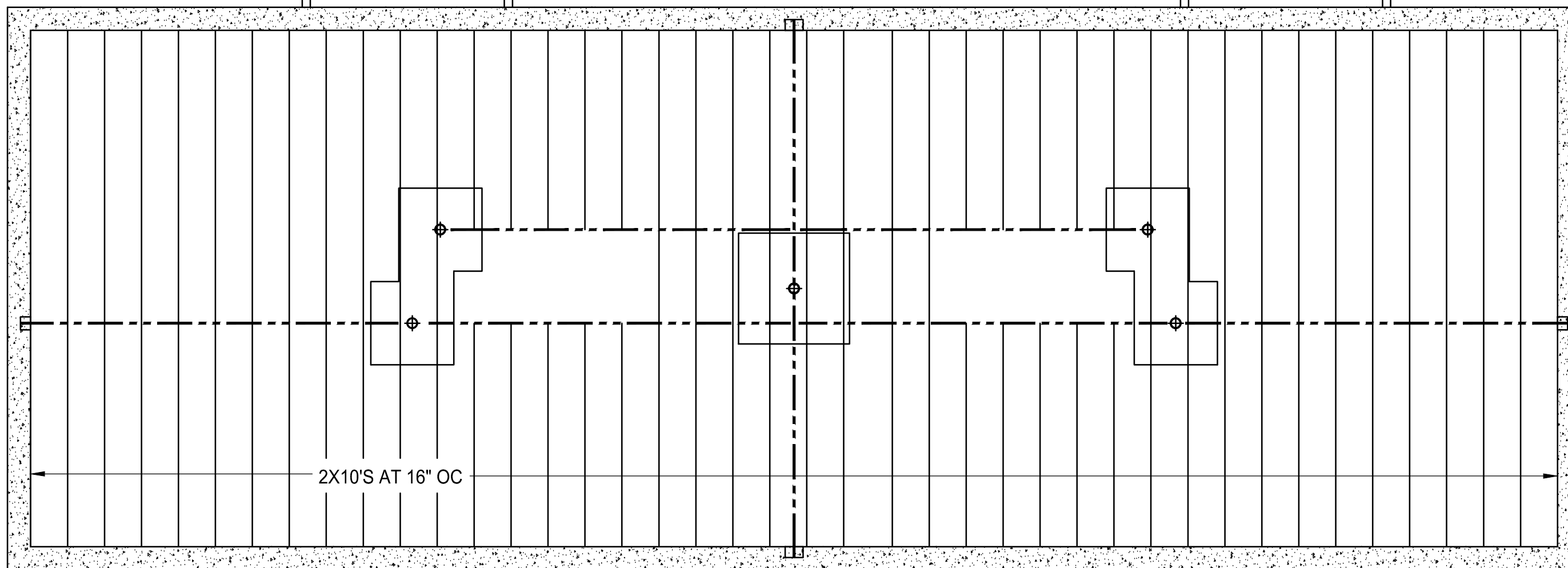
PLAN FOOTING

SCALE: 1/2"=1'-0"



SECTION FOOTING

SCALE: 1/2"=1'-0"



NEW FRAMING PLAN

SCALE: 1/4"=1'-0"

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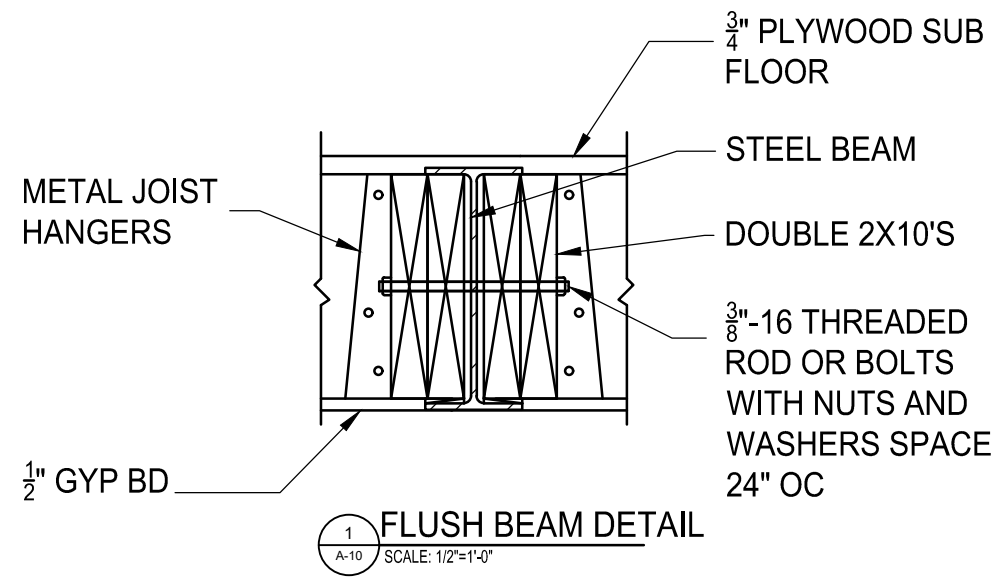
PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
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 ANN ARBOR, MI**

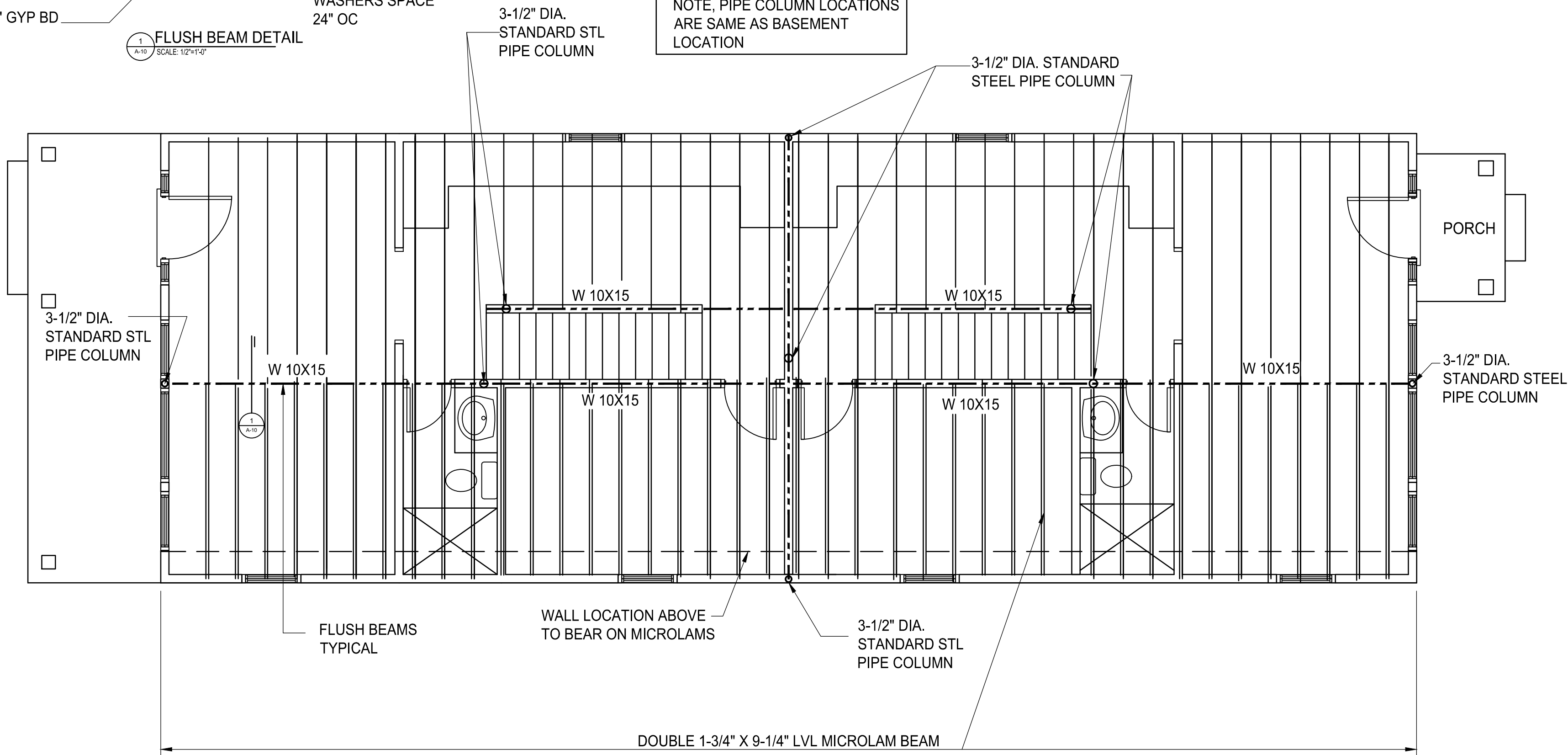
SHEET TITLE:
**NEW 1ST FLOOR FRAMING AND
 FOUNDATION PLAN**
 SCALE: 1/4"=1'-0"

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	3/10/21	PERMITS			

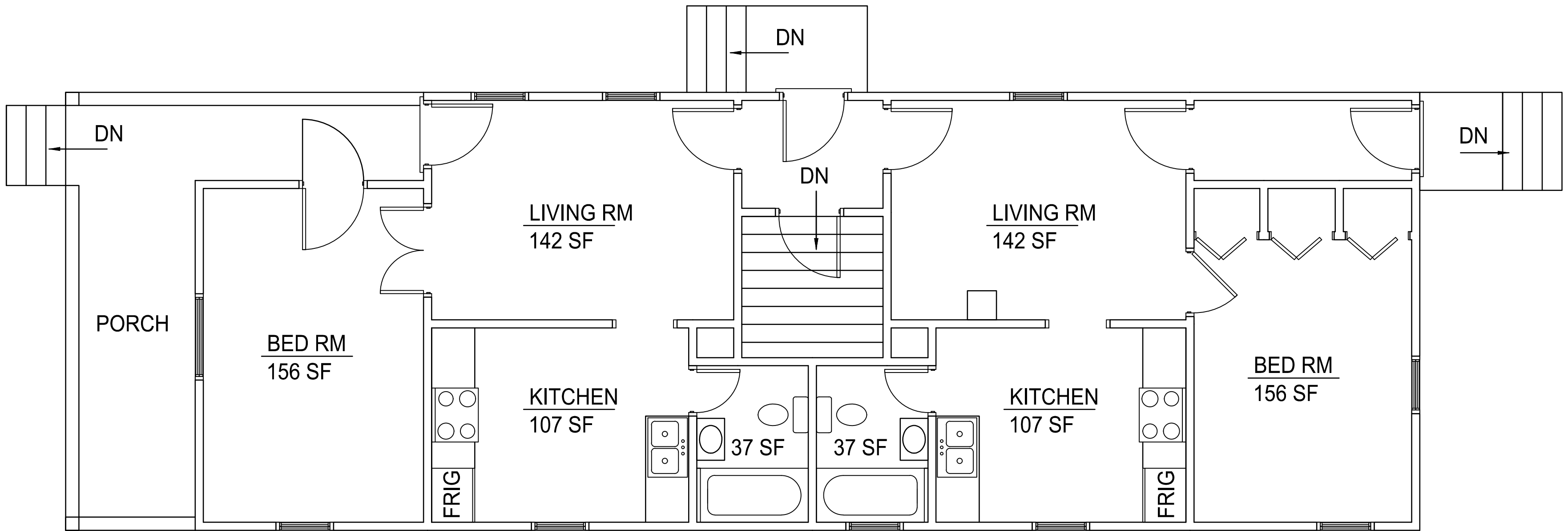
SHEET NO:
 9 OF 14
A-9




NOTE, PIPE COLUMN LOCATIONS ARE SAME AS BASEMENT LOCATION



<p>James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, Mi. PH. (586) 864-6930</p>	PROJECT TITLE: RENOVATION	PROJECT LOCATION: 625 N 4TH ST. ANN ARBOR, MI	SHEET TITLE: NEW 2ND FLOOR FRAMING	MARK:	DATE: 3/10/21	ISSUED FOR: PERMITS	MARK:	DATE:	ISSUED FOR:	SHEET NO: 10 OF 14
										A-10




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 PH. (586) 864-6930

PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
**625 N 4TH ST.
 ANN ARBOR, MI**

SHEET TITLE:
EXISTING 1ST FLOOR
 SCALE: 1/4"=1'-0"

MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
	3/10/21	PERMITS			

SHEET NO:
 11 OF 14
A-11

APPLICABLE CODES AND LIFE SAFETY INFORMATION SUMMARY

ALL ROOMS WILL MEET CITY OF ANN ARBOR HOUSING CODE.

8% LIGHT
4% VENTILATION

BUILDING CODE: 2015 MICHIGAN RESIDENTIAL CODE

BARRIER FREE: NOT APPLICABLE

OCCUPANCY TYPE : R-3

AREA OF BUILDING (PER 502.1) GROSS SQUARE FEET INCLUDES OUTSIDE WALL THICKNESS)

BASEMENT : 1,152 GROSS SQUARE FEET
FIRST FLOOR :1,152 GROSS SQUARE FEET
SECOND FLOOR : 1,071 GROSS SQUARE FEET

HEIGHT OF BUILDING (PER 502.1) 22'-11"

CONSTRUCTION TYPE: TYPE: V-B

FIRE SUPPRESSION: NOT SUPPRESSED

FIRE ALARM: NONE

HISTORIC DISTRICT: NO

ADMINISTRATIVE REQUIREMENTS (continued)

C. CONSTRUCTION PROGRESS SCHEDULE: WITHIN 1 DAY AFTER DATE OF AGREEMENT, SUBMIT PRELIMINARY SCHEDULE. SUBMIT UPDATED SCHEDULE EVERY 7 DAYS. CONSTRUCTION SCHEDULES SHALL BE SUBMITTED IN GANTT CHART FORMAT.

D. PRODUCT REQUIREMENTS: NO PRODUCT SUBSTITUTIONS ALLOWED.

GENERAL PROJECT NOTES

A. FURNISH AND INSTALL ALL LABOR, MATERIALS, TOOLS, DUMPSTERS, PERMITS, ETC. TO PROVIDE A COMPLETE AND FINISHED INSTALLATION PER THE CONTRACT DOCUMENTS, AND WHERE SOMETHING IS NOT SPECIFIED, USE THE MOST STRINGENT INDUSTRY STANDARDS AND CODE REQUIREMENTS.

B. ALL WORK SHALL BE PERFORMED BY QUALIFIED AND SKILLED WORKERS, IN A NEAT AND WORKMANLIKE MANNER, AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND PRACTICES.
C. THIS PROJECT SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS, CODES AND ORDINANCES.

D. ALL PARTS OF THE WORK - INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC, MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION. WHERE THERE IS A DISCREPANCY BETWEEN THE GOVERNING CODE AND THE DRAWINGS, THE MOST RESTRICTIVE CASE WILL GOVERN. IN SUCH A CASE, CONSULT WITH ARCHITECT

E. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS RELATING TO THEIR WORK, AND SHALL OBTAIN FIELD APPROVALS ON THEIR WORK FROM REGULATING AGENCIES WHERE REQUIRED

ADMINISTRATIVE REQUIREMENTS

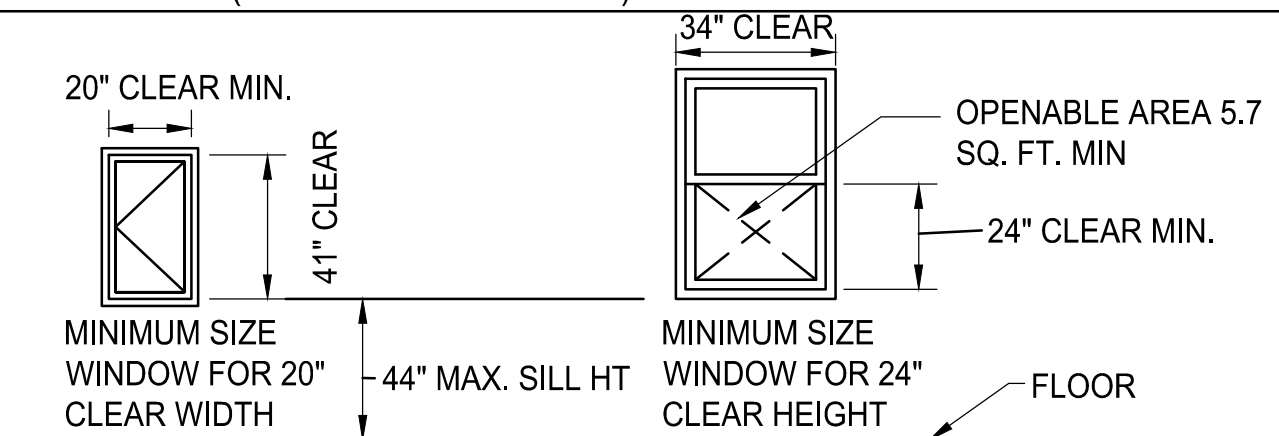
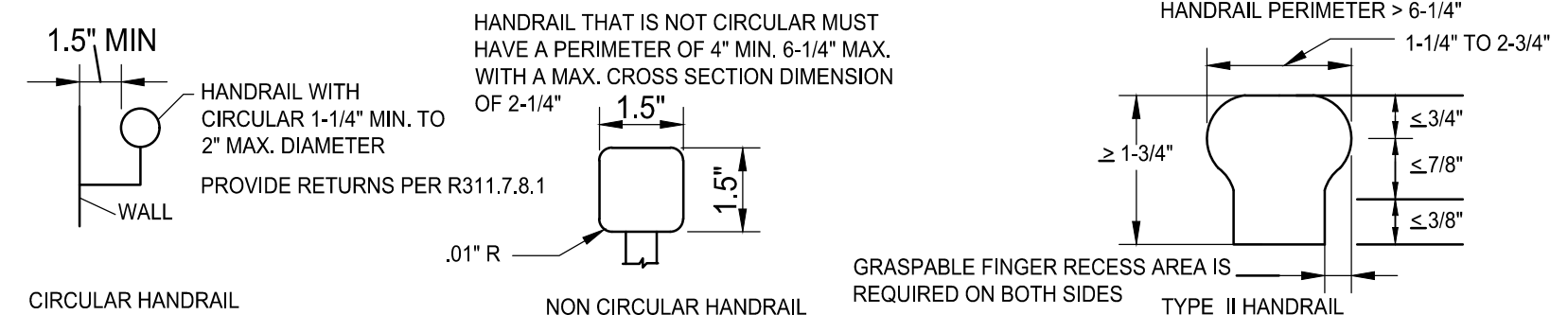
A. SUBMITTALS: ALL SUBMITTALS SHALL BE SUBMITTED ELECTRONICALLY (NOT INCLUDING SAMPLES SUCH AS PAINT DRAW DOWNS). ALLOW TWO WEEKS IN CONSTRUCTION SCHEDULE FOR SUBMITTAL REVIEW AND PROCESSING TIME.

B. SITE MEETINGS: CONTRACTOR SHALL HOST (1) PRE-CONSTRUCTION MEETING AND WEEKLY ON SITE CONSTRUCTION PROGRESS MEETINGS (THROUGHOUT THE DURATION OF THE PROJECT) AND SHALL RECORD MINUTES AND DISTRIBUTE COPIES WITHIN TWO DAYS AFTER MEETING TO PARTICIPANTS, WITH TWO COPIES TO THE ARCHITECT, OWNER, PARTICIPANTS, AND THOSE AFFECTED BY DECISIONS MADE.

EMERGENCY ESCAPE AND RESCUE WINDOW REQUIREMENTS FOR ALL BEDROOMS (1 MINIMUM REQUIRED)

HANDRAILS

HANDRAIL HEIGHT MEASURED FROM NOSING 34" MIN. TO 38" MAX.



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PROJECT TITLE:
RENOVATION

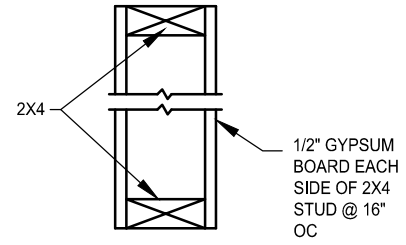
PROJECT LOCATION:
**625 N 4TH ST.
ANN ARBOR, MI**

SHEET TITLE:
COVER

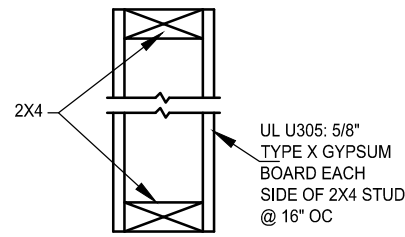
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	3/10/21	PERMITS			

SHEET NO:
1 OF 14
A-1

ALL BEDROOMS TO HAVE AN EGRESS WINDOW, SEE SHEET A-1 FOR REQUIREMENTS



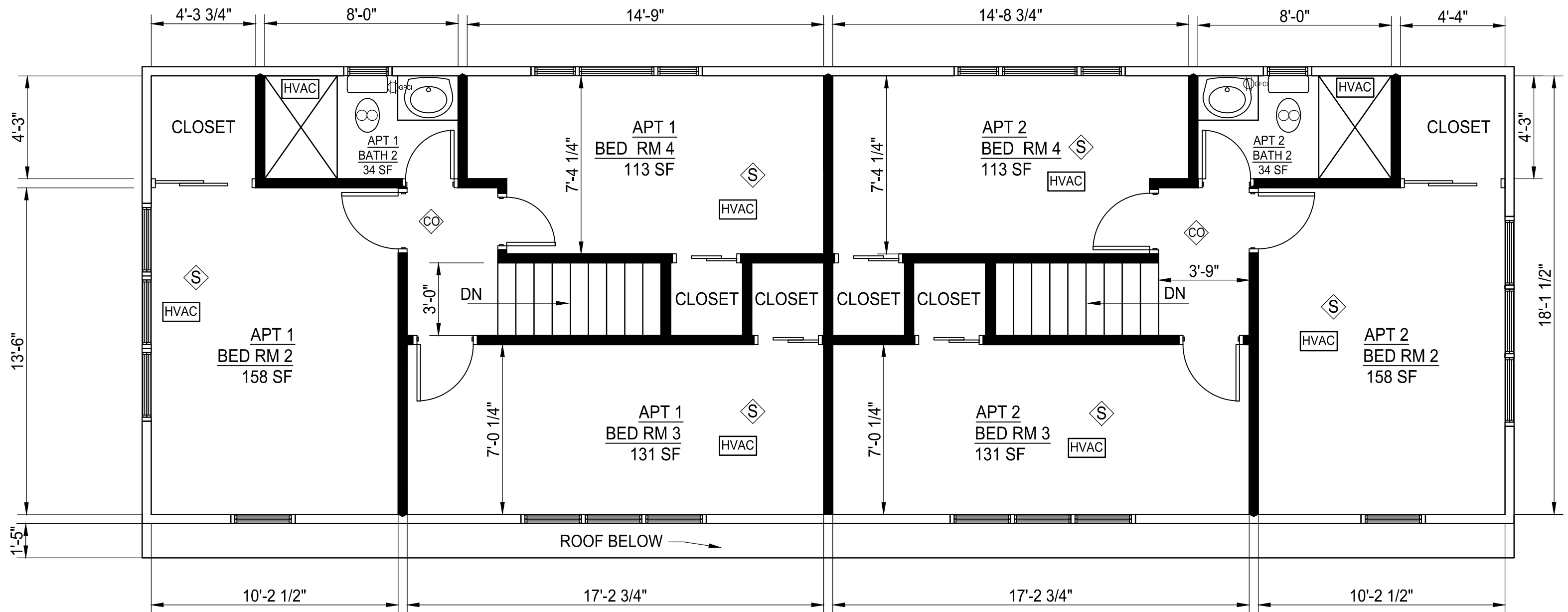
TYPICAL NON RATED WALL
NO SCALE



TYPICAL 1 HR RATED WALL
NO SCALE

- GFCI GROUND FAULT INTERRUPTER
- SMOKE DETECTOR
- EXHAUST FAN
- CARBON MONOXIDE DETECTOR
- HEATED AND COOLED SPACE PER CODE
- W WASHER
- DRYER
- W / D STACKABLE WASHER AND DRYER

- NEW WALL
- EXISTING WALL



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PROJECT TITLE:
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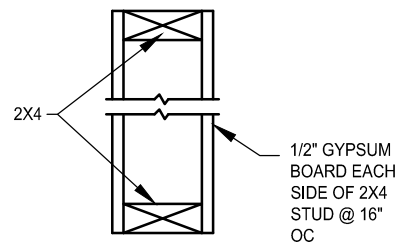
PROJECT LOCATION:
**625 N 4TH ST.
ANN ARBOR, MI**

SHEET TITLE:
NEW 2ND FLOOR
SCALE: 1/4"=1'-0"

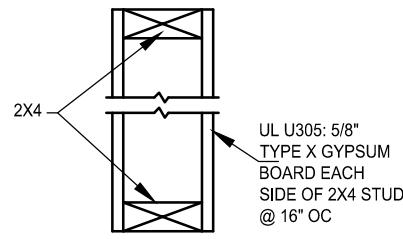
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	3/10/21	PERMITS			

SHEET NO:
3 OF 14
A-3









ALL BEDROOMS TO HAVE AN EGRESS WINDOW, SEE SHEET A-1 FOR REQUIREMENTS



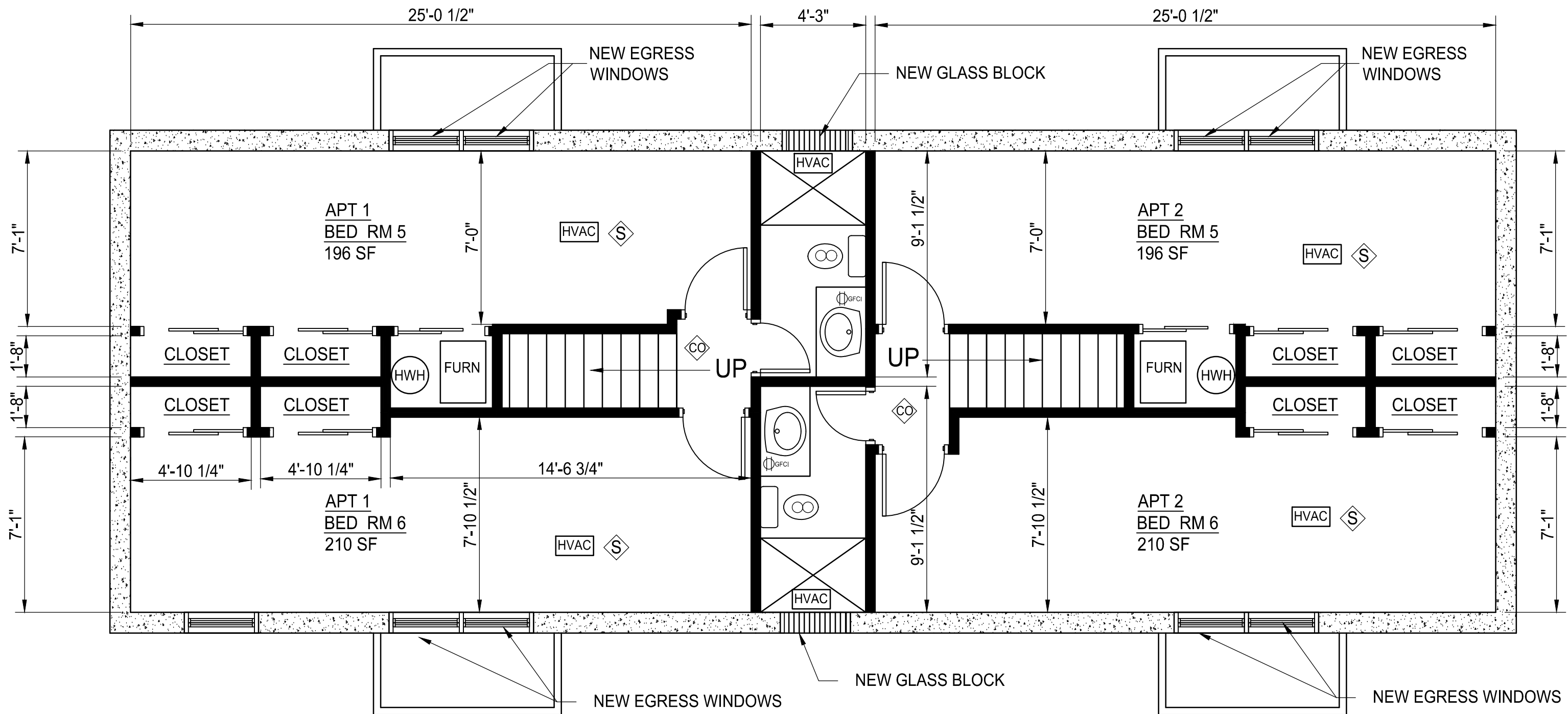
TYPICAL NON RATED WALL
NO SCALE

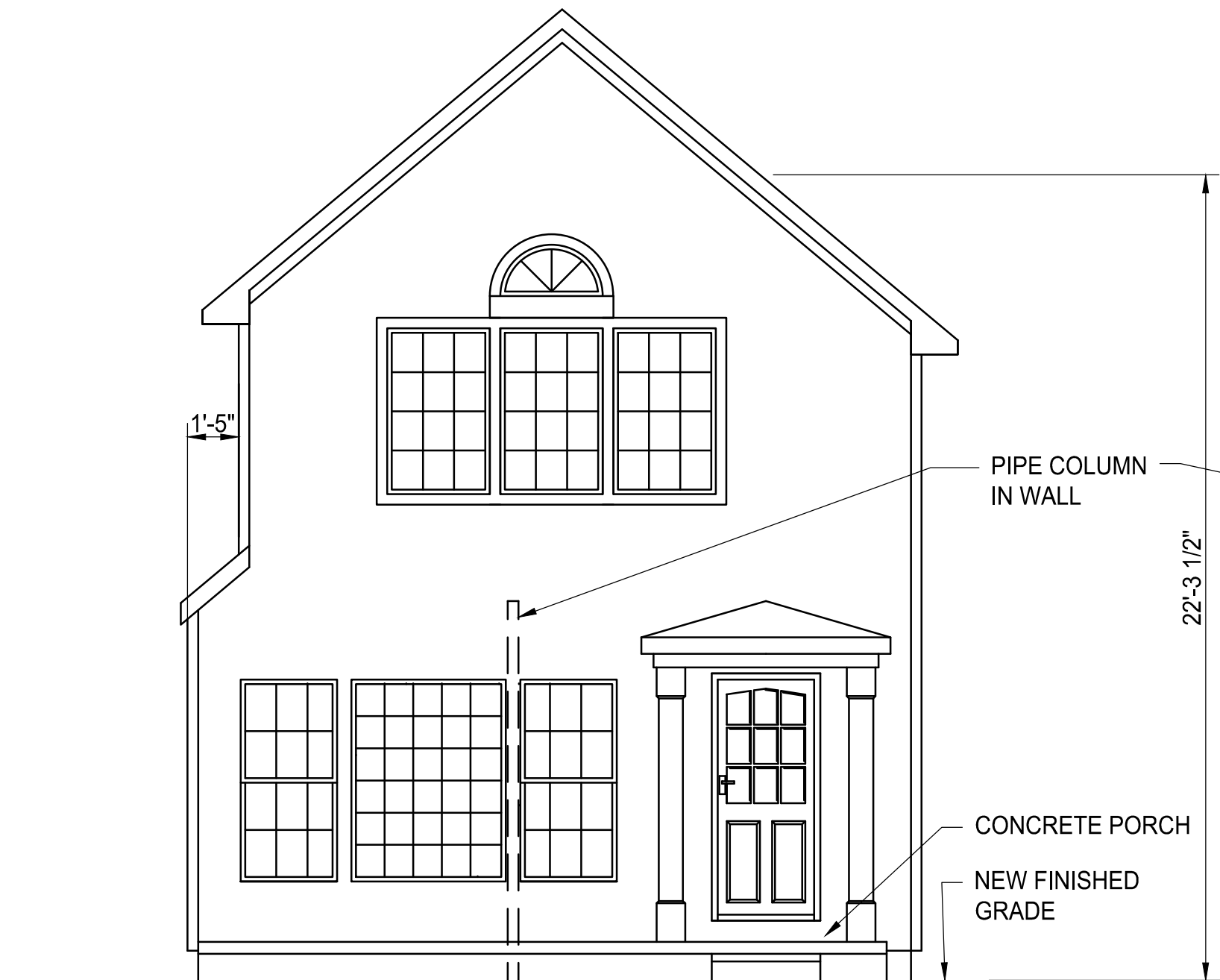


TYPICAL 1 HR RATED WALL
NO SCALE

-  GFI GROUND FAULT INTERRUPTER
-  SMOKE DETECTOR
-  EXHAUST FAN
-  CO CARBON MONOXIDE DETECTOR
-  HVAC HEATED AND COOLED SPACE PER CODE
-  W WASHER
-  DRYER
-  W / D STACKABLE WASHER AND DRYER

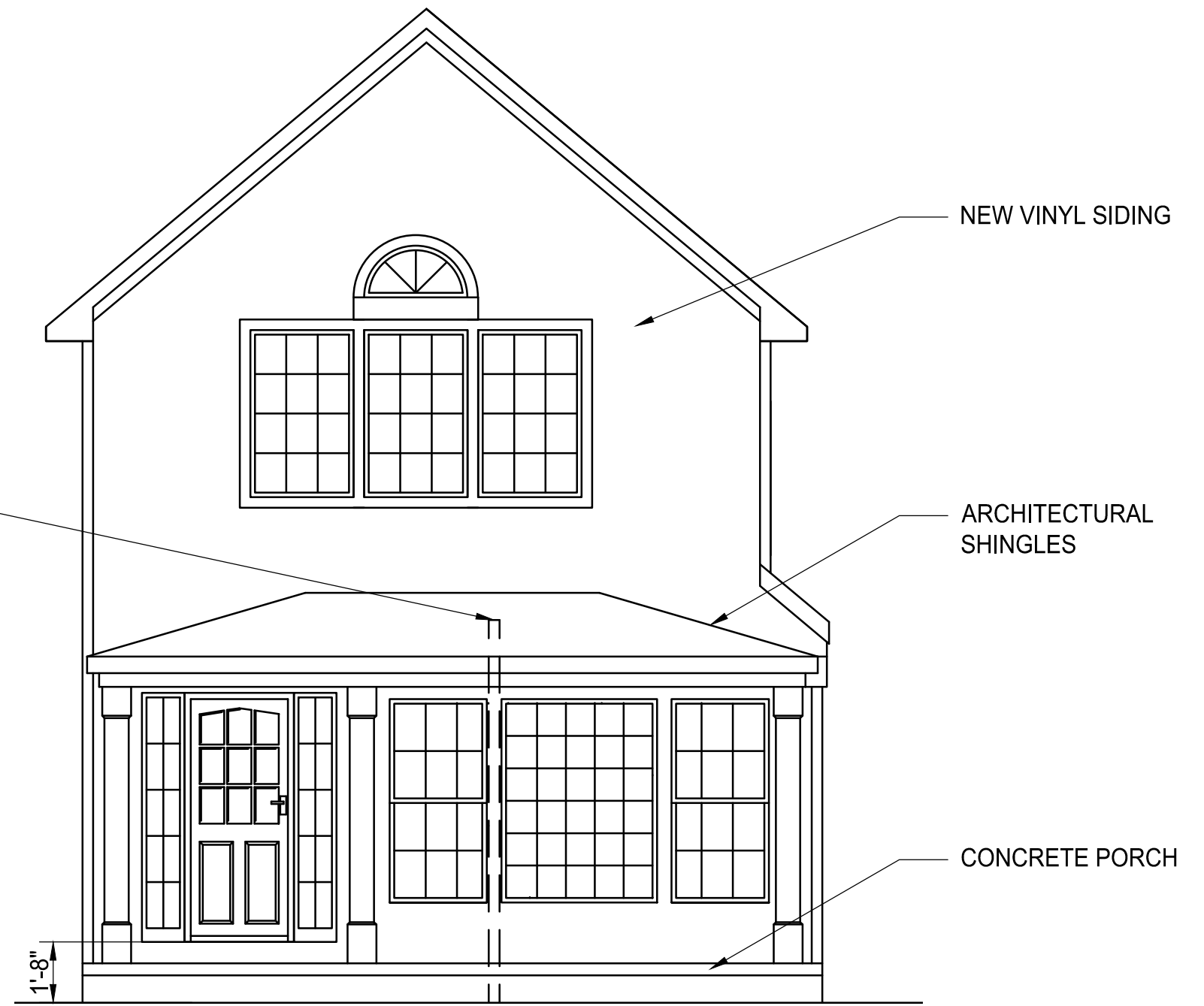
-  NEW WALL
-  EXISTING WALL





NEW REAR

SCALE: 1/4"=1'-0"



NEW FRONT

SCALE: 1/4"=1'-0"

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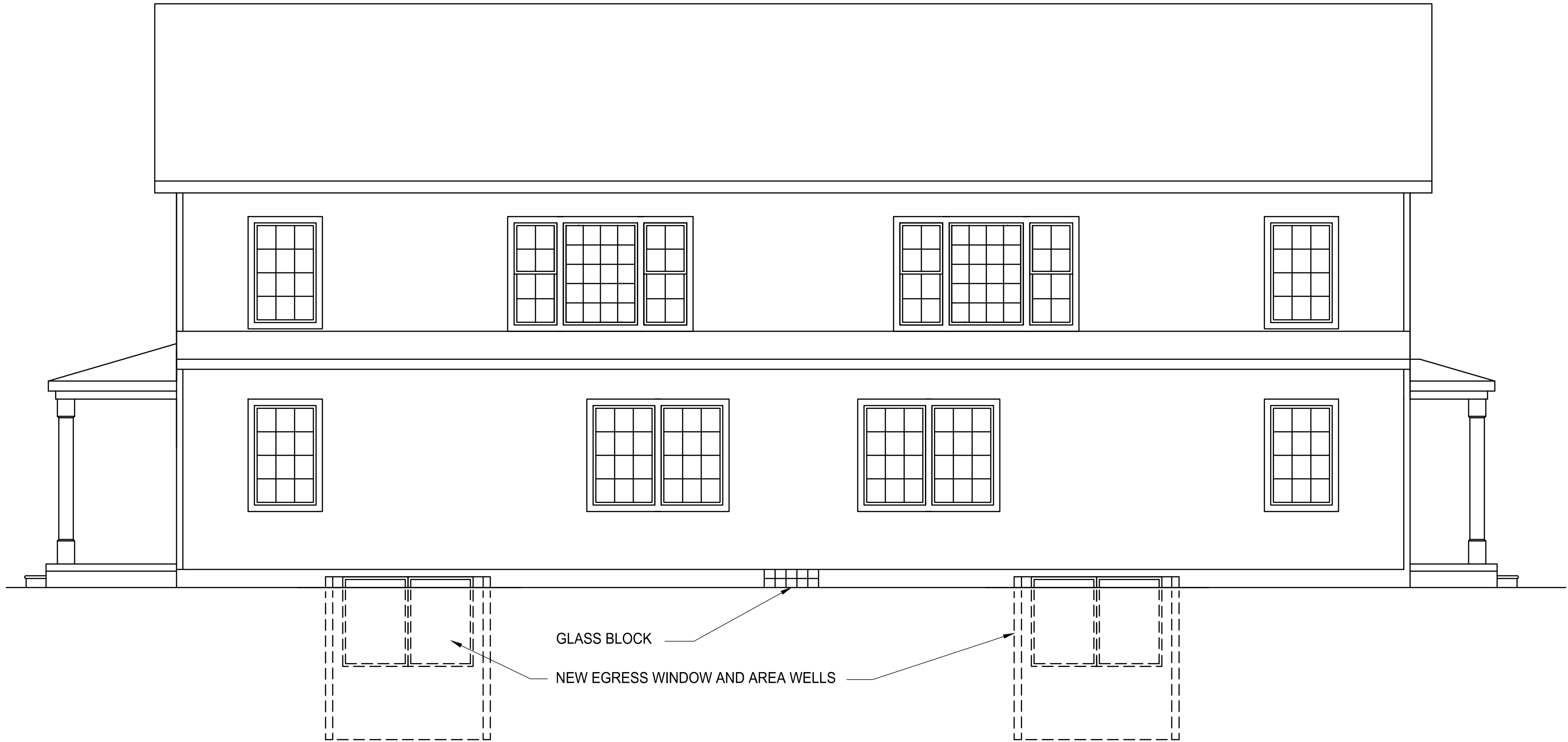
PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
**625 N 4TH ST.
 ANN ARBOR, MI**

SHEET TITLE:
NEW FRONT AND REAR ELEVATION
 SCALE: 1/4"=1'-0"


MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
	3/10/21	PERMITS			

SHEET NO:
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A-5



GLASS BLOCK

NEW EGRESS WINDOW AND AREA WELLS


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PROJECT TITLE:
RENOVATION

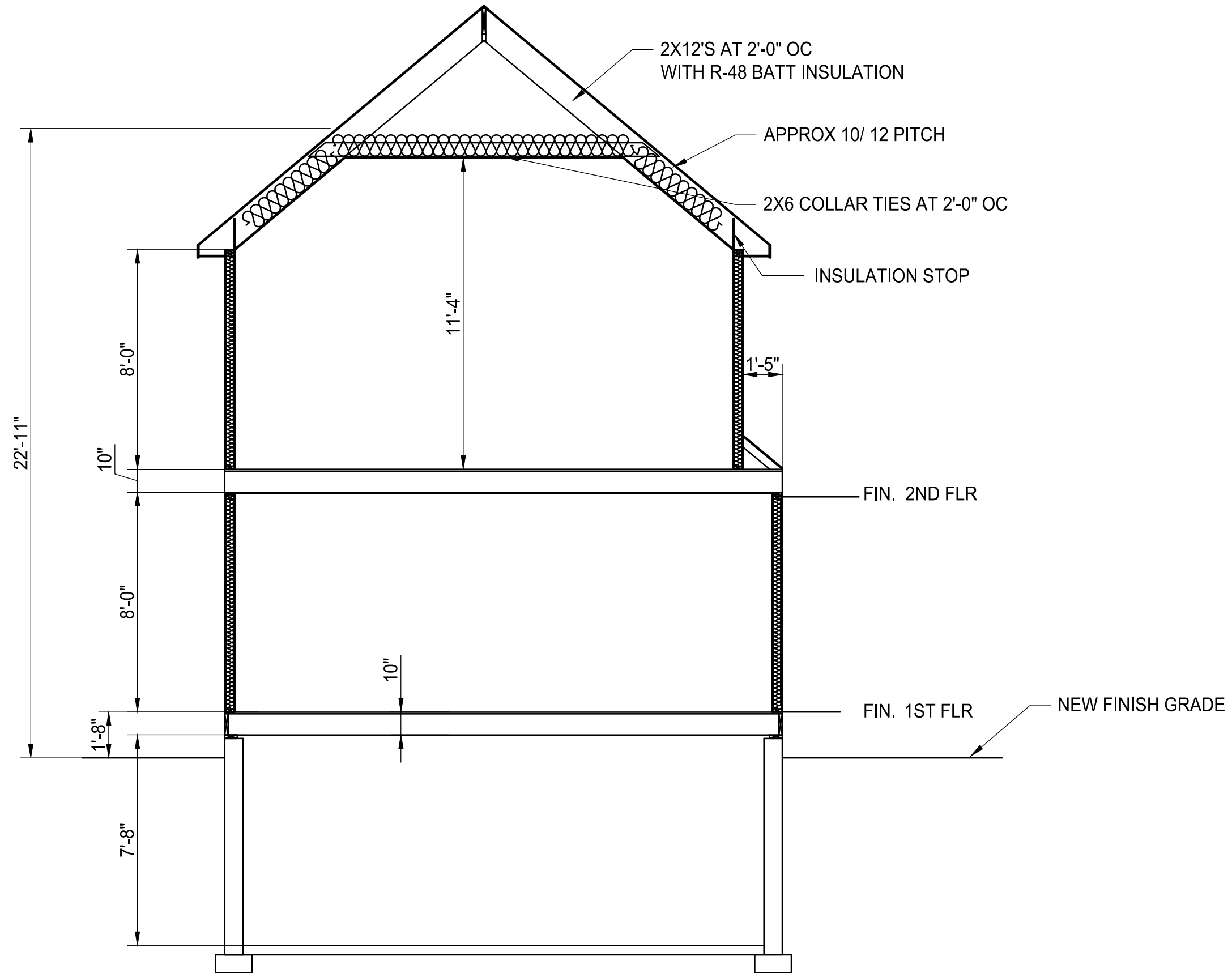
PROJECT LOCATION:
**625 N 4TH ST.
ANN ARBOR, MI**

SHEET TITLE:
NEW RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

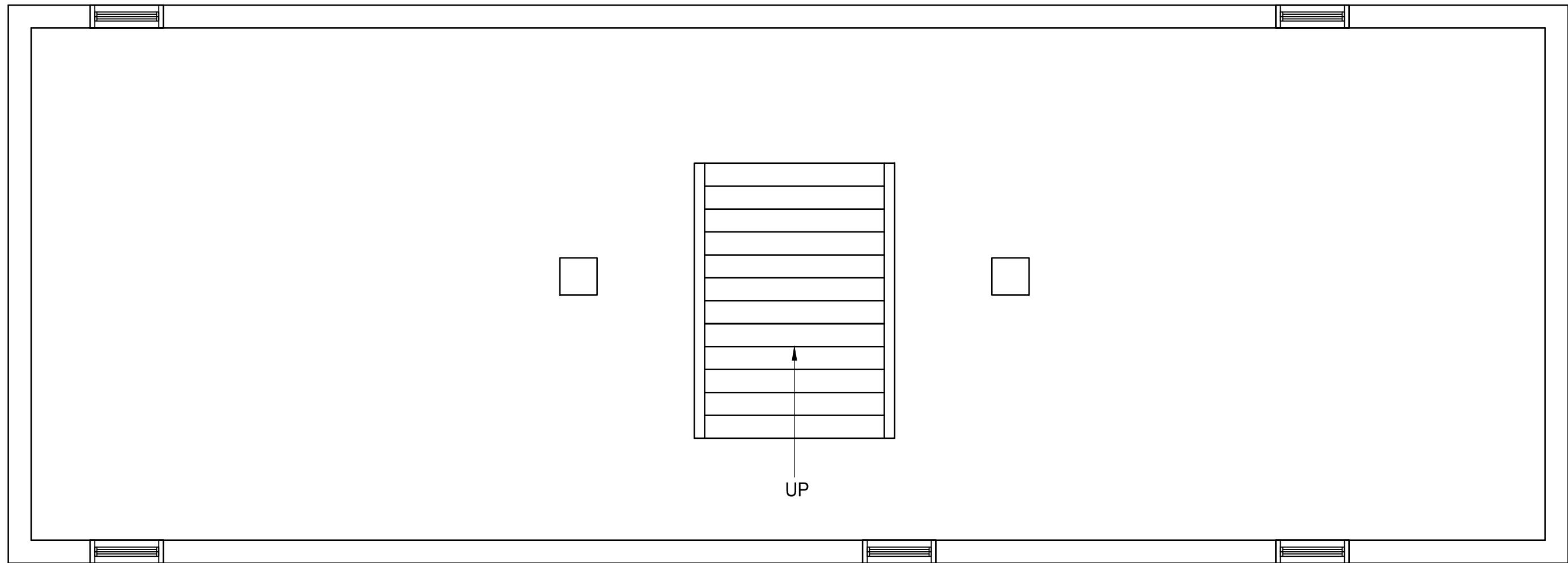
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	3/10/21	PERMITS			

SHEET NO:
7 OF 14

A-7



MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
	3/10/21	PERMITS			



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	3/10/21	PERMITS			

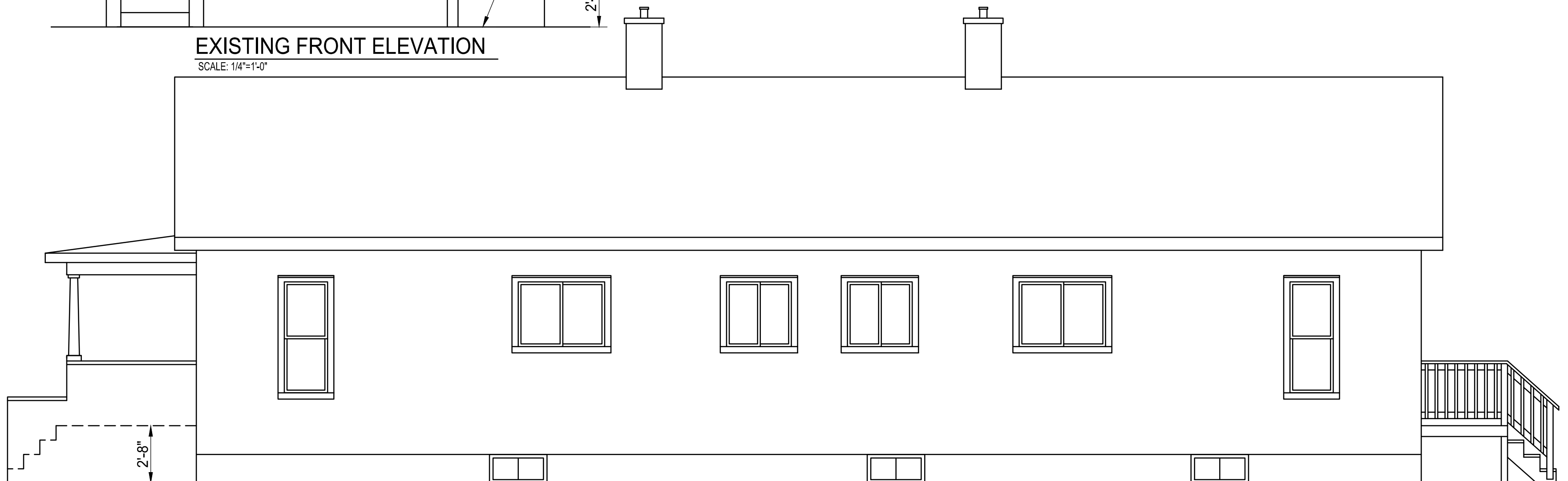


EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



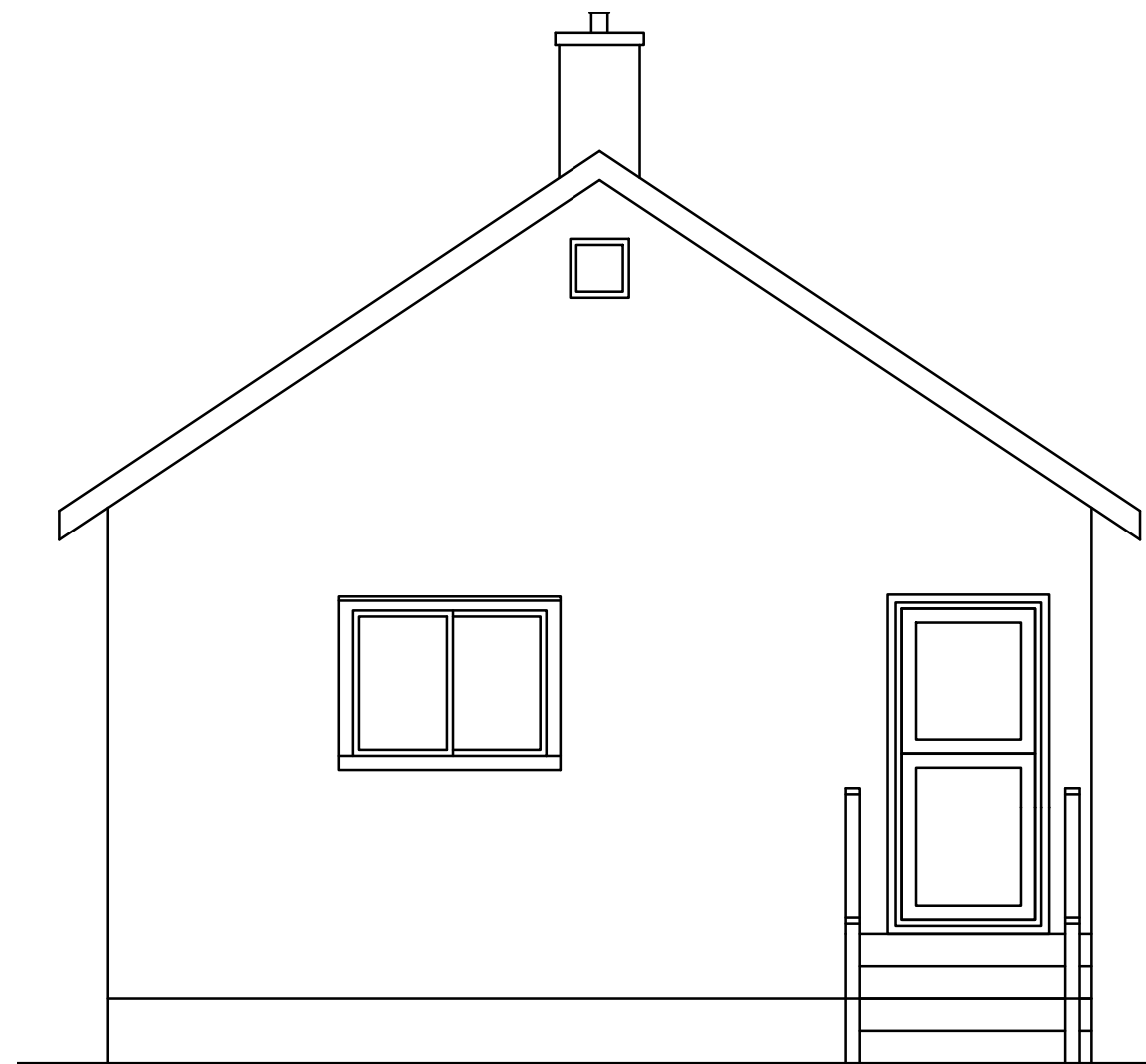
REFERENCE PHOTOS



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

 James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, Mi. PH. (586) 864-6930	PROJECT TITLE:	PROJECT LOCATION:	SHEET TITLE:	MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:	SHEET NO: 13 OF 14 A-13
	RENOVATION	625 N 4TH ST. ANN ARBOR, MI	EXISTING FRONT AND RIGHT SIDE ELEVATIONS		3/10/21	PERMITS				
			SCALE: 1/4"=1'-0"							



EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"



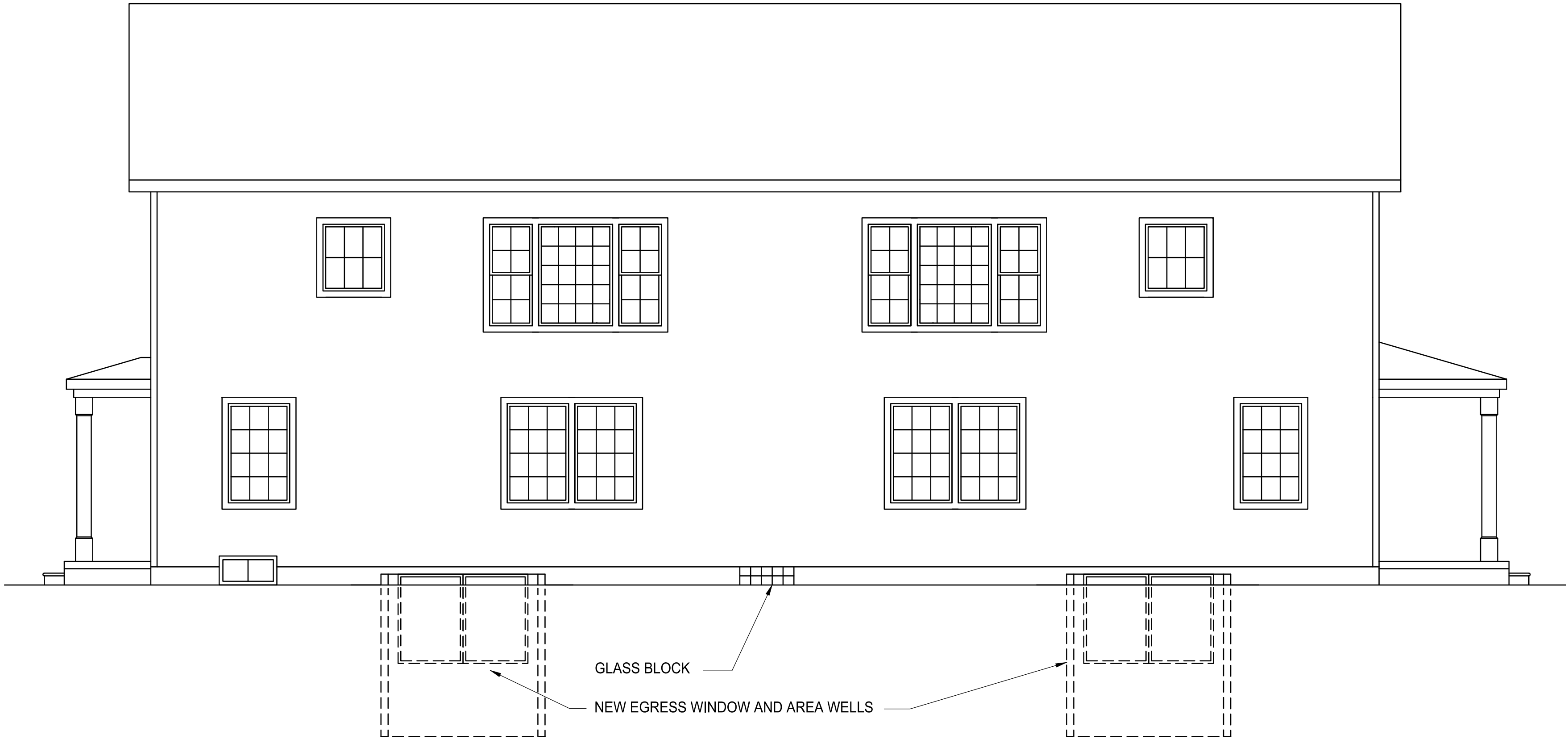
REFERENCE PHOTOS




EXISTING LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

 James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, Mi. PH. (586) 864-6930	PROJECT TITLE:	PROJECT LOCATION:	SHEET TITLE:	MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:	SHEET NO: 14 OF 14 A-14
	RENOVATION	625 N 4TH ST. ANN ARBOR, MI	EXISTING REAR AND LEFT SIDE ELEVATIONS		3/10/21	PERMITS				
			SCALE: 1/4"=1'-0"							




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PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
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 ANN ARBOR, MI**

SHEET TITLE:
NEW LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
	3/10/21	PERMITS			

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