

## ANN ARBOR HISTORIC DISTRICT COMMISSION

### Staff Report

**ADDRESS:** 834 West Washington Street, Application Number HDC20-115

**DISTRICT:** Old West Side Historic District

**REPORT DATE:** August 13, 2020

**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator

**REVIEW COMMITTEE DATE:** Monday, August 10, 2020

#### OWNER

**Name:** Ariel Adamson & James Jilek  
**Address:** 834 W Washington St  
 Ann Arbor, MI 48103  
**Phone:** (734) 678-6614

#### APPLICANT

Vinewood Custom Builders  
 1838 Vinewood Blvd  
 Ann Arbor, MI 48104  
 (734) 678-7437

**BACKGROUND:** This two-story gable-fronter features cornice returns and a porch spanning the south (front elevation) with Doric columns, wood clapboard siding, and a sculpted block foundation. The house was built in 1911 and the first residents were Otto and Amanda Toney. Otto Toney is listed in the 1911 Polk City Directory as a carpenter.

In 2012, the HDC approved the replacement of three wood windows that were deteriorated beyond repair, and denied the replacement of ten others.

In April of 2019, the HDC approved an enlarged dormer on the side of the house, a new mudroom, and two skylights.

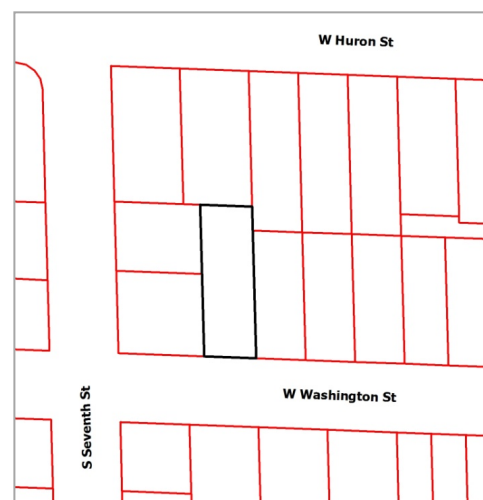
**LOCATION:** The site is located on the north side of West Washington Street, between South Seventh Street and Third Street.

**APPLICATION:** The homeowners have reconsidered their earlier plans and would now like to dig out the basement floor and finish the basement instead of turning the attic into habitable space. The application also includes a two-story rear addition on a 13' x 8' footprint, a similar single-story mudroom, and a covered back porch.

#### APPLICABLE REGULATIONS:

##### From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.



- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

**New Additions**

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Designing new additions in a manner that makes clear what is historic and what is new.

Locating the attached exterior addition at the rear or on an in-conspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

**District or Neighborhood Setting**

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

**From the City of Ann Arbor Design Guidelines:**

**Guidelines for All Additions**

Appropriate: Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition should exceed neither half of the original building's footprint nor half of the original building's total floor area.

**STAFF FINDINGS:**

1. Several significant alterations have been made to this house over time. A small bathroom was added to the west elevation of the main house block after the period of significance. A second floor was added to the formerly one-story kitchen wing on the back, and a one-story room was added behind the kitchen. The previous application stated that this work was done after WWII. The city's 1947 aerial photo shows the second floor and something on the back of the house, but the 1931/1948 Sanborn (which was not a thorough update) does not show this work.
2. The mudroom and new two-story addition are inset 6" from the two corners of the existing first floor that each touches. This helps distinguish these additions from the historic house. The porch is traditional in design. This work will be nominally visible from the public right of way, and is complimentary to the historic house.
3. Raising the house, digging the basement out deeper, and putting the house back was an approach taken by another house on this block several years ago. It can be appropriate, but requires that sculpted block that closely matches the original (a character defining feature) be used for the new walls. The applicant will need to provide information on the new block and compare it to the existing. Based on other owners' experiences with foundations and porches that have been redone with new sculpted block, it is likely to add significant expense to the project.
4. The floor area increase was not provided, but an email (attached) states that the footprint went from 730 square feet pre-1945 to a 922 square foot proposed footprint. That is an increase of 26% over the historic footprint, and is within the guidelines for additions.
5. The application was submitted on the due date and a substantial amount of additional information was requested from the applicant using the checklists for additions and egress windows. Some information was provided last week and has been incorporated into the attachments. The outstanding requested information includes:
  - Elevation photos
  - A site or plot plan
  - Existing elevation drawings
  - Height of existing and proposed
  - Materials (siding and trim, windows)
  - Trim materials and dimensions
  - Existing window dimensions for comparison with proposed
  - Proposed window information
  - Proposed door information
  - All of the information requested on the egress window checklist
6. If approved, this application would replace the April 2019 application in full.

**MOTION**

(Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 834 W. Washington, a contributing property in the Old West Side Historic District, to replace the basement walls and construct a two-story rear addition on a 13' x 8' footprint, a single-story mudroom, and a covered back porch. As proposed, the work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets the *City of Ann Arbor Historic District Design Guidelines for All Additions*, and *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for New Additions, and District or Neighborhood Setting.

## MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at 834 W Washington in the Old West Side Historic District

\_\_\_\_\_ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

**ATTACHMENTS:** application, drawings

834 W Washington Street, August 2008 Survey Photo



1947 Aerial Photo showing rear two-story and one-story additions



**From:** [vinewood@comcast.net](mailto:vinewood@comcast.net)  
**To:** [Thacher, Jill](#)  
**Subject:** Re: 834 W Washington egress window, etc.  
**Date:** Monday, August 10, 2020 3:08:50 PM

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This message was sent from outside of the City of Ann Arbor. Please do not click links, open attachments, or follow directions unless you recognize the source of this email and know the content is safe.

Jill,

Here are the square footage calculations that we discussed on site earlier today.

Pre-1945 footprint = 730  
Existing footprint area = 818  
Proposed footprint = 922  
% increase in footprint = 12.7%

Thanks!

Mike

Michael Clark  
Vinewood Custom Builders Inc.

734-913-4924  
[vinewood@comcast.net](mailto:vinewood@comcast.net)  
[vinewood.org](http://vinewood.org)

On 08/05/2020 9:17 PM Thacher, Jill <[jthacher@a2gov.org](mailto:jthacher@a2gov.org)> wrote:

Mike,

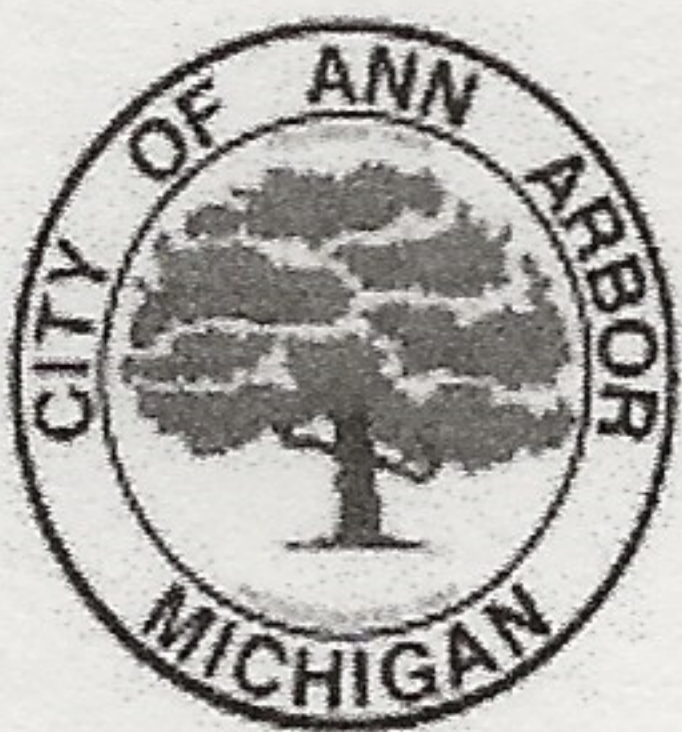
- Please use the checklist for basement egress windows to provide more information.
- The drawing of the rear elevation states that the roof ridge of the addition is 6" lower than the ridge of the existing, but it's not drawn that way on either of the side elevations. Please correct one or the other before you resubmit your attachments. , ,
- Include detail on the covered porch railing (should imitate the style on the front porch, while still meeting code) and skirting.
- On the rear elevation, are those doors or windows on the first floor? For all windows, include materials, type, size, etc. in a window table or on the drawings.
- Submit a photo of the sculpted block from fendt that you propose to use on the historic house foundation and a photo of the existing. They need to match very closely. When I told you about that in an email I meant you should use the fendt block on the historic (existing) part of the house. The new addition should, ironically, be either smooth or parged CMU to distinguish it from the original part of the house.

Last email of the night! Let me know if you have questions.

*Please note Planning Staff are continuing to work remotely and are committed to responding as soon as possible.*

**Jill Thacher** | **City Planner/Historic Preservation Coordinator** | [jthacher@a2gov.org](mailto:jthacher@a2gov.org)  
**City of Ann Arbor, Michigan** | [www.A2Gov.org](http://www.A2Gov.org)  
301 E. Huron St. | Ann Arbor, MI 48104 | **734.794.6265 x42608** | 734.994.8312 (fax)





# HISTORIC DISTRICT COMMISSION

## PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120  
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647  
 Phone: 734.794.6265 ext. 42608 [ithacher@a2gov.org](mailto:ithacher@a2gov.org)  
 Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

**APPLICATION MUST BE FILLED OUT COMPLETELY**

### PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER <b>JAMES JILEK &amp; ARIEL ADAMSON</b>		HISTORIC DISTRICT <b>OLD WEST SIDE</b>
PROPERTY ADDRESS <b>834 W. WASHINGTON ST.</b>		CITY <b>ANN ARBOR</b>
ZIP CODE <b>48103</b>	DAYTIME PHONE NUMBER <b>(734) 417 5543</b>	EMAIL ADDRESS <b>JAMES.JILEK@GMAIL.COM</b>
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE)		CITY STATE, ZIP

### PROPERTY OWNER'S SIGNATURE

SIGN HERE	PRINT NAME <b>James D. Jilek</b>	DATE <b>7/23/20</b>
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### APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE) <b>VINEWOOD Custom Builders Inc</b>			
ADDRESS OF APPLICANT <b>1838 VINEWOOD BLVD</b>			CITY <b>ANN ARBOR</b>
STATE <b>MI</b>	ZIP CODE <b>48104</b>	PHONE / CELL # <b>(734) 678 7437</b>	FAX No <b>(734) 913 4924</b>
EMAIL ADDRESS <b>VINEWOOD@COMCAST.NET</b>			

### APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE	PRINT NAME <b>x MICHAEL CLARK</b>	DATE <b>7-23-20</b>
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### BUILDING USE - CHECK ALL THAT APPLY

<input checked="" type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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### PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

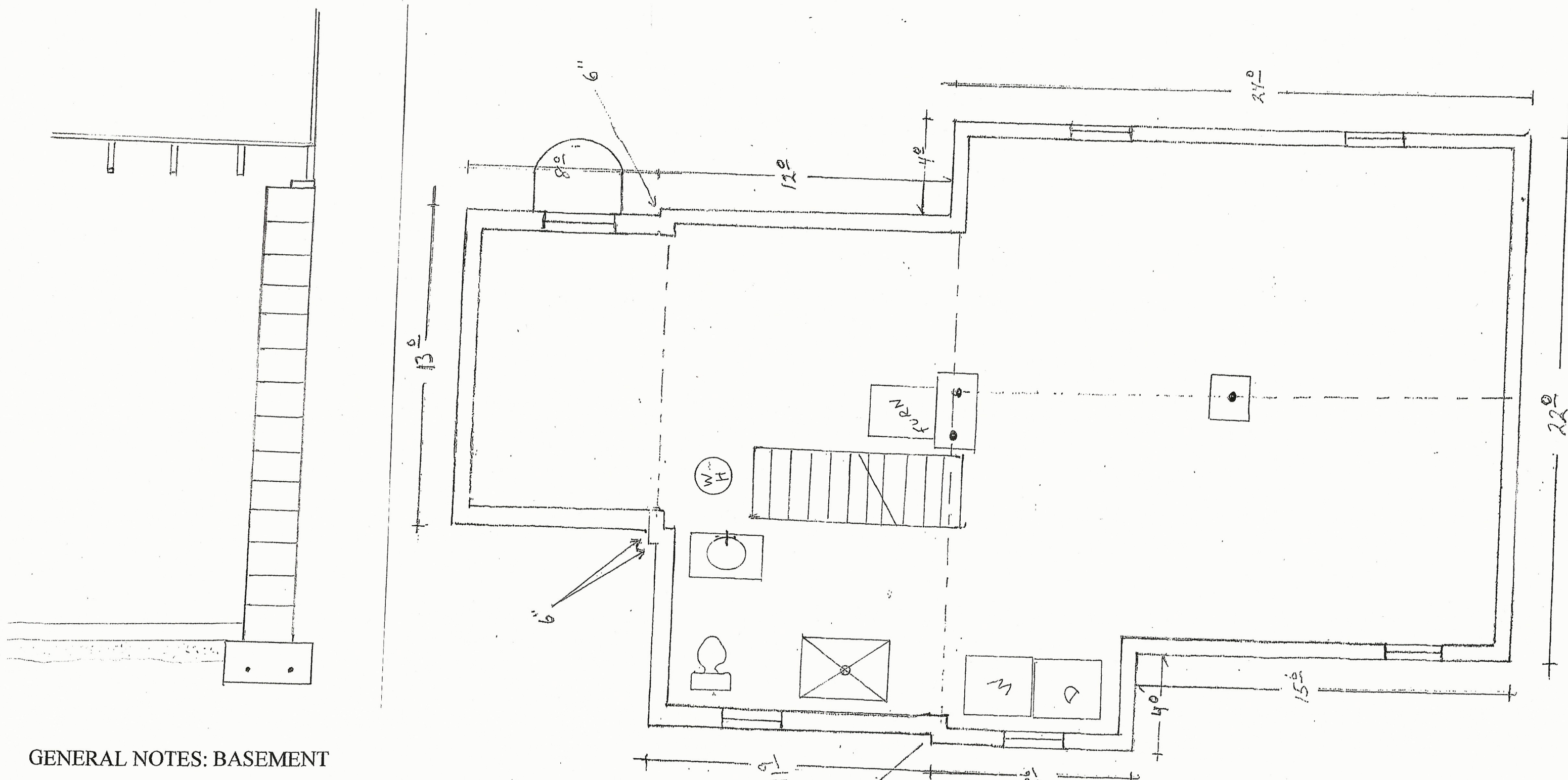
**PROPOSED CHANGES TO HDC19-023: OMIT ATTIC FINISH AND ADDED GABLE TO WEST ELEVATION ROOF. REMOVE RECENT <sup>1STORY</sup> ADDITION TO NORTH (REAR) OF HOUSE, REMOVE ALL BASEMENT WALLS & FLOOR. EXCAVATE 2' DEEPER, NEW FOOTINGS AND BLOCK WALLS FOR 9' BASEMENT. ADD BACK A 2 STORY ADDITION TO NORTH SIDE.**

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

**REPLACE FAILING BASEMENT WALLS, PROVIDE MORE FUNCTIONAL SPACE BELOW GRADE, ENLARGED MASTER SUITE ON 2ND FLOOR.**

For Further Assistance With Required Attachments, please visit [www.a2gov.org/hdc](http://www.a2gov.org/hdc)





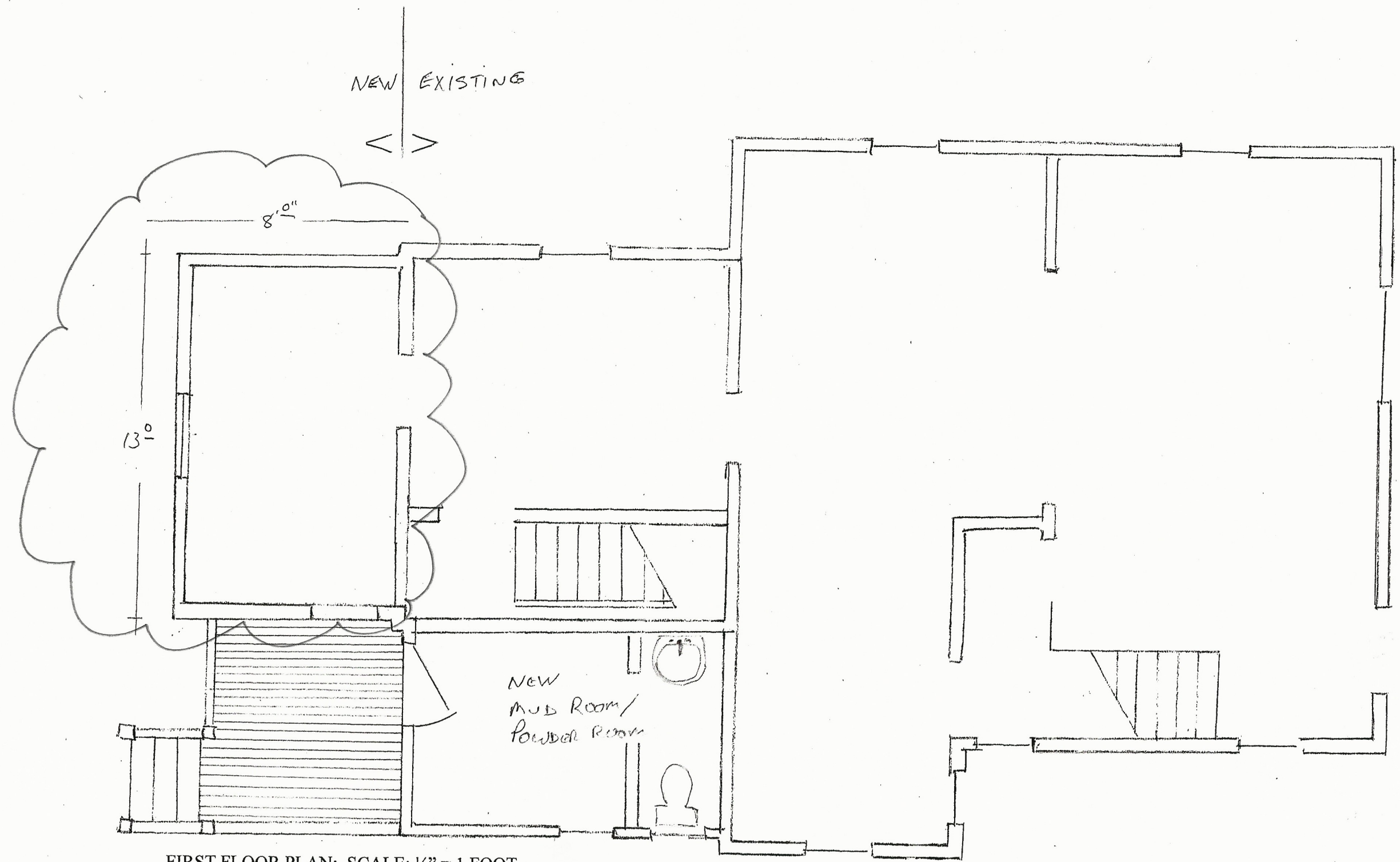
**GENERAL NOTES: BASEMENT**

- PLACE CRIBBING, HYDRAULICS AND STEEL BEAMS AS NEEDED
- TEMPORARILY LIFT HOUSE APPROX. 12"
- REMOVE EXISTING FLOOR SLAB AND BASEMENT WALLS
- EXCAVATE AS NEEDED FOR NEW BASEMENT WITH 9' WALLS
- 20" x 10" CONCRETE FOOTINGS
- 12" CMU BASEMENT WALLS
- #4 BARS @ 32" O.C. VERTICAL IN SOLID GROUTED CELLS
- INSTALL PERIMETER DRAIN TILE AND SUMP CROCK PER CURRENT BUILDING CODES
- 2" EXTRUDED POLYSTYRENE FOAM ON EXTERIOR OF WALLS
- SAND BACKFILL
- UNDERGROUND PLUMBING FOR FUTURE BATHROOM
- 4" MIN. SAND OR GRAVEL UNDER CONCRETE SLAB
- 6 MIL POLYETHYLENE VAPOR BARRIER UNDER CONCRETE SLAB, OVERLAP 6" MIN. SEAL TO WALLS
- REPLACE EXISTING BASEMENT WINDOWS WITH SIMILAR SIZE AND STYLE, ADD 1 EGRESS WINDOW
- LOWER HOUSE BACK DOWN TO EXISTING LEVEL ON NEW FOUNDATION WALLS

BASEMENT FLOOR PLAN: SCALE: 1/4" = 1 FOOT

VINEWOOD CUSTOM BUILDERS INC.  
 1838 VINEWOOD BLVD.  
 ANN ARBOR, MI 48104  
 734-913-4924 vinewood@comcast.net

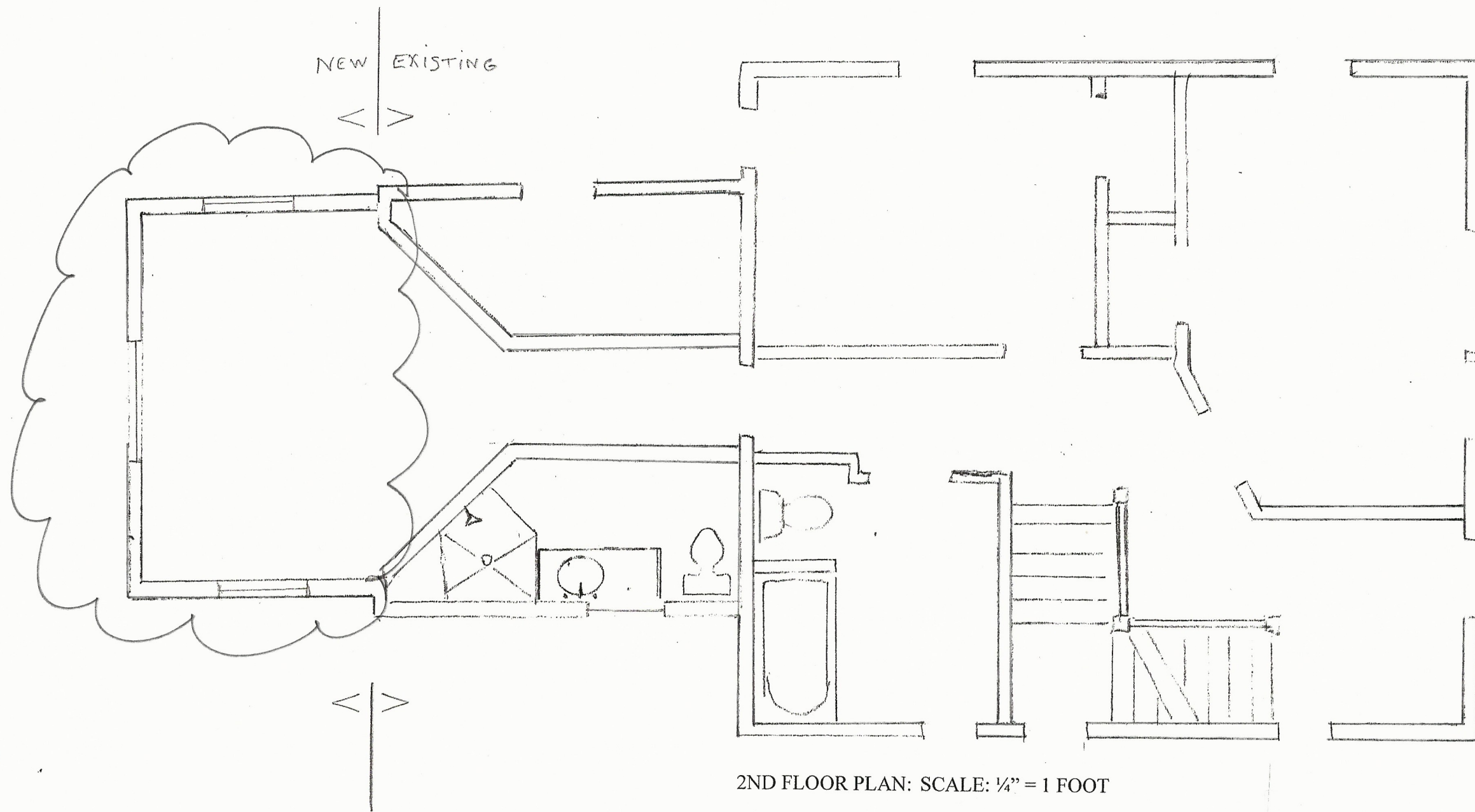
ADAMSON / JILEK RESIDENCE  
 834 W. WASHINGTON ST.  
 ANN ARBOR MI 48103



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 734-913-4924 [vinewood@comcast.net](mailto:vinewood@comcast.net)

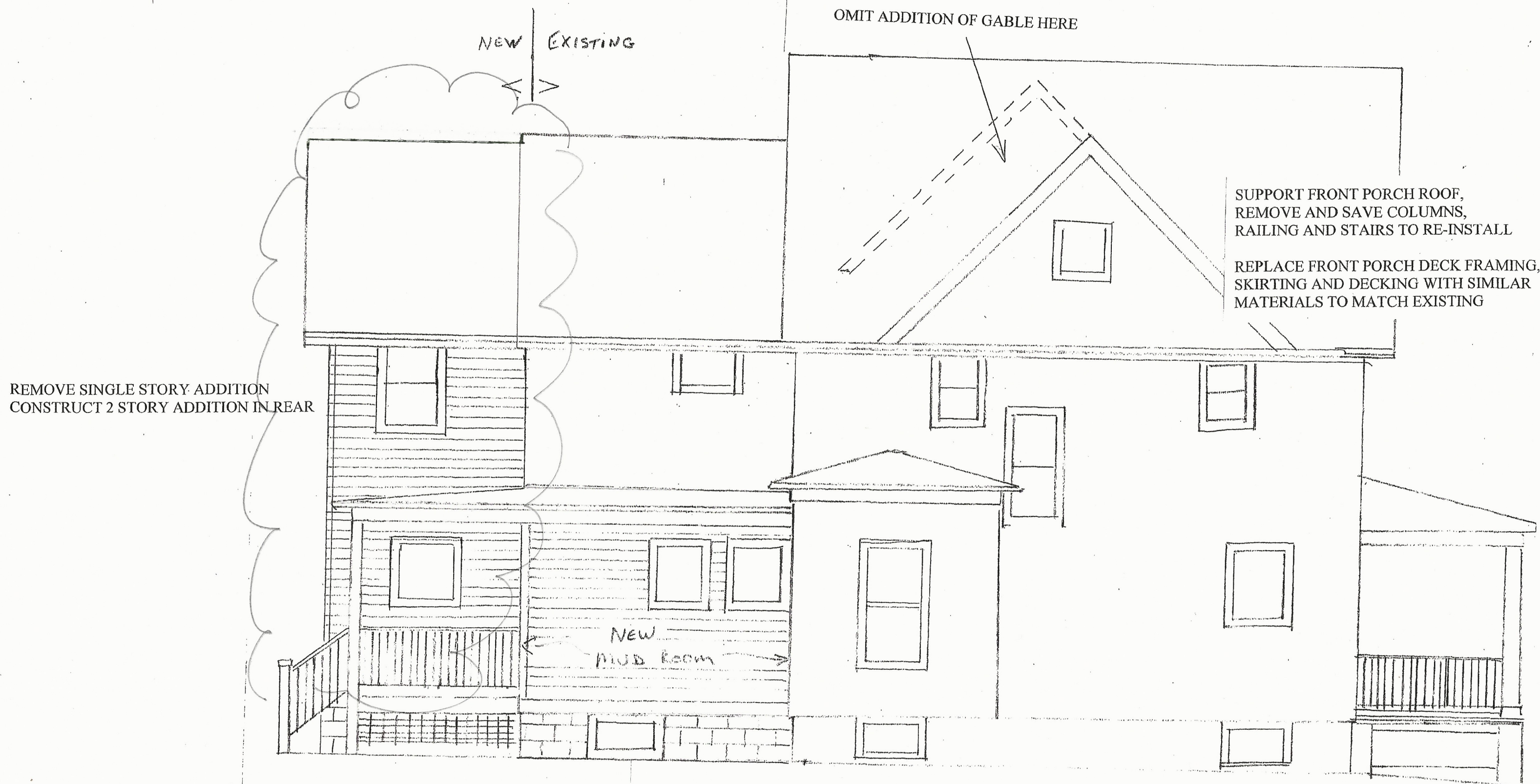
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REMOVE SINGLE STORY ADDITION  
CONSTRUCT 2 STORY ADDITION IN REAR

OMIT ADDITION OF GABLE HERE

SUPPORT FRONT PORCH ROOF,  
REMOVE AND SAVE COLUMNS,  
RAILING AND STAIRS TO RE-INSTALL

REPLACE FRONT PORCH DECK FRAMING,  
SKIRTING AND DECKING WITH SIMILAR  
MATERIALS TO MATCH EXISTING

NEW  
MUD ROOM

WEST ELEVATION

SCALE: 1/4" = 1 FOOT

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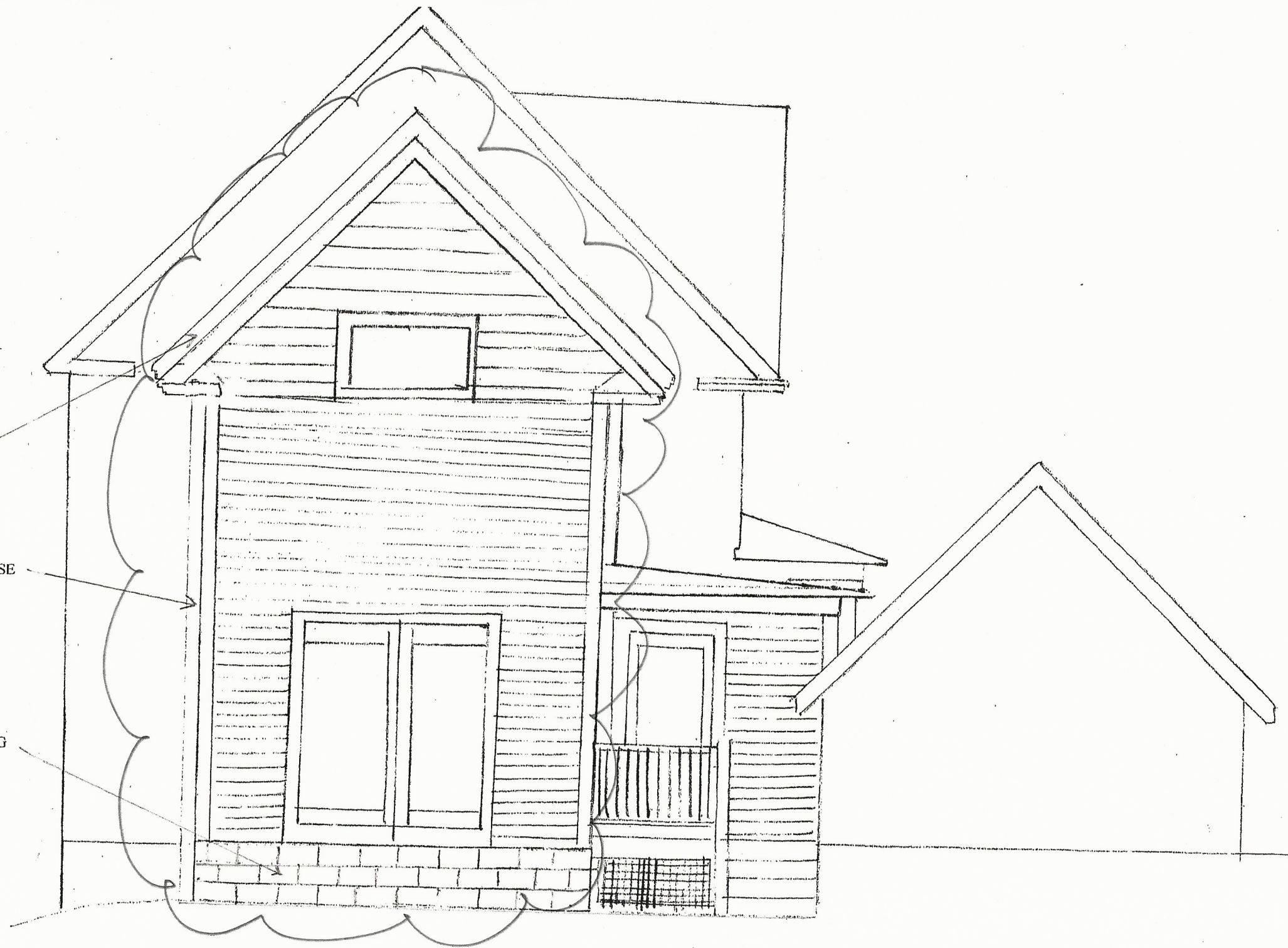


REMOVE SINGLE STORY ADDITION  
CONSTRUCT 2 STORY ADDITION IN REAR

NEW ROOF 6" LOWER THAN EXISTING

6" OFFSET AT CORNER OF EXISTING HOUSE

SCULPTED FACE CONCRETE BLOCK  
FROM FENDT BLOCK TO MATCH EXISTING



NORTH ELEVATION

SCALE: 1/4" = 1 FOOT

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EAST ELEVATION

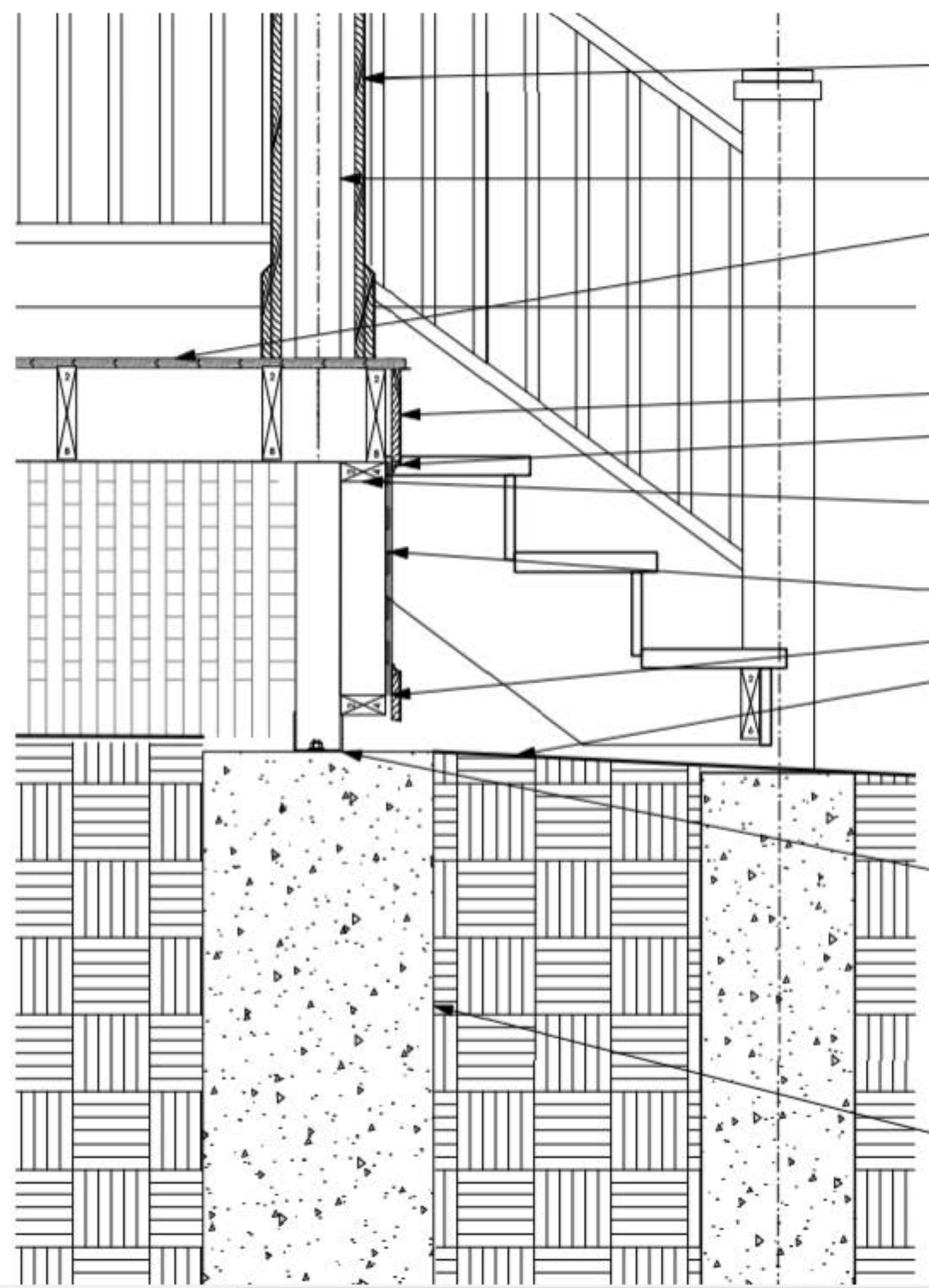
SCALE: 1/4" = 1 FOOT

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ch  
osb  
ay  
1/2"  
tile  
board  
ek -  
bolts



- 8" square wood box column w/ 1x10 wood base w/ wash, hold 1/4" above deck
- 4x4 treated wood post
- 1x4 t&g AZEK decking
- 1x8 cedar
- 3/4" wood cove
- treated 2x4 subframe
- porch skirt 1/4" vert lattice cedar w/ 3/4" wood cove top & bottom
- 1x4 cedar
- grade
- stand-off post anchor
- 18" ø formed concrete pier footing to 42" below grade, typical

**James Jilek & A**  
**834 W. Washington., Ann**

Project Date: 6.4.18 Proj

ed date: 11.09.18  
sion date:  
Bidding date: 4/25/19



A large stack of hewnface concrete blocks is shown on a wooden pallet. The blocks are arranged in a grid pattern and have a rough, textured surface. The stack is secured with several green straps. A clear plastic sheet is draped over the top of the stack. The pallet is made of weathered wooden planks. The background shows more stacks of similar blocks.

Hewnface block, Fendt Bldg.  
Supply





**Existing block, original  
foundation**





Basement window,  
32" x 24" R.O.