

**Zoning Board of Appeals  
October 28, 2015 Regular Meeting**

**STAFF REPORT**

**Subject: ZBA15-025; 408 Glendale Street**

**Summary:**

Biondo Design is requesting one front yard setback variance from Chapter 55(Zoning) Section 5:57 (Averaging an Existing Front Setback Line, R1D, Single-Family), of 5 feet to allow a 19 foot 6 inch front setback; 24 feet 6 inches is required (Averaged Front Setback).

**Description and Discussion:**

The subject parcel contains a 945-square foot single-family structure constructed in 1943. The parcel is zoned R1D (Single-Family) and is conforming for lot area; the required minimum lot area for R1D is 5,000 square feet and the parcel is 5,445 square feet. The current front setback measures 21 feet 8 inches to an existing approximately 36 square foot uncovered porch. The required setback for R1D is 25 feet; however using the required averaging section to include adjacent houses within 100 feet, the required setback is reduced to 24 feet 6 inches.

The petitioner is proposing to remove the existing porch and construct a 17 foot 7 inch by 6 foot covered front porch addition to the house. After construction, the porch of the house would encroach 5 feet into the averaged front setback of 24 feet 6 inches. The total area of the front porch is approximately 105 square feet.

**Standards for Approval- Variance**

The Zoning Board of Appeals has all the power granted by State law and by Section 5:99, Application of the Variance Power from the City of Ann Arbor Zoning Ordinance. The following criteria shall apply:

- (a). *That the alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the City.***

The subject parcel is a conforming lot in the R1D Zoning District (required is a minimum lot size of 5,000 square feet; parcel is 5,445 square feet). The existing house was built in the 1940's before current zoning setbacks. The house was constructed with only a 36 square foot uncovered front porch approximately 22 feet from the front property line.

Any proposed covering of the existing front porch will also trigger the need for a setback variance. The R1D required setback is 25 feet; however the averaging of adjacent parcels adjusts the setback to 24 feet 6 inches. Adjacent neighborhood houses used in the averaging requirement were also constructed before current zoning standards.

- (b). ***That the alleged hardships or practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.***

The variance is being requested in order to construct and cover a 105 square foot front porch on the house. If the variance is not granted, the petitioner could re-construct (but not cover) the existing porch. The porch could not extend across the front of the house without permission to Alter a Non-Conforming Structure from the ZBA.

- (c). ***That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.***

If the variance is approved, the structure will be consistent with a number of houses in the neighborhood. The porch is being enlarged and covered in order to allow for a useable area. A covered front porch would be an aesthetic improvement to the property and will enable residents to use the porch offering same protection from the elements. The addition will not be extended any closer to side property lines and a signed petition from adjacent neighbors was submitted.

- (d). ***That the conditions and circumstances on which the variance request is based shall not be a self imposed hardship or practical difficulty.***

The house was built in the 1940's before current zoning standards were established. Changes in the zoning code after construction of the house made the house non-conforming. The existing porch is sufficient in size to be used only for ingress/egress to the front doors and cannot be enlarged without permission from the ZBA.

- (e). ***A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.***

The variance, if approved, will permit construction of a covered front porch. The porch is 6 feet wide which is a minimal depth for the addition of chairs while maintaining the ability to walk around them. Given the total useable area of the porch is approximately 105 square feet, the requested variance is minimal.

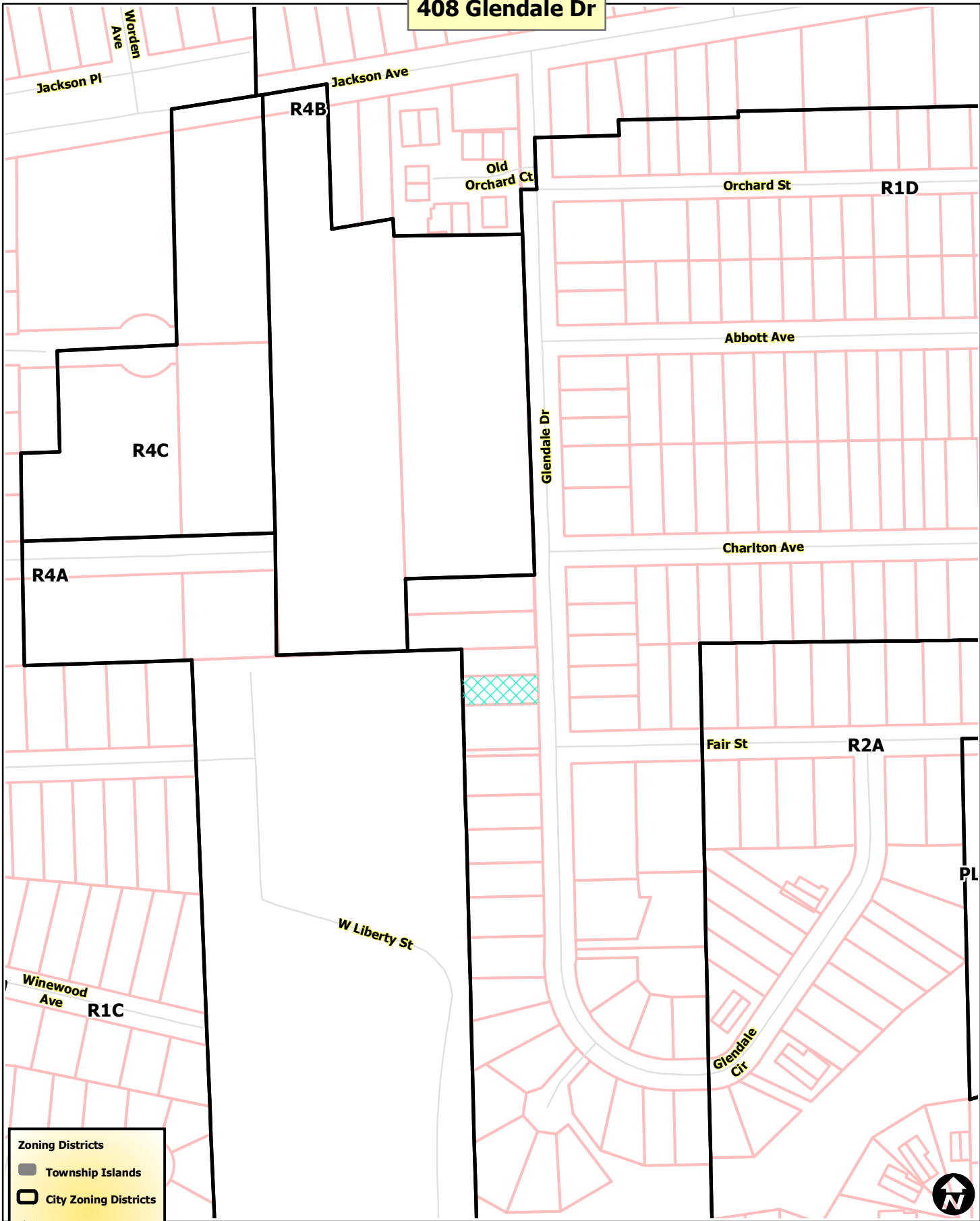
Zoning Board of Appeals  
Variance  
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Respectfully submitted,

A handwritten signature in black ink, appearing to read 'M. J. Kowalski', written in a cursive style.

**Matthew J. Kowalski, AICP**  
**City Planner**

# 408 Glendale Dr



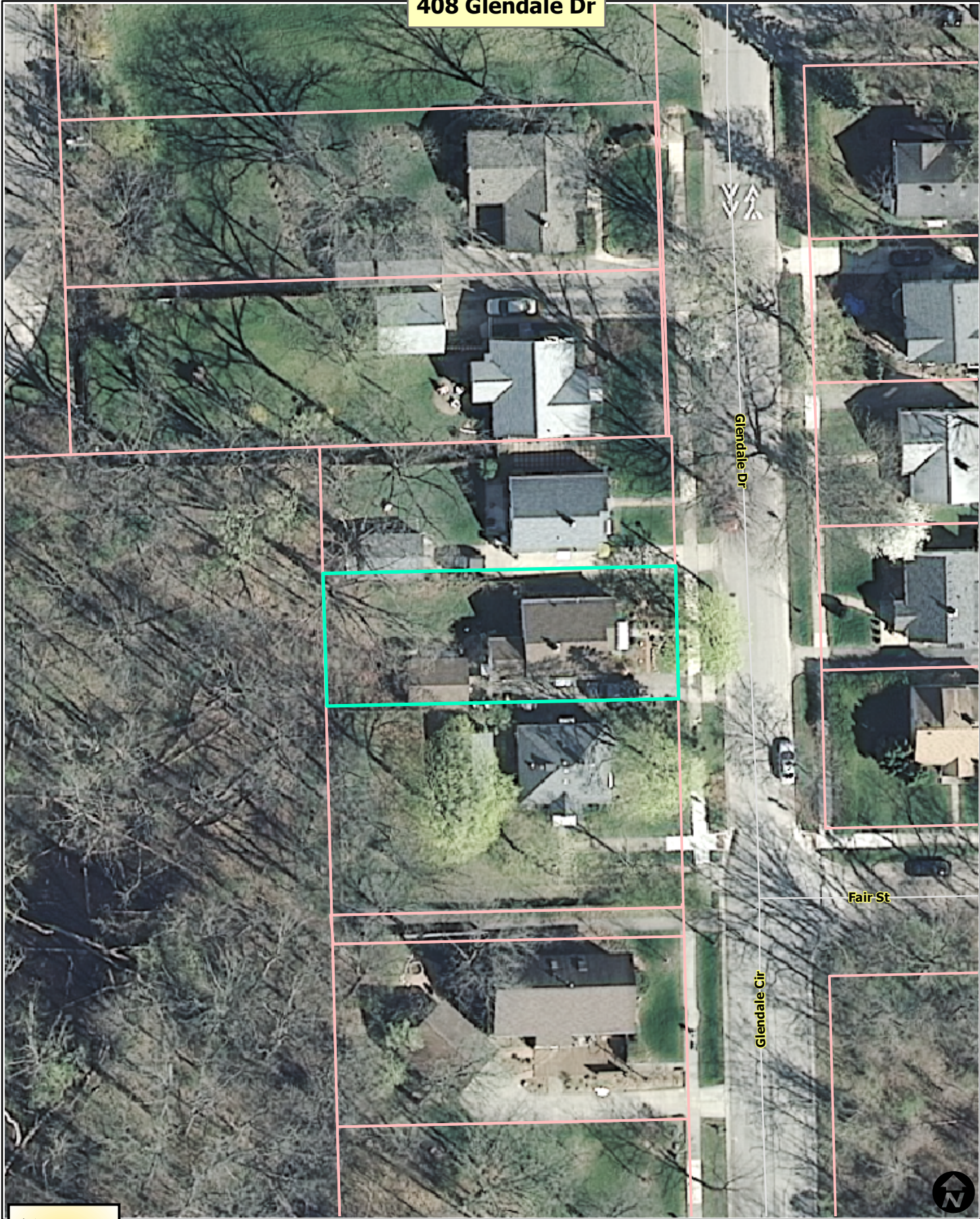
**Zoning Districts**

- Township Islands
- City Zoning Districts
- Railroads
- Parcels
- Huron River



Map date 10/7/2015  
Any aerial imagery is circa 2012  
unless otherwise noted  
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**408 Glendale Dr**



-  Railroads
-  Parcels
-  Huron River



Map date 10/7/2015  
Any aerial imagery is circa 2012  
unless otherwise noted  
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# APPLICATION FOR VARIANCE OR NON-CONFORMING STRUCTURE ZONING BOARD OF APPEALS

## Section 1: Applicant Information

Name of Applicant: BIONDO DESIGN & BUILD LLC  
 Address of Applicant: 19355 FRY  
 Daytime Phone: OFFICE: 248.349.9958 / CELL 248.613.1469  
 Fax: 248.349.6174  
 Email: BIONDODESIGNBUILD@COMCAST.NET  
 Applicant's Relationship to Property: DESIGNER / BUILDER

## Section 2: Property Information

Address of Property: 408 Glendale, Ann Arbor, MI 48013  
 Zoning Classification: R1D  
 Tax ID# (if known): \_\_\_\_\_  
 \*Name of Property Owner: ARON & CARMEN LOZO

*\*If different than applicant, a letter of authorization from the property owner must be provided.*

## Section 3: Request Information

Variance

|   |                     |                     |
|---|---------------------|---------------------|
| Chapter(s) and Section(s) from which a variance is requested: | Required dimension: | PROPOSED dimension: |
| <u>ARTICLE 3 SECTION 5.29</u>                                 | <u>24.46'</u>       | <u>19.5'</u>        |

*Example: Chapter 55, Section 5.26*

*Example: 40' front setback*

*Example: 32'*

Give a detailed description of the work you are proposing and why it will require a variance (attach additional sheets if necessary)

A PORTION OF THE PROPOSED DESIGN/PLANS IS A COVERED FRONT PORCH WHICH WILL ENCRoACH 5'-0" INTO FRONT SETBACK (NEW HOME @ 500 GLENDALE ENCRoACHES 4.5')

## Section 4: VARIANCE REQUEST (If not applying for a variance, skip to section 5)

NEW HOME @ 506 GLENDALE ENCRoACHES 2.46'

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5.98. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when **ALL** of the following is found **TRUE**. Please provide a complete response to each item below. These responses, together with the required materials in Section 5 of this application, will form the basis for evaluation of the request by staff and the Zoning Board of Appeals. (continued...)

1. Are there hardships or practical difficulties to complying with the ordinance? Are these hardships or practical difficulties an exception or unique to the property compared to other properties in the City?

YES. THE PROPERTY IS UNIQUE IN THAT THE EXISTING 3.8x9' UNCOVERED PORCH IS LOCATED 2.7' FROM THE FRONT PROPERTY LINE (2.76' INTO FRONT SETBACK) - THERE IS NO PHYSICAL ROOM FOR A PORCH

2. Are the hardships or practical difficulties more than mere inconvenience, inability to obtain a higher financial return? (explain)

YES. UNDER THE BUILDING CODE SEC. R 311.7.5 & R 311.3 (ATTACHED) A MINIMUM 36" LANDING IS REQUIRED. FRONT DOOR THRESHOLD IS 18" ABOVE GRADE REQUIRING 3 RISERS. 4'-6" TOTAL: 3'-6" INTO SETBACK

3. What effect will granting the variance have on the neighboring properties?

NO EFFECT OTHER THAN ENHANCE THE VALUES & CURB APPEAL OF THE NEIGHBORING HOMES. (SEE ATTACHED NEIGHBOR APPROVAL LETTER)

4. What physical characteristics of your property in terms of size, shape, location or topography prevent you from using it in a way that is consistent with the ordinance?

THE FRONT OF THE MAIN HOUSE IS 25.5' FROM FRONT LOT LINE LEAVING ONLY ROOM FOR (1) 12" STEP FROM FRONT DOOR TO FULLY COMPLY (THIS WOULDN'T EVEN MEET

BUILDING CODE.

5. Is the condition which prevents you from complying with the ordinance self-imposed? How did the condition come about?

NOT SELF IMPOSED. THE ORIGINAL BUILDER NEVER CONSIDERED THE IDEA OF LEAVING ROOM FOR A PORCH WHEN HOME WAS BUILT. (BUILT IN 1943)

### Section 5: ALTERATION TO A NON-CONFORMING STRUCTURE

Current use of the property R1D - SINGLE FAMILY

The proposed change is allowed in accordance with Structure Non-Conformance, Section 5:87 (1) (a) & (b), which reads as follows:

(1) A non-conforming structure may be maintained or restored, but no alteration shall be made to a non-conforming structure unless one of the following conditions is met:

- a. The alteration is approved by the Zoning Board of Appeals upon finding that it complies as nearly as practicable with the requirements of this Chapter and that it will not have a detrimental effect on neighboring property.
- b. The alteration conforms to all the requirements of this Chapter and is made to a building which will be a single-family dwelling on completion of the alteration and is located in an R1, R2, R3, or R4 district.
- c. The structure is considered non-conforming due to the following reasons

(continued . . . . .)

Existing Condition

Code Requirement

Lot area 15520 SQ FT  
 Lot width 46'  
 Floor area ratio \_\_\_\_\_  
 Open space ratio \_\_\_\_\_  
 Setbacks 7' RIGHT SIDE, 12'-7' LEFT, 21'-7' FRONT 63.2 REAR  
 Parking 1 CAR DETACHED  
 Landscaping \_\_\_\_\_  
 Other \_\_\_\_\_

Describe the proposed alterations and state why you are requesting this approval:

NEW 2ND FLOOR ADDITION W/COVERED  
PORCH. IN ORDER TO MEET BUILDING CODE FOR  
LANDINGS & STAIRS AT THE FRONT DOOR WE  
WOULD REQUIRE A VARIANCE OF 3'-6" MINIMUM  
(SEE EXPLANATION ON LINE 2 PAGE 2)

The alteration complies as nearly as is practicable with the requirements of the Chapter and will not have a detrimental effect on neighboring property for the following reasons:

A COVERED FRONT PORCH ONLY 36" WIDE, IN  
ORDER TO COMPLY WITH BUILDING CODE PREVIOUSLY  
MENTIONED WOULD BE SOMEWHAT IMPRACTICAL  
BECAUSE IT IS OPEN WOULD NOT IMPACT THE  
NEIGHBORS LINE OF SITE. ALSO WILL ENHANCE VALUES & CURB APPEAL.

Wherefore, Petitioner requests that permission be granted from the above named Chapter and Section of the Ann Arbor City Code in order to permit A COVERED

FRONT PORCH 6'-0" IN WIDTH PER  
ATTACHED DRAWINGS.

**Section 6: Required Materials**

The following materials are required for all variance requests. Failure to provide these materials will result in an incomplete application and will delay staff review and Zoning Board of Appeals consideration of the request. The materials listed below must accompany the application and constitute an inseparable part of the application.

All materials must be provided on 8 1/2" by 11" sheets. (Continued.....)



- Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
- Building floor plans showing interior rooms, including dimensions.
- Photographs of the property and any existing buildings involved in the request.
- Any other graphic or written materials that support the request.

**Section 7: Acknowledgement**

**SIGNATURES MUST BE SIGNED IN PRESENCE OF NOTARY PUBLIC**

I, the applicant, request a variance from the above named Chapter(s) and Section(s) of the Ann Arbor City Code for the stated reasons, in accordance with the materials attached hereto. *CELL 248-613-1469*

*248-349-9958*  
 Phone Number  
*BIONDO DESIGN BUILD @*  
 Email Address *COMCOST.NET*

*[Signature]*  
 Signature  
 KEVIN BIONDO  
 Print Name

I, the applicant, hereby depose and say that all of the aforementioned statements, and the statements contained in the materials submitted herewith, are true and correct.

*[Signature]*  
 Signature

Further, I hereby give City of Ann Arbor Planning & Development Services unit staff and members of the Zoning Board of Appeals permission to access the subject property for the purpose of reviewing my variance request.

*[Signature]*  
 Signature

I have received a copy of the informational cover sheet with the deadlines and meeting dates and acknowledge that **staff does not remind the petitioner of the meeting date and times.**

*[Signature]*  
 Signature

On this 23 day of Sept., 2015, before me personally appeared the above named applicant and made oath that he/she has read the foregoing application by him/her subscribed and knows the contents thereof, and that the same is true as to his/her own knowledge except as to those matters therein stated to be upon his information and belief as to those matters, he/she believes them to be true.

TONIA AUDIA ALOE  
 NOTARY PUBLIC, STATE OF MI  
 COUNTY OF WAYNE  
 MY COMMISSION EXPIRES Jan 6, 2022  
 ACTING IN COUNTY OF Wayne  
 Notary Public Signature  
 Notary Commission Expiration Date  
 Print Name

**Staff Use Only**

Date Submitted: \_\_\_\_\_ Fee Paid: \_\_\_\_\_  
 File No.: \_\_\_\_\_ Date of Public Hearing \_\_\_\_\_  
 Pre-filing Staff Reviewer & Date \_\_\_\_\_ ZBA Action: \_\_\_\_\_  
 Pre-Filing Review: \_\_\_\_\_  
 Staff Reviewer & Date: \_\_\_\_\_

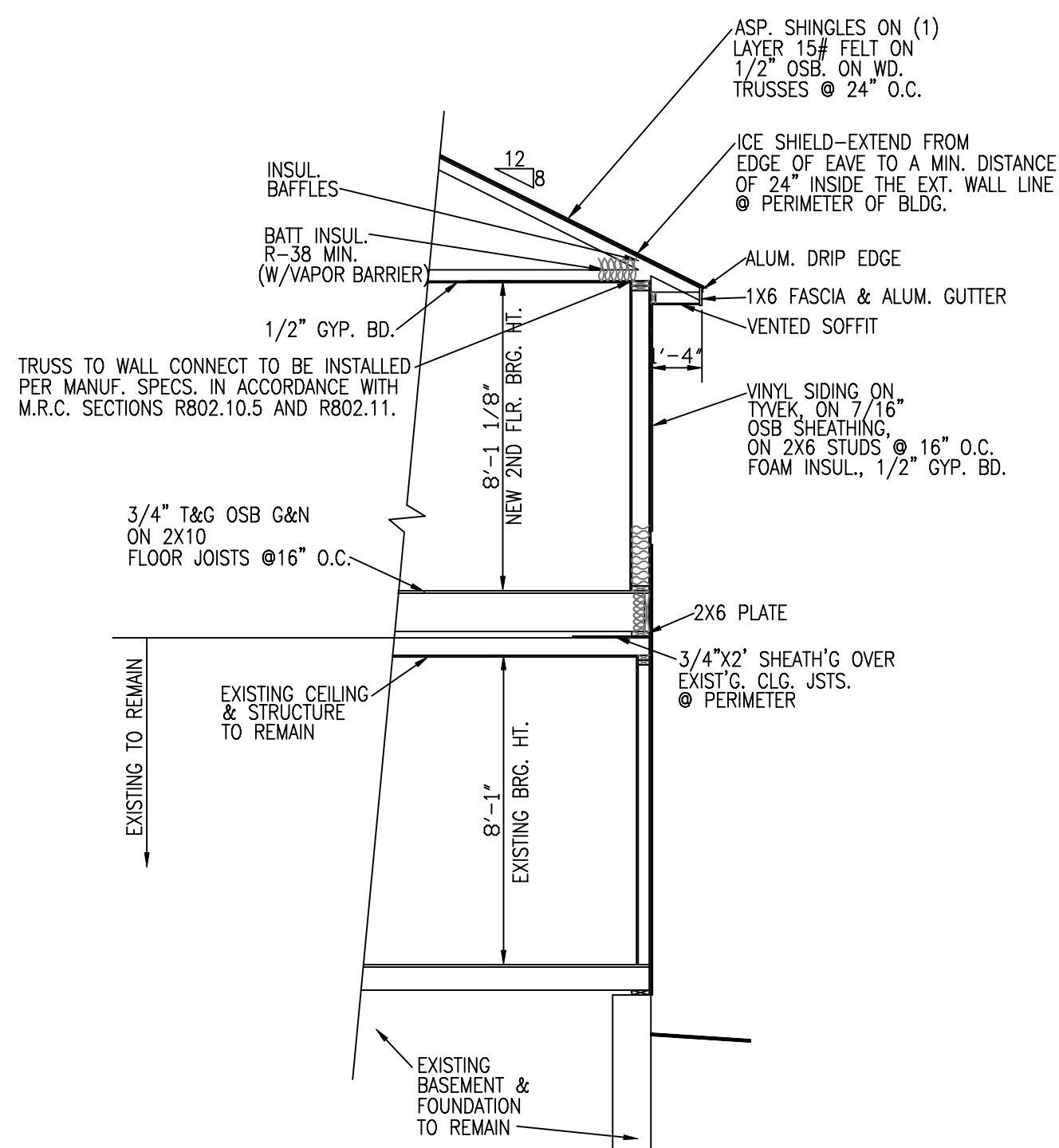
**GENERAL NOTES**

- ALL CONSTRUCTION TO COMPLY WITH M.R.C. 2009, LOCAL BUILDING CODES AND COMPLIANCES. 2009 MICHIGAN UNIFORM ENERGY CODE.
- ALL MANUFACTURED MATERIALS TO BE HANDLED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS UNLESS OTHERWISE NOTED BY THESE DOCUMENTS.
- SOIL BEARING CAPACITY ASSUMED TO BE 2,500 P.S.F.
- UNLESS NOTED OTHERWISE (U.N.O.) DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE. NOMINAL THICKNESS DIMENSIONS ARE USED FOR MASONRY. INTERIOR PARTITION THICKNESS TO BE 4 1/2" (U.N.O.).
- CONCRETE SHALL BE 3,000 P.S.I. AT 28 DAY TESTING.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-36.
- ALL CONCRETE BLOCK TO BE TYPE N-1. MORTAR SHALL BE TYPE "S". ALL BRICK SHALL BE SW GRADE, ASTM C-216 TYPE FBS, MORTAR SHALL BE TYPE "M". METAL TIES FOR BRICK VENEER SHALL BE CORROSION RESISTANT METAL OR GALVANIZED AND SHALL BE PLACED 16" O.C. EACH WAY.
- WOOD FRAMING TO BE DONE IN ACCORDANCE TO NATIONAL LUMBER MANUFACTURERS ASSOCIATION RECOMMENDED PRACTICE FOR WOOD FRAMING.
- ALL STRUCTURAL LUMBER: JOISTS AND HEADERS TO BE MIN. Fb1250, Fb REPETITIVE 1450 UNLESS OTHERWISE NOTED. MIN. E=1,600,000. ALL STUDS TO BE STUD GRADE OR BETTER, Fc MIN. 425.
- MICRO-LAM BEAMS SHALL HAVE AN Fb=2,800 P.S.I. AS MANUF. BY "TRUSS JOIST CORP." OR EQUAL AND SHALL BE FASTENED TOGETHER PER MANUF. SPECIFICATIONS.
- ALL FLUSH FRAMING CONNECTIONS, JOIST & BEAM HANGERS, POST CAPS, FRAMING AND RAFTER ANCHORS TO BE "SIMPSON STRONG TIE" OR EQUAL.
- TRUSS DESIGN, INSTALLATION AND BRACING SHALL BE PER TRUSS MANUFACTURER SHOP DRAWINGS AND SPECIFICATIONS.
- PROVIDE CONTINUOUS ROWS OF BRIDGING AT FLOOR JOISTS EXCEEDING NOMINAL 2X12'S AT INTERVALS NOT EXCEEDING 8'-0" O.C. IN ACCORDANCE WITH M.R.C. SECTION R502.7.1.
- FOUNDATION ANCHORAGE - SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONTIGUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH M.R.C. SECTION R403.1.6. ANCHORS SHALL CONSIST OF ANCHOR BOLTS OR METAL ANCHOR STRIPS SET INTO CONC. MIN. 7" WITH A MIN. TWO ANCHOR BOLTS PER PLATE SECTION 12" MAXIMUM FROM PLATE END AND 6'-0" O.C. MAX. SPACING. ANCHOR STRIPS SHALL BE INSTALLED AND SPACED PER MANUF. SPECIFICATIONS.
- ALL BUILT-UP WOOD POSTS CONSISTING OF (2)2X4'S OR GREATER TO BE GLUED AND SPIKED TOGETHER.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL BEARING PARTITIONS. IF JOIST ARE SEPARATED FOR PIPES, BLOCK @ 4 FT. ON CENTER MAXIMUM.
- PROVIDE SCREENED ROOF VENTILATION @ 1/300 OF THE TOTAL ENCLOSED AREA WITH 50% OF THE REQUIRED AREA IN THE UPPER 1/2 OF THE ROOF AND 50% IN THE EAVE/CORNICE SECTION OF THE ROOF. ALL ROOF VENTILATION SHALL BE IN ACCORDANCE WITH M.R.C. SECTION R806.
- PROVIDE A 22" X 30" ATTIC ACCESS TO ALL ATTIC AREAS HAVING A CLEAR HEIGHT OF OVER 30".
- PROVIDE GROUND FAULT INTERRUPTERS @ ALL INTERIOR OUTLETS ADJACENT TO WATER SOURCES AS WELL AS ALL OTHER LOCATIONS REQUIRED BY CODE. EXTERIOR OUTLETS TO BE WATERPROOF.
- SMOKE DETECTORS TO BE INSTALLED IN ALL LIVING UNITS IN ACCORDANCE WITH N.E.C. AND LOCAL BUILDING AUTHORITY, TO BE WIRED AND INTERCONNECTED WITH BATTERY BACK-UP.
- CARBON MONOXIDE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH R315 ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ALARM SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH R315 AND THE MANUF. INSTALLATION INSTRUCTIONS.
- ALL GLAZING 18" OR LESS A.F.F. TO BE TEMPERED GLASS AS WELL AS ALL OTHERS SPECIFIED BY M.R.C. SECTION R308.4 OR LATEST EDITION, LOCATIONS TO BE VERIFIED BY WINDOW MANUF.
- WINDOWS IN SLEEPING AREAS TO MEET M.R.C. REQUIREMENTS FOR EGRESS PER SECTION R310 OR LATEST EDITION, WINDOW MANUF. TO VERIFY.
- EXHAUST FANS TO BE VENTED DIRECTLY OUTSIDE.
- ALL NOTCHES AND HOLES BORED OR CUT INTO JOISTS, RAFTERS OR BEAMS SHALL COMPLY WITH M.R.C. SECTION R502.8, R502.6, R2803.2. NOTCHES SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE JOIST OR TO ANY OTHER HOLE OR NOTCH LOCATED IN THE MEMBER. THE DIAMETER OF THE HOLE IN THE JOIST SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE MEMBER.
- DOOR HARDWARE DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAXIMUM HEIGHT OF 48" ABOVE THE FINISHED FLOOR.
- DRAFTSTOPPING SHALL COMPLY WITH M.R.C. SECTION 302.12. DRAFTSTOPPING MATERIAL SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. FIRESTOPPING AND DRAFTSTOPPING SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED.
- FLASHINGS SHALL COMPLY WITH M.R.C. SECTION 703.7.5, 703.8

**FIREBLOCKING NOTES**

- FIREBLOCKING SHALL COMPLY WITH M.R.C. SECTION 302.11. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
    - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
    - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7
  - AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
  - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
- FIREBLOCKING MATERIALS SHALL COMPLY WITH M.R.C. SECTION R302.11.1. FIRESTOPPING SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED.

NOTE: VENT CLEARANCE: EAVE OR CORNICE VENTS SHALL BE INSTALLED TO COMPLY WITH M.R.C. R806.3 - INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

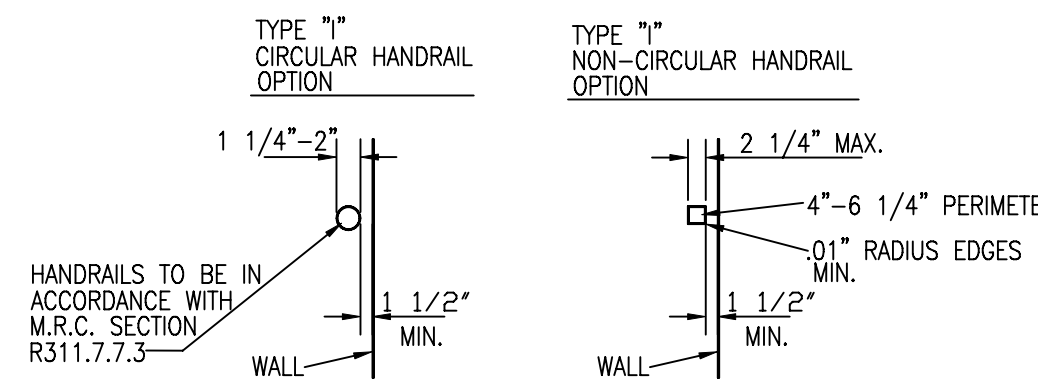


**TYPICAL WALL SECTION**

MINIMUM "R" VALUES TO BE AS FOLLOWS:  
 WINDOWS - Low-E U-factor 0.30  
 CEILING - R-38  
 CANTILEVERS - R-30  
 2X6 WALLS - R-21

NOTE: UNDER-STAIR PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH M.R.C. SECTION R 302.7. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.

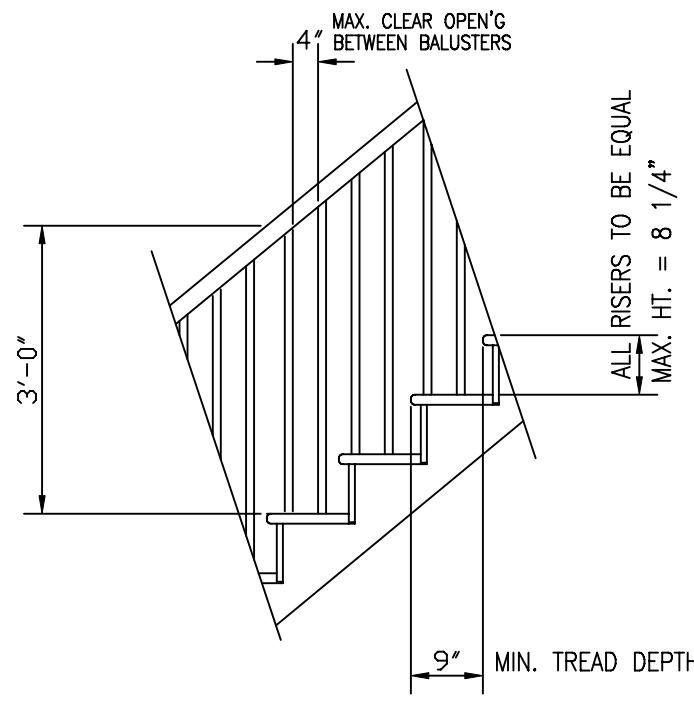
NOTE: TYPE "I" HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDE OF THE PROFILE IN ACCORDANCE WITH M.R.C. SECTION R311.7.3 (2).



NOTE: BEDROOM OUTLETS: ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS, INCLUDING LIGHTS, RECEPTACLES AND SMOKE DETECTORS, INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. PER M.R.C. SECTION E3902.11

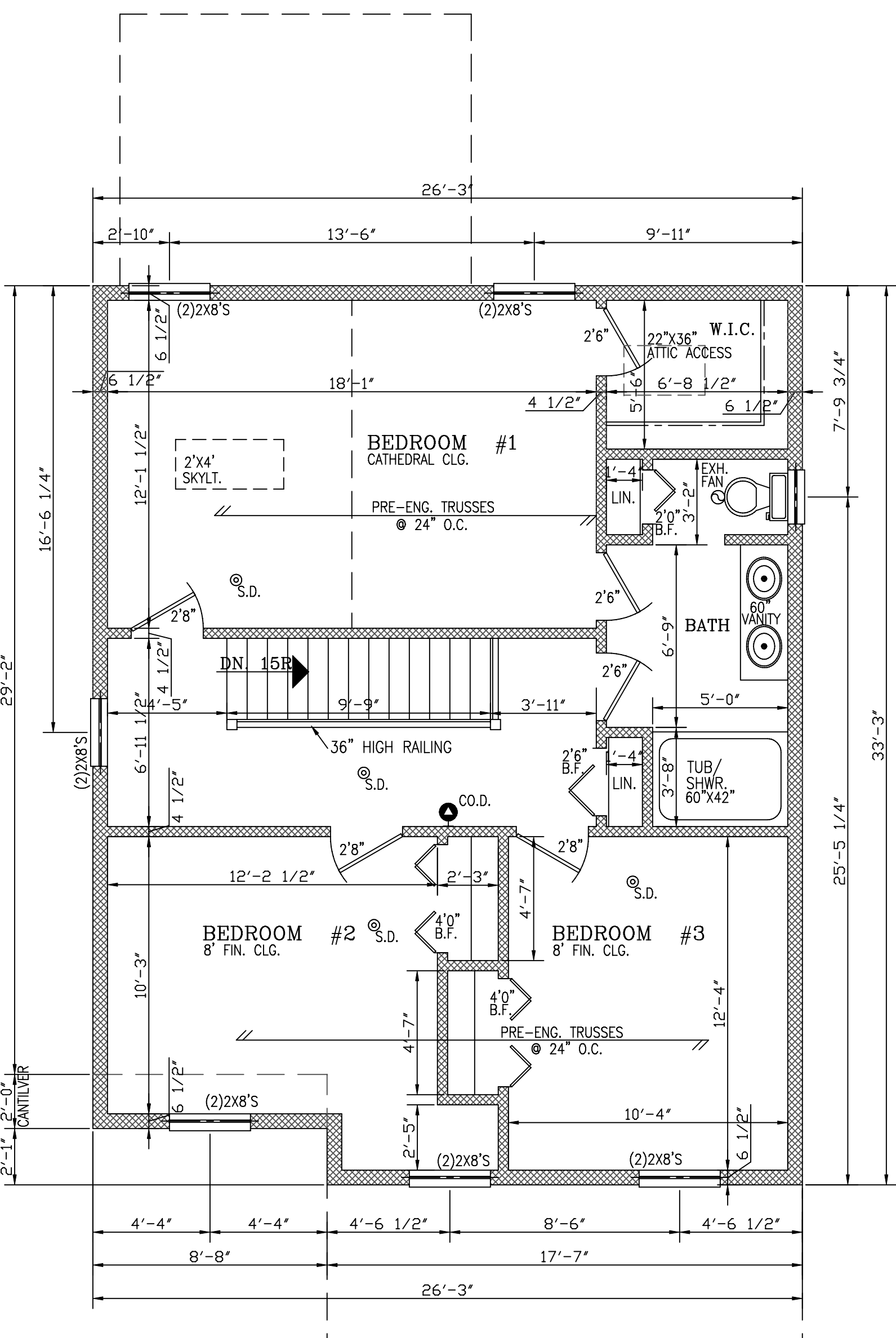
NOTE: BATHTUB AND SHOWER SPACES - BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBANT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER M.R.C. SECTION R307.2. - FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1208, C1325, C1178 OR C1278, RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS PER M.R.C. SECTION 702.4.2.

NOTE: BALUSTERS SHALL BE IN ACCORDANCE WITH M.R.C. R312 - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.



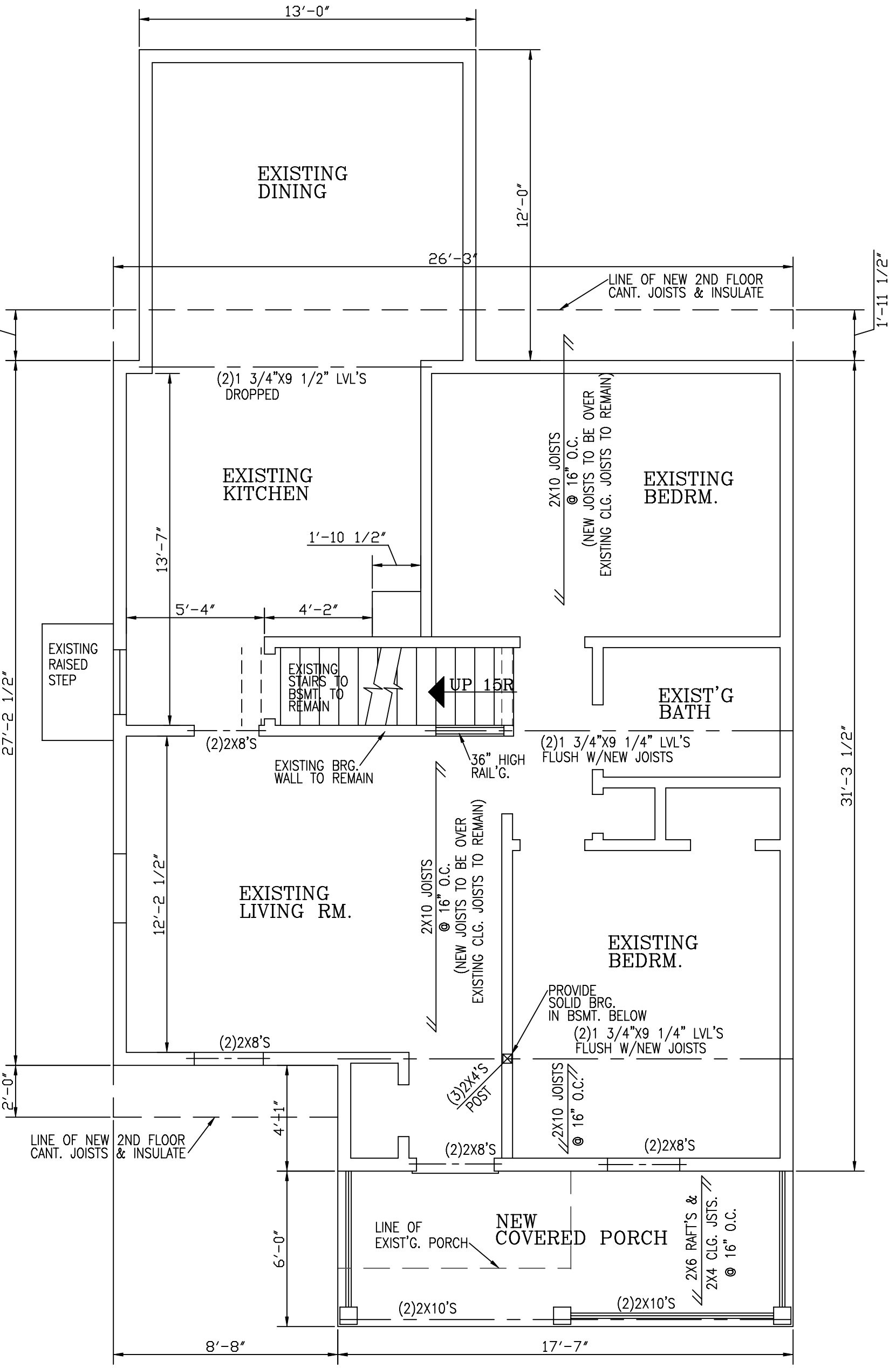
**STAIRWAY & HANDRAIL DETAIL**

**STAIR NOTES:**  
 ALL STAIRWAYS SHALL BE IN ACCORDANCE WITH M.R.C. SECTION R311.7.  
 -MAXIMUM RISER HT. SHALL BE 8 1/4"  
 -MINIMUM TREAD DEPTH SHALL BE 9"  
 -WINDERS SHALL COMPLY WITH M.R.C. SECTION 311.7.4.2 TREAD WIDTH SHALL BE 10" AT A POINT 12" FROM THE SIDE THE TREADS ARE NARROWER AND MIN. WIDTH OF ANY TREAD SHALL NOT BE LESS THAN 6".  
 -MINIMUM HEADROOM SHALL NOT BE LESS THAN 80" MEAS. VERTICALLY FROM TREAD NOSING OR FROM FLOOR SURFACE.  
 -HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH M.R.C. SECTIONS R311.7.7 & R312  
 -HANDRAILS SHALL HAVE MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38" RESPECTIVELY



**PROPOSED 2ND FLOOR PLAN**  
 855 SQ. FT. ADDITION

NOTES: SHADED WALLS INDICATE NEW WALLS CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS AND CONDITIONS



**EXISTING 1ST FLOOR PLAN**

**FOUNDATION @ NEW PORCH**

NEW 12" P. CONC. TRENCH FTG. EXTEND DN. TO SOLID BRG. MIN. 3'-6" BEL. GRADE.

**BIONDO DESIGN & BUILD, L.L.C.**  
 19355 Fry  
 Northville, MI 48167  
 (248) 349-9958

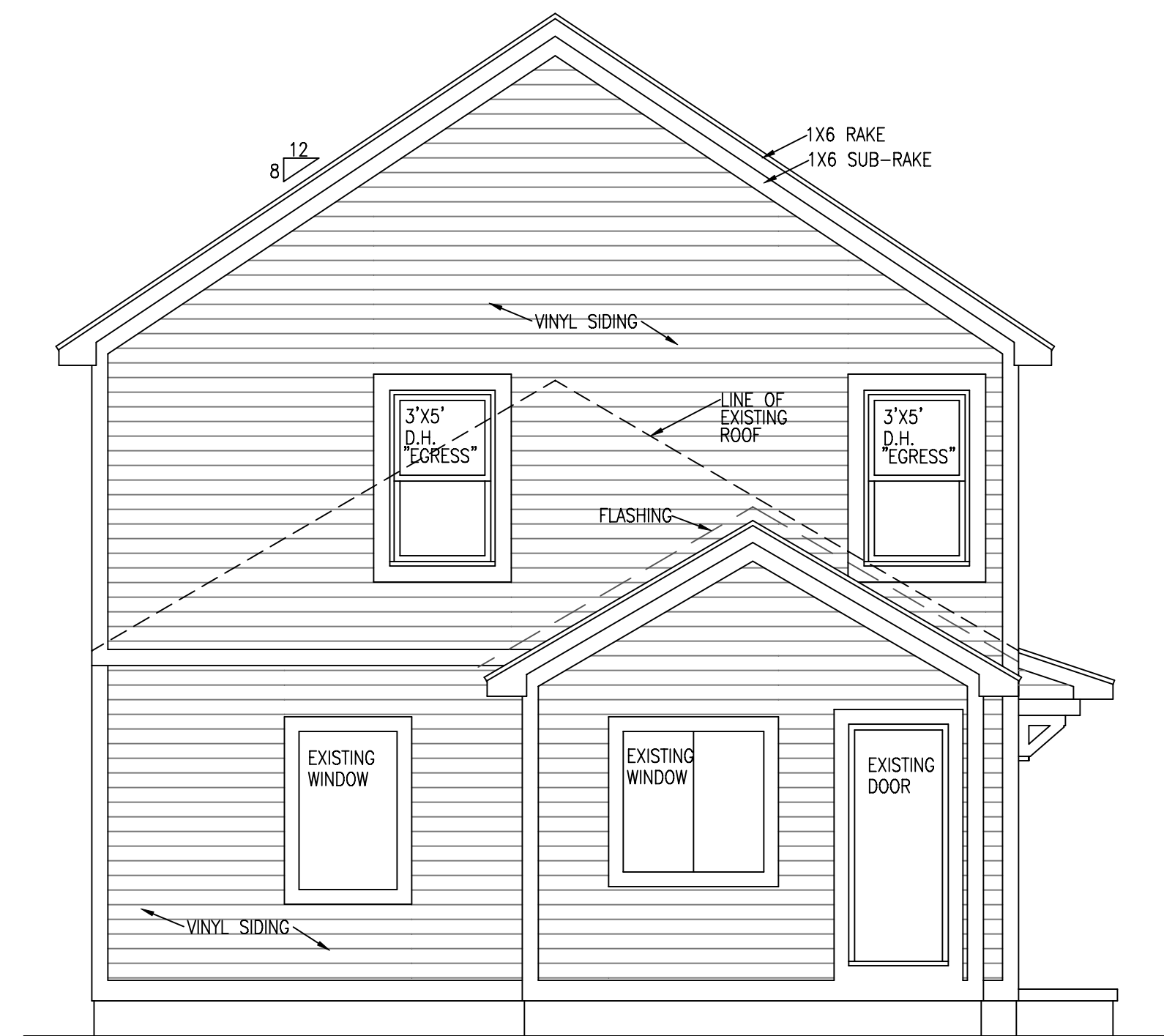
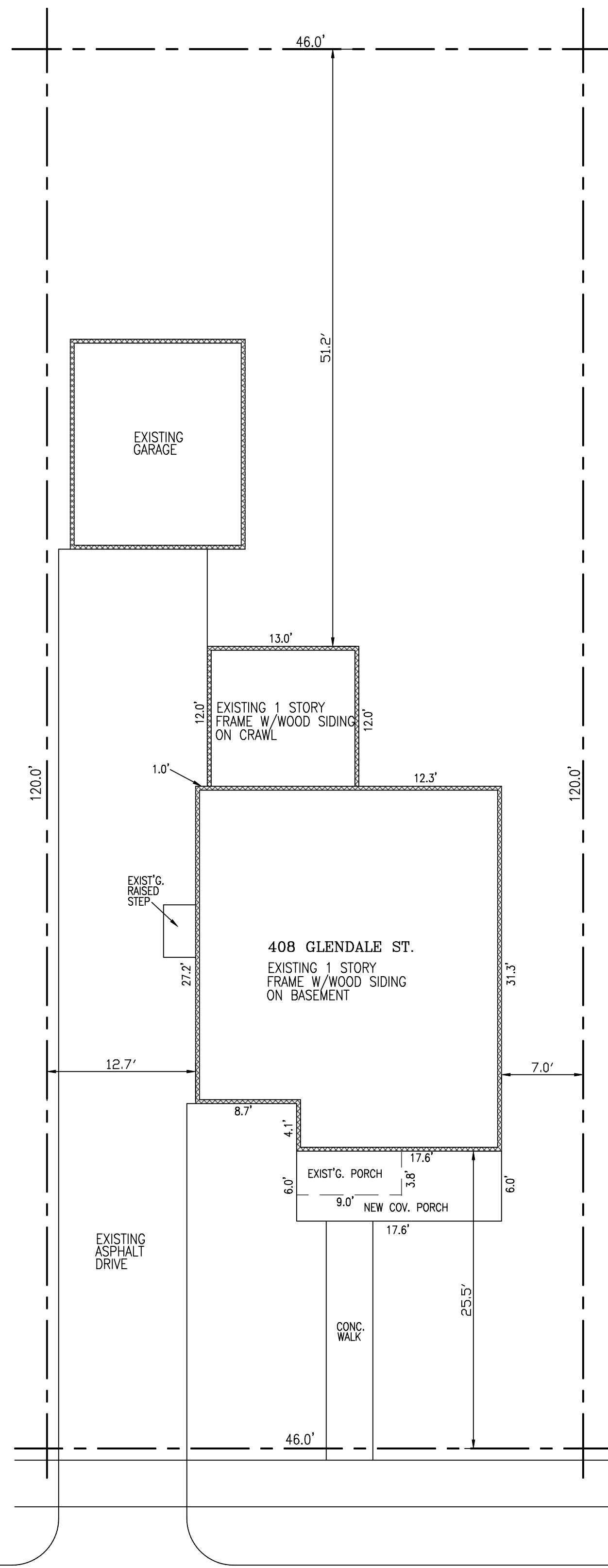
PROJECT: Addition to Residence For: 408 Grandale St. Ann Arbor, MI

revision: 8/12/2015 6/26/2015

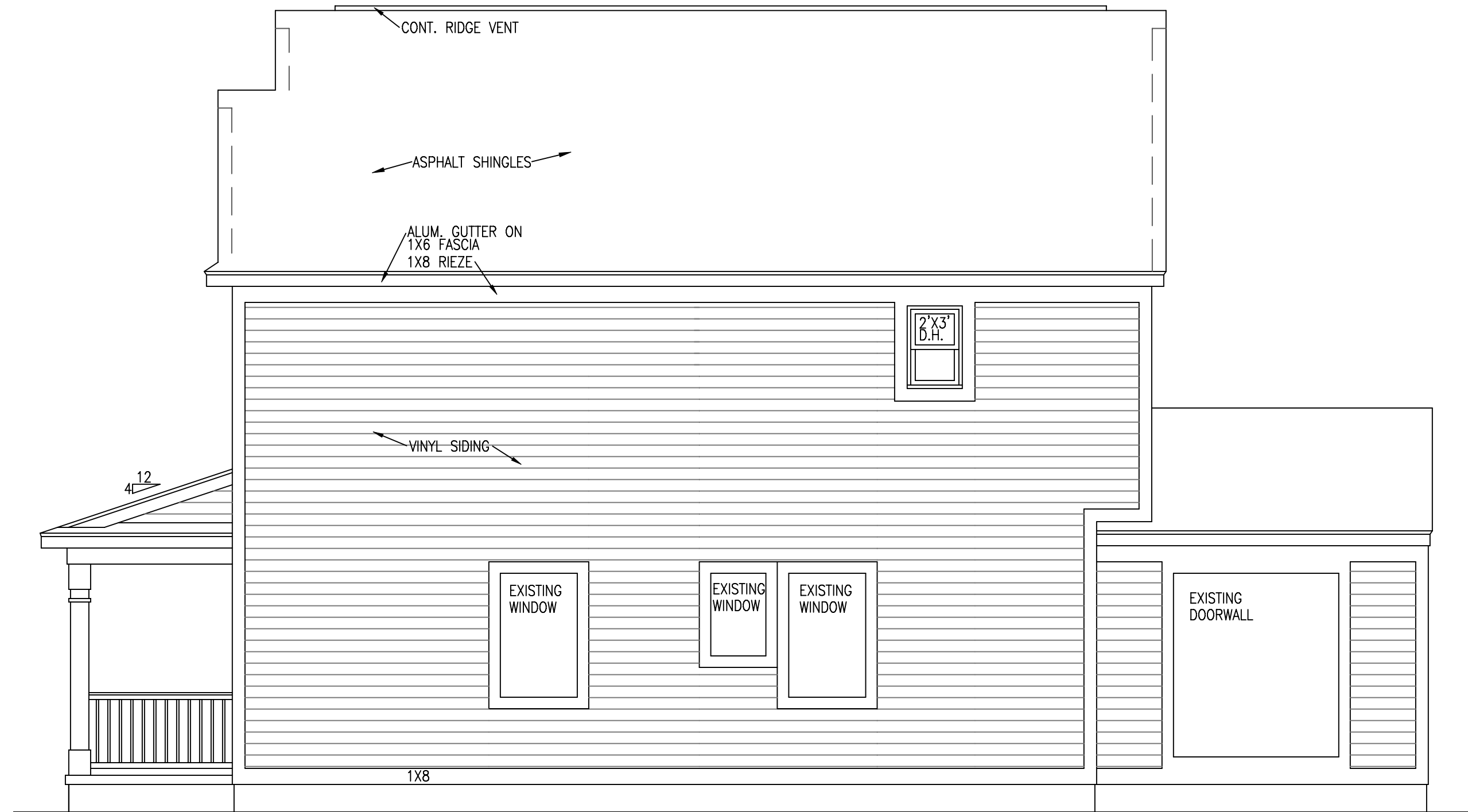
date: 7/1/2015

job#: 25704

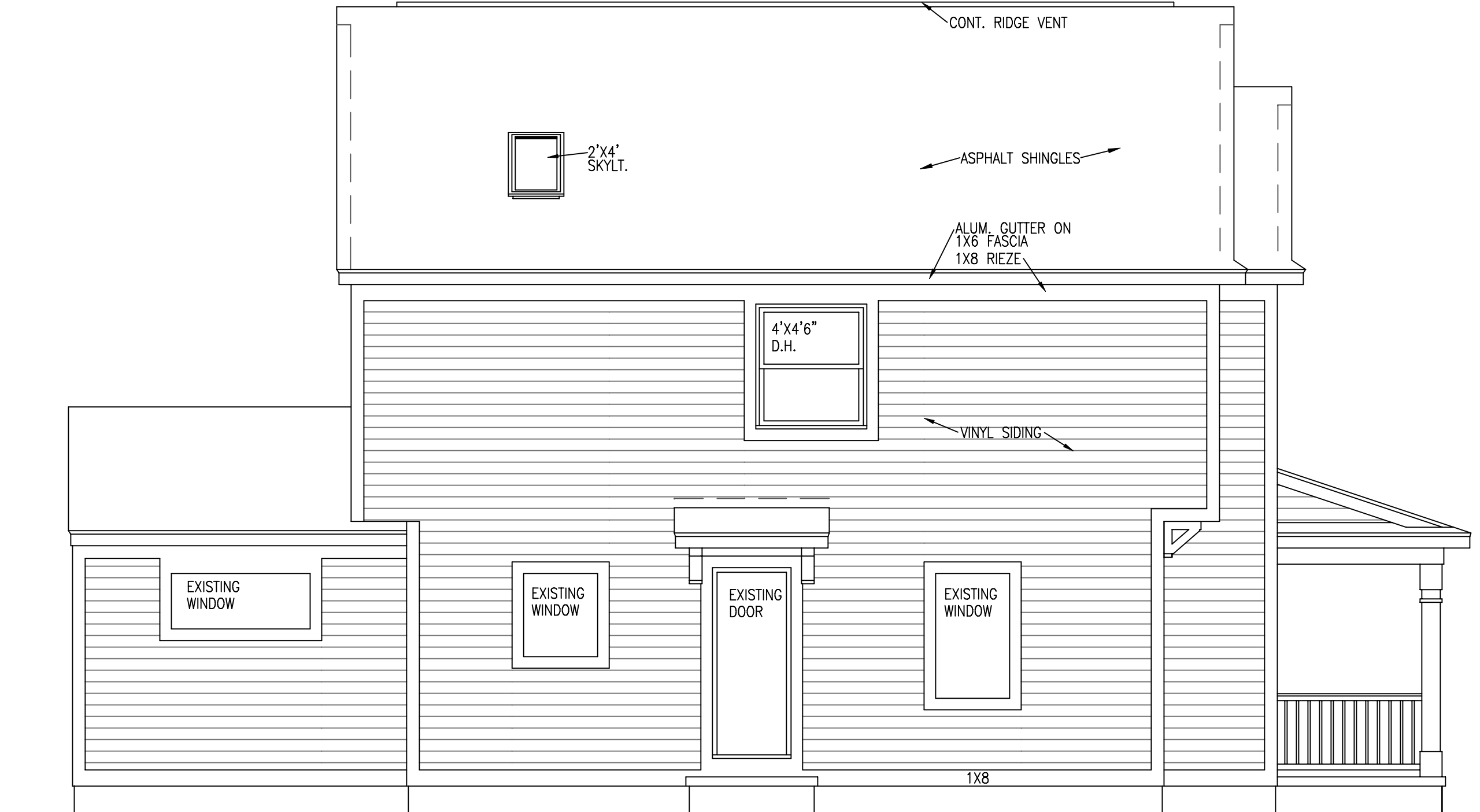
sh. no. 1 of 2



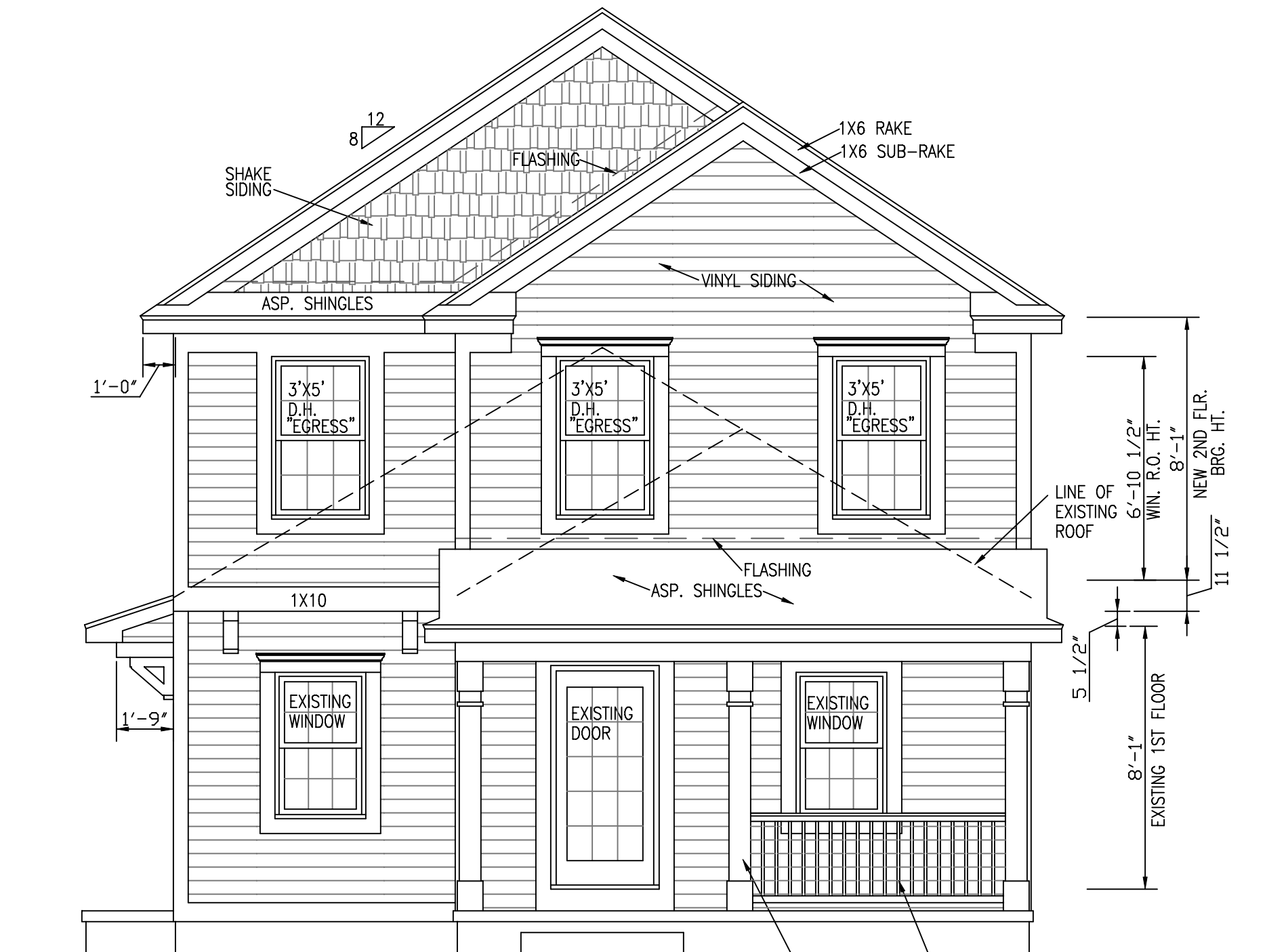
PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"

BIONDO DESIGN & BUILD, L.L.C.  
19355 Fry  
Northville, MI 48167  
(248) 349-9958

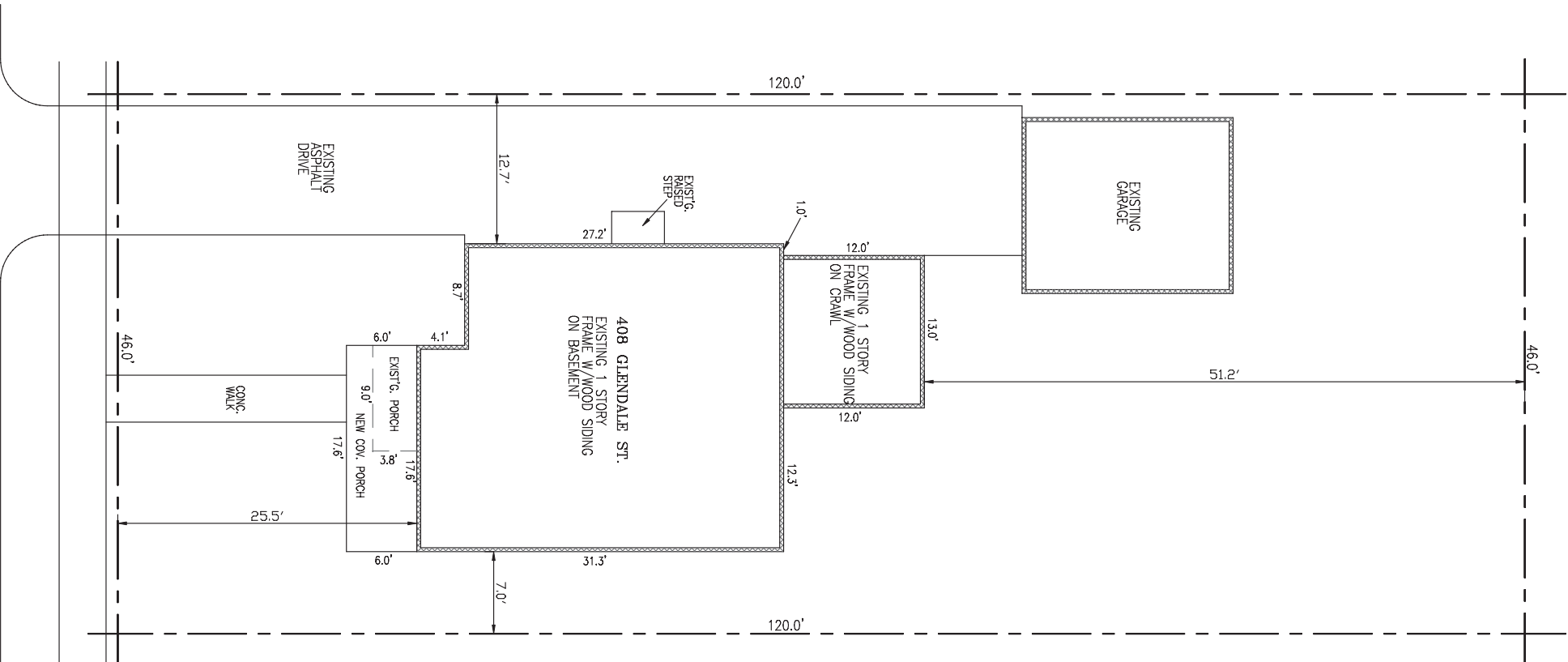
PROJECT: Design & Addition to Residence For: 408 Glendale St. Ann Arbor, MI

revision: 8/12/2015  
8/26/2015

date: 7/1/2015

job#: 25704

sh. no. 2 of 2



# BIONDO DESIGN & BUILD L.L.C.

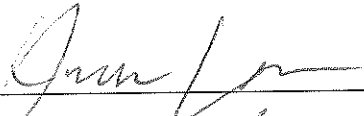

September 1, 2015

City of Ann Arbor  
Planning and Development Services  
301 E. Huron St.  
Ann Arbor, MI 48107

Homeowners: Aron and Carmen Lozo  
408 Glendale  
Ann Arbor, MI 48103

Contractor: Biondo Design & Build  
Kevin Biondo  
19355 Fry  
Northville, MI 48167

We, Aron and Carmen Lozo, owners of the property located at 408 Glendale, Ann Arbor, MI 48103, hereby give legal authority to Kevin Biondo of Biondo Design & Build, to apply for a zoning variance for a non-conforming covered front porch on our home.

Signed:  Date: 9/1/2015  
Signed:  Date: 9/1/2015

Residential & Commercial Remodeling  
Design New Construction  
19355 Fry Northville, MI 48167  
Office (248) 349-9958  
Fax: (248) 349-6174

Aron & Carmen Lozo, 408 Glendale, Ann Arbor, MI 48013



September 23, 2015

Aron & Carmen Lozo, 408 Glendale, Ann Arbor, MI 48013



September 23, 2015

## SECTION R311 MEANS OF EGRESS

**R311.1 Means of egress.** All *dwelling*s shall be provided with a means of egress as provided in this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the *dwelling* to the exterior of the *dwelling* at the required egress door without requiring travel through a garage.

**R311.2 Egress door.** At least one egress door shall be provided for each *dwelling* unit. The egress door shall be side-hinged, and shall provide a minimum clear width of 32 inches (813 mm) when measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The minimum clear height of the door opening shall not be less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the *dwelling* without the use of a key or special knowledge or effort.

**R311.2.1 Interior doors.** Interior doors shall be not less than 24 inches (609.6 mm) in width and 6 feet, 6 inches (1981.2 mm) in height.

**Exception:** Doors to areas less than 10 square feet of floor area.

R 408.30518

**R311.3 Floors and landings at exterior doors.** There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36 inches (914 mm) measured in the direction of travel. Exterior landings shall be permitted to have a slope not to exceed  $\frac{1}{4}$  unit vertical in 12 units horizontal (2-percent).

**Exception:** Exterior balconies less than 60 square feet (5.6 m<sup>2</sup>) and only accessible from a door are permitted to have a landing less than 36 inches (914 mm) measured in the direction of travel.

**R311.3.1 Floor elevations at the required egress doors.** Landings or floors at the required egress door shall not be more than  $1\frac{1}{2}$  inches (38 mm) lower than the top of the threshold.

**Exception:** The exterior landing or floor shall not be more than  $7\frac{3}{4}$  inches (196 mm) below the top of the threshold provided the door does not swing over the landing or floor.

When exterior landings or floors serving the required egress door are not at *grade*, they shall be provided with access to *grade* by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

**R311.3.2 Floor elevations for other exterior doors.** Doors other than the required egress door shall be provided with landings or floors not more than  $7\frac{3}{4}$  inches (196 mm) below the top of the threshold.

**Exception:** A landing is not required where a stairway of two or fewer risers is located on the exterior side of the door, provided the door does not swing over the stairway.

**R311.3.3 Storm and screen doors.** Storm and screen doors shall be permitted to swing over all exterior stairs and landings.

**R311.4 Vertical egress.** Egress from habitable levels including habitable attics and *basements* not provided with an egress door in accordance with Section R311.2 shall be by a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

### R311.5 Construction.

**R311.5.1 Attachment.** Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.

**R311.6 Hallways.** The minimum width of a hallway shall be not less than 3 feet (914 mm).

**R311.6.4 Modular ramps.** Modular ramp systems approved pursuant to the act are not required to comply with the requirements of section R403.1.4 of the code.

R 408.30518

### R311.7 Stairways.

**R311.7.1 Width.** Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than  $31\frac{1}{2}$  inches (787 mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

**Exception:** The width of spiral stairways shall be in accordance with Section R311.7.9.1.

**R311.7.2 Headroom.** The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.

**Exception:** Where the nosings of treads at the side of a flight extend under the edge of a floor opening through which the stair passes, the floor opening shall be allowed to project horizontally into the required headroom a maximum of  $4\frac{3}{4}$  inches (121 mm).

**R311.7.3 Walkline.** The walkline across winder treads shall be concentric to the curved direction of travel through the turn and located 12 inches (305 mm) from the side where the winders are narrower. The 12-inch (305 mm) dimension shall be measured from the widest point of the clear stair width at the walking surface of the winder. If winders are adjacent within the flight, the point of the widest clear stair width of the adjacent winders shall be used.

**R311.7.4 Stair treads and risers.** Stair treads and risers shall meet the requirements of this section. For the purposes of this section all dimensions and dimensioned surfaces shall be exclusive of carpets, rugs or runners.



September 11, 2015

RE: ZBA zoning variance request for:

Aron and Carmen Lozo  
408 Glendale  
Ann Arbor, MI

We, the neighbors of Aron & Carmen Lozo, have reviewed the plans and specs for the proposed project at their home. We understand that the new porch will extend into the required/calculated setback of 24'-5" by approximately 5'-0". We believe that the project as designed will be an asset to the aesthetics and values in our neighborhood and are fully in support.

SIGNED:

Joan Barrett 404 S Glendale Dr. 48103

Michael J. Bonetta " " " " "

Jane Brereton 407 Glendale Dr. 48103

Steve Plotberg 1900 Fair St. 48103

Duffin Sells 405 Glendale Dr. 48103

Thomas Elyse 406 Glendale 48103

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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

10/21/2015

From: Ann Steiner, 1809 Fair Street, Ann Arbor

RE: 408 glendale easement variance

Greetings,

This house, and its neighbors, are relatively small, with each having a smallish front yard right now. Also all the houses in the block have very similar set backs. I do not think it would be in the best interest of neighborhood esthetics, and therefore property values in the surrounding area, to grant this variance.

Thank you,

Sent from my iPad