

**Zoning Board of Appeals
March 27, 2019 Regular Meeting**

STAFF REPORT

Subject: ZBA19-006; 500 Maple Ridge Street

Summary:

Stephanie Rosales, property owner, is requesting a variance from Chapter 55 Unified Development Code (UDC) Table 5:17-1 Single-Family Residential Zoning District Dimensions. The petitioners are seeking a two foot three inch variance in order to lift the existing residence one foot above the Base Flood Elevation (BFE). The petitioners are seeking to increase the height limit to 32 feet three inches. The maximum height for a single-family home in the R1D district is 30 feet.

Background:

The subject property is located south of Miller Road near West Park. The home was built in 1941 and is approximately 1,190 square feet in size. The property is located in the floodway area of the floodplain.

Description:

The new construction will consist of a full renovation, to include lifting the home and filling the basement in order to bring the property in compliance with flood resistant construction standards in the Michigan Residential building code for structures located in the floodplain. The lifting of the home will allow for construction of a new level to help alleviate the loss of basement floor area.

Standards for Approval- Variance

The Zoning Board of Appeals has all the power granted by State law and by Section 5.29.12, Application of the Variance Power from the City of Ann Arbor Zoning Ordinance. The following criteria shall apply:

- (a). *That the practical difficulties are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the City.***

The property is located in the FEMA floodplain which is exceptional and peculiar in the City of Ann Arbor and does not generally exist throughout the City.

- (b). *That the practical difficulties will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.***

The petitioners state that if the variance is denied they will lose significant living and storage space by filling the basement and bringing the property into building code compliance. Without the variance, the owners will be subjected to higher flood insurance rates from the National Flood Insurance Program (NFIP), making it difficult to complete the renovations which will bring the structure into compliance.

- (c). ***That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.***

The petitioners state that the neighbors will not be impacted by the granting of this variance. The property adjacent to the south is vacant and the properties to the east benefit from a large rear yard (84 feet) from the subject property. The neighbors to the north are the closest in proximity to the proposed construction project but a two foot three inch variance is a minimal request.

- (d). ***That the conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.***

The location of the floodway and the building code requirements that accompany the characteristics of this property were not self-created.

- (e). ***A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.***

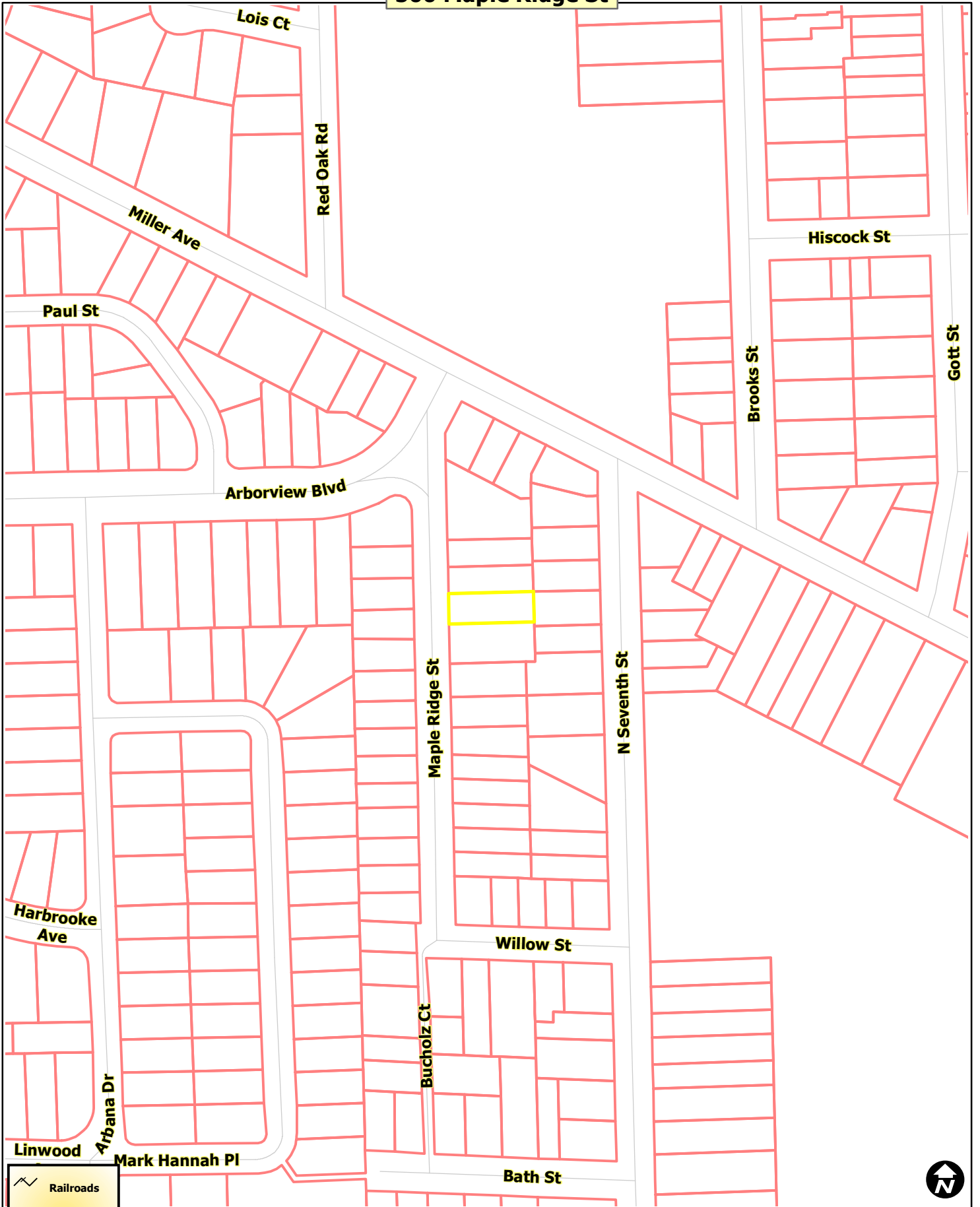
The variance request of seven percent in height increase is the minimum necessary to obtain a new floor level, engineered ridge vents and habitable space above the base flood elevation (BFE).




Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jon Barrett". The signature is stylized with large loops and a cursive script.

Jon Barrett
Zoning Coordinator

500 Maple Ridge St



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 3/5/2019
Any aerial imagery is circa 2018
unless otherwise noted
Terms of use: www.a2gov.org/terms

500 Maple Ridge St






- Railroads
- Huron River
- Tax Parcels



Map date: 3/5/2019
Any aerial imagery is circa 2018
unless otherwise noted
Terms of use: www.a2gov.org/terms

500 Maple Ridge St



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 3/5/2019
Any aerial imagery is circa 2018
unless otherwise noted
Terms of use: www.a2gov.org/terms



ZONING BOARD OF APPEALS APPLICATION

City of Ann Arbor Planning Services

City Hall: 301 E Huron Street Ann Arbor, MI 48107-8647

Phone: 734-794-6265 Fax: 734-794-8460 Email: planning@a2gov.org

PROPERTY INFORMATION

ADDRESS OF PROPERTY		ZIP CODE	
ZONING CLASSIFICATION	NAME OF PROPERTY OWNER *If different than applicant, a letter of authorization from the property owner must be provided		
PARCEL NUMBER	OWNER EMAIL ADDRESS		

APPLICANT INFORMATION

NAME			
ADDRESS	CITY	STATE	ZIP CODE
EMAIL	PHONE		
APPLICANT'S RELATIONSHIP TO PROPERTY			

REQUEST INFORMATION

<input type="checkbox"/> VARIANCE REQUEST Complete Section 1 of this application	<input type="checkbox"/> REQUEST TO ALTER A NONCONFORMING STRUCTURE Complete Section 2 of this application
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REQUIRED MATERIALS

One hard copy application complete with all required attachments must be submitted. Digital copies of supportive materials included in the submitted hard copy will only be accepted in PDF format by email or accompanying the hard copy application on a USB flash drive.

Required Attachments:

- Boundary Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
- Building floor plans showing interior rooms, including dimensions.
- Photographs of the property and any existing buildings involved in the request.

OFFICE USE ONLY

Fee Paid:

ZBA:

DATE STAMP

ACKNOWLEDGEMENT

All information and materials submitted with this application are true and correct.

Permission is granted to City of Ann Arbor Planning Services and members of the Zoning Board of Appeals to access the subject property for the purpose of reviewing the variance request.

Property Owner Signature : _____

Date: _____

Section 1 City of Ann Arbor Planning Services – Zoning Board of Appeals Application

VARIANCE REQUEST

ARTICLE(S) AND SECTION(S) FROM WHICH A VARIANCE IS REQUESTED: *(Example: Article 3, Section 5.26)*

REQUIRED DIMENSION: *(Example: 40' front setback)*
Feet: Inches:

PROPOSED DIMENSION: *(Example: 32 foot 8 inch front setback)*
Feet: Inches:

DESCRIPTION OF PROPOSED WORK AND REASON FOR VARIANCE:

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:29. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when all of the following statements are found to be true. Please provide a complete response to each of the statements below.

The alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the city.

The alleged hardships are practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.

Allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.

The conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.

A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.

Description of proposed work and reason for variance:

The proposed work entails a full renovation of 500 Maple Ridge Street, including lifting the house and filling the basement in order to bring the property in compliance with building code for structures within the floodway. We propose to lift the house sufficiently to build a new level, below the main living level, to compensate for what the homeowners will lose by filling the basement. We ask for a small, 7% variance to the 30' height restriction (Chapter 55, UDC Table 5:17.1) so that the floor of the new level will be more than 1' above the Base Flood Elevation (BFE). The BFE is the calculated level to which floodwater is anticipated to rise during a base flood, or a flood having a one percent chance of being equaled or exceeded in any given year. The base flood is the national standard used by the National Flood Insurance Program (NFIP) and all Federal agencies for the purposes of requiring the purchase of flood insurance and regulating new development. By lifting the new level (labeled "Ground Floor" in the documents herein) more than 1' above the Base Flood Elevation, we can meet building code to alleviate restrictions on the use of the ground floor for mechanical services and living space, as well as alleviating the need for engineered flood vents.

The alleged hardship or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the city:

The property at 500 Maple Ridge Street is within the FEMA floodplain. This is a relatively exceptional and peculiar condition in Ann Arbor, and one that does not exist generally throughout the city.

The alleged hardship or practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain higher financial return, or both:

Should the house not be allowed to exceed the 30' height restrictions, the homeowners will lose a significant amount of living space and useful storage space by filling their basement and bringing the property to into building code compliance. They will also sustain increased costs in installing new mechanical systems, and they will be subject to much higher flood insurance rates through the NFIP. All of these factors will make it difficult to gain financial return for the cost of renovations, making the project of bringing the house into compliance with building code financially unviable.

Allowing the variance will adjust to substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance:

Failure to grant the variance will make it financially unviable for the homeowners to contract a renovation that will bring their property into compliance with building code for structures within the floodway. It is in the best interest of the city, in alignment with the city's participation in the NFIP, and to the benefit of the public for structures within the floodway to be brought into compliance with building code.

Granting this variance will not affect the rights of the property owner's neighbors, as they will be minimally affected. There is no building in the city-owned parcel immediately to the south of 500 Maple Ridge Street, and those residences further to the south are sited on higher ground than 500 Maple Ridge. The property has a large 84' backyard, making any effect on the neighbors to the east negligible. There are neighbors immediately to the north of 500 Maple Ridge, but granting this variance will not significantly impact the existing relationship between the two residences.

The conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty:

The primary circumstances on which this variance request is based in the presence of the floodway at 500 Maple Ridge Street, and the Michigan Residential Building Code requirements for properties within in the floodway. Neither of these circumstances are determined by the owners of 500 Maple Ridge Street, nor are they self-imposed.

A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure:

The small variance requested, just a 7% variance of the 30' height restriction, is the minimum reasonable request to bring the property at 500 Maple Ridge Street into compliance with building code while alleviating restrictions on the use of the ground floor for mechanical services and living space, as well as alleviating the need for engineered flood vents. The alleviation of these restrictions are necessary in order to make the project of bringing the property into compliance with building code financially viable for the owners.



500 Maple Ridge, West Elevation



500 Maple Ridge, East Elevation



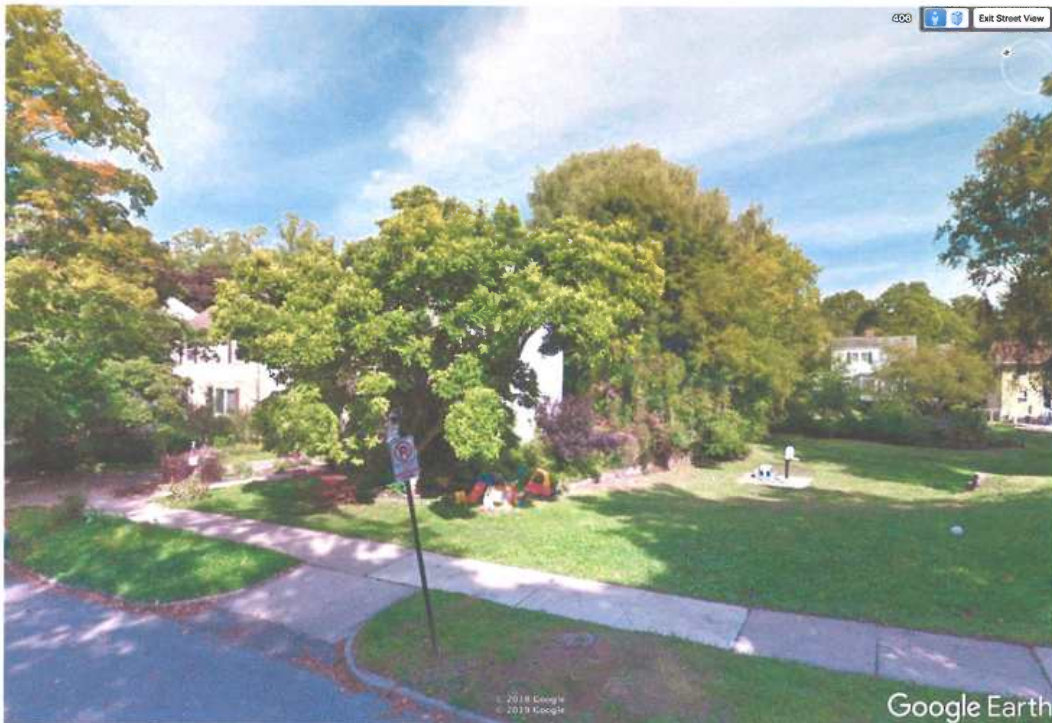
500 Maple Ridge, back yard



500 Maple Ridge, side yard



500 Maple Ridge, surrounding context



500 Maple Ridge, surrounding context

DRAWING INDEX	
DWG. NO.	DRAWING TITLE
A-100	SITE PLAN
A-101	DEMOLITION PLANS
A-102	CONSTRUCTION PLANS
A-103	CONSTRUCTION PLANS
A-200	NORTH-SOUTH BUILDING SECTIONS
A-201	EAST-WEST BUILDING SECTIONS
A-202	GARAGE- WALL SECTION
A-300	NORTH ELEVATION
A-301	SOUTH ELEVATION
A-302	EAST ELEVATION
A-303	WEST ELEVATION

500 Maple Ridge Renovation

500 Maple Ridge St
Ann Arbor, MI 48103

ISSUED FOR PERMIT
MAY 25, 2018

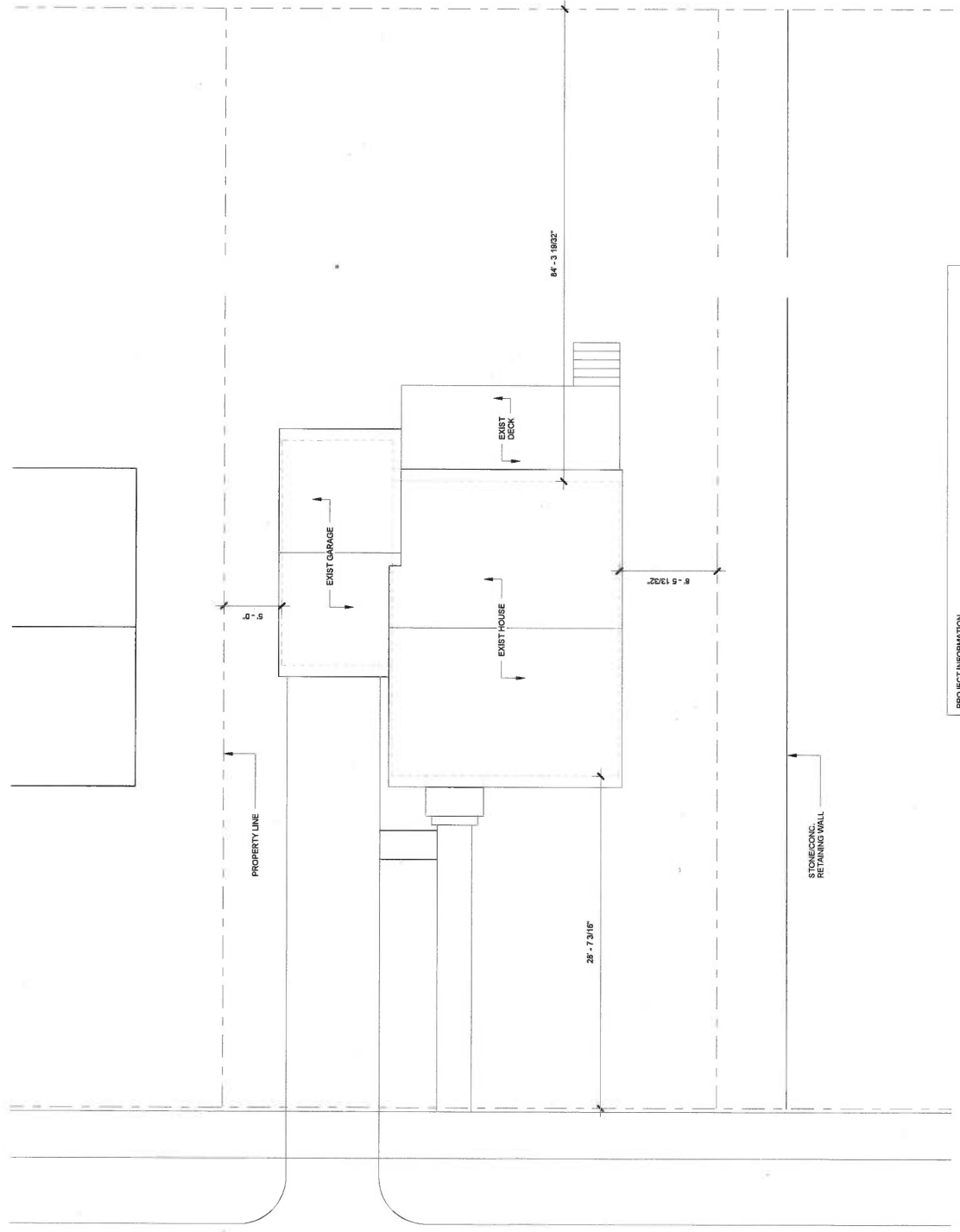
Maple Ridge
Renovation
500 Maple Ridge St

MCD
MELANIE CLOUTIER DESIGN
300 W. WASHINGTON ST.
MILWAUKEE, WI 53233
(414) 339-6016

No.	Date	Issued For	MC
1	5-25-18	Permit Set	MC

SCALE:	DATE:	FILE:	JOB INFO:

SITE PLAN
A-100



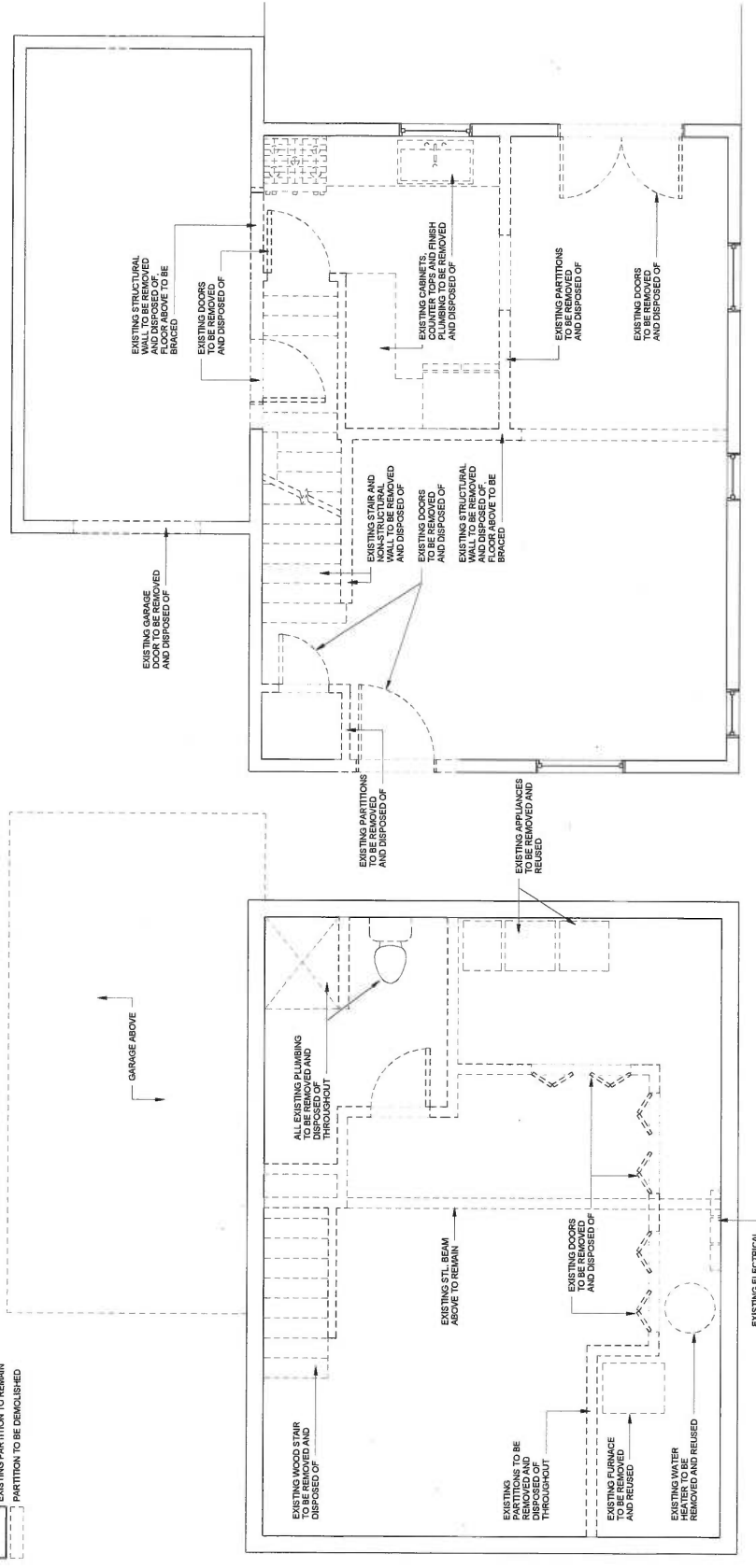
- PROJECT INFORMATION**
- MAX. HEIGHT ABOVE GRADE (MEASURED TO HIGHEST OF ROOF OR FINISH FLOOR): 25'-0"
 - STORIES ABOVE GRADE: 3
 - NEW GROSS FLOOR AREA: 684 SF
 - EXIST. GROSS FLOOR AREA: 1,178 SF
 - TOTAL GROSS FLOOR AREA: 1,862 SF
 - TOTAL IMPERVIOUS AREA FOR ADDITION: 0 SF
 - TOTAL NEW IMPERVIOUS AREA: 0 SF (SEE DEMOLITION PLAN)

1 SITE PLAN
1/8" = 1'-0"

MAPLE RIDGE

No.	Date	Issued For	By
1	5-25-11	Permit Set	MS

- DEMOLITION NOTES**
1. CONTRACTOR SHALL PERFORM ALL DEMOLITION AS INDICATED IN DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE NEATLY AND CAREFULLY IN A SYSTEMATIC MANNER.
 2. ALL EXISTING SURFACES AND FINISHES TO REMAIN SHALL BE PROTECTED FROM DAMAGE.
 3. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PROPERLY SUPPORTED BY NEW STRUCTURE OR TEMPORARY SHORING AS REQUIRED TO PROTECT STRUCTURAL INTEGRITY OF EXISTING STRUCTURE.
 4. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY DEMOLITION. ALL WIRING SHALL BE PROPERLY CAPPED OR PLUGGED AT POINT OF CONCEALMENT BEHIND FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
 5. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY REGULATIONS.
 6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY WEATHER PROTECTION TO THE EXISTING STRUCTURE DURING DEMOLITION.
 7. ALL EXISTING EXTERIOR ASBESTOS SHINGLES TO BE REMOVED AND DISPOSED OF. ALL EXISTING WOOD SIDING AND DETAIL TO REMAIN.



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

2 BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

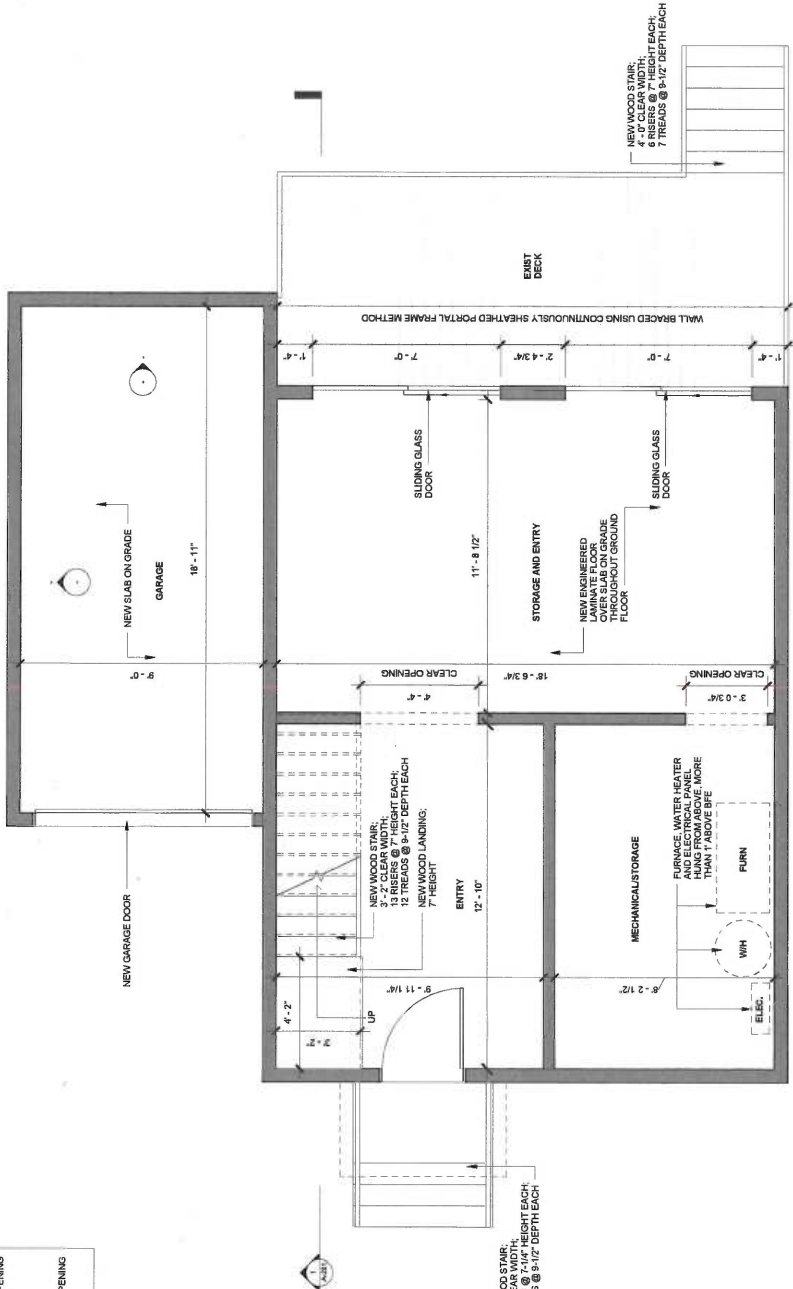
No.	Date	Issued For	By
1	5-25-18	Permit Set	MC

NOTE: CONTRACTOR TO CONFIRM ALL
EXISTING CONDITIONS, AND UPDATE
AS REQUIRED BY CODE.

LEGEND

 DASHED LINE EXISTING WALL TO REMAIN
 SOLID LINE NEW WALL

FLOOD VENT CALCULATIONS:
 2 VENTS PROVIDED @ 128 SQUARE INCHES OPENING
 FOR 256 SQUARE INCHES CLEAR TOTAL
 508 GSF
 1 VENT PROVIDED @ 128 SQUARE INCHES OPENING
 FOR 128 SQUARE INCHES CLEAR TOTAL



1 GROUND FLOOR
1/4" = 1'-0"

No.	Date	Issued For	By
1	5-25-18	Permit Set	MC

**CONSTRUCTION
PLANS**

SCALE: 1/8" = 1'-0"

DATE: _____

FILE: _____

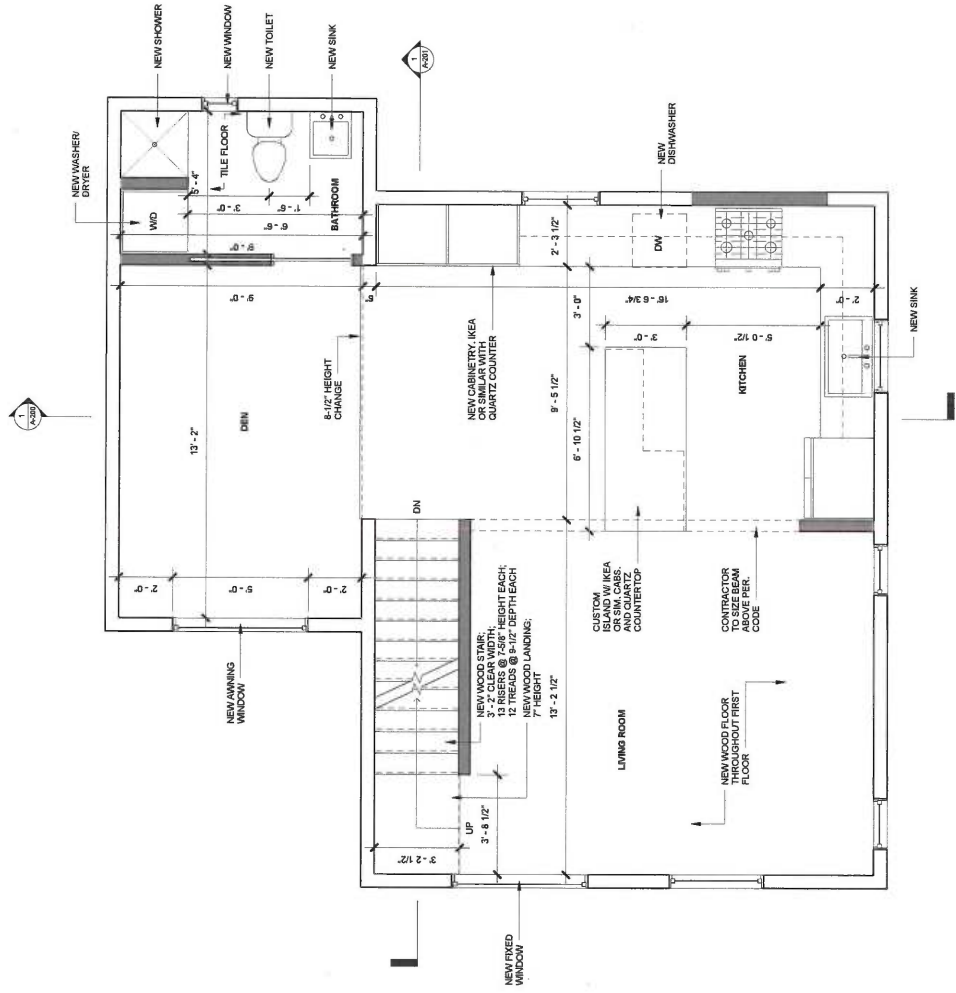
JOB NO: _____

A-103

NOTE: CONTRACTOR TO CONFIRM ALL
EXIST. CONSTRUCTION, AND UPDATE
AS REQUIRED BY CODES.

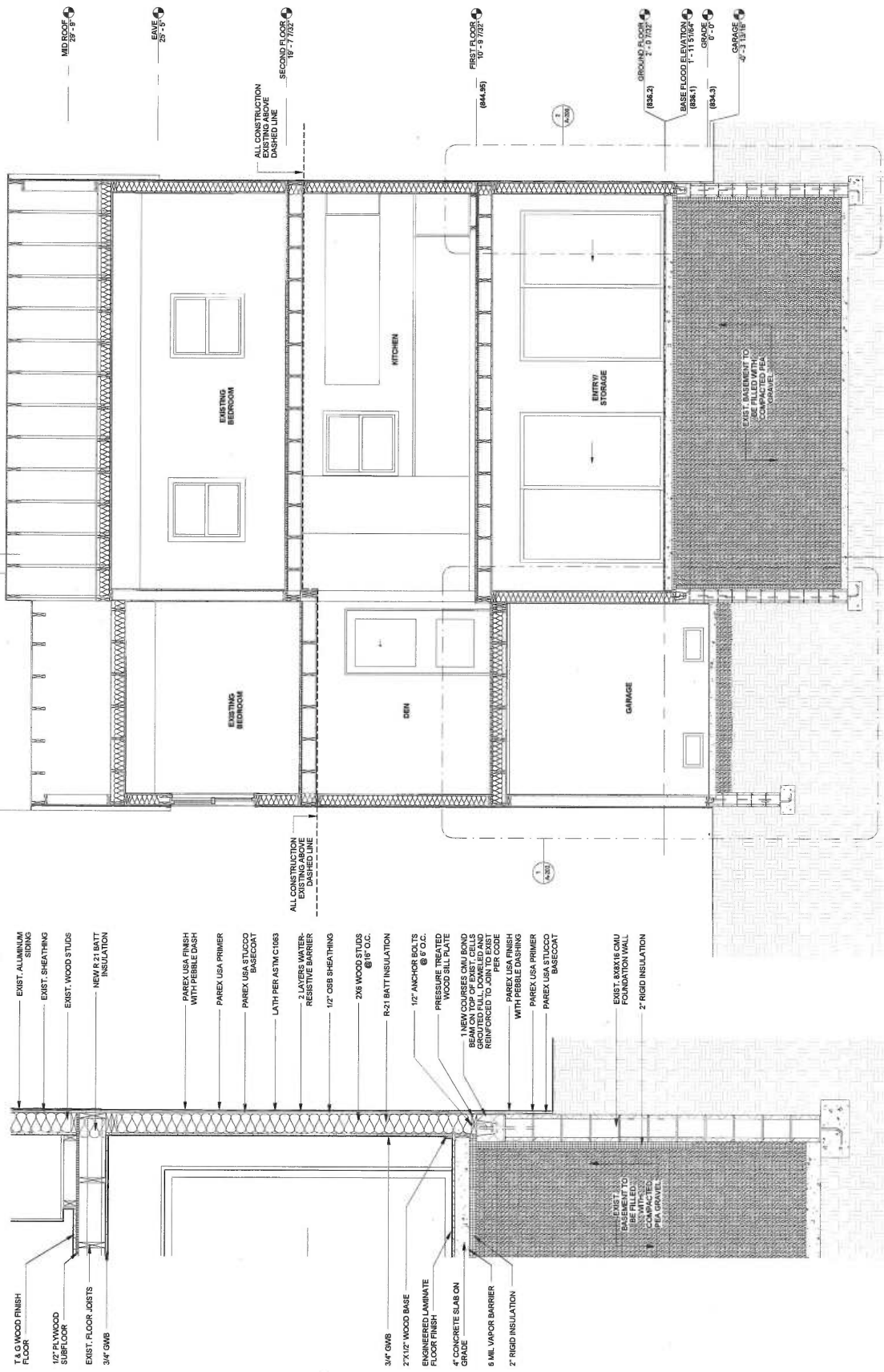
LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL



1 FIRST FLOOR
1/8" = 1'-0"

NOTE: CONTRACTOR TO CONFIRM ALL
DIMENSIONS, FINISHES, AND UPDATE
AS REGO. BY CODE.



1 NORTH-SOUTH SECTION
1/4" = 1'-0"

2 NORTH-SOUTH WALL SECTION
1/2" = 1'-0"

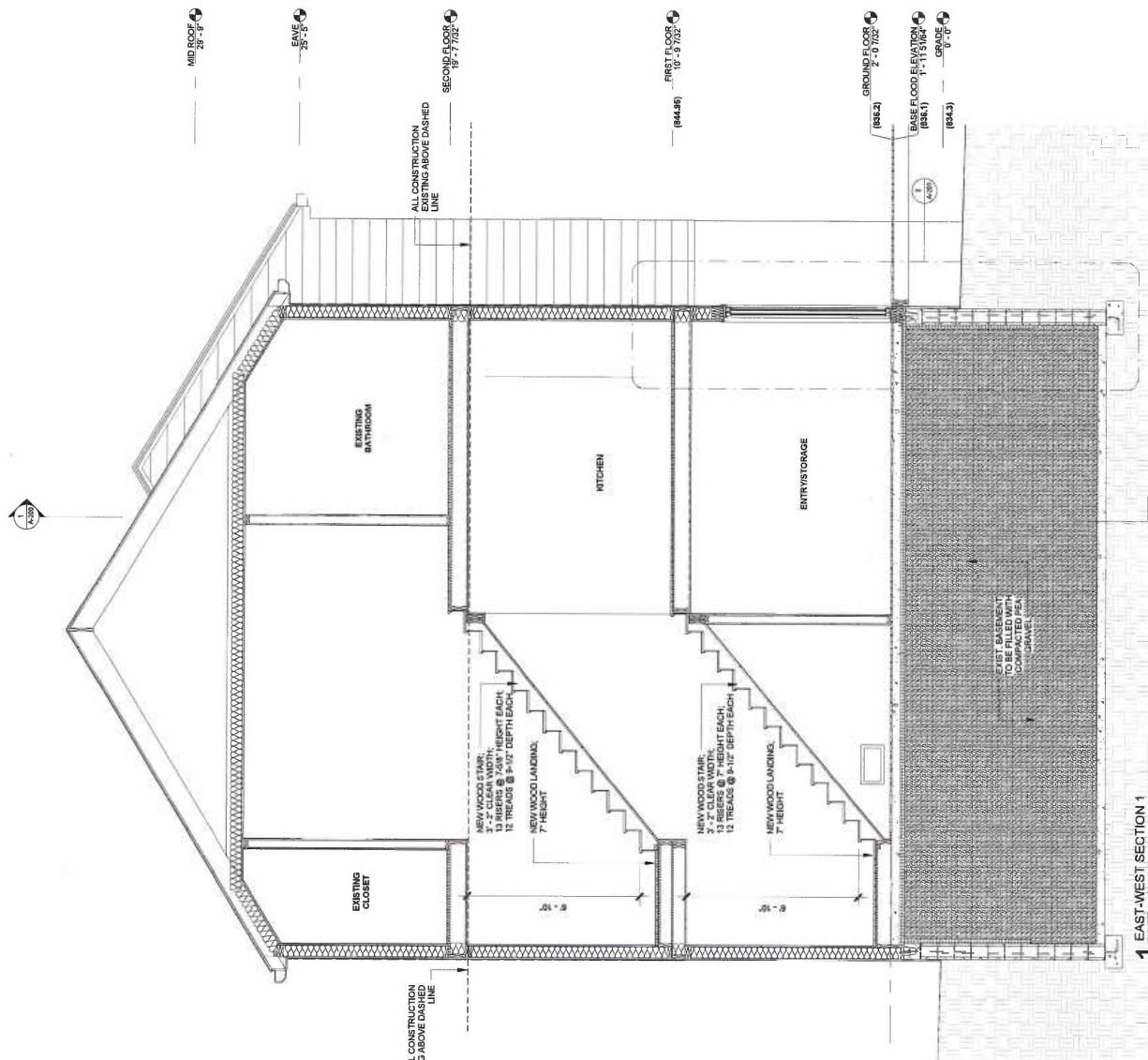
- EXIST. ALUMINUM SIDING
- EXIST. SHEATHING
- EXIST. WOOD STUDS
- NEW R-21 BATT INSULATION
- PAREX USA FINISH WITH PEBBLE DASH
- PAREX USA PRIMER
- PAREX USA STUCCO BASECOAT
- LATH PER ASTM C-1063
- 2 LAYERS WATER-RESISTIVE BARRIER
- 1/2" OSB SHEATHING
- 2X6 WOOD STUDS @ 16" O.C.
- R-21 BATT INSULATION
- 1/2" ANCHOR BOLTS @ 9" O.C.
- PRESSURE TREATED WOOD SILL PLATE
- 1 NEW COURSE CMU BOND BEHIND EXIST. COURSE
- 2 COURSES FULL JOULED AND GROUTED FULL JOULED AND REINFORCED TO JOIN TO EXIST. CONCRETE SLAB ON GRADE
- PAREX USA FINISH WITH PEBBLE DASHING
- PAREX USA PRIMER
- PAREX USA STUCCO BASECOAT
- EXIST. 6X6X16 CMU FOUNDATION WALL
- 2" RIGID INSULATION

- T & G WOOD FINISH FLOOR
- 1/2" PLYWOOD SUBFLOOR
- EXIST. FLOOR JOISTS
- 3/4" GWB
- 3/4" GWB
- 2X12" WOOD BASE
- ENGINEERED LAMINATE FLOOR FINISH
- 4" CONCRETE SLAB ON GRADE
- 5 MIL VAPOR BARRIER
- 2" RIGID INSULATION

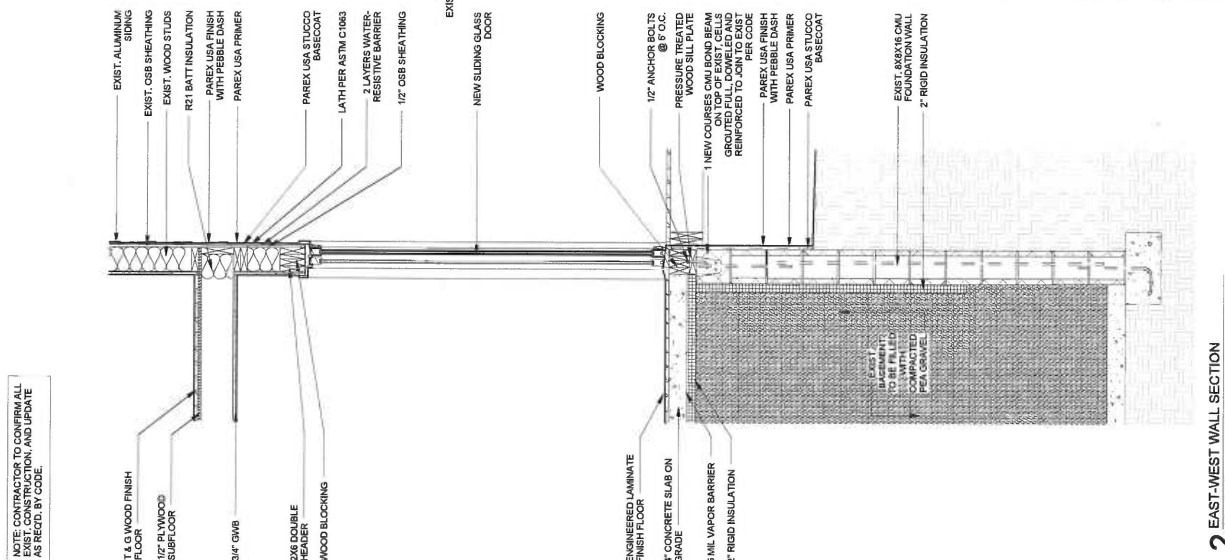
- EXIST. BASEMENT TO GARAGE
- CAST IN PLACE CONCRETE COMPACTED FEA GRAVEL

- MID ROOF 25'-0"
- GABLE 25'-0"
- SECOND FLOOR 10'-7 1/2"
- FIRST FLOOR 10'-7 1/2"
- GROUND 0'-0"
- BASE FLOOR ELEVATION (884.1)
- BASE FLOOR ELEVATION (884.3)
- GARAGE 0'-0"
- GARAGE 2'-3 1/2"

No.	Date	Issued For	By
1	5-25-18	Permit Set	MC



1 EAST-WEST SECTION 1
1/4" = 1'-0"



2 EAST-WEST WALL SECTION
1/4" = 1'-0"

NOTE: CONSULTOR TO CONFIRM ALL EXIST. CONSTRUCTION AND UPDATE AS REQD. BY CODE.

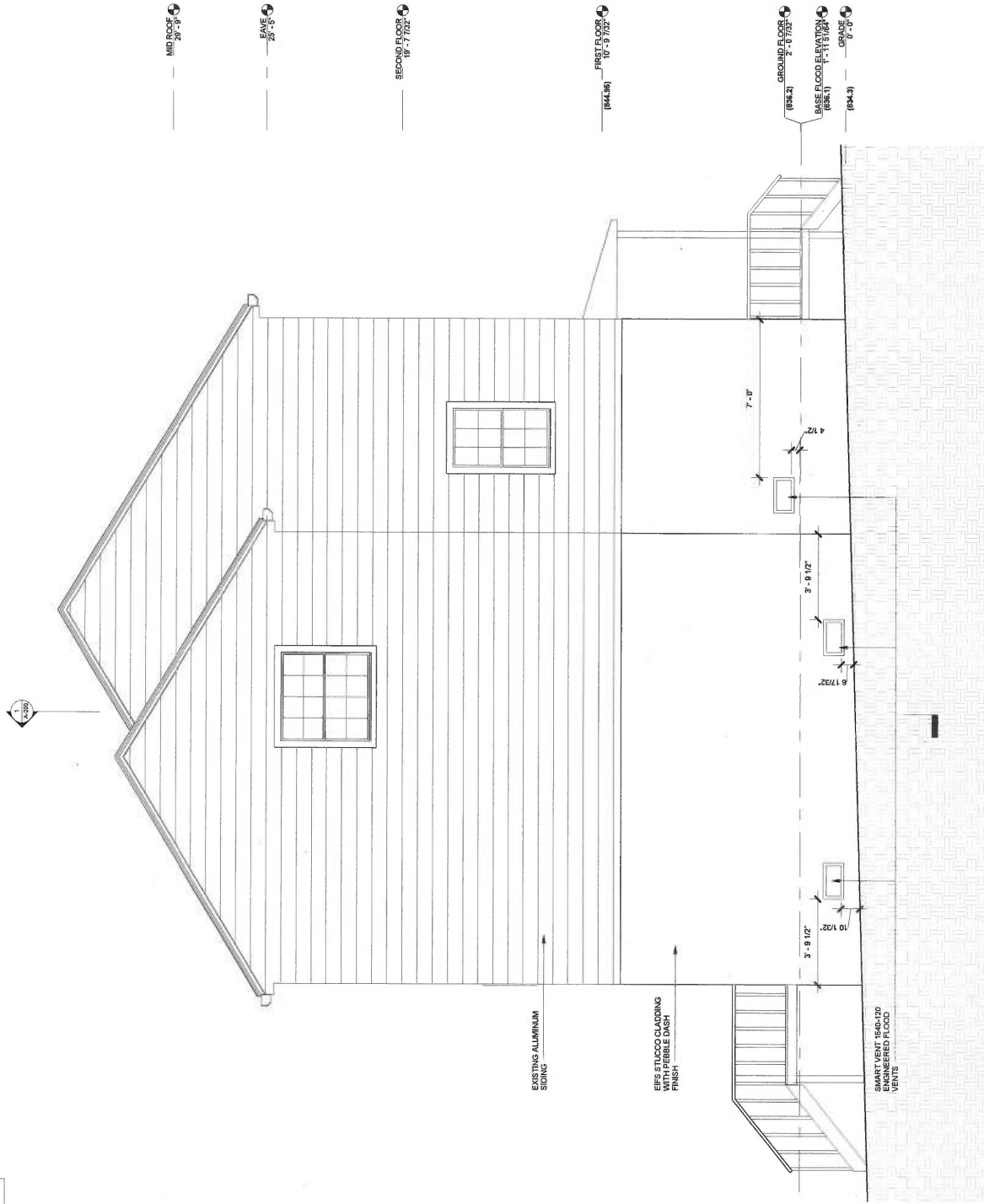
Maple Ridge
Renovation

500 Maple Ridge St

MCD

MELAN CUTLER DESIGN
305 West Liberty Street
Ann Arbor, MI 48106
(817) 389 8016

NOTE: CONTRACTOR TO CONFIRM ALL
DIMENSIONS, MATERIALS, AND FINISHES
AS SHOWN BY CODE.



1 NORTH ELEVATION
1/4" = 1'-0"

No.	Date	Issued For	By
1	6-25-18	Permit Set	MC

SCALE:
DATE:
FILE:
JOB INFO:

NORTH ELEVATION

A-300

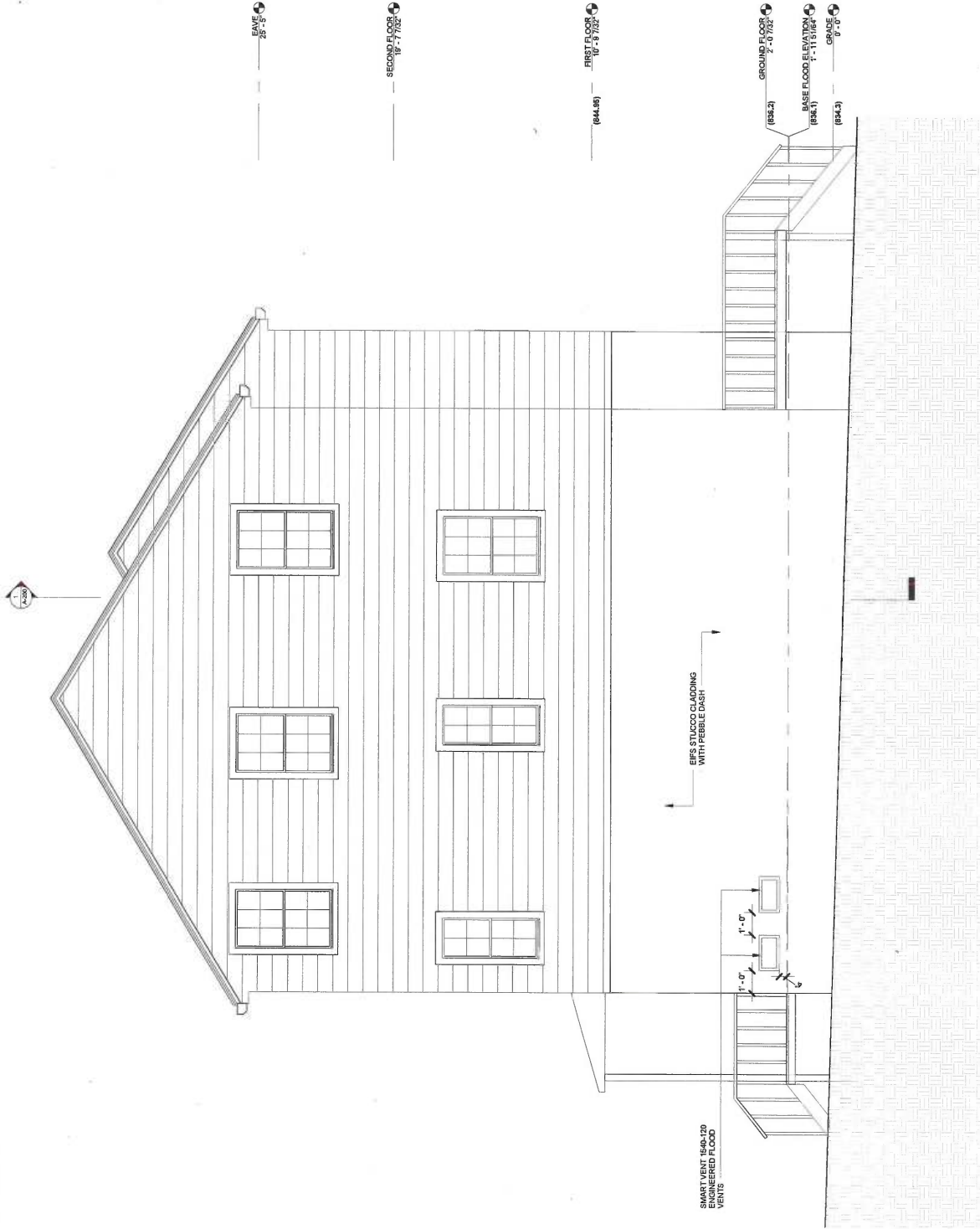
Maple Ridge
Renovation

500 Maple Ridge St

MCD

MELAN GUTTER DESIGN
305 West Liberty Street
Ann Arbor, MI 48106
(313) 399-6016

NOTE: CONTRACTOR TO CONFIRM ALL
DIMENSIONS, MATERIALS, AND UPDATE
AS REQ'D BY CODE.



1 SOUTH ELEVATION
1/4" = 1'-0"

No.	Date	Issued For	by
1	5-25-18	Permit Set	MG

SOUTH ELEVATION

SCALE: _____
DATE: _____
FILE: _____
JOB INFO: _____
JOB NO: _____

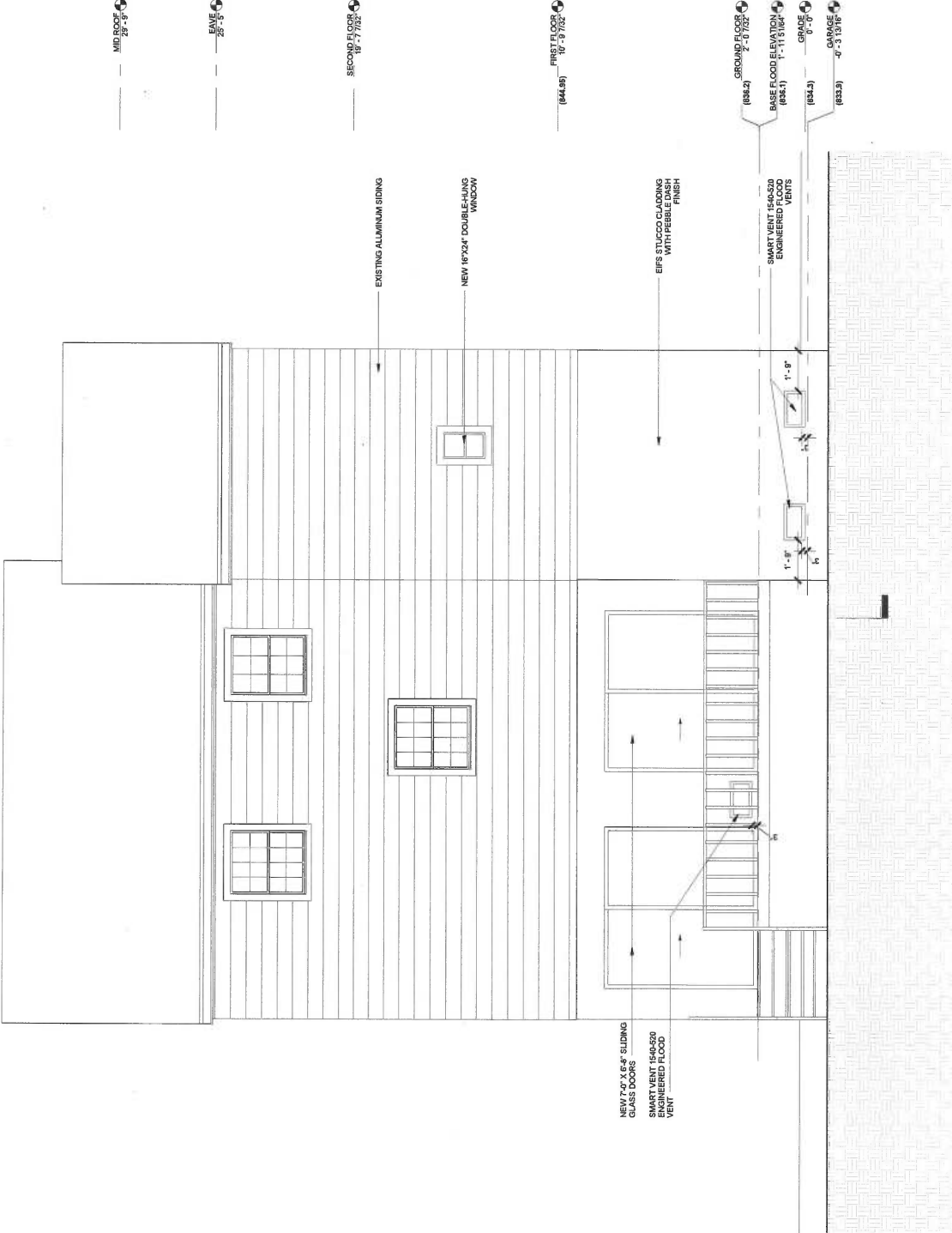
A-301

NOTE: CONTRACTOR TO CONFIRM ALL
DIMENSIONS, AND UPDATE
AS REQD. BY CODE.

Maple Ridge
Renovation

500 Maple Ridge St

MCD
MULLEN CLUTTER DESIGN
305 West Liberty Street
Ann Arbor, MI 48106
(313) 389-8016



MID ROOF
2'-0" ±

EAVE
2'-0" ±

SECOND FLOOR
10'-7" / 102"

FIRST FLOOR
10'-3" / 102"

GROUND FLOOR
2'-0" / 102"

BASE FLOOR ELEVATION
(844.1)

GRADE
(844.3)

GARAGE
-6'-3" / 101'6"

EAST
ELEVATION

SCALE:
DATE:
FILE:
JOB INFO:

1 EAST ELEVATION
1/4" = 1'-0"

A-302

No.	Date	Issued For	by
1	5-25-18	Permit Set	MC

NOTE: CONTRACTOR TO CONFIRM ALL
 NOTES, DIMENSIONS, AND UPDATE
 AS REQD. BY CODE.

Maple Ridge
 Renovation
 500 Maple Ridge St

MCD
 MALIN CLUTTER DESIGN
 3000
 Ann Arbor, MI 48103
 (917) 398 8016



1 WEST ELEVATION
 1/4" = 1'-0"

No.	Date	Issued For	by
1	9-25-18	Permit Set	MC

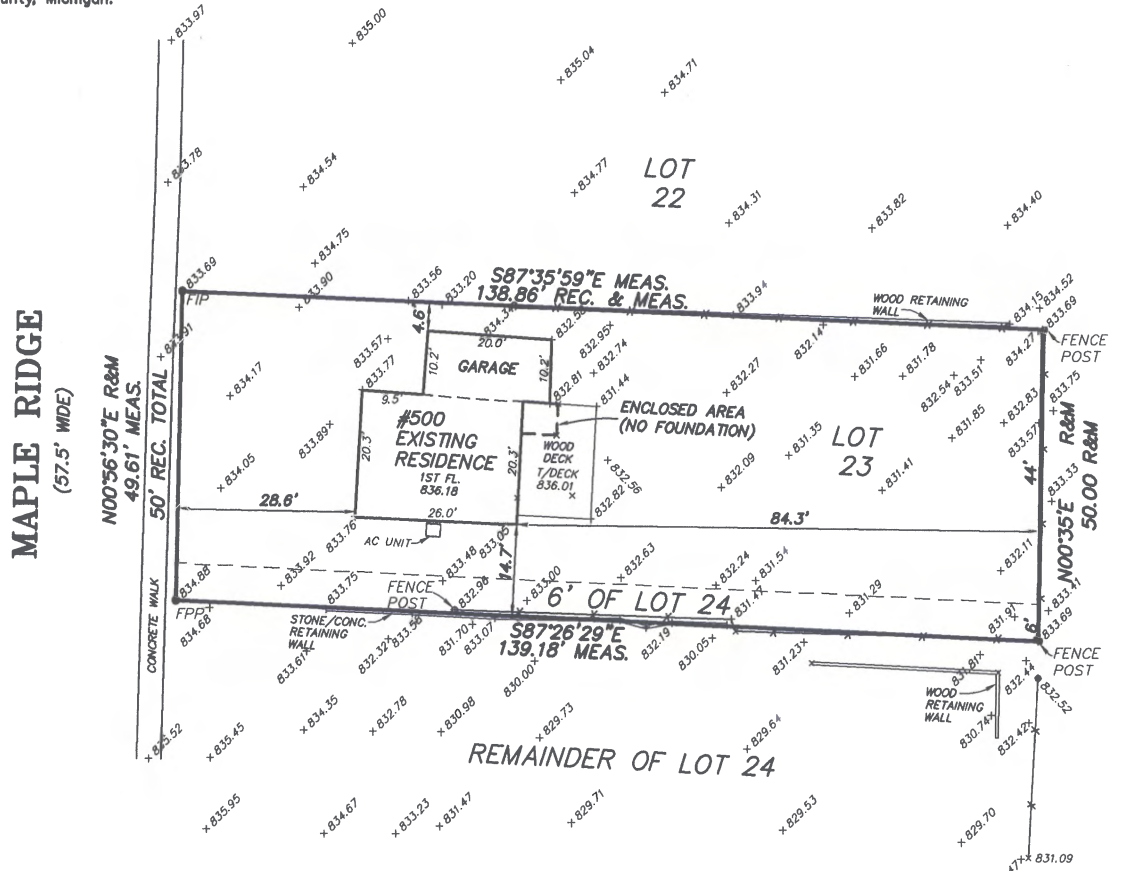
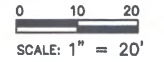
WEST ELEVATION

SCALE: _____
 DATE: _____
 FILE: _____
 JOB INFO: _____
 A-303

TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION:

Lot 23 and the North 6 feet of Lot 24, Assessors Plat No. 10, of part of Lots 10, 11, and 15, and all of Lots 12, 13, and 14, of the Map of a part of the Northwest 1/4 of Section 29, T. 2 S., R. 6 E., in the City of Ann Arbor, Washtenaw County, Michigan, recorded as Document No. 24404 in Liber 8, Page 19, in the Office of the Register of Deeds, Washtenaw County, Michigan.



MAPLE RIDGE
 (57.5' WIDE)
 N00°56'30\"/>

NOTES:

1. NO TITLEWORK WAS SUPPLIED BY CLIENT THEREFORE ALL EASEMENTS OF RECORD MAY NOT BE SHOWN.
2. ALL ELEVATIONS ARE SHOWN IN NAVD 1988 DATUM.

LEGEND

○	- IRON SET	SCI	- SET CAPPED IRON
●	- IRON FOUND	S	- EX. SANITARY
MEAS.	- MEASURED	+ 834.22	- EX. ELEVATION
REC.	- RECORDED	- x -	- EXISTING FENCE LINE
FPP	- FOUND PINCH PIPE		
FIP	- FOUND IRON PIPE		




KAROL L. GROVE
 LICENSED PROFESSIONAL SURVEYOR #39075

ALPINE
Land Surveying, Inc.

11590 HIGHLAND ROAD, SUITE #100
HARTLAND, MI 48353
PHONE: 810-207-8050, FAX: 419-735-0121

FIELD: KG	DATE: FEBRUARY 25, 2018
DRAWN: DS	JOB NO: 17-3253
CHECKED: KG	SHEET: 1 OF 1
REVISION:	



UTILITY WARNINGS
 UNDERSTAND UTILITY LOCATIONS AS SHOWN ON THE PLAN AND BE AWARE THAT UTILITY OWNERS AND AGENTS ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. A MISTAKE OF 1/8\"/>