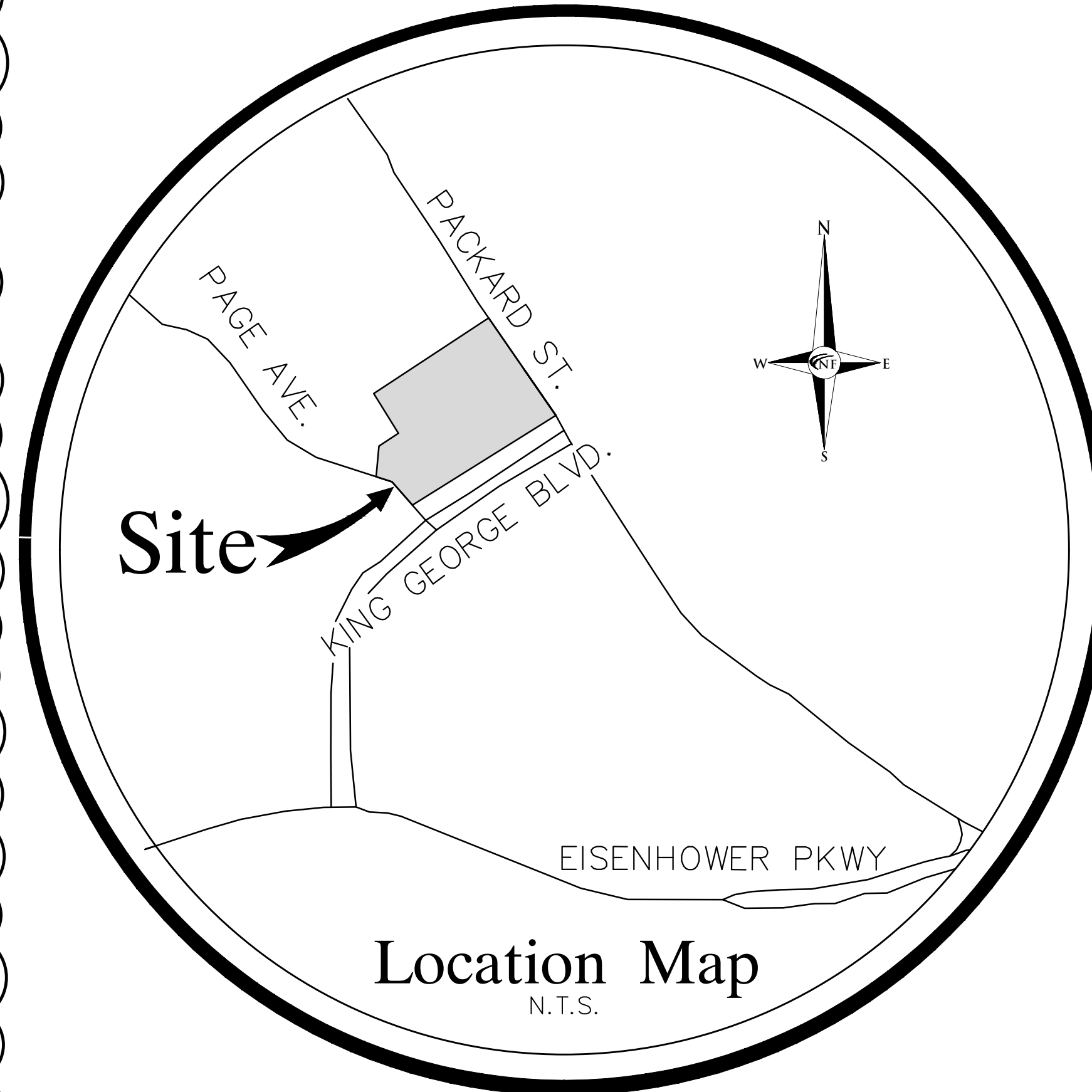


City of Ann Arbor, Washtenaw County, Michigan "THE GEORGE" Site Plan for Planning Commission

SITE DATA MATRIX COMPARISON CHART

ANN ARBOR ORDINANCE REQUIREMENTS					
	AMENDMENT #2	REQUIRED / PERMITTED	AMENDMENT #3	AMENDMENT #4	S.P. for P.C.
I ZONING	C1B	C1B	C1B	C1B	C1B
II BUILDING TYPE	RETAIL / RESIDENTIAL	RETAIL / OFFICE / RESIDENTIAL	RETAIL / RESIDENTIAL	RETAIL / RESIDENTIAL	RESIDENTIAL
III GROSS LOT AREA	283,931 GSF (6.52 ACRES)	3,000 GSF (0.07 ACRES)	283,931 GSF (6.52 ACRES)	283,931 GSF (6.52 ACRES)	283,931 GSF (6.52 ACRES)
IV IMPERVIOUS AREA	214,673	-	214,317	214,317	214,317
V USEABLE OPEN SPACE	26,654	-	28745 GSF	28745 GSF	28745 GSF
VI MAX LFA	128% OF LOT AREA (363,356 SF / 283,931 SF)	150% OF LOT AREA (283,931 SF X 1.5)	128% OF LOT AREA (363,356 SF / 283,931 SF)	128% OF LOT AREA (363,356 SF / 283,931 SF)	131% OF LOT AREA (371,956 SF / 283,931 SF)
VII LOT WIDTH	456'	20'	456'	456'	456'
VIII BUILDING AREA	Covered Parking - 48,248 sf Retail - 23,462 sf Residential - 291,646 sf (Amenity - 5,652 sf)	425,897 GSF	Covered Parking - 48,248 sf Retail - 23,462 sf Residential - 291,646 sf (Amenity - 5,652 sf)	Covered Parking - 48,248 sf Retail - 23,462 sf Residential - 291,646 sf (Amenity - 5,652 sf)	Covered Parking - 48,248 sf Retail - 23,462 sf Residential - 318,056 sf (Amenity - 5,652 sf)
IX HEIGHT	49' 4 STORY	50' 4 STORY	49' 4 STORY	49' 4 STORY	49' 4 STORY
X MIN SETBACKS					
FRONT (EAST)	10.41'	10' / 25'	10.41'	10.41'	10.41'
SIDE (NORTH)	71.5'	0'	71.5'	71.5'	71.5'
REAR (WEST)	65.5'	(30' plus 1 additional foot of setback for each additional 1 foot of building over 30 feet)	65.5'	65.5'	65.5'
SIDE (SOUTH)	79'	(30' plus 1 additional foot of setback for each additional 1 foot of building over 30 feet)	79'	79'	79'
XI PARKING - VEHICULAR	Residential : - 364 spaces Retail: - 96 spaces Total: - 460 spaces	Residential : - 1 sp / unit = 249 - No maximum Retail: - Minimum - 1 / 310 gsf = 76 spaces - Maximum - 1 / 265 gsf = 89 spaces - Minimum - 325	Residential : - 363 spaces Retail: - 96 spaces Total: - 459 spaces	Residential : - 361 spaces Retail: - 96 spaces Total: - 457 spaces	Residential : - 457 spaces Total: - 457 spaces
GARAGE	152	-	152	150	150
EXTERIOR	308	-	306	307	307
COMPACT SPACES	106	30% MAX - 136 MAX	108	108	108
ACCESSIBLE SPACES	13 SPACES (Includes 2 minimum van spaces)	9 SPACES / 401-500 SPACES	14 SPACES (Includes 2 minimum van spaces)	15 SPACES (Includes 2 minimum van spaces)	15 SPACES (Includes 2 minimum van spaces)
XII PARKING - BICYCLE	RESIDENTIAL - 56 SPACES 1 SPACE / 5 UNITS TYPE A - 50% / TYPE C - 50% RETAIL - 8 SPACES 1 SPACE / 3,000 SF OF AREA TYPE B - 50% / TYPE C - 50%	RESIDENTIAL - 50 SPACES 1 SPACE / 5 UNITS TYPE A - 50% / TYPE C - 50% RETAIL - 8 SPACES 1 SPACE / 3,000 SF OF AREA TYPE B - 50% / TYPE C - 50%	RESIDENTIAL - 56 SPACES 1 SPACE / 5 UNITS TYPE A - 50% / TYPE C - 50% RETAIL - 12 SPACES 1 SPACE / 3,000 SF OF AREA TYPE B - 50% / TYPE C - 50%	RESIDENTIAL - 56 SPACES 1 SPACE / 5 UNITS TYPE A - 50% / TYPE C - 50% RETAIL - 10 SPACES 1 SPACE / 3,000 SF OF AREA TYPE B - 50% / TYPE C - 50%	RESIDENTIAL - 69 SPACES 1 SPACE / 5 UNITS TYPE A - 50% / TYPE C - 50% CLASS A - 59 SPACES CLASS C - 10 SPACES TOTAL = 69 SPACES



2502-2568 PACKARD STREET
PART OF THE SE. 1/4 OF SECTION 4, AND PART OF
THE NE 1/4 OF SECTION 9, T. 3 S, R. 6 E, CITY OF
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

SHEET INDEX:

SP-00	COVER SHEET
SP-01	ALTA / BOUNDARY & TOPOGRAPHIC SURVEY
SP-02	CONCEPTUAL DIMENSIONAL LAYOUT PLAN
SP-03	DIMENSIONAL LAYOUT PLAN
SP-04	MISCELLANEOUS SITE DETAILS
SP-05	EXISTING PAVING & GRADING PLAN
SP-06	EXISTING UTILITY PLAN
SP-07	CALCULATIONS & STORM DETENTION DETAILS
SP-08	STORM WATER MANAGEMENT PLAN
SP-09	SOIL EROSION & DRAINAGE AREAS PLAN
SP-10	FIRE PROTECTION PLAN

1 of 1 SITE PHOTOMETRIC PLAN - 2022

L1	EXISTING LANDSCAPE PLAN
L2	COURTYARD/POOL DETAILS
L3	PACKARD FRONTAGE/PLAZA AND OPEN SPACE DETAILS
L4	NATURAL FEATURES MITIGATION PLAN
L5	GENERAL LANDSCAPE NOTES AND DETAILS
L6	PARK AND FRONTAGE DETAILS
L7	BIOSWALE DETAILS

A100	PROPOSED FIRST FLOOR PLAN
A101	PROPOSED LOFT PLAN
A321	EXISTING BUILDING ELEVATIONS - MARK UP
A322	EXISTING BUILDING ELEVATIONS - MARK UP
A323	PROPOSED PARTIAL BUILDING ELEVATIONS
A324	PROPOSED PARTIAL BUILDING ELEVATIONS

Project Description:

Currently the property is in the C1B Zone and consists of 249 residential rental apartments and approximately 23,000 square feet of vacant retail space. Somerset seeks to convert the vacant retail into 42 additional one-bedroom rental units. There will be no changes to the site plan and no increase to the parking count or distribution. The only de minimis change to the approved plan is the addition of 3 enclosed bicycle spaces.

The project consists of the construction of loft style residential units in the existing vacant first floor retail space at the north and south wings, and adjacent to the main entrance. As mentioned before, the proposed plan would add 42 new one-bedroom residential units. The first-level construction would total approximately 22,500 square feet and the loft/mezzanine level would total approximately 8,600 square feet.

Each unit will have a private exterior entry for ingress/egress and existing parking spaces will be available to the units. Residential use has a lower parking requirement than the existing retail use, so no additional parking spaces are required. The two additional enclosed bicycle spaces would be provided in the north and south wings.

New entry doors, canopies, and glazing would be added in place of the storefront glazing at the existing retail front elevations. New openings at the existing retail rear elevations will be added, with entry doors, canopies and glazing similar to the fronts.

The existing trash enclosure located on the north side of the building is proposed to be relocated to the north side of the driveway to reduce noise and refuse activity around the proposed residential apartments.

Community Analysis per UDC Chapter 55:

- i) Impact of proposed Development on public schools: No impact
- ii) Relationship of intended use to neighboring uses: No change
- iii) Impact of adjacent uses on proposed development or Special Exception Use: N/A
- iv) Impact of proposed Development on the air and water quality, and on existing Natural Features of the Site and neighboring Sites: No additional impact
- v) Impact of the proposed use on historic Sites or structures which are located within a historic district or listed on the National Register of Historic Places: N/A
- vi) Traffic Statement: Conversion of 23,462 square feet of existing retail space to 42 proposed residential units will significantly reduce the number of trips per hour generated, therefore a new transportation analysis has not been provided.
- vii) Public sidewalk maintenance statement: All public sidewalk fronting the property on Paige and Packard shall be maintained and kept free of snow, ice and debris
- viii) Additional information for Site Plans: Natural Features General Descriptions and Impacts: N/A

Developer

Somerset Development
101 Crawfords Corner Rd.
Holmdel, NJ 07733

Contact:
Ken Gold
Tel: 732.415-7171

Architect / Planner

Hobbs + Black Architects
100 N. State Street
Ann Arbor, MI 48104

Contact:
Steve Dykstra
Tel: 734.663-4189

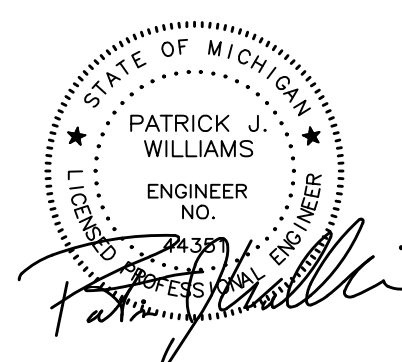
Civil Engineer

Nowak & Fraus Engineers
46777 Woodward Ave.
City of Pontiac, MI 48342

Contact:
Andrew Wiseman
Tel: 248.332-7931

LEGAL DESCRIPTION:

OUTLOT A, SMOKLER HUTZEL SUBDIVISION, OF PART OF THE SOUTHEAST ONE-QUARTER (1/4) OF SECTION 4 AND PART OF THE NORTHEAST ONE-QUARTER (1/4) OF SECTION 9, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 17 OF PLATS, PAGES 41, 42 AND 43, WASHTENAW COUNTY RECORDS.



N.F.E. #D601-01
Ann Arbor #SP22-008



Issue Date: Mar. 11, 2022
Revised Date: Apr. 14, 2022
Revised Date: May 16, 2022
Revised Date: June 06, 2022
Revised Date: July 28, 2022

TITLE NOTES

- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by making inquiry of persons in possession of the Land.
- Easements, encumbrances, or claims thereof, not shown by the Public Records.
- Building and use restrictions and other terms covenants and conditions, but deletion of any covenant or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 1134, Page 133 [SETBACKS FOR RESIDENTIAL DWELLINGS: SIDE MINIMUM 4', SIDE TOTAL 14', FRONT 25'; NOT PLOTTED HEREON] and amended in Liber 1136, Page 117 [DOCUMENT DOES NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR PLOTTABLE RESTRICTIONS], and Declaration of Restrictive Covenant disclosed by instrument recorded in Liber 4906, Page 823 [DOCUMENT DOES NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR PLOTTABLE RESTRICTIONS].
- Detroit Edison Overhead Easement (Right of Way) granted to the Detroit Edison Company, a Michigan corporation disclosed by instrument recorded in Liber 4955, Page 809, Washtenaw County Records. [SAID EASEMENT IS WITHIN THE SURVEYED LAND AND IS PLOTTED HEREON].
- The terms, provisions and conditions contained in that certain Packard Square Development Agreement recorded July 11, 2014 in Liber 5046, Page 139 [DOCUMENT DOES NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR PLOTTABLE RESTRICTIONS] and in Assignment and Assumption of Development Agreement recorded August 15, 2014 in Liber 5052, Page 732 [SAID DOCUMENT DOES NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR PLOTTABLE RESTRICTIONS].
- DTE Electric Company Underground Easement (Right of Way) granted to DTE Electric Company, a Michigan corporation disclosed by instrument recorded in Liber 5115, Page 136, Washtenaw County Records. [SAID EASEMENT IS WITHIN THE SURVEYED LAND AND IS PLOTTED HEREON].
- Easement granted to Comcast of Colorado/Florida/Michigan/New Mexico/Pennsylvania/Washington, LLC disclosed by instrument recorded in Liber 5152, Page 58, Washtenaw County Records. [EASEMENT IS BLANKET: THE DESCRIBED AREA IS THE SURVEYED LAND].
- The terms, provisions and easement(s) contained in the document entitled "Grant of Easement" recorded December 13, 2018 as Liber 5284, Page 793 of Official Records. [SAID EASEMENT IS WITHIN THE SURVEYED LAND AND IS PLOTTED HEREON].
- The terms, provisions and easement(s) contained in the document entitled "Grant of Easement" recorded December 13, 2018 as Liber 5284, Page 794 of Official Records. [SAID EASEMENT IS WITHIN THE SURVEYED LAND AND IS PLOTTED HEREON].
- Easements as disclosed by the recorded plat. [SAID EASEMENTS ARE PLOTTED HEREON].
- Interest, if any, of the United States, State of Michigan, or any political subdivision thereof, in the oil, gas and minerals in and under that may be produced from the captioned land.
- Rights of tenants under unrecorded leases.

ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. 3020-1076835, WITH A COMMITMENT DATE OF 06-28-2021, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

LEGAL DESCRIPTION
Land in the City of Ann Arbor, Washtenaw County, MI, described as follows:
Outlot A, Smoker Hutzel Subdivision of part of the Southeast 1/4 of Section 4 and part of the Northeast 1/4 of Section 9, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan, according to the plat thereof as recorded in Liber 17 of Plots, pages 41, 42 and 43, Washtenaw County Records.
Parcel No: 09-12-04-403-010
Commonly known as: 2502-2568 Packard Road, Ann Arbor, MI

BASIS OF BEARING NOTE
The basis of bearing for this survey was established by Outlot A, Smoker Hutzel Subdivision, according to the plat thereof as recorded in Liber 17 of Plots, Pages 41, 42 and 43, Washtenaw County Records

SITE DATA
Gross Land Area: 283,943 Square Feet or 6.52 Acres.
Zoned: C1B - Community Convenience Center
Building Setbacks: Per City of Ann Arbor
Front: 10' (Minimum)
25' (Maximum)
Sides: None, except 30' where abutting residentially zoned land, Plus 1 foot of additional setback for each foot of building height above 30 feet when abutting residentially zoned land.
Rear: None, except 30' where abutting residentially zoned land, Plus 1 foot of additional setback for each foot of building height above 30 feet when abutting residentially zoned land.

Building Setbacks Per Liber 1134, Page 133:

4. All Residential dwellings in this subdivision constructed without an attached garage shall be erected so as to provide side yards of not less than 14 feet, with a minimum distance of 10 feet on the drive side area, and a minimum distance of 4 feet on opposite side yard area. The provisions of this paragraph shall not apply to lots abutting corners on which the side yard abutting the street shall not be less than 15 feet when rear yards are abutted. If there is an attached garage to the structure, there shall be 10 feet between structures, with a requirement of a 5 foot side yard on both sides.

5. All dwellings erected on any residential lot shall be located not less than 25 feet from the front lot line, which shall establish the building line for the street. On any lot having a curved front line, the dwelling shall be located not less than 25 feet from the midpoint of the front lot line. For the purposes of the covenant, eaves, steps and open porches shall not be considered as a part of a building.

Max. Building Height permitted: 4 stories/50'
Total Parking: 305 spaces including 8 barrier free spaces.
151 underground spaces including ±6 barrier free spaces (per management)

NOTES: The setbacks & height restrictions noted above are for reference purposes only and should not be used for design or construction and should not be used to determine compliance. A surveyor cannot make a certification on the basis of an interpretation or opinion of another party. A zoning endorsement letter should be obtained from City of Ann Arbor to insure conformity as well as make a final determination of the required building setback & height requirements.

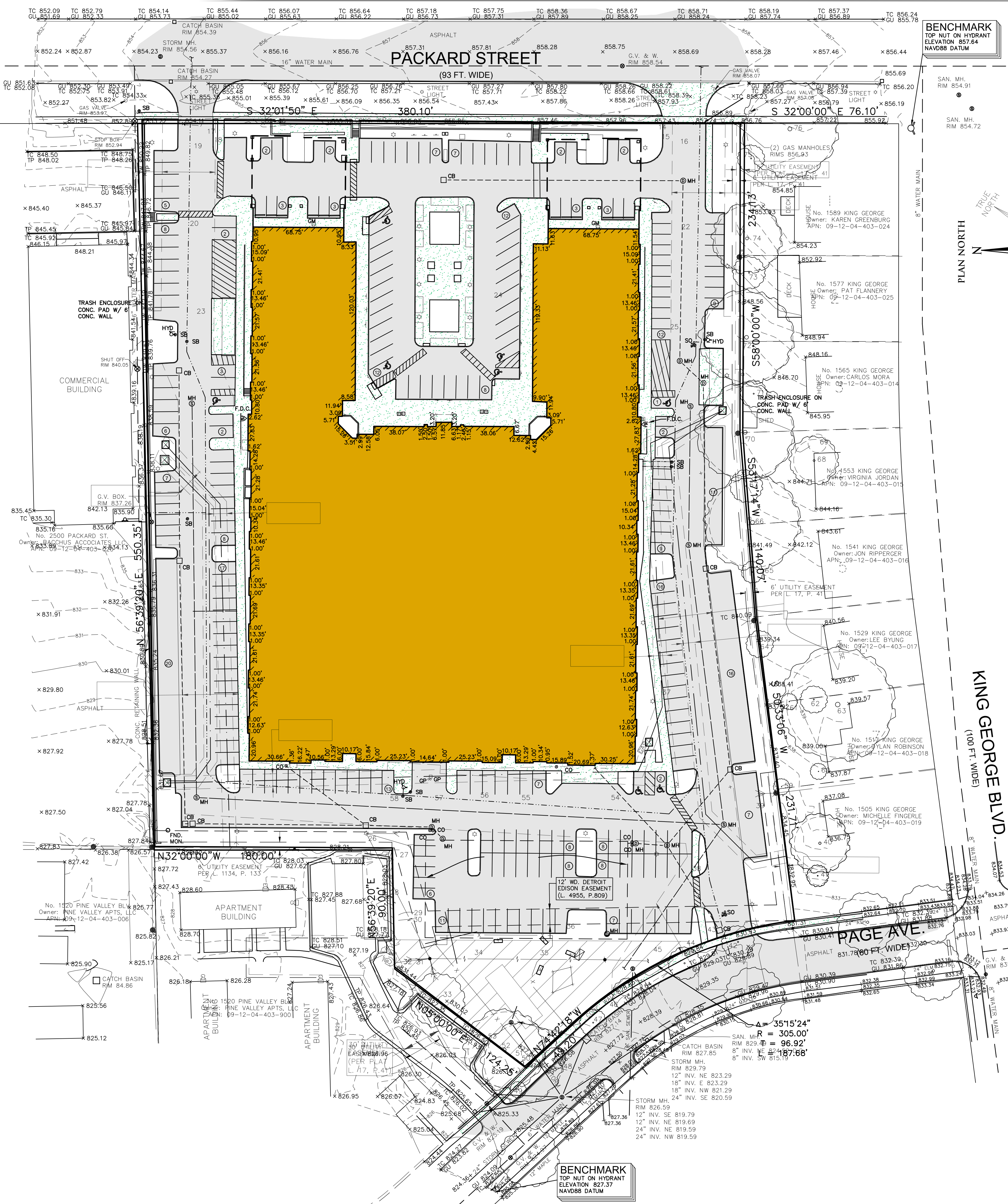
FLOOD HAZARD NOTE
The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency, the property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26161C0401E bearing an effective date of 04-03-2012.

CEMETERY NOTE
There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE
All utilities are underground unless otherwise noted.
The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

NOTE: DTE has new regulations that may impact development outside their easement or the public right of way. Client shall contact DTE to determine the 'New Structures and Power Line' requirements as they may apply to any future building or renovation of a structure. DTE Energy can be contacted at 800-477-4747

TABLE A NOTES
6(a) No zoning report or letter has been provided to the surveyor. The setback information as shown hereon within the "Site Data" table is based on the City of Ann Arbor Zoning Ordinance. The Surveyor is not able to interpret the Zoning Ordinance to graphically plot the building setback requirements on the face of the survey.
16: There was no observable evidence of current earth moving work, building construction or building additions observed in the process of conducting the fieldwork.
17: There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.
17: There was no observable evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.



BENCHMARK
TOP NUT ON HYDRANT
ELEVATION 857.64
NAVD83 DATUM

Location Map
N.T.S.

LEGEND

AC	Air Conditioner
ASPH	Asphalt
CATV	Cable Television/Box/Riser
CB	Catch Basin
CC	Clean Out
CONC	Concrete
EM	Electric Manhole
EC	Electric Meter
ECR	Electric Conduit/Riser
FI	Found Iron
FI	Found Iron Pipe
FIMON	Found Monument
GM	Gas Service/Gas Main
GL	Ground Light
GM	Gas Meter
GP	Guard Post
GV	Gate Valve
HYD	Hydrant
IP	Light Pole
LS	Landscape
MH	Manhole
MON	Monument
MW	Monitor Well
OH LINES	Overhead Lines
PH	Phone/Box/Riser
PH	Physically Handicapped
P/V	Post Indicator Valve
P/L	Property Line
PM	Parking Meter
ROW	Right of Way
SAN	Sanitary Sewer
SB	Stop Box (Water)
SM	Storm Manhole
SL	Set Iron
SO	Shutoff (Water)
STM	Storm Sewer
T MH	Telephone Manhole
TRANS	Transformer
UP	Utility Pole
W	Water Main
(R)	Record Measurement
(M)	Surveyed Measurement
(C)	Calculated

TREE LIST

Tree #	R	Size (dbh)	Species	Tree #	R	Size (dbh)	Species
14	R	6"	Crabapple	46	R	12"	Honey Locust
15	R	6"	Crabapple	47	R	10"	Honey Locust
16	R	6"	Crabapple	48	R	8"	Honey Locust
17	R	6"	Crabapple	49	R	6"	Honey Locust
18	R	4"	Crabapple	50	R	24"	Cottonwood
19	R	4"	Crabapple	51	R	12"	Cottonwood
20	R	6"	Honey Locust	52	R	28"	Cottonwood
21	R	6"	Honey Locust	53	R	20"	Cottonwood (112 dead)
22	R	6"	Honey Locust	54	R	4"	Crabapple (dead)
23	R	10"	Honey Locust	55	R	4"	Crabapple
24	R	8"	Honey Locust	56	R	4"	Crabapple
25	R	6"	Honey Locust	57	R	6"	Crabapple
26	R	12"	Honey Locust	58	R	6"	Crabapple
27	R	6"	Birch (dead)	59	R	6"	Pear
28	R	6"	Ash (dead)	60	R	6"	Pear
29	R	21"	Cottonwood	61	R	6, 8"	Apple
30	R	17,17"	Cottonwood (24" combined)	62	R	10"	Cherry
31	R	16"	Honey Locust	63	R	40"	Silver Maple
32	R	18,10,5"	American Elm (20" combined)	64	R	10"	Catalpa
33	R	20"	Cottonwood (dead)	65	R	8"	Crabapple
34	R	8"	Honey Locust	66	R	34"	Cottonwood
35	R	6"	Honey Locust	67	R	12"	Honey Locust
36	R	6"	Honey Locust	68	R	16"	Pir
37	R	12"	Honey Locust	69	R	8, 8, 8"	Crabapple (14" combined)
38	R	15"	Honey Locust	70	R	30"	Silver Maple
39	R	16"	Honey Locust	71	R	10"	Blue Spruce
40	R	20"	Blue Spruce	72	R	34"	Silver Maple
41	R	8, 8, 8"	Crabapple (14" combined)	73	R	12"	Norway Maple
42	R	12"	Honey Locust	74	R	15, 20"	Silver Maple (25" combined)
43	R	6"	Norway Maple	75	R	10"	Blue Spruce
44	R	12"	Honey Locust	76	R	34"	Silver Maple
45	R	10"	Norway Maple				

R = TREE TO BE REMOVED

GRAPHIC SCALE 1"=40'

ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

PROJECT
The George

CLIENT
Somerset Development
101 Crawford Corner Rd.
Holmdel, NJ 07733

Contact:
Ken Gold
Tel: 732.415-7171

PROJECT LOCATION
Part of the 1/4 of Section 4,
T. 3 South, R. 6 East
City of Ann Arbor,
Washtenaw County,
Michigan

SHEET
2021 ALTA / Boundary,
Topographic Survey

Know what's below
Call before you dig.

DATE	ISSUED / REVISED
03-11-22	SPPC ISSUED
05-16-22	Rev. per City / Owner

DRAWN BY:
D.McConkey/S.S.

DESIGNED BY:
K.N./P.Williams

APPROVED BY:
P. Williams

DATE:
09-03-2021

SCALE:
1" = 40'

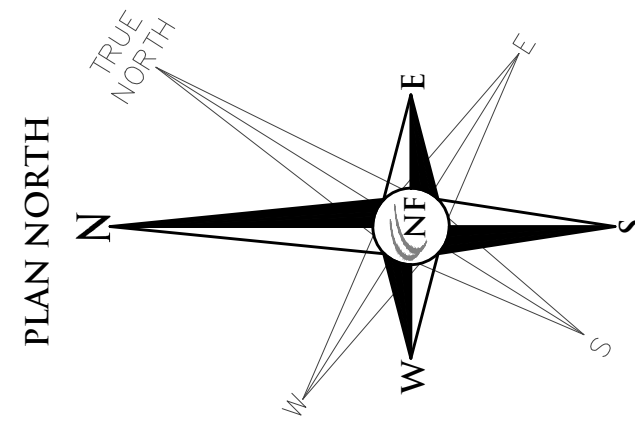
NFE JOB NO. **SHEET NO.**
D601 SP-01

NATURAL FEATURES ANALYSIS
THE SITE IS PREDOMINANTLY IMPERVIOUS SURFACES; PARKING, SIDEWALKS AND BUILDINGS. THE IMPERVIOUS SURFACE IS LIMITED TO LANDSCAPE ISLANDS, PLANTER BEDS AND LIMITED LAWN AREAS ALONG THE PROPERTY LINES. THERE IS 34,040 SF. OF PERVIOUS AREA ON SITE; OVER 88% OF THE SITE IS IMPERVIOUS TODAY.

THE SITE DROPS IN ELEVATION FROM PACKARD ROAD TO PAGE AVENUE APPROXIMATELY 30 FEET. EXISTING STEEP SLOPES ALONG PACKARD ROAD ARE MANMADE.

EXISTING VEGETATION ON THE SITE IS LIMITED TO TREES WITHIN LANDSCAPE ISLANDS, STREET TREES AT PACKARD ROAD AND PAGE AVENUE AND PIONEER TREE SPECIES AT THE SOUTHWEST CORNER OF THE SITE. THE SITE CONTAINS SIX (6) LANDMARK TREES OVER 24" IN DIAMETER, LOCATED PRIMARILY AT THE SOUTHWEST PORTION OF THE SITE ALONG THE NEIGHBORING PROPERTY LINE. FOUR (4) OF THE SIX (6) LANDMARK TREES ARE PROPOSED TO BE REMOVED DUE TO GRADING AND OTHER CONSTRUCTION ACTIVITIES. SEVERAL LARGE LANDMARK TREES LOCATED OFF-SITE ALONG THE SOUTHERLY BOUNDARY WITH THE RESIDENTIAL PROPERTIES ARE TO BE PROTECTED AND REMAIN.

THERE ARE NO ENDANGERED SPECIES, WETLANDS, FLOODPLAINS OR WOODLANDS ON THE SITE.



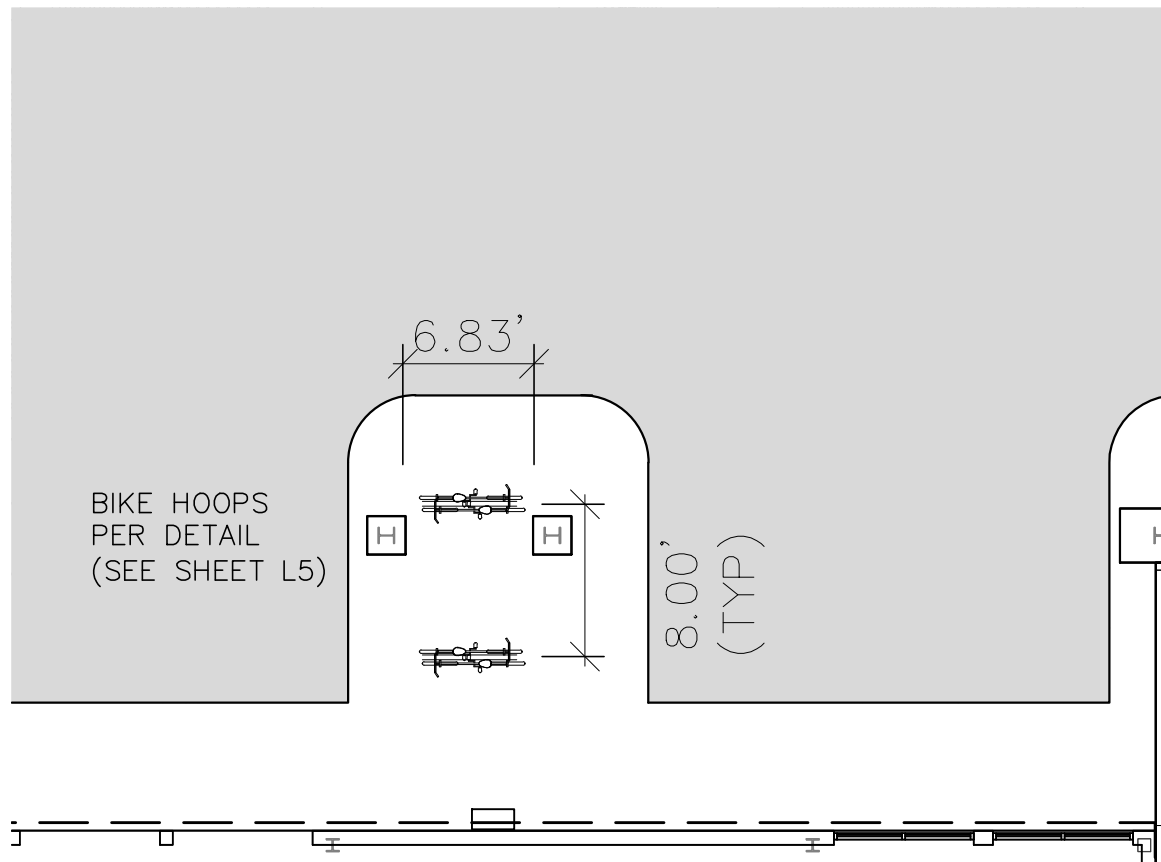
GRAPHIC SCALE



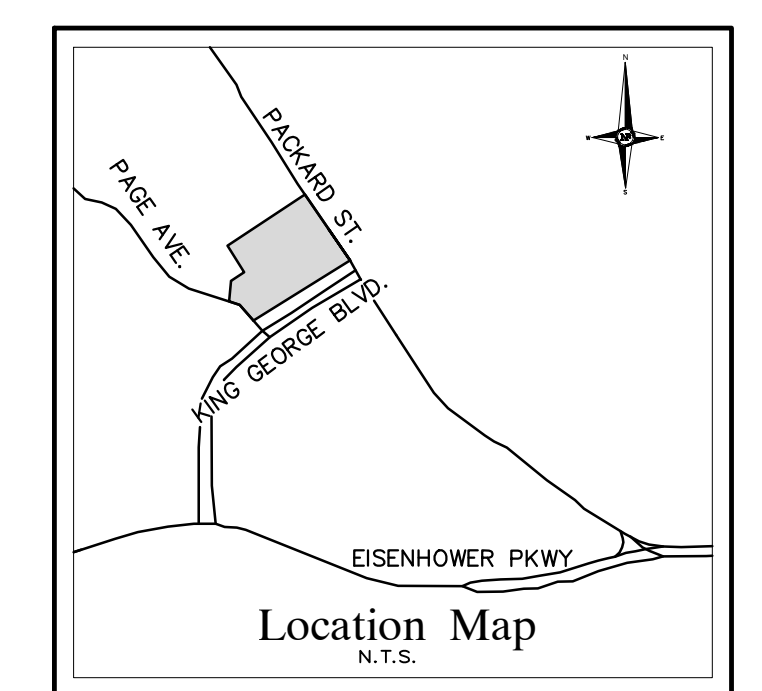
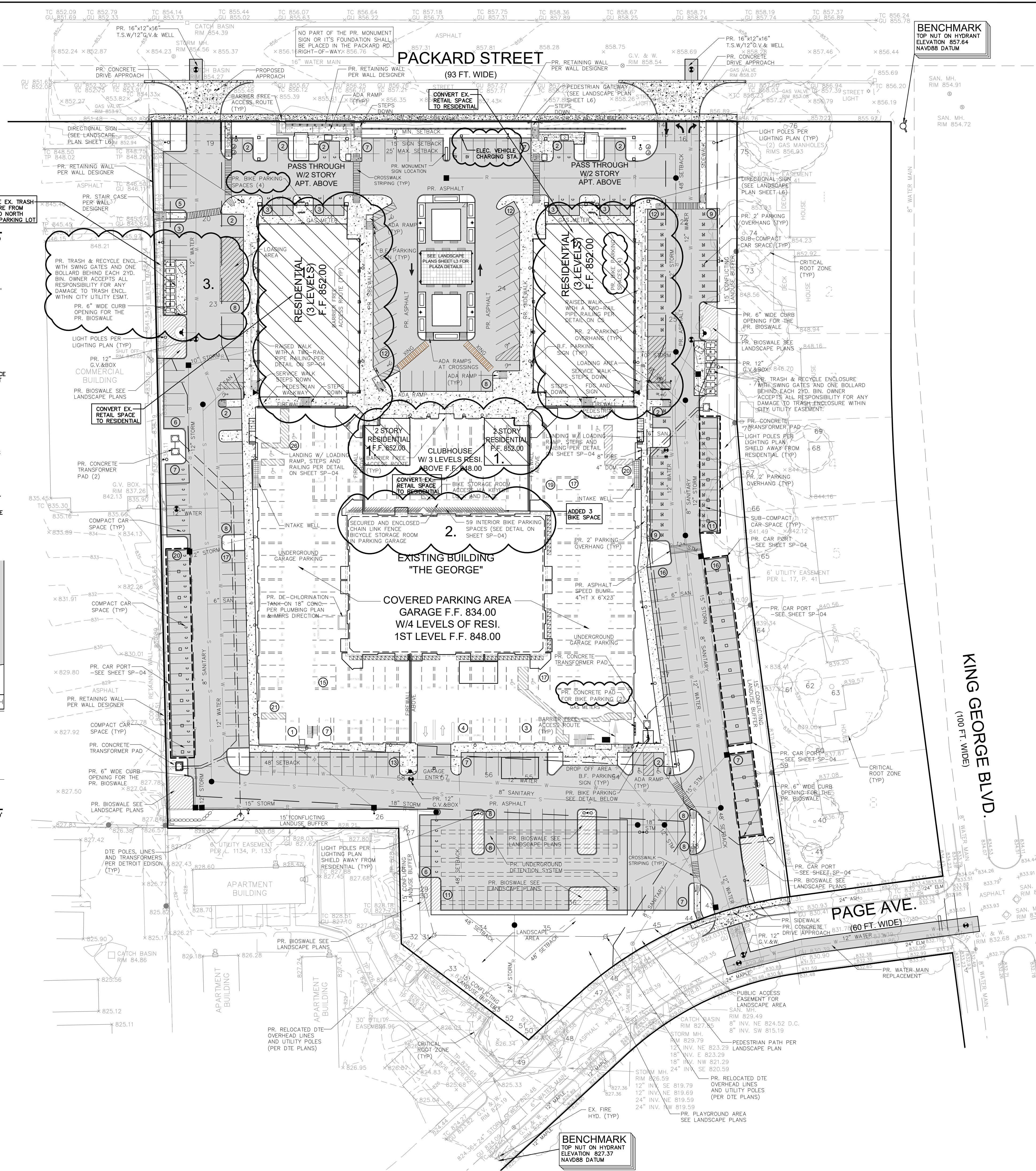
(IN FEET)
1 inch = 40 ft.

NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS DATED JANUARY 1, 1993, AND INCLUDE ALL UPDATES ISSUED AT THE TIME OF CONSTRUCTION PLAN APPROVAL.
- IF THE CONSTRUCTION TO BE INSPECTED BY PUBLIC SERVICES DOES NOT COMMENCE WITH ONE YEAR OF THE DATE OF THE PUBLIC SERVICES INSPECTION REQUEST APPROVAL, THIS APPROVAL WILL EXPIRE AND THE CONSTRUCTION PLANS SHALL BE SUBJECT TO RE-REVIEW AND PAYMENT OF ALL APPLICABLE PLAN REVIEW FEES WILL BE REQUIRED.
- THE PUBLIC SERVICES TECHNICIAN'S COPY OF THE STAMPED, APPROVED PLANS SHALL GOVERN CONSTRUCTION.
- THE PUBLIC SERVICES TECHNICIAN HAS THE RIGHT TO HALT CONSTRUCTION ACTIVITIES AND REQUIRE THAT ITEMS THAT DO NOT MEET CITY STANDARDS BY REDONE/ REPLACED/ RECONSTRUCTED.
- MISS-DIG MUST BE NOTIFIED THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION @ (800) 482-7171.
- ALL PERMITS AND APPROVED PLANS ARE TO BE ON-SITE AT ALL TIMES.
- THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT. THE WORK SHALL BE PERFORMED IN COMPLETE CONFORMANCE WITH THE CURRENT PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS AND DETAILS.
- PER CHAPTER 49, SECTION 4.58 OF THE CITY CODE, "ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ADJUTING THE SAME." PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING DETAILS.
- THE PETITIONER SHALL CONFIRM THAT THERE ARE NO ENCROACHMENTS INTO THE RIGHT-OF-WAY, EITHER ABOVE OR BELOW GRADE. SHOULD ENCROACHMENTS BE PROPOSED, THE PETITIONER MUST SUBMIT DETAILED CONSTRUCTION PLANS FOR REVIEW AND APPROVAL BY THE CITY, AND ENTER INTO A LICENSING AGREEMENT. NO ENCROACHMENTS ANTICIPATED FOR THIS DEVELOPMENT.
- SIDEWALKS SHALL BE "CARRIED-THROUGH" AT DRIVE APPROACHES.
- SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN. DETAILED PLANS SHALL BE SUBMITTED TO THE PROJECT MANAGEMENT SERVICES UNIT FOR REVIEW AND APPROVAL AT THE CONSTRUCTION PLAN STAGE.
- GRADING ISSUES WILL NEED TO BE WORKED OUT AT SITE PLAN STAGE IN ORDER TO OBTAIN GRADING PLAN APPROVAL.
- THE DEVELOPER SHALL CONTRACT A PRIVATE SOLID WASTE COMPANY FOR TRASH REMOVAL ON THIS PROJECT.
- PROPOSED RETAINING WALLS, FOUNDATIONS, STAIRS OR THE BACKS SHALL NOT EXTEND INTO THE PROPOSED UTILITY EASEMENT OR THE EXISTING PACKARD STREET RIGHT-OF-WAY. EXCEPTION SHALL BE MADE WHERE THE PROPOSED WATER MAIN CONNECTS TO EXISTING WATER MAIN ON 2500 PACKARD STREET TO THE NORTH. PROPOSED RAILINGS SHALL NOT EXTEND INTO THE PROPOSED UTILITY EASEMENTS OR PUBLIC RIGHT-OF-WAY.
- ALL ON-SITE AND RIGHT-OF-WAY SIDEWALKS ARE ADA COMPLIANT WITH THE EXCEPTION OF THE SIDEWALK ADJACENT TO THE SOUTH APPROACH TO PACKARD STREET.



BIKE PARKING DETAIL



LEGEND

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	R/C/B	EXISTING STORM SEWER
		EXISTING BURIED CABLES
		EXISTING GAS MAIN
UTILITY POLE	GUY POLE	GUY WIRE
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING OVERHEAD LINES
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	R/C/B	PROPOSED STORM SEWER
COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL
A		UTILITY CROSSING
TC 600.00		PR. TOP OF CURB ELEVATION
GU 600.00		PROPOSED GUTTER ELEVATION
FW 600.00		PR. TOP OF WALK ELEVATION
TP 600.00		PR. TOP OF PAYMENT ELEV.
FG 600.00		PROPOSED FINISH GRADE
600		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

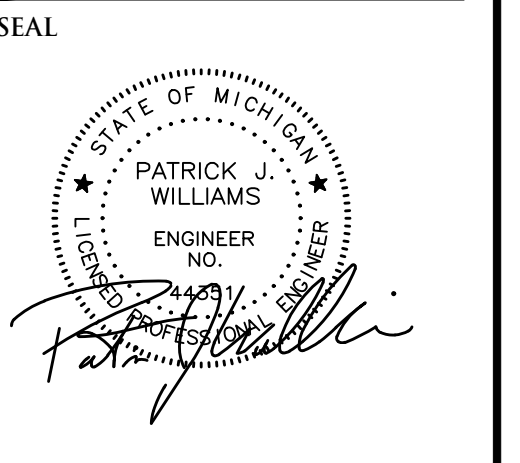
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PROJECT LOCATION
 Part of the 1/4 of Section 4
 T. 3 South, R. 6 East
 City of Ann Arbor, Washtenaw County, Michigan

SHEET
 Conceptual Dimensional Layout Plan



NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
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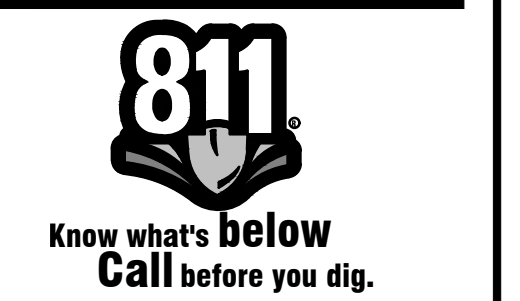
PROJECT
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CLIENT
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 101 Crawfords Corner Rd.
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Contact:
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DATE	ISSUED / REVISED
03-11-22	SPPC Issued
05-16-22	Rev. per City / Owner
05-16-22	Rev. per City / Owner
07-28-22	Clouded EV and Bike Parking Locations

DRAWN BY:
 A. Wiseman

DESIGNED BY:
 A. Wiseman

APPROVED BY:
 P. Williams

DATE:
 March 11, 2022

SCALE:
 1" = 40'

NFE JOB NO.
 D601

SHEET NO.
 SP-02

Project Description:
 Conversion of 23,462 Square Feet of Existing Retail Space to 42 Proposed Residential Units.

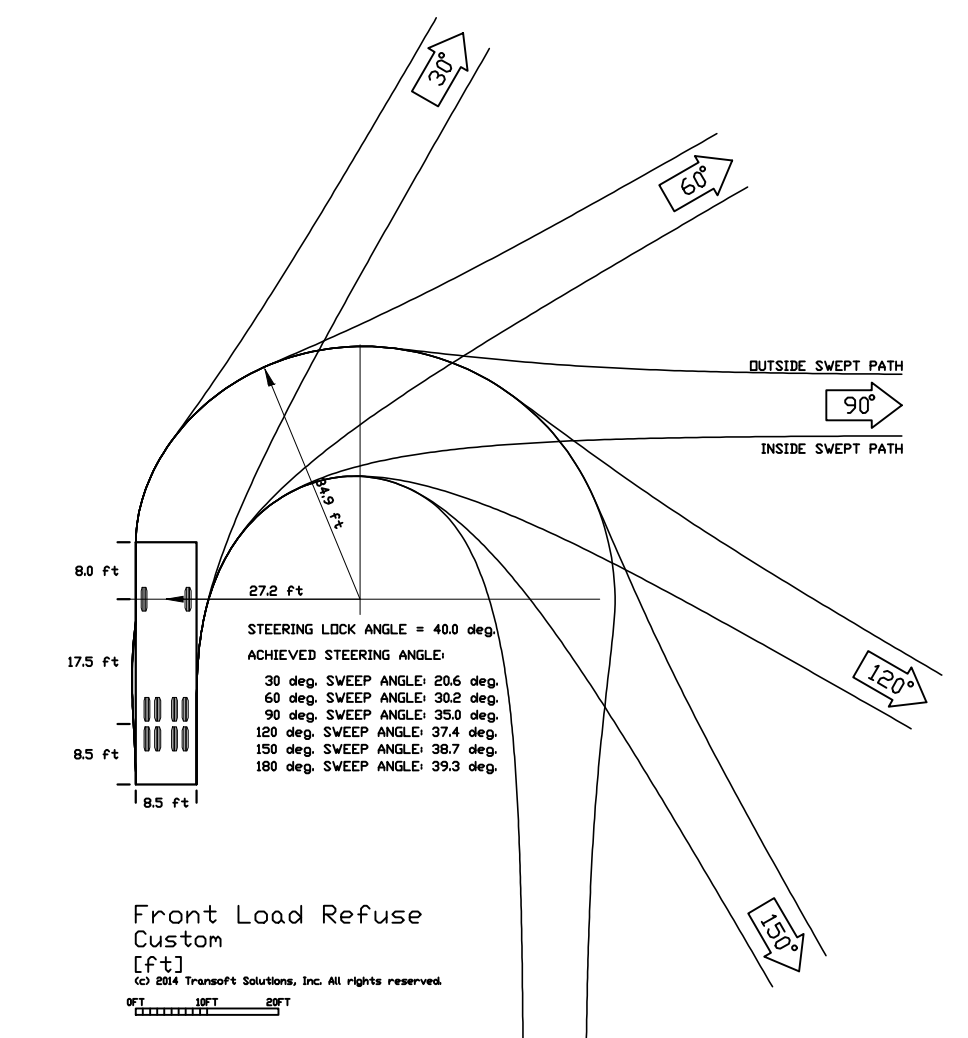
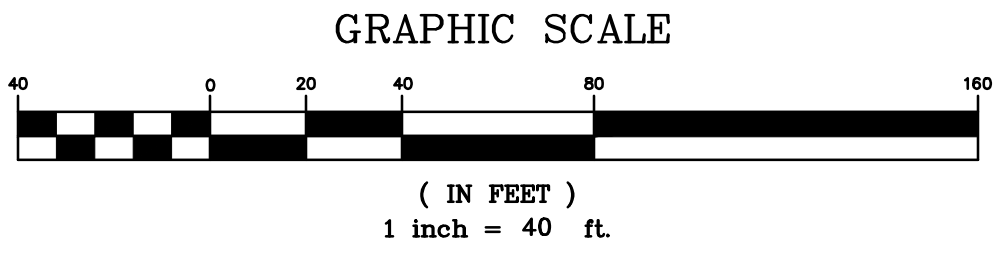
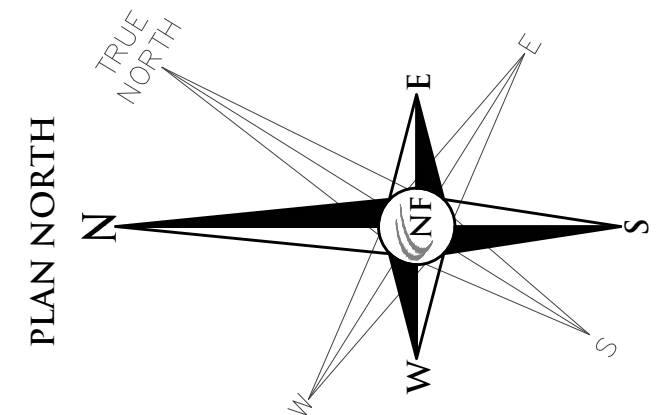
Changes From Previously Approved Site Plan:

- Convert existing Retail Space to Residential Space
- Add three (3) Garage Bike Parking Spaces
- Relocate trash enclosure to north side of parking

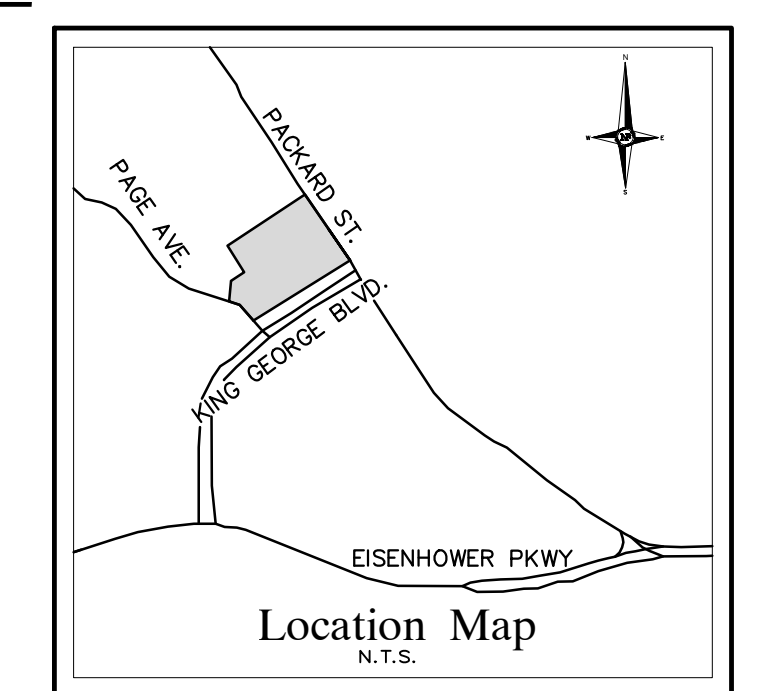
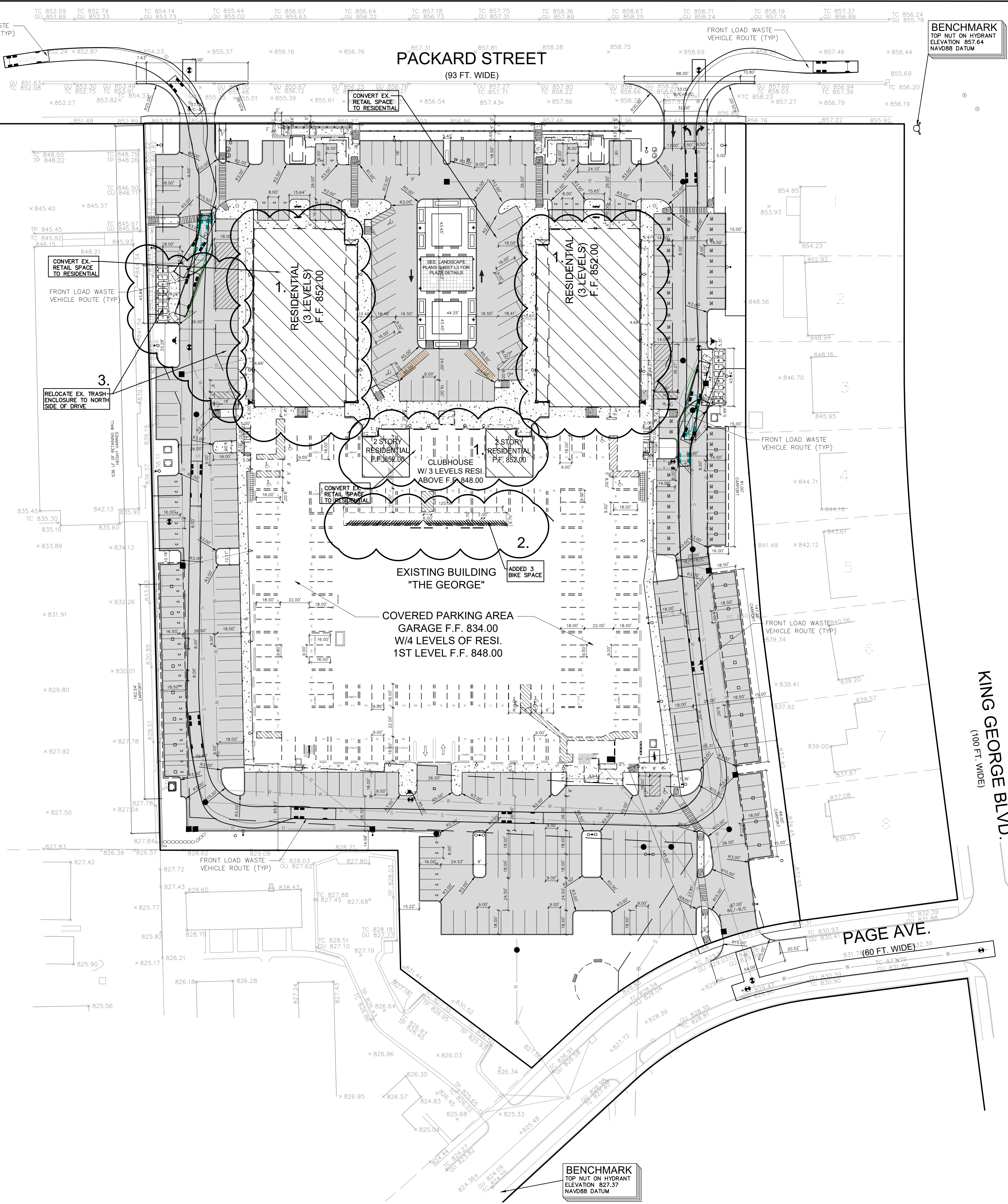
SPPC Parking Spaces Provided:

EXTERIOR	= 307 SPACES INCLUDING 8 BARRIER FREE SPACES
GARAGE	= 150 SPACES INCLUDING 7 BARRIER FREE SPACES
TOTAL	= 457 SPACES

BENCHMARK
 TOP NUT ON HYDRANT
 ELEVATION 827.37
 NAVD88 DATUM



- GENERAL REFUSE COLLECTION NOTED:**
- A CLEAR SPACE MUST BE MAINTAINED DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE. THE CLEAR SPACE SHALL BE A MINIMUM OF FIFTY (50) FEET LONG BY THE WIDTH OF THE INSIDE DIMENSION OF THE ENCLOSURE PLUS FOUR (4) FEET ON BOTH SIDES. A MINIMUM VERTICAL CLEARANCE OF AT LEAST TWENTY-FIVE (25) FEET MUST BE PROVIDED ABOVE THIS AREA.
 - INGRESS AND EGRESS ROUTES MUST BE DEVELOPED BASED ON SOLID WASTE SWEEP PATH REQUIREMENTS. A MINIMUM HORIZONTAL CLEARANCE OF TWO (2) FEET FROM THE EDGE OF THE SWEEP PATH AND A MINIMUM VERTICAL CLEARANCE OF AT LEAST FIFTEEN (15) FEET MUST BE PROVIDED ALONG THE ENTIRE ROUTE.
 - GATES ON ENCLOSURES MUST BE DESIGNED TO OPEN A MINIMUM OF 120 DEGREES FROM THE CLOSED POSITION. THE GATES MUST NOT REDUCE THE REQUIRED ENCLOSURE OPENING WIDTH, BLOCK ADJACENT PARKING SPOTS, OR BE IMPEDED BY ADJACENT CURBS OR LANDSCAPING.
 - GATES SHALL BE DESIGNED TO BE FREE STANDING WITHOUT A CENTER POLE. IF A CENTER POLE DESIGN IS NECESSARY, 12-INCHES SHALL BE ADDED TO THE OVERALL WIDTH OF THE ENCLOSURE.
 - GATE DESIGN SHALL INCLUDE A RELIABLE MEANS TO SECURE THE DOOR IN BOTH THE OPEN AND CLOSED POSITIONS.
 - THE CONCRETE SLAB IN FRONT OF THE BIN ENCLOSURE SHALL HAVE PAVEMENT MARKINGS TO INDICATE 'NO PARKING', AS APPROVED BY CITY.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF NO PARKING SIGNS ALONG THE SOLID WASTE INGRESS/EGRESS ROUTE TO ENSURE THE ROUTE REMAINS FREE OF OBSTRUCTIONS.
 - REFER TO ASSOCIATED STANDARD DETAILS FOR REQUIREMENTS ON SINGLE AND DOUBLE WIDE SOLID WASTE BIN ENCLOSURE LAYOUT AND DESIGN CRITERIA. THE CITY SHALL HAVE THE ABILITY TO MODIFY OR INTERPRET THESE DETAILS AS NECESSARY, TO ACCOMMODATE THE CITY OR CITY CONTRACTOR NEEDS IN REGARDS TO SOLID WASTE PICK-UP.
 - SOLID WASTE ACCESS ROADS AND SERVICE AREA SURFACES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF COLLECTION TRUCKS WEIGHING UP TO 66,000 LBS GROSS VEHICLE WEIGHT (GVW) AND SHALL BE PROVIDED WITH AN APPROVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL SNOW AND ICE REMOVAL REQUIRED FOR SAFE ACCESS OF SOLID WASTE VEHICLES.
 - THE SOLID WASTE COLLECTION LOCATION SHALL BE LOCATED A MINIMUM OF TEN (10) FEET AWAY FROM MAJOR ELECTRICAL EQUIPMENT, ABOVE GROUND UTILITY SERVICES, TREE BRANCHES, BALCONIES OR OTHER OVERHEAD OBSTRUCTIONS.
 - IF FORWARD ACCESS TO THE PUBLIC STREET IS NOT AVAILABLE FOR THE SOLID WASTE TRUCK, THE SITE DEVELOPMENT LAYOUT MUST ACCOMMODATE A TURN-AROUND LOCATION.
 - FOR SITES THAT CANNOT ACCOMMODATE A TURN-AROUND, THE FOLLOWING REQUIREMENTS MUST BE MET:
 - SOLID WASTE TRUCKS MUST BE ABLE TO SERVICE DUMPSTERS WITHOUT IMPEDING THE PUBLIC STREET OR SIDEWALK.
 - THE DUMPSTER COLLECTION LOCATION SHALL BE CLEARLY DELINEATED AND NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.
 - BOLLARDS OR ADEQUATE CLEAR SPACE MUST BE PROVIDED BEHIND THE LIFT POINT SO THE DUMPSTERS ARE NOT POTENTIALLY PUSHED INTO ANY BUILDING OR ACCESS ROUTE.
 - ALL SWEEP-PATH CLEARANCE REQUIREMENTS PREVIOUSLY IDENTIFIED SHALL BE PROVIDED.
 - A VERTICAL CLEARANCE OF 25 FEET SHALL BE PROVIDED ABOVE THE COLLECTION LOCATION.
 - FOR SITES THAT CANNOT ACCOMMODATE A STANDARD DUMPSTER ENCLOSURE, THE DUMPSTERS MAY BE ROLLED OUT OF A BUILDING OR ALTERNATE ENCLOSURE BY THE PROPERTY OWNER TO A PROPOSED COLLECTION LOCATION. A COLLECTION SCHEDULE FOR RECYCLING AND TRASH COLLECTION SHALL BE PROVIDED ON THE SITE PLAN.
 - FOR SITES ADJACENT TO A PUBLIC ALLEY, SOLID WASTE TRUCKS ARE PERMITTED TO ACCESS THE PROPERTY THROUGH THE ALLEY IF SWEEP-PATH CLEARANCE REQUIREMENTS CAN BE PROVIDED.
 - SOLID WASTE COLLECTION LOCATIONS MUST BE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTY.

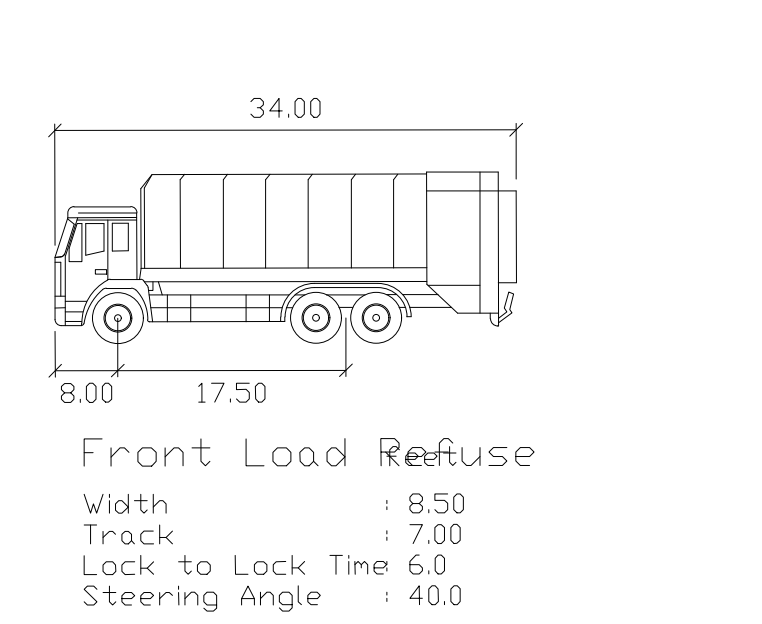


LEGEND

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
INLET	RYCB	EXISTING BURIED CABLES
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REFUSE COLLECTION NOTE:
 DRIVERS OF REFUSE TRUCKS WILL NOT LEAVE THEIR VEHICLES TO MOVE OR SERVICE THE RECYCLE DUMPSTERS.
 AN ON-SITE BUILDING MAINTENANCE PERSON SHALL BE RESPONSIBLE FOR OPENING / CLOSING GATES AND MOVING THE RECYCLABLE DUMPSTERS FOR REFUSE TRUCK COLLECTION.
 RECYCLE PICKUP SERVICE IS MONDAY THROUGH FRIDAY.



Project Description:
 Conversion of 23,462 Square Feet of Existing Retail Space to 42 Proposed Residential Units.

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 LAND SURVEYORS
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 WWW.NOWAKFRAUS.COM

SEAL

PROJECT
 The George

CLIENT
 Somerset Development
 101 Crawford Corner Rd.
 Holmdel, NJ 07733

Contact:
 Ken Gold
 Tel: 732.415-7171

PROJECT LOCATION
 Part of the 1/4 of Section 4
 T. 3 South, R. 6 East
 City of Ann Arbor,
 Washtenaw County,
 Michigan

SHEET
 Dimensional Layout Plan

811
 Know what's below
 Call before you dig.

DATE ISSUED / REVISED
 03-11-22 SPPC Issued
 05-16-22 Rev. per City / Owner

DRAWN BY:
 A. Wiseman

DESIGNED BY:
 A. Wiseman

APPROVED BY:
 P. Williams

DATE:
 March 11, 2022

SCALE:
 1" = 40'

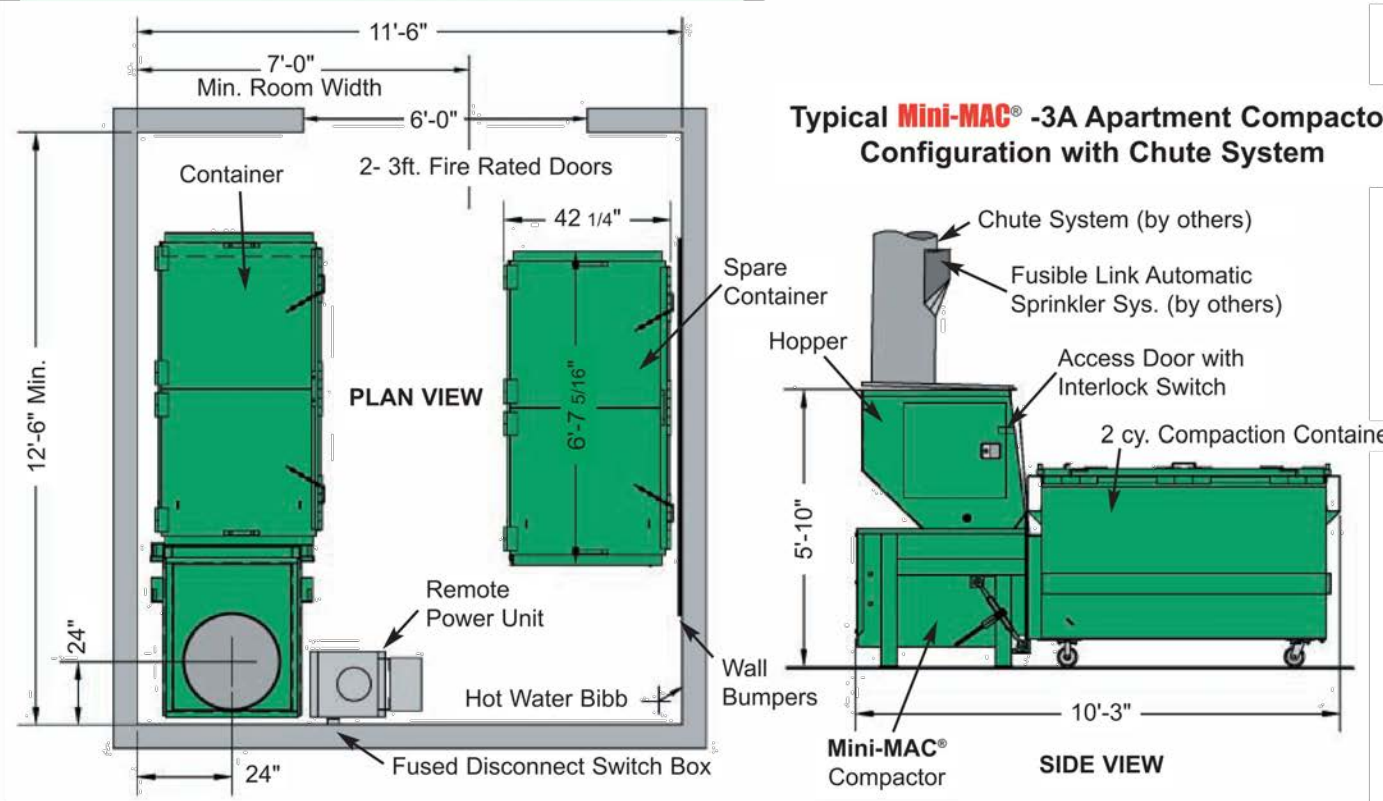
NFE JOB NO. SHEET NO.
D601 SP-03

Specifications:	Model 3A	Model 5A
Charge Box Capacity	0.39 cu yd	0.39 cu yd
Mfrs. rating	0.39 cu yd	0.39 cu yd
WASTEC rating	0.28 cu yd	0.28 cu yd
Clear Top Opening	22.5" L x 28" W	22.5" L x 28" W
Capacity Per Hour	37 cu yd	74 cu yd
Performance Characteristics:		
Cycle Time	28 sec	14 sec
Minimum Normal Force	13,900 lb	13,900 lb
Minimum Pack-Out Force	16,400 lb	16,400 lb
Min. Normal Ram Face Force	23.2 psi	23.2 psi
Min. Pack-Out Ram Face Force	27.3 psi	27.3 psi
Ram Penetration	4"	4"
Electrical Equipment:		
Tri-volt Motor: 208/230/460, 3-phase	3 hp	5 hp
Control Voltage	120 VAC	120 VAC
UL Label Control Box		
Remote Power Unit with controls mounted in the face of the box		
NEMA 3 Type, All circuits fused		
Standard Controls: Keylock Start/Stop/Reverse		
Hydraulic Equipment:		
Hydraulic Pump Capacity	3 gpm	6 gpm
Normal System Pressure	1650 psi	1650 psi
Maximum System Pressure	1950 psi	1950 psi
2" Hydraulic Cylinders	2.5" Bore, 1.25" Rod	
Weight (does not include remote power unit)	1600 lbs	1600 lbs

Mini-MAC[®]

Marathon Apartment Compactor

- Standard Features:**
- Remote power unit
 - Convenient, single side ratchet
 - CYCON Life-Xtender[®]** Cyclic Control System that offers reliable, solid state circuitry eliminating pressure and limit switches
 - Push button controls mounted in the panel box face
 - Hopper with access door and interlock for hand feed or chute feed applications
 - Photoelectric cycle control
 - Full container light
 - Unit is **UL Listed**
 - Single phase power units available



Visit our web site: www.MarathonEquipment.com



MARATHON EQUIPMENT COMPANY
P.O. Box 1798 • Vernon, AL 35992-1798 USA • (205) 695-9105 fax (205) 695-7250 1-800-633-8974
130 Hwy. 339 • Yerington, NV 89447 USA • (775) 483-4030 fax (775) 483-4531 1-800-824-5724
1102 Industrial Park Rd. • Clearfield, PA 16830 USA • (814) 765-0200 fax (814) 765-2072 1-800-822-7082

Figures in this literature are illustrative only. Specifications are subject to change without notice in order to accommodate improvements to the equipment. Certified in compliance with ANSI Regulation Z245.2, all OSHA standards, and certified under WASTEC's Stationary Compactor Certification Program. Products must be used with safe practices and in accordance with all applicable regulations and standards.



Galvanized Safety Railing

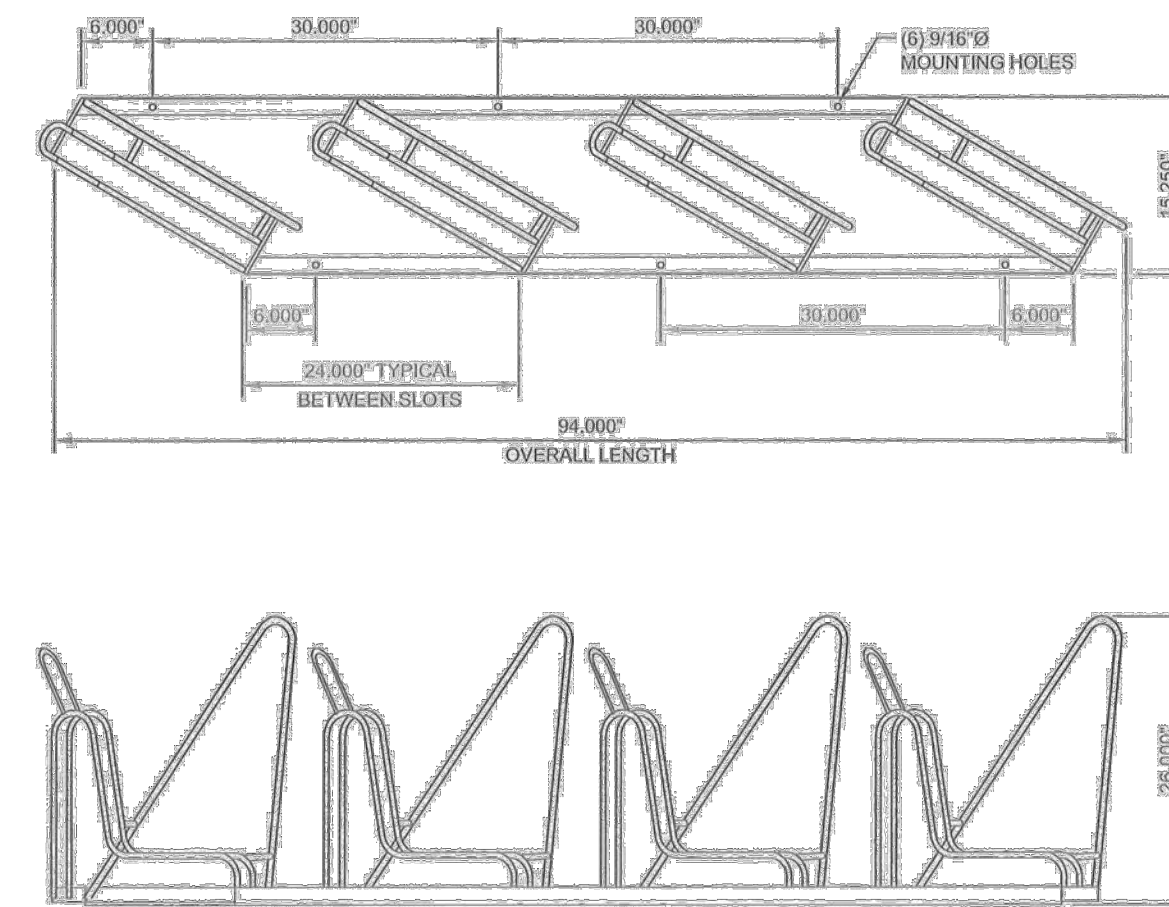
- High corrosion resistance
- No welding or threading
- Galvanized for long lasting protection
- Recessed screws for a smooth look
- Quick installation
- Large set screws resists thread stripping
- Available for schedule 40 Pipe sizes 1 - 1/4" - 2"



PIPE RAILING

PRODUCT: 1-1/4" DIAMETER GALVANIZED PIPE AT 21" AND 42" ABOVE GRADE
COLOR: GALVANIZED STEEL
NOTE: COORDINATE INSTALLATION WITH RETAINING WALL DESIGN. PIPE RAILINGS TO BE USED ON ALL WALLS WHERE WALL HEIGHT EXCEEDS 30" HIGH

RIGHT HAND ANGLE 4 SLOT RACK

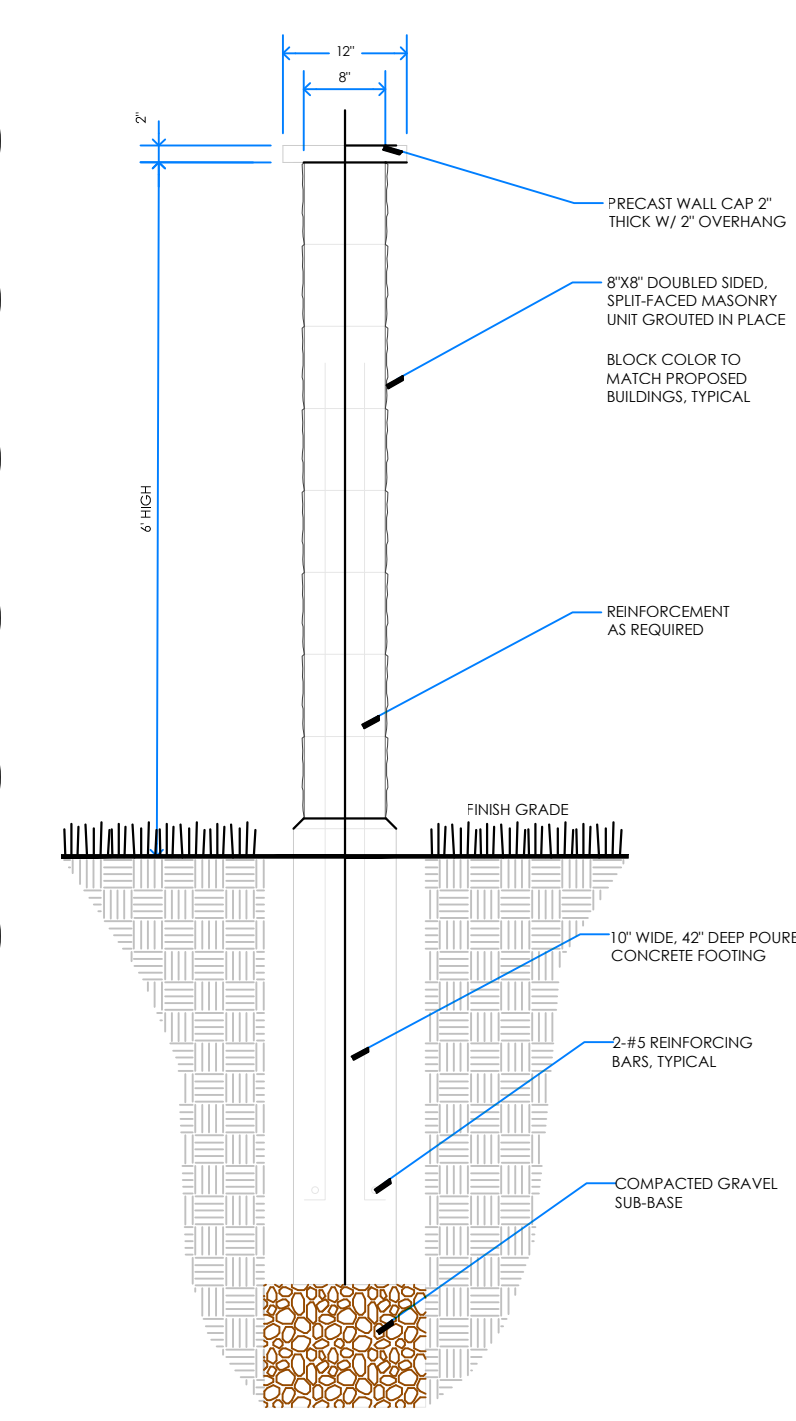


FINISHING OPTIONS:
1. POWDERCOATING; PRIMER, BASE COLOR COAT, CLEAR COAT. STANDARD COLOR OPTIONS: GREEN, BLACK, BROWN
2. HOT DIPPED GALVANIZED; COLOR: SILVER GRAY

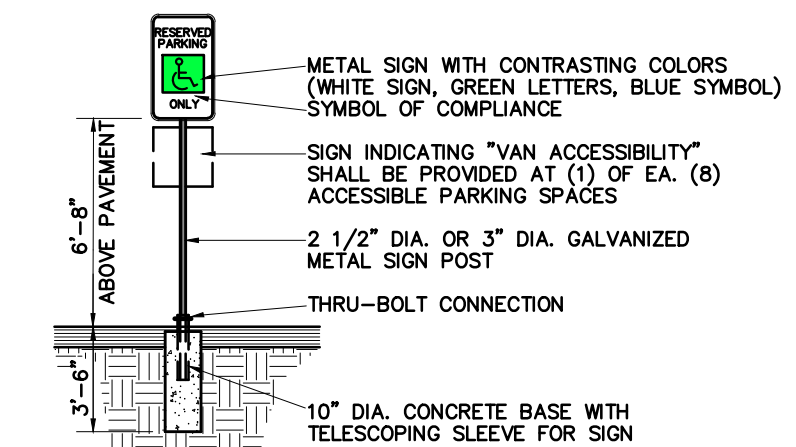
GARAGE BICYCLE PARKING STORAGE



GARAGE BICYCLE PARKING RACK IMAGE



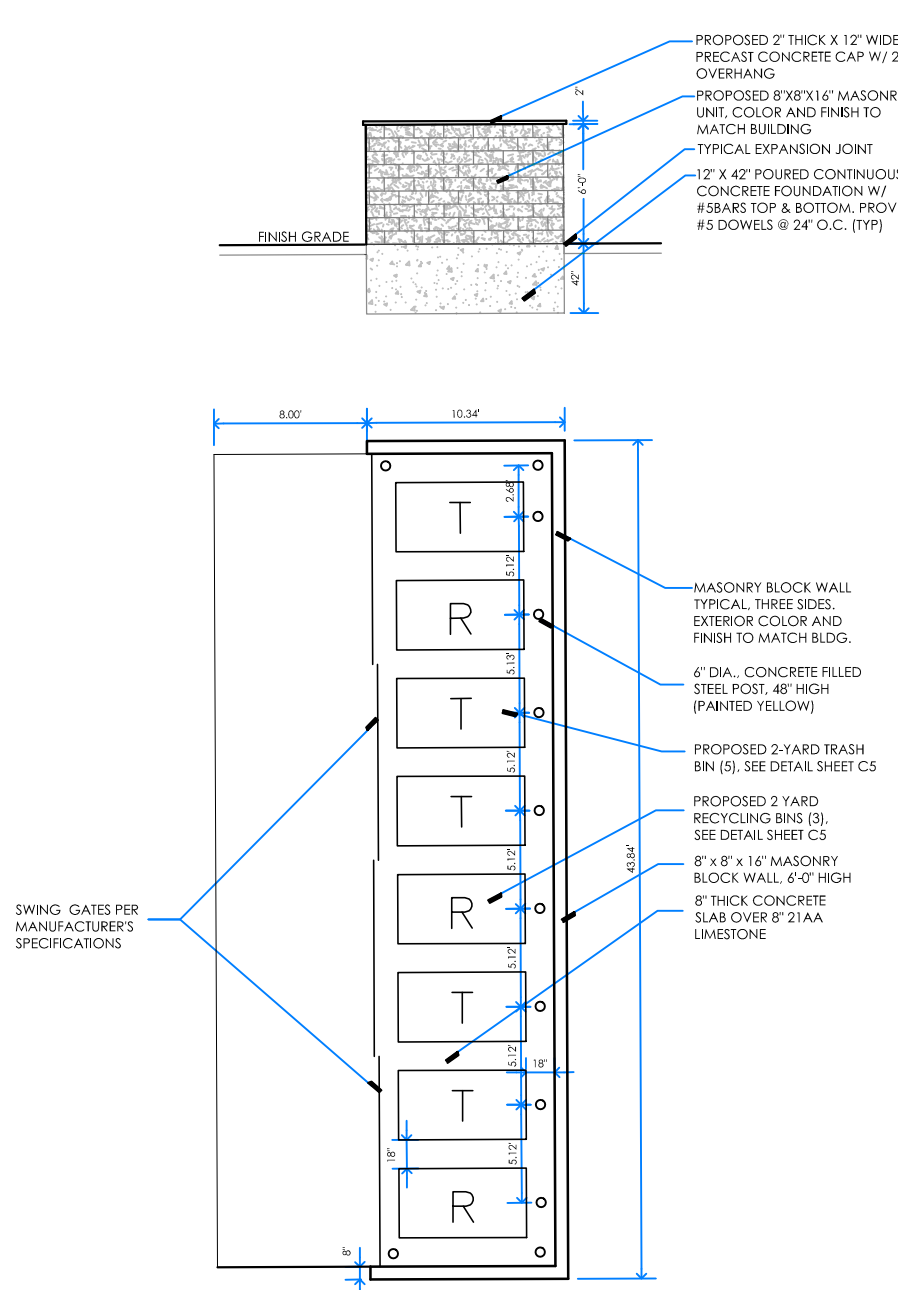
SCREEN WALL DETAIL



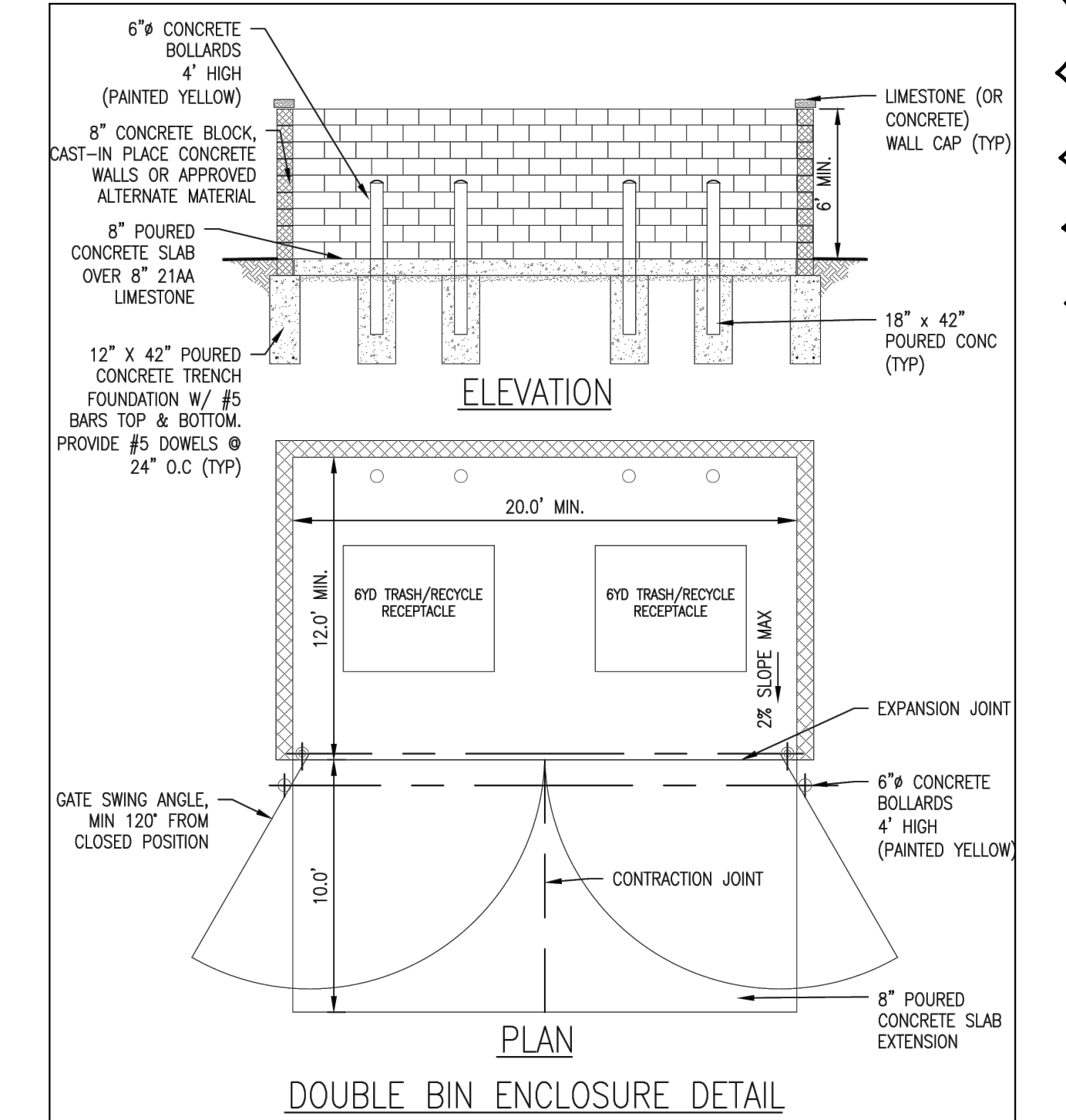
BARRIER FREE PARKING SIGN DETAIL

2 YARD CONTAINER DETAIL

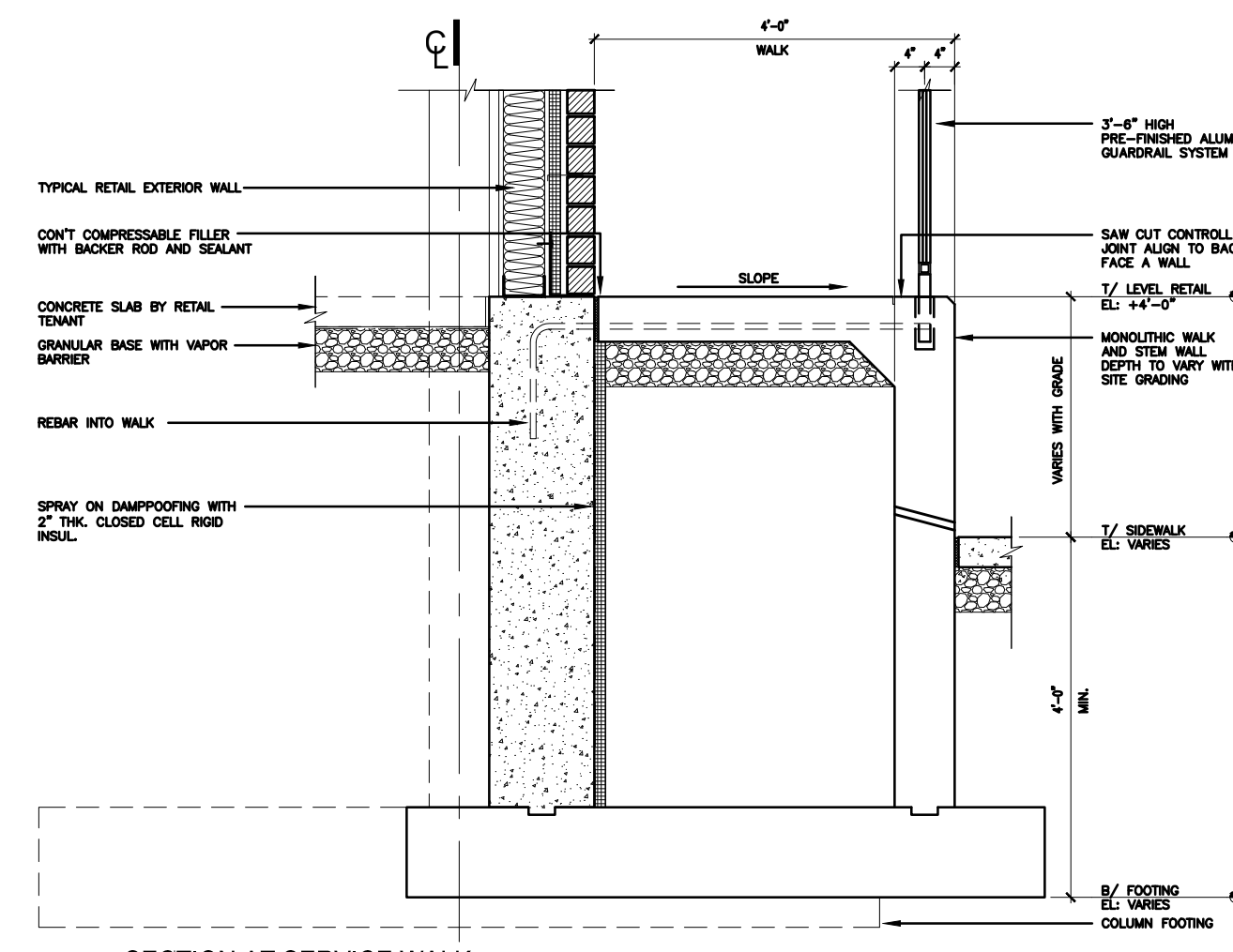
USING 2 YARD CONTAINER ONLY, NO COMPACTOR



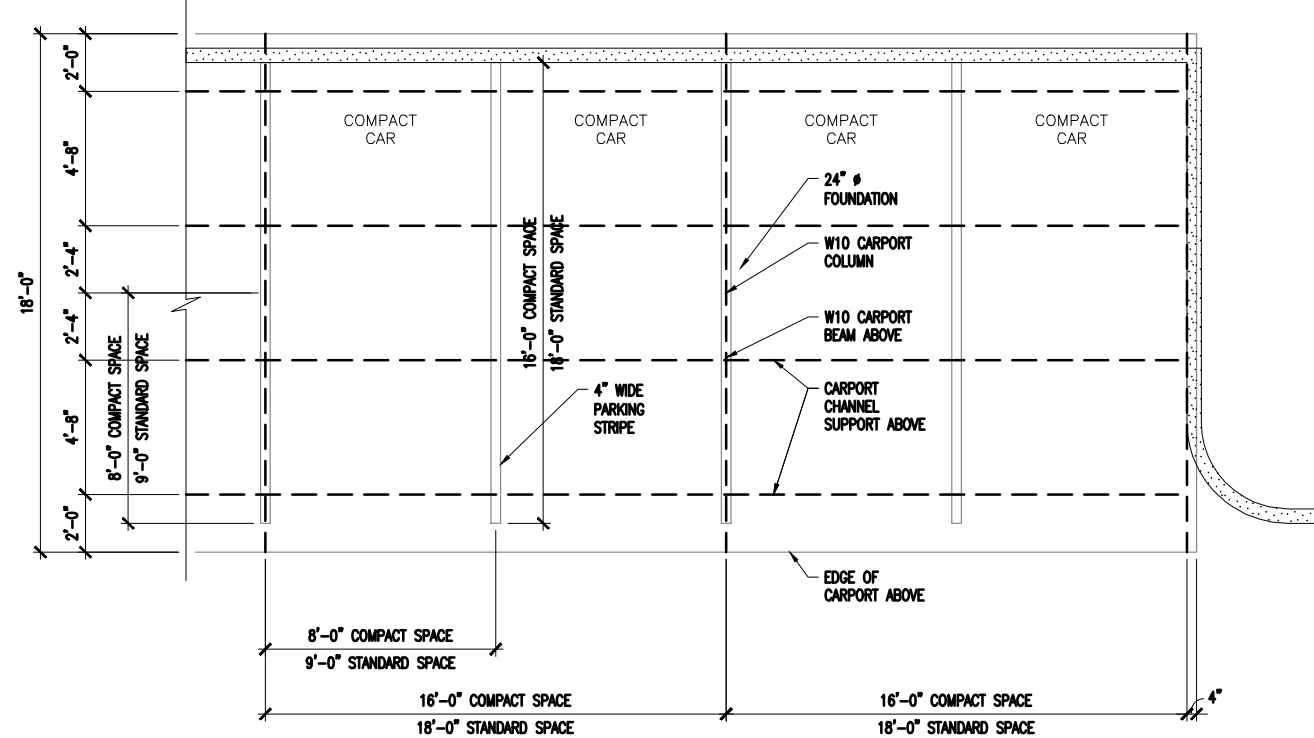
TYPICAL TRASH ENCLOSURE



DOUBLE BIN ENCLOSURE DETAIL



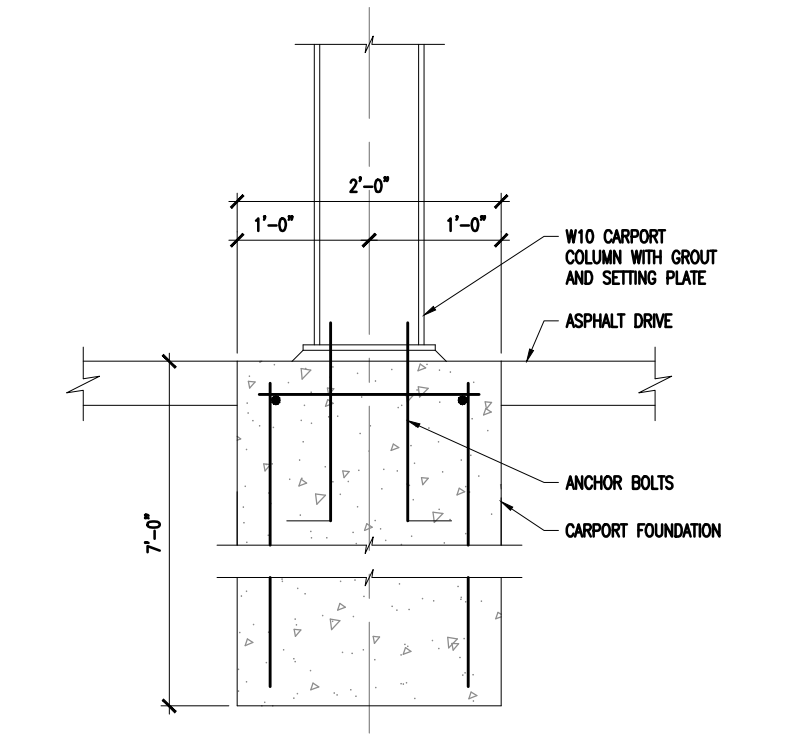
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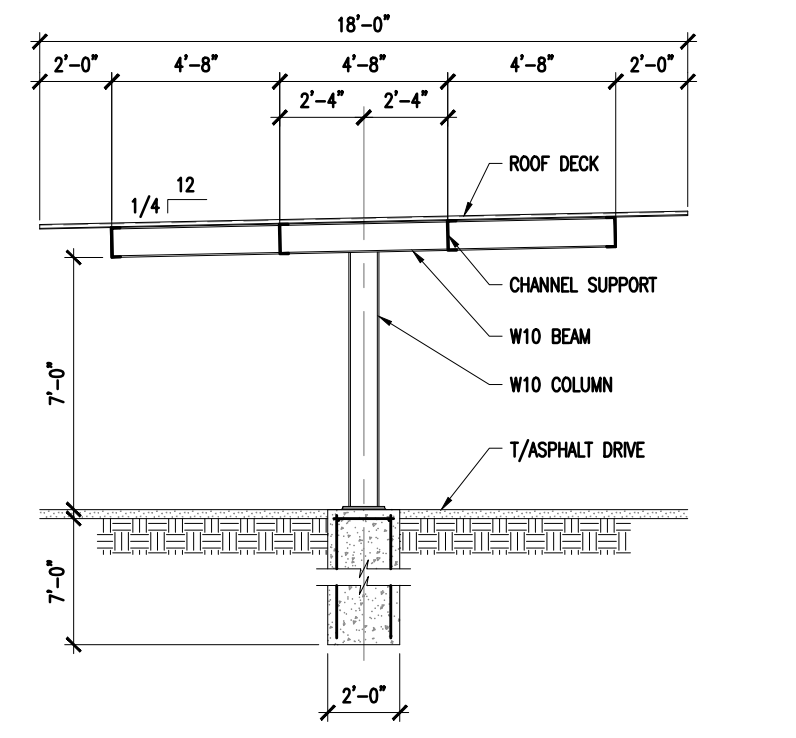
TYPICAL CARPORT PLAN



CONCEPTUAL CARPORT STRUCTURE ELEVATION



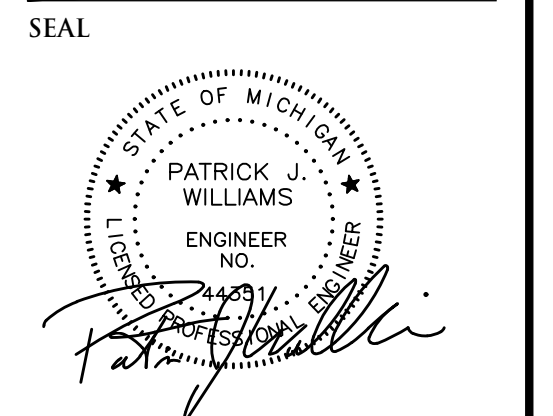
SECTION AT CARPORT FOUNDATION



SECTION AT CARPORT



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS



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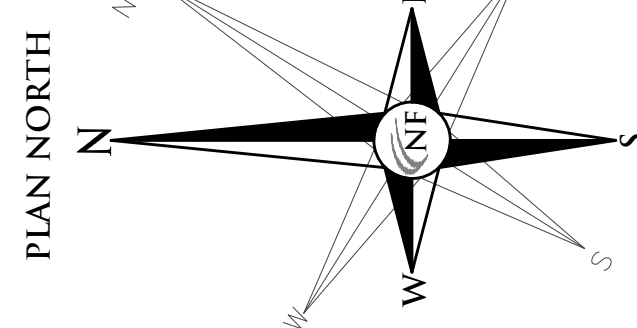
PROJECT LOCATION
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SHEET
Miscellaneous Site Details

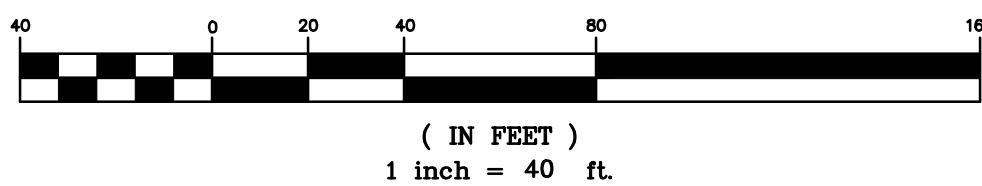


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A. Wiseman
APPROVED BY:
P. Williams
DATE:
March 11, 2022
SCALE:
1" = 40'
NFE JOB NO. SHEET NO.
D601 SP-04



GRAPHIC SCALE



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE:
PORTLAND CEMENT TYPE I (AR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT:
BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 100TH, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURBS & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT Poured RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SHOOT OPERATION. FEDERAL SPECIFICATION SS-554A.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

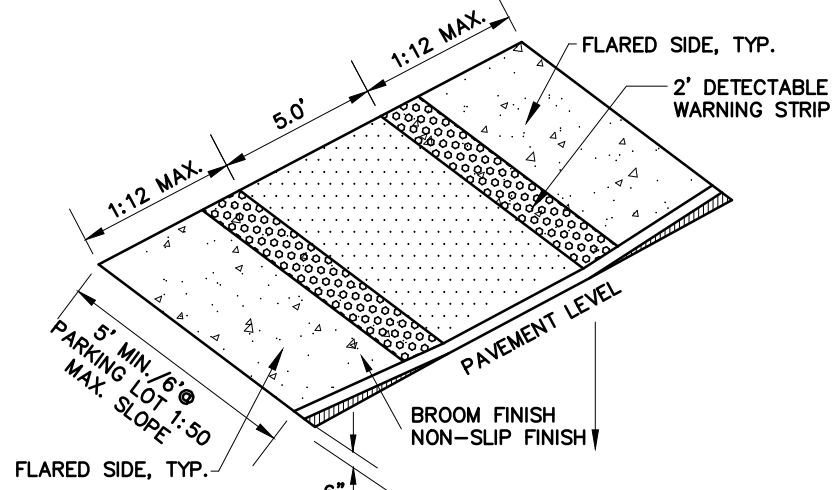
SIDEWALK RAMPS CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

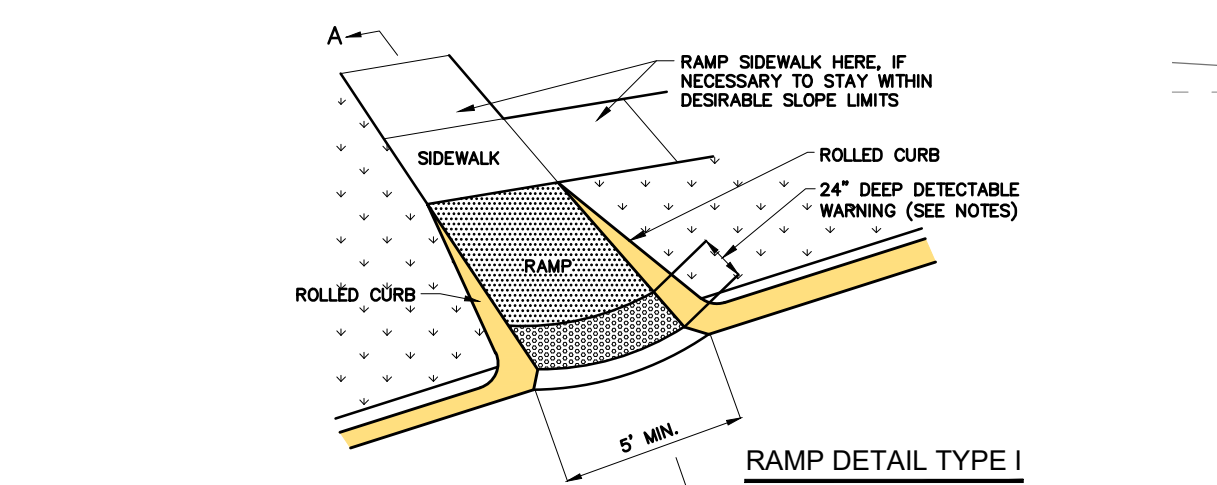
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF THICK PROPOSED PAVEMENT.

ESTIMATED QUANTITIES

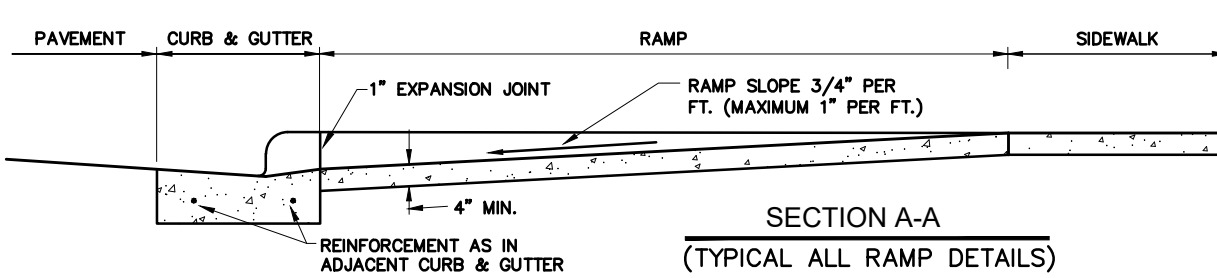
PAVING	DESCRIPTION	QUANTITY	UNITS
6" CONCRETE APPROACH (RIGHT-OF-WAY)		195	S.F.
4" CONCRETE SIDEWALK (RIGHT-OF-WAY)		2135	S.F.
6" CONCRETE DUMPSTER PAD		126	S.F.
6" CONCRETE CURB & GUTTER (SD-R-1)		325	L.F.
TYPE 'M' DRIVE OPENING (SD-R-6)		230	L.F.
3" ASPHALT ON 8" 21AA BASE		12235	S.Y.
6" CONCRETE (EQUIPMENT PADS)		185	S.F.
6" MONOLITHIC CURB & 4" SIDEWALK		25000	S.F.
6" CONCRETE CURB & GUTTER		3650	L.F.



CURB RAMP DETAIL
N.T.S.

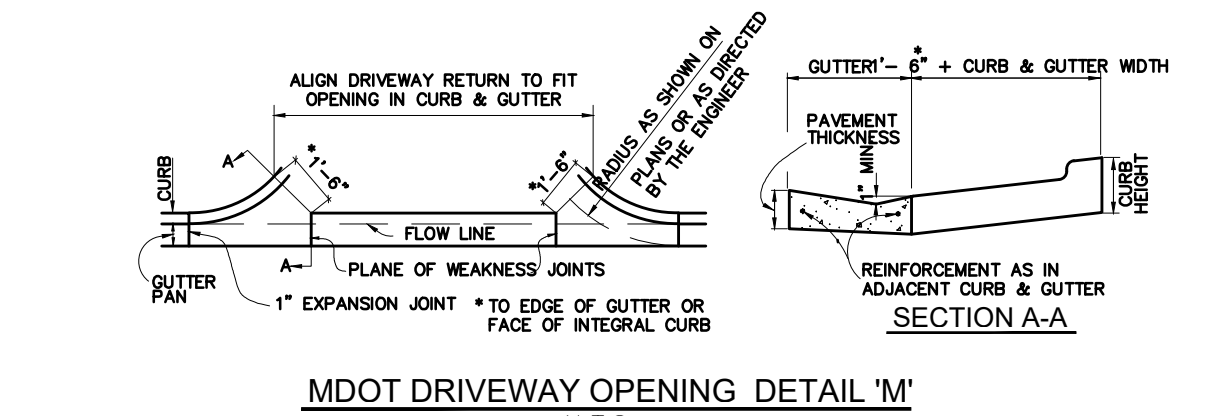


RAMP DETAIL TYPE I

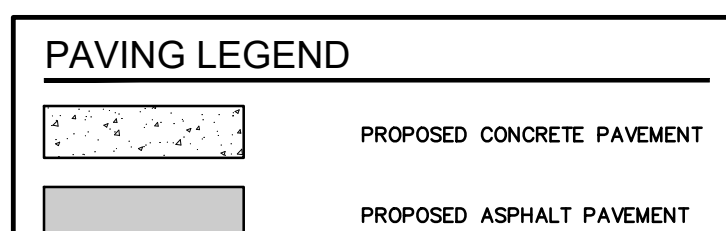


(TYPICAL ALL RAMP DETAILS)

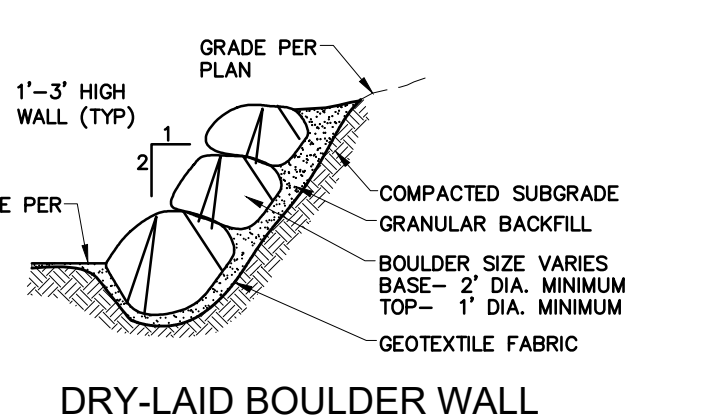
MDOT SIDEWALK RAMP DETAIL TYPE 1
N.T.S.



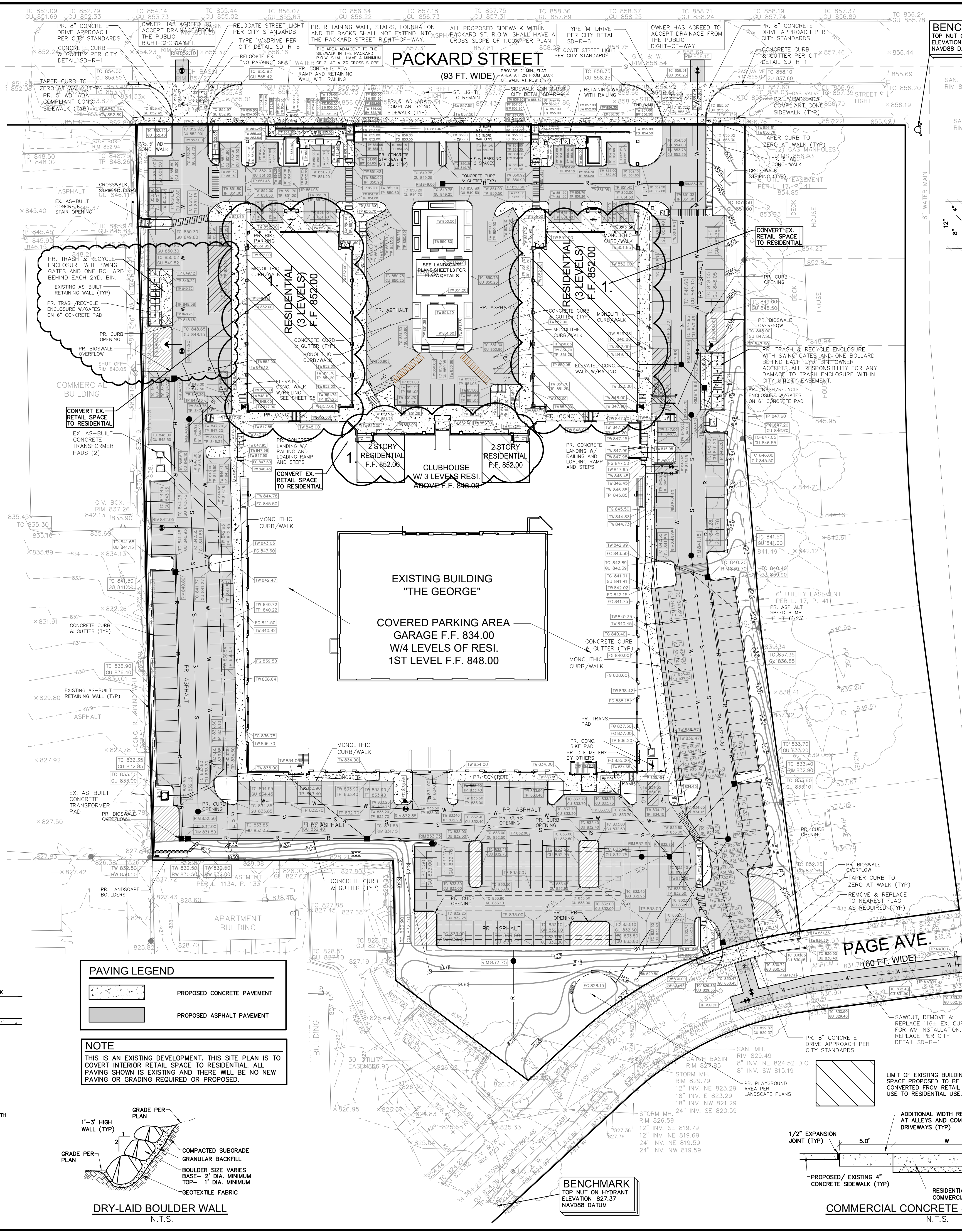
MDOT DRIVEWAY OPENING DETAIL 'M'
N.T.S.



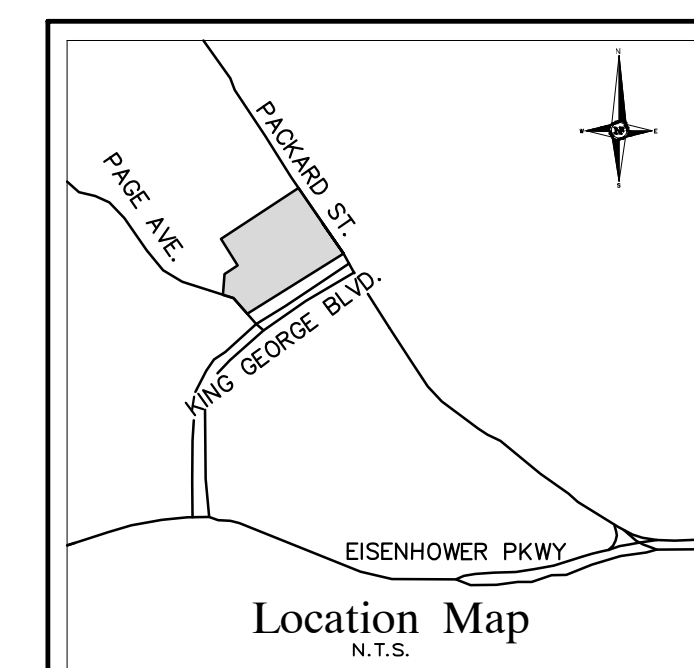
NOTE
THIS IS AN EXISTING DEVELOPMENT. THIS SITE PLAN IS TO CONVERT INTERIOR RETAIL SPACE TO RESIDENTIAL. ALL PAVING SHOWN IS EXISTING AND THERE WILL BE NO NEW PAVING OR GRADING REQUIRED OR PROPOSED.



DRY-LAID BOULDER WALL
N.T.S.

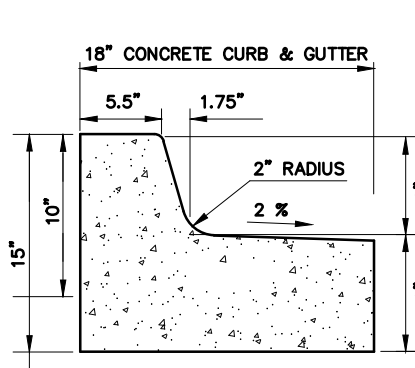


BENCHMARK
TOP NUT ON HYDRANT
ELEVATION 857.64
NAVD88 DATUM

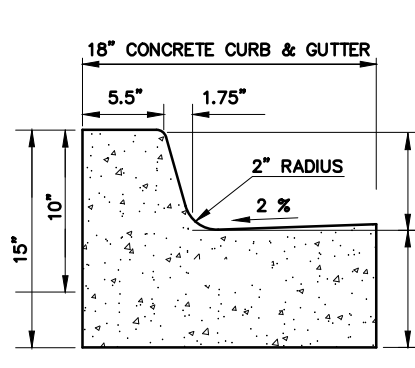


Location Map
N.T.S.

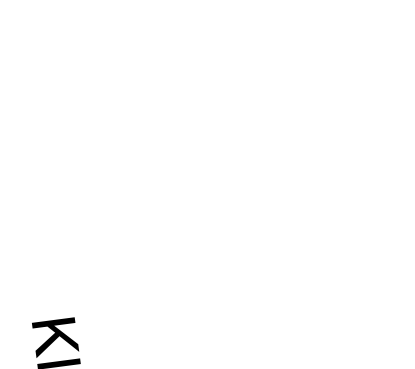
MOUNTABLE CURB AND GUTTER DETAIL
N.T.S.



CONCRETE CURB DETAIL 'A'
ON SITE ONLY

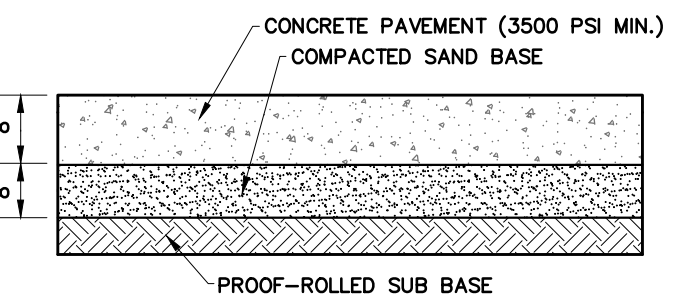


CONCRETE CURB DETAIL 'B'
ON SITE ONLY

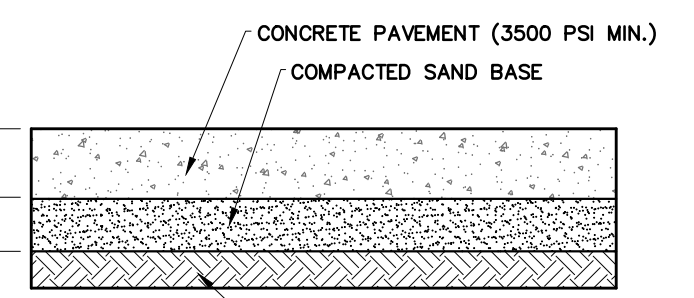


LEGEND

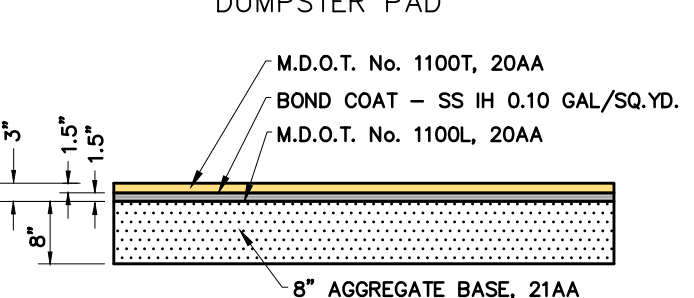
CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
		EXISTING GAS MAIN
		EXISTING BURIED CABLES
		EXISTING OVERHEAD LINES
UTILITY POLE	GUY POLE	EXISTING LIGHT POLE
		EXISTING SIGN
CO.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYCB	PROPOSED STORM SEWER
		PR. SAND BACKFILL
		UTILITY CROSSING
		PR. TOP OF CURB ELEVATION
		PROPOSED GUTTER ELEVATION
		PR. TOP OF WALK ELEVATION
		PR. TOP OF PAVEMENT ELEV.
		PROPOSED FINISH GRADE
		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION



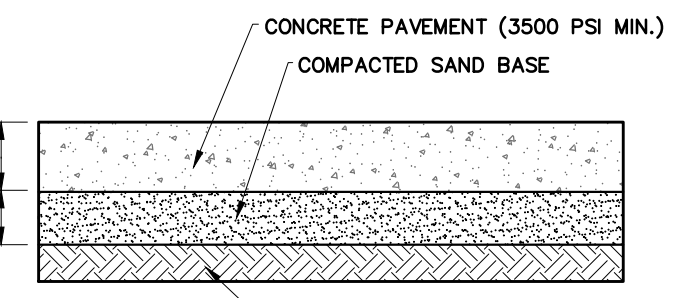
8" CONCRETE SECTION
R.O.W. APPROACH



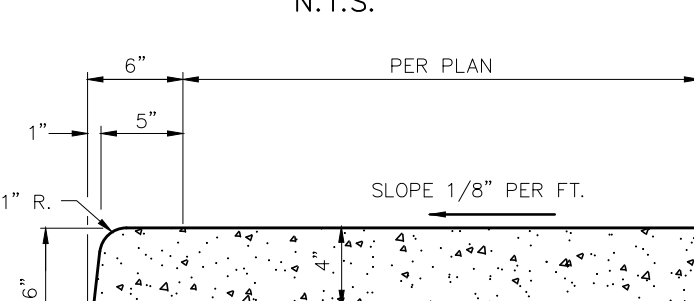
6" CONCRETE SECTION
DUMPSTER PAD



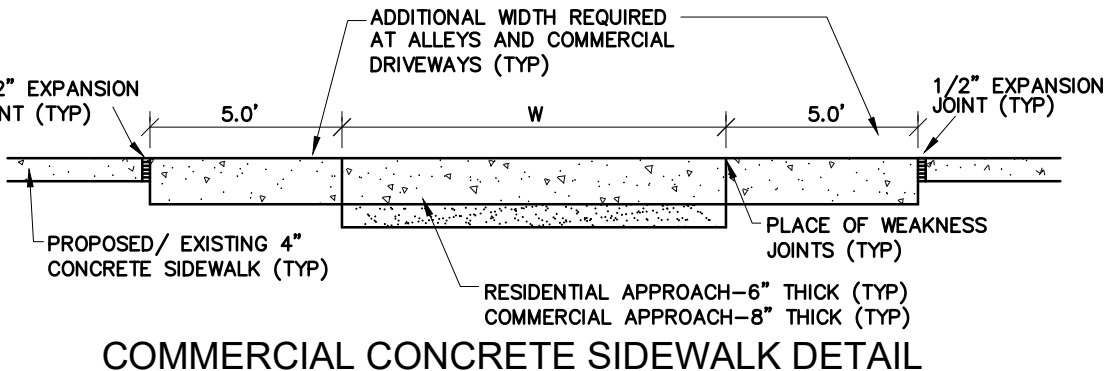
3" ASPHALT PAVING SECTION
ON SITE ONLY



4" CONCRETE SECTION
N.T.S.



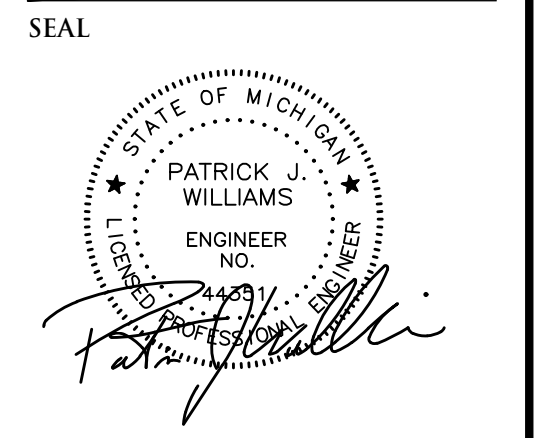
MONOLITHIC CURB AND WALK
N.T.S.



COMMERCIAL CONCRETE SIDEWALK DETAIL
N.T.S.



NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM



PROJECT
The George

CLIENT
Somerset Development
101 Crawford Corner Rd.
Holmdel, NJ 07733

Contact:
Ken Gold
Tel: 732.415-7171

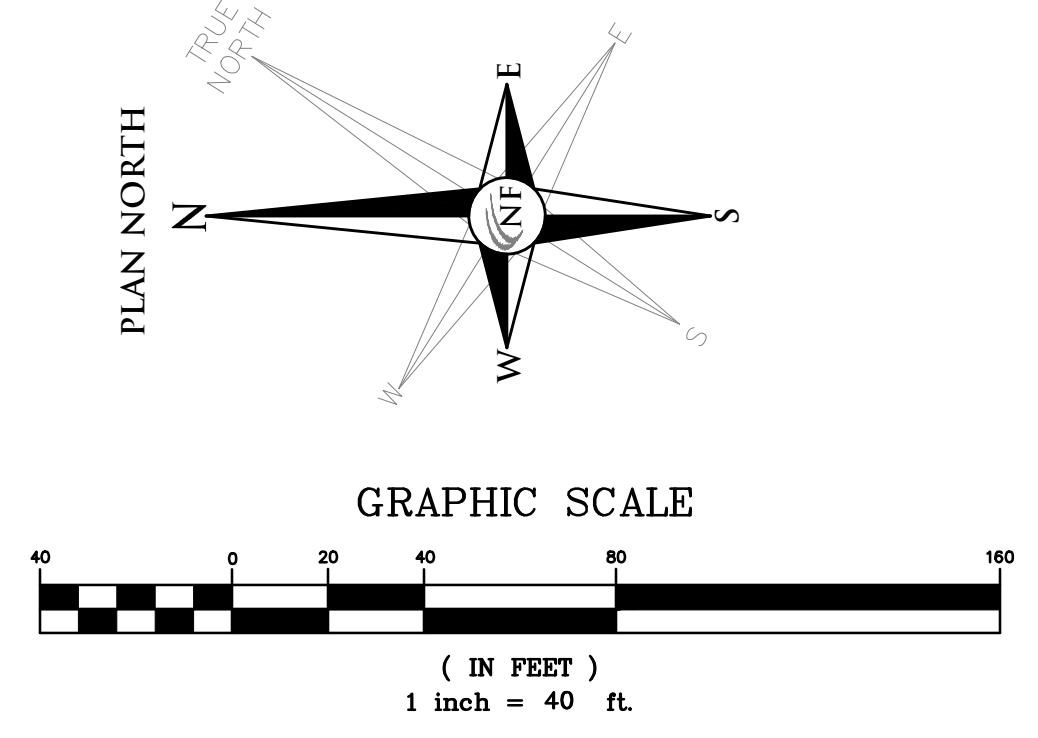
PROJECT LOCATION
Part of the 1/4 of
Section 4
T. 3 South, R. 6 East
City of Ann Arbor,
Washtenaw County,
Michigan

SHEET
Existing Paving & Grading
Plan



DATE 03-11-22
ISSUED / REVISED 03-11-22
SPPC SPPC Issued
05-16-22 Rev. per City / Owner

DRAWN BY: A. Wiseman
DESIGNED BY: A. Wiseman
APPROVED BY: P. Williams
DATE: March 11, 2022
SCALE: 1" = 40'
NFE JOB NO. D601 **SHEET NO. SP-05**

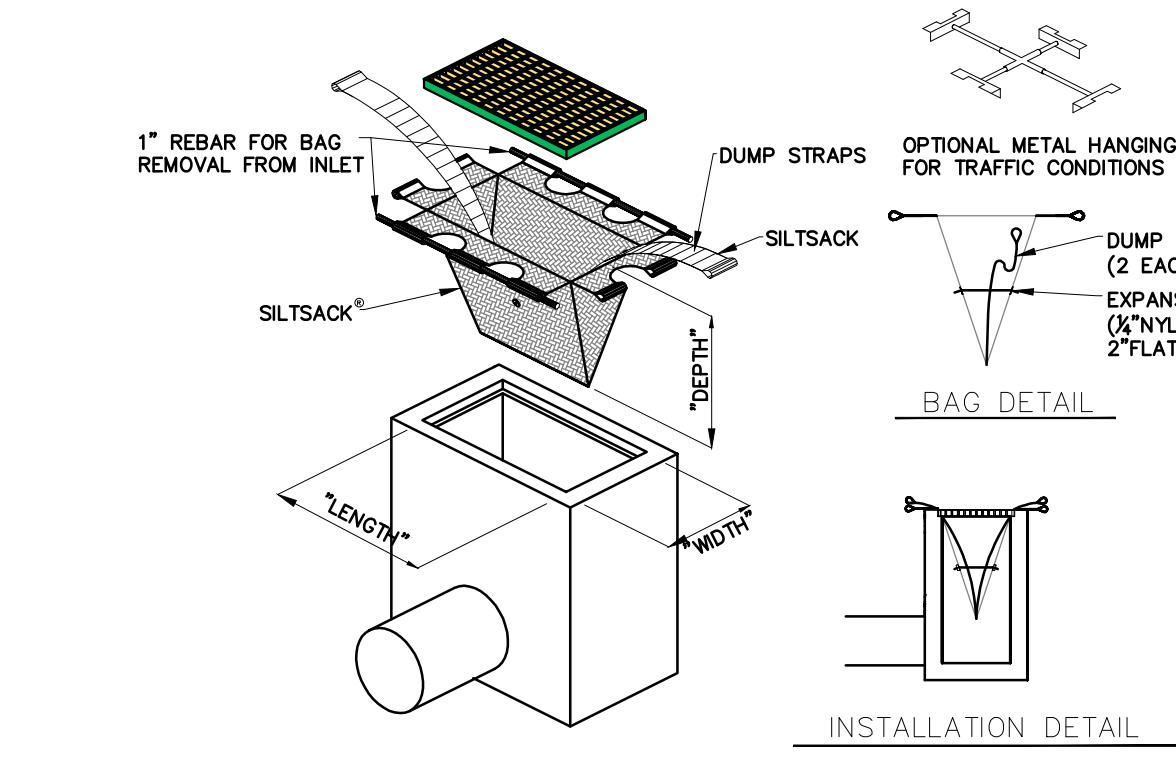


SOIL EROSION MAINTENANCE

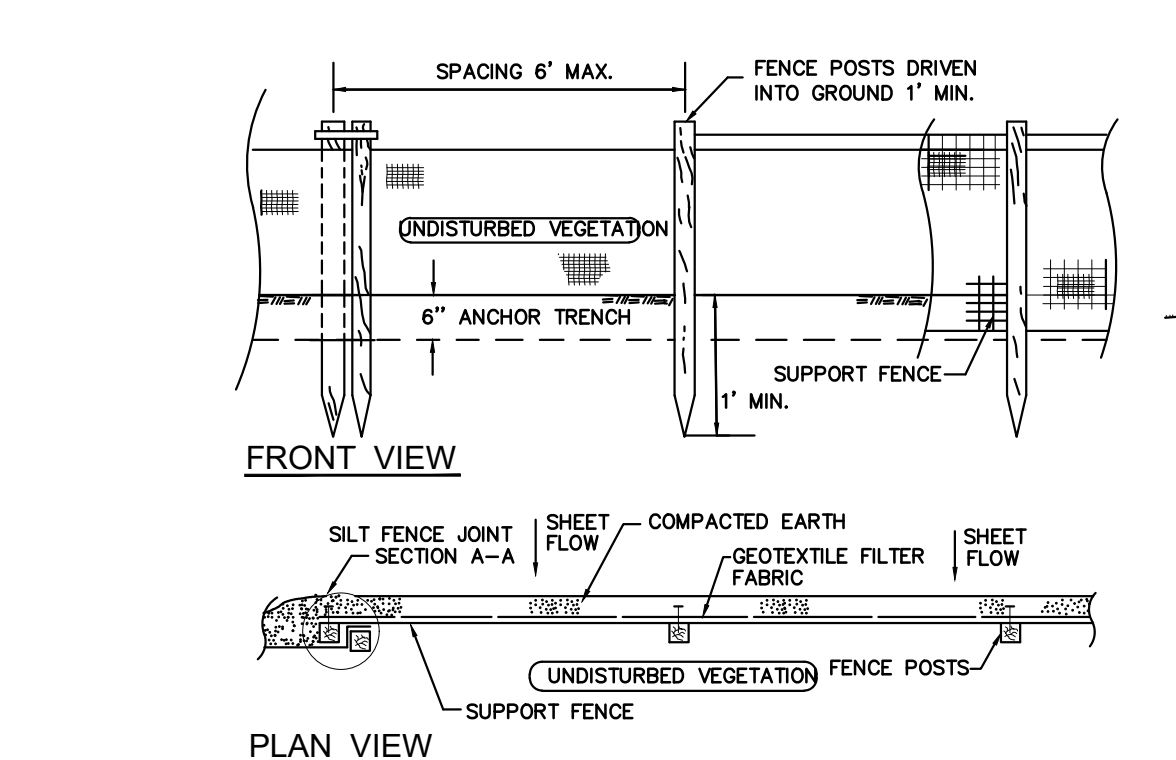
ALL SOIL EROSION SHALL BE CONTAINED ON SITE.
 THE OWNER SHALL CAUSE TO HAVE PERIODIC REMOVAL OF DEBRIS AND SEDIMENT BUILD-UP FROM EROSION CONTROL MEASURES DURING CONSTRUCTION.
 ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTORS OPERATION SHALL BE REPLACED THE SAME WORKING DAY.
 THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL PERMIT FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENT AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.
 UNTIL ALL DISTURBED AREAS HAVE BEEN RE-ESTABLISHED WITH VEGETATION, THE DEVELOPER IS RESPONSIBLE FOR INSPECTING AFTER EACH HEAVY RAIN, ALL SEDIMENT TRAPS AND FILTERS, IF INSPECTION INDICATES THAT THE SEDIMENT HAS ACCUMULATED TO WITHIN 1 OR 2 INCHES OF THE INVERT OF THE OUTLET PIPE, THE STRUCTURE IS TO BE COMPLETELY CLEANED OF THE SEDIMENT.
 UPON COMPLETION OF EACH STORM STRUCTURE, THE CONTRACTORS SHALL INSTALL THE REQUIRED SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN.
 BOTH INTERNAL AND EXTERNAL STREETS WILL BE CLEANED OF ANY TRACKED MUD IMMEDIATELY FOLLOWING EACH MUD-TRACKING OCCURRENCE.

CONSTRUCTION SCHEDULE & S.E.S.C. SEQUENCE

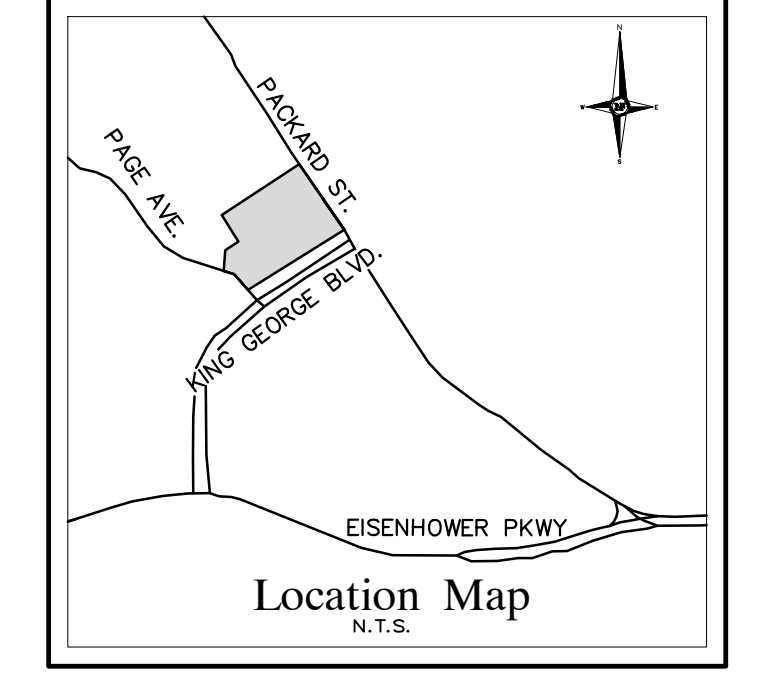
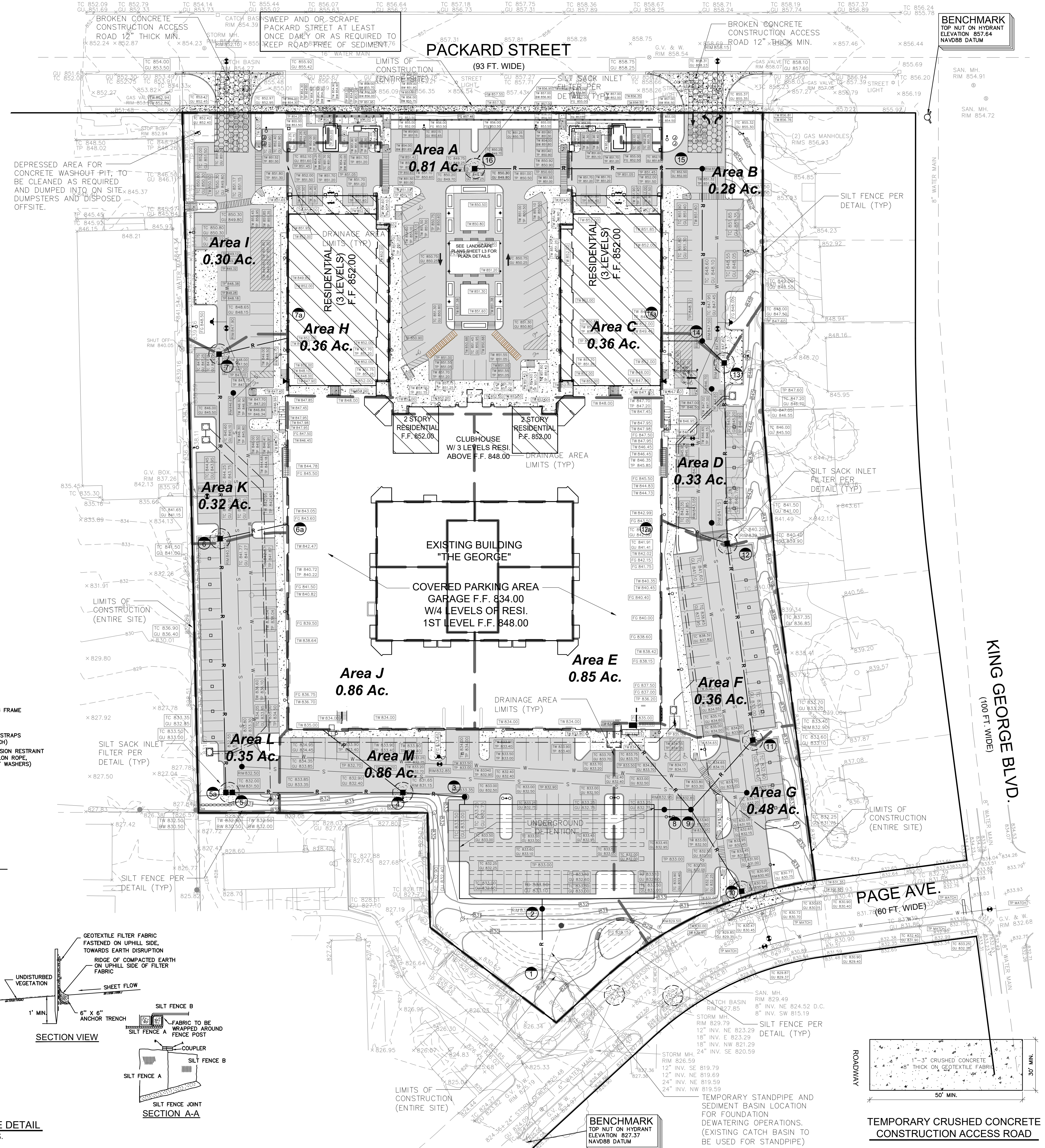
1. INSTALL NATURAL FEATURES PROTECTION FENCE.
2. INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING INLET FILTERS ON EXISTING INLETS, MUD TRACKING SURFACES, SEDIMENTATION BASIN AND CONCRETE WASHOUT. USE OF ANY OTHER ENTRANCES FOR CONSTRUCTION TRAFFIC WILL REQUIRE A MUD TRACKING MAT FOR THAT ENTRANCE.
3. DEMOLITION OF SITE; REMOVE/RELOCATE ON-SITE FRANCHISE UTILITIES AS NECESSARY.
4. ROUGH GRADE SITE, STOCKPILE TOPSOIL IN LOCATION APPROVED BY OWNER AND ENGINEER. A 14' TEMPORARY ACCESS ROAD CAPABLE OF SUPPORTING EMERGENCY APPARATUS, SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. INSTALL PERIMETER RETAINING WALLS.
6. BEGIN CONSTRUCTION OF BUILDING FOUNDATIONS.
7. CONSTRUCT PUBLIC SANITARY SEWER & LEADS TO WITHIN 5 FEET OF THE BUILDING.
8. CONSTRUCT WATER MAIN, HYDRANTS AND LEADS WITHIN 5 FEET OF THE BUILDING.
9. CONSTRUCT STORM WATER MANAGEMENT SYSTEM, INSTALL STORM DRAINAGE SYSTEM INCLUDING UNDERGROUND DETENTION SYSTEM. INSTALL INLET FILTERS ON NEW INLETS.
10. INSTALL CURB & GUTTER & FIRST COURSE OF ASPHALT.
11. STABILIZE NON-PAVED AREAS IN SOUTH SIDE OF SITE.
12. ONCE HYDRANTS HAVE BEEN TESTED AND PLACED IN SERVICE, PROCEED WITH BUILDING CONSTRUCTION.
13. MAINTAIN EROSION AND SEDIMENTATION MEASURES AS REQUIRED.
14. INSTALL ALL FRANCHISE UTILITIES (GAS, PHONE, ELECTRIC).
15. INSTALL SIDEWALKS.
16. INSTALL PAVEMENT COMPLETE. REPAIR OR REPLACE INLET FILTER AS REQUIRED. IF WORK IS PERFORMED DURING WINTER MONTHS, BUILDING MAY BE COMPLETED PRIOR TO THIS STAGE.
17. FINISH GRADE, REDISTRIBUTE TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS. IF WORK IS PERFORMED DURING WINTER MONTHS, BUILDING MAY BE COMPLETED PRIOR TO THIS STAGE.
18. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
19. COMPLETE CONSTRUCTION OF BUILDING.



SILT SACK FILTER DETAIL



SILT FENCE DETAIL
N.T.S.



LEGEND

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYOB	EXISTING STORM SEWER
	MANHOLE	EXISTING GAS MAIN
UTILITY POLE	GUY POLE	EXISTING OVERHEAD LINES
EXISTING LIGHT POLE	EXISTING SIGN	
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYOB	PROPOSED STORM SEWER
	MANHOLE	PR. SAND BACKFILL
		UTILITY CROSSING
		PR. TOP OF CURB ELEVATION
		PROPOSED GUTTER ELEVATION
		PR. TOP OF WALK ELEVATION
		PR. TOP OF PAVEMENT ELEV.
		PROPOSED FINISH GRADE
		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

LEGAL DESCRIPTION
 OUTLOT A, SMOKER HUTZEL SUBDIVISION, OF PART OF THE SOUTHEAST ONE-QUARTER (1/4) OF SECTION 4 AND PART OF THE NORTHEAST ONE-QUARTER (1/4) OF SECTION 9, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 17 OF PLATS, PAGES 41, 42 AND 43, WASHTENAW COUNTY RECORDS.

S.E.S.C. NOTES

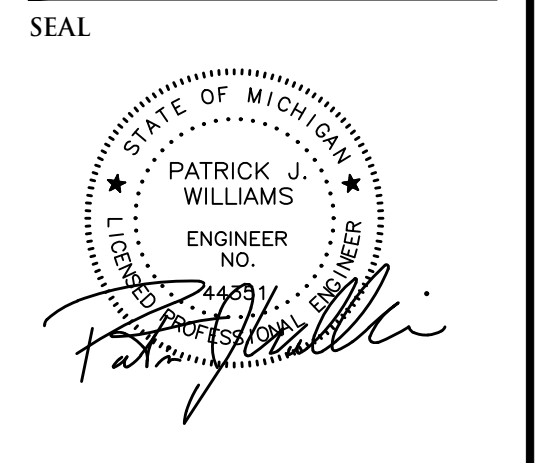
1. DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN, COMPLETED APPLICATION AND CHECKLIST FORMS, PAY ALL FEES AND POST AN EROSION CONTROL PERFORMANCE BOND, AS REQUIRED, PRIOR TO ANY EARTH CHANGE.
2. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.
3. BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED BY THE CONTRACTOR WITH FULL CONSIDERATION FOR SOIL EROSION AND SEDIMENT CONTROL.
4. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
5. CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
6. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
7. ESTIMATED COST OF S.E.S.C. MEASURES = \$3,956
 10 INLET FILTERS X \$25 = \$250
 165 FT. SILT FENCE X \$2 = \$3,302
 38 TN. TRACKING SURFACE X \$16 = \$608
8. ESTIMATED AMOUNT OF CUT 16,000 C.Y. & 19,320 C.Y. OF FILL (NOTE THIS QUANTITY IS PROVIDED FOR SITE PLAN PURPOSES ONLY, AND IS NOT TO BE USED FOR BIDDING OR ESTIMATION PURPOSES.)
9. UNSUITABLE MATERIAL IS TO BE HAULED TO A SUITABLE LOCATION OFF-SITE.
10. SHOULD CONSTRUCTION DISCONTINUE, ESTIMATED COST OF SITE SOIL STABILIZATION MEASURES \$31,549.
11. THIS SITE WILL REQUIRE AN NPDES/NOC PERMIT FROM THE MDEQ. INSPECTIONS BY A CERTIFIED STORM WATER OPERATOR SHALL BE PERFORMED WEEKLY AND AFTER EVERY SIGNIFICANT RAIN EVENT.

NOTES

LIMITS OF GRADING ARE DEFINED BY PROPERTY LINE OR SILT FENCE AND TREE PROTECTION FENCE.
 SITE VEGETATION, EXISTING TOPOGRAPHY AND SOILS ARE DETAILED ON SHEET SP-01.
 SEE STORM SEWER AND DETENTION DETAILS AND CALCULATIONS ON SHEET SP-07.
 LIMIT OF EXISTING BUILDING SPACE PROPOSED TO BE CONVERTED FROM RETAIL USE TO RESIDENTIAL USE.
NOTE
 THIS IS AN EXISTING DEVELOPMENT. THIS SITE PLAN IS TO COVER INTERIOR RETAIL SPACE TO RESIDENTIAL. THERE ARE NO SOIL EROSION MEASURES REQUIRED OR PROPOSED.



NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 The George

CLIENT
 Somerset Development
 101 Crawfords Corner Rd.
 Holmdel, NJ 07733

Contact:
 Ken Gold
 Tel: 732.415-7171

PROJECT LOCATION
 Part of the 1/4 of Section 4
 T. 3 South, R. 6 East
 City of Ann Arbor,
 Washtenaw County,
 Michigan

SHEET
 Soil Erosion and
 Sedimentation Control Plan



DATE ISSUED / REVISED
 03-11-22 SPPC Issued
 05-16-22 Rev. per City / Owner

DRAWN BY:
 A. Wiseman

DESIGNED BY:
 A. Wiseman

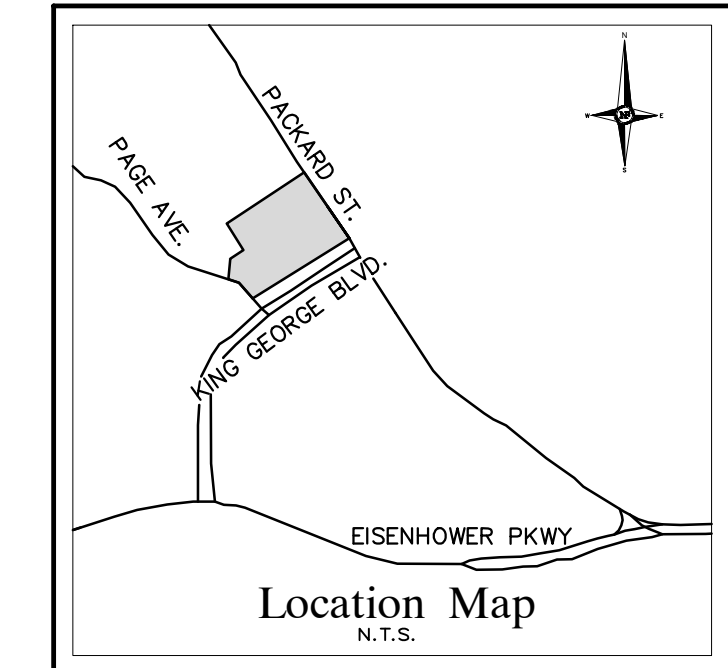
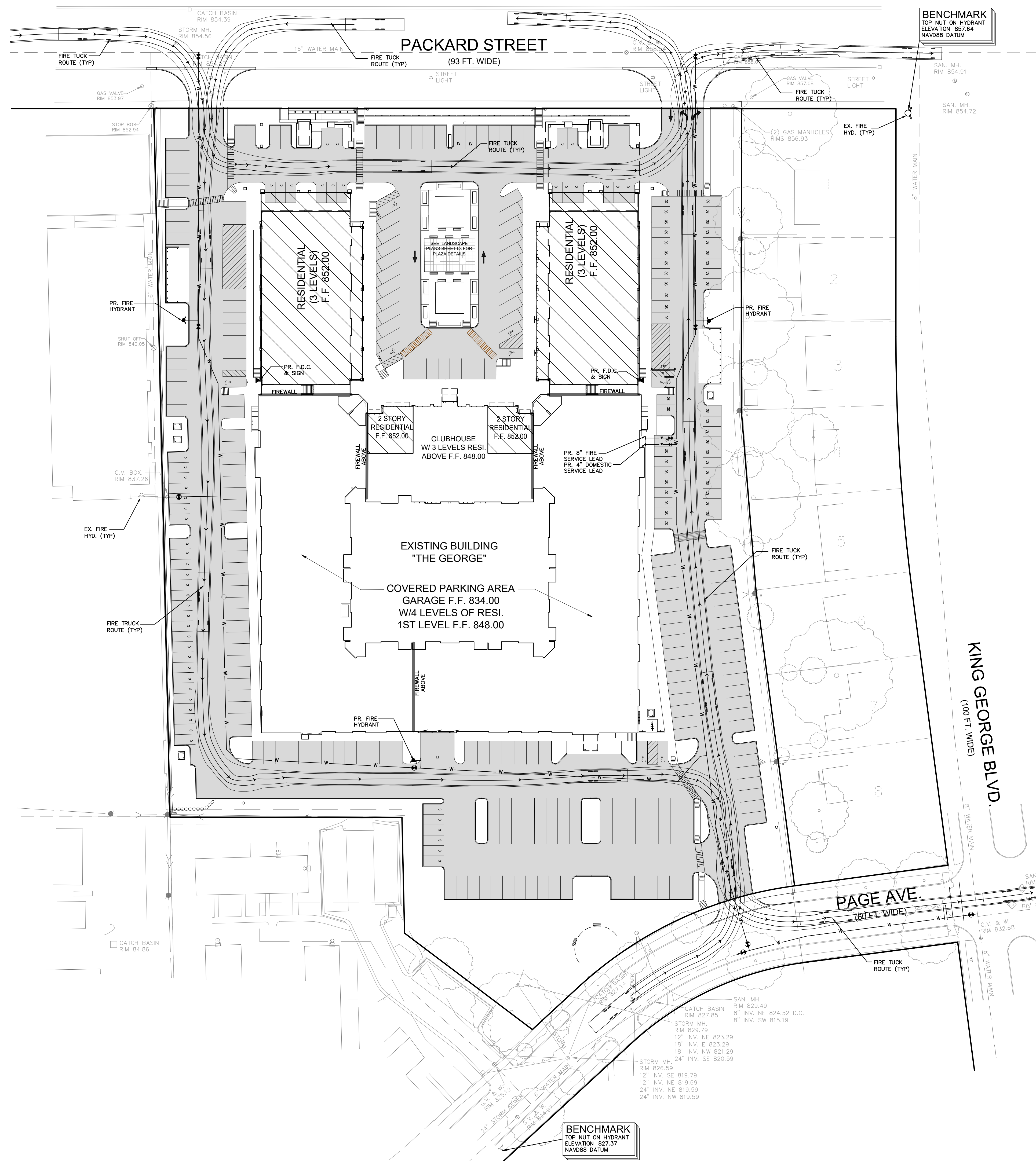
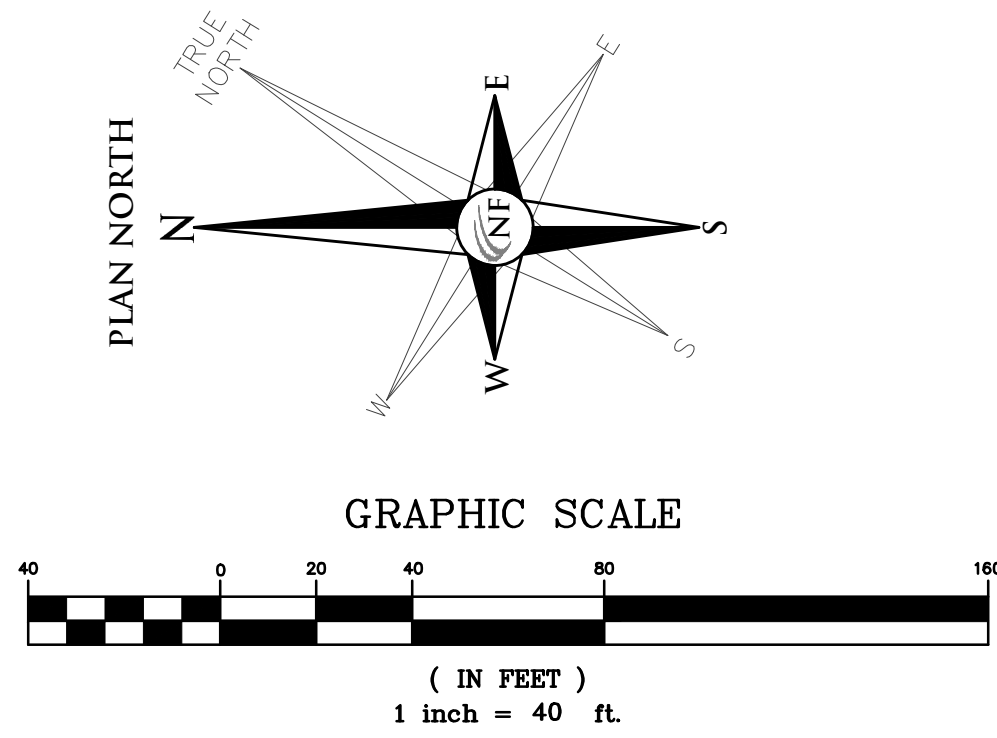
APPROVED BY:
 P. Williams

DATE:
 March 11, 2022

SCALE:
 1" = 40'

NFE JOB NO.
 D601

SHEET NO.
 SP-09



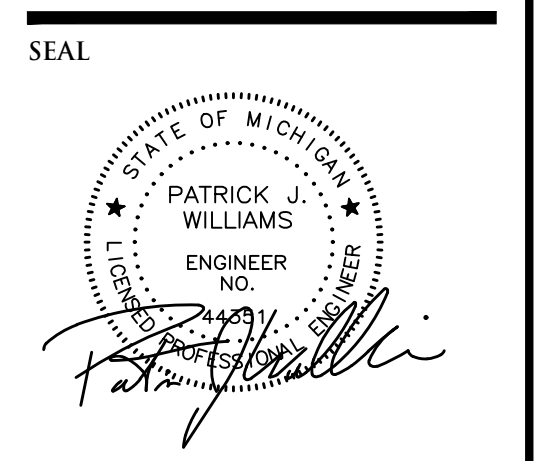
LEGEND

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
UTILITY POLE	GUY POLE	EXISTING BURIED CABLES
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING GAS MAIN
C.O.	MANHOLE	EXISTING OVERHEAD LINES
HYDRANT	GATE VALVE	PR. SANITARY SEWER
INLET	RYCB	PROPOSED WATER MAIN
COMPACT TO 95% MAX. DENSITY	MANHOLE	PROPOSED STORM SEWER
TC 600.00	A	PR. SAND BACKFILL
GU 600.00		UTILITY CROSSING
TW 600.00		PR. TOP OF CURB ELEVATION
TP 600.00		PROPOSED GUTTER ELEVATION
FG 600.00		PR. TOP OF WALK ELEVATION
600		PR. TOP OF PAVEMENT ELEV.
		PROPOSED FINISH GRADE
		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

LEGAL DESCRIPTION
 OUTLOT A, SMOGLER HUTZEL SUBDIVISION, OF PART OF THE SOUTHEAST ONE-QUARTER (1/4) OF SECTION 4 AND PART OF THE NORTHEAST ONE-QUARTER (1/4) OF SECTION 9, TOWN 3 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 17 OF PLATS, PAGES 41, 42 AND 43, WASHTENAW COUNTY RECORDS.

FIRE DEPARTMENT NOTES
 FIRE PROTECTION ALARM AND DETECTION SYSTEMS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES ADOPTED BY THE CITY OF ANN ARBOR.
 KNOX BOX SHALL BE MOUNTED ON AN APPROVED EXTERIOR LOCATION FOR EMERGENCY ACCESS TO THE FIRE COMMAND CENTER.
 CONSTRUCTION SEQUENCING:
 1. HYDRANTS MUST BE IN SERVICE AND APPROVED DURING CONSTRUCTION.
 2. HYDRANTS PROVIDING PROTECTION COVERAGE FOR THE BUILDING MUST BE IN SERVICE AND APPROVED BY BOTH THE FIRE DEPARTMENT AND ENGINEERING BEFORE FIRE DEPARTMENT WILL SUPPORT PERMIT ISSUANCE FOR NEW CONSTRUCTION PHASE AND BEFORE COMBUSTIBLE MATERIAL ARE PLACED ON THE JOB SITE.
 3. STORAGE AREA FOR CONSTRUCTION MATERIALS MUST BE APPROVED SO AS NOT TO INTERFERE WITH FIRE/EMERGENCY SITE ACCESS.
 4. IF SITE ACCESS IS TO BE RESTRICTED DURING CONSTRUCTION, KNOX BOX LOCK FOR GATES IS TO BE PROVIDED.

NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS
 NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
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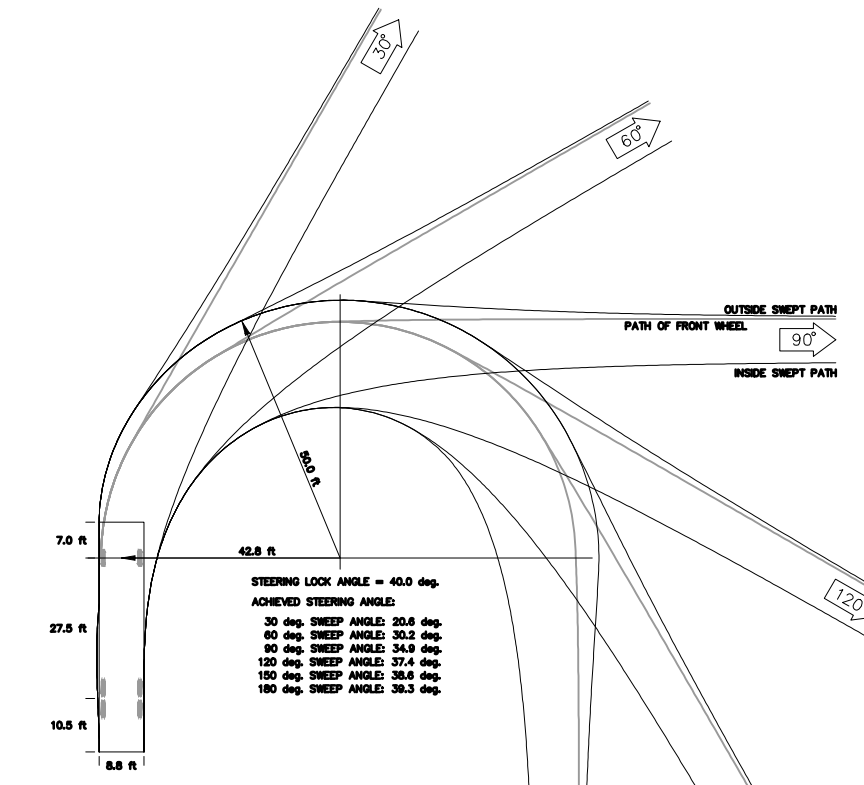
PROJECT LOCATION
 Part of the 1/4 of Section 4
 T. 3 South, R. 6 East
 City of Ann Arbor,
 Washtenaw County,
 Michigan

SHEET
 Fire Protection Plan



DATE ISSUED / REVISED
 03-11-22 SPPC Issued
 05-16-22 Rev. per City / Owner

DRAWN BY:
 A. Wiseman
DESIGNED BY:
 A. Wiseman
APPROVED BY:
 P. Williams
DATE:
 March 11, 2022
SCALE:
 1" = 40'
NFE JOB NO. SHEET NO.
 D601 SP-10



Ann Arbor Custom
 Ann Arbor feet
 Width : 45.00
 Track : 27.50
 Lock to Lock Time : 6.0
 Steering Angle : 40.0

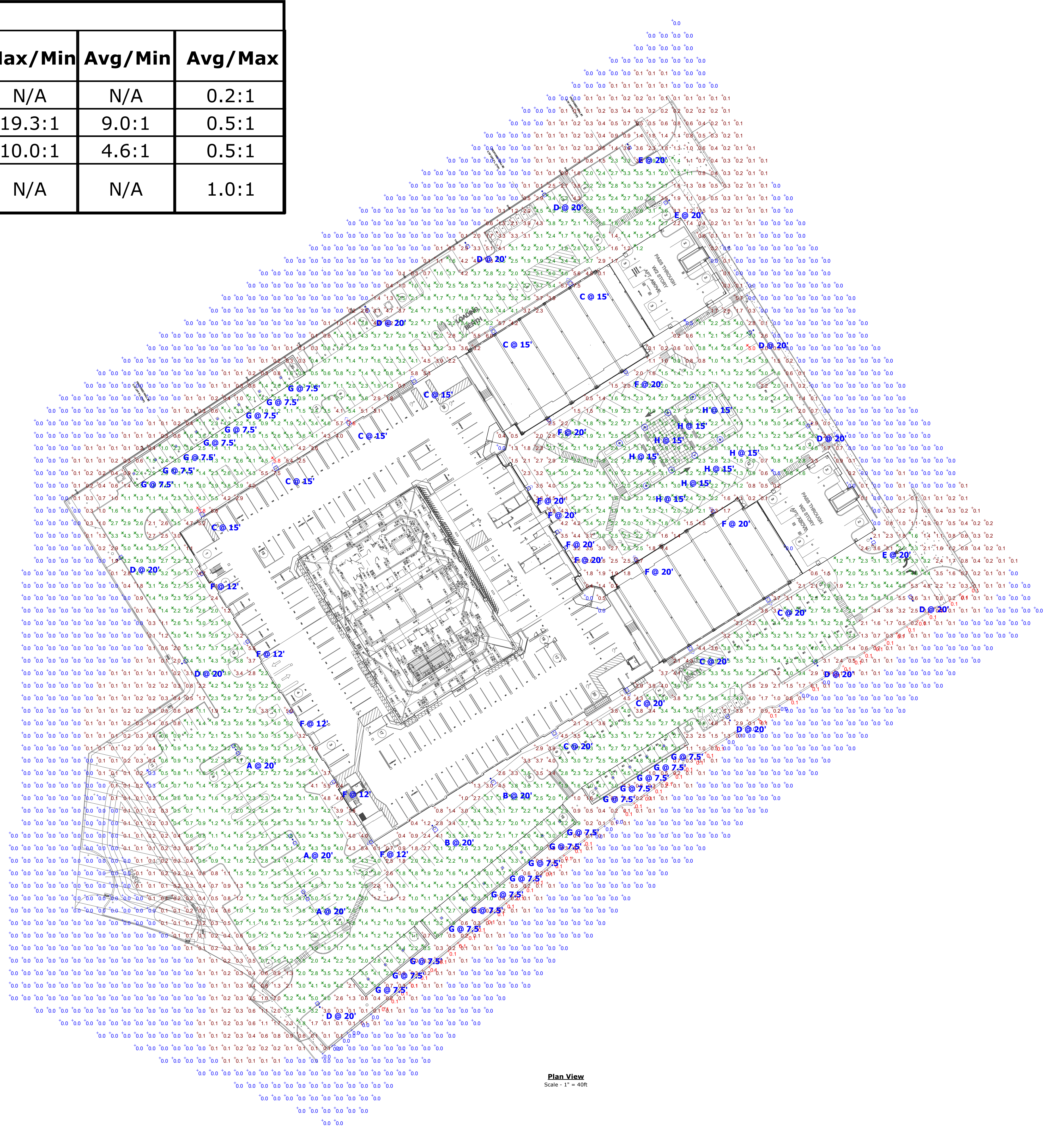
BENCHMARK
 TOP NUT ON HYDRANT
 ELEVATION 827.37
 NAVD88 DATUM

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade @ 0'	+	1.2 fc	7.6 fc	0.0 fc	N/A	N/A	0.2:1
Residential Parking	X	2.7 fc	5.8 fc	0.3 fc	19.3:1	9.0:1	0.5:1
Retail Parking	X	2.3 fc	5.0 fc	0.5 fc	10.0:1	4.6:1	0.5:1
RESIDENTIAL PROPERTY EDGE	+	0.1 fc	0.1 fc	0.0 fc	N/A	N/A	1.0:1

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Wattage
□	A	3	Lithonia Lighting	DSX1 LED P3 30K T5W MVOLT	DSX1 LED P3 30K T5W MVOLT	LED	12039	204
□	B	2	Lithonia Lighting	DSX1 LED P3 30K T3M MVOLT	DSX1 LED P3 30K T3M MVOLT	LED	11338	102
∧	C	10	Lithonia Lighting	DSX1 LED P4 30K T3M MVOLT	DSX1 LED P4 30K T3M MVOLT	LED	13064	125
□	D	11	Lithonia Lighting	DSX1 LED P4 30K BLC MVOLT	DSX1 LED P4 30K BLC MVOLT	LED	11026	125
□	E	3	Lithonia Lighting	DSX1 LED P3 30K T4M MVOLT	DSX1 LED P3 30K T4M MVOLT	LED	11426	102
∧	F	13	Lithonia Lighting	DSX1 LED P1 30K T4M MVOLT	DSX1 LED P1 30K T4M MVOLT	LED	6327	54
○	G	23	Lithonia Lighting	VCPG LED P1 30K LANE MVOLT	VCPG LED WITH P1 - PERFORMANCE PACKAGE, 3000K, LANE OPTIC TYPE FACTORY TUNED DRIVER	LED	3507	26.57
○	H	8	Lithonia Lighting	RADPT P1 30K SYM	RADEAN Post-Top with P1 3000K Symmetric distribution	LED	3189	25.4134



- General Note**
- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

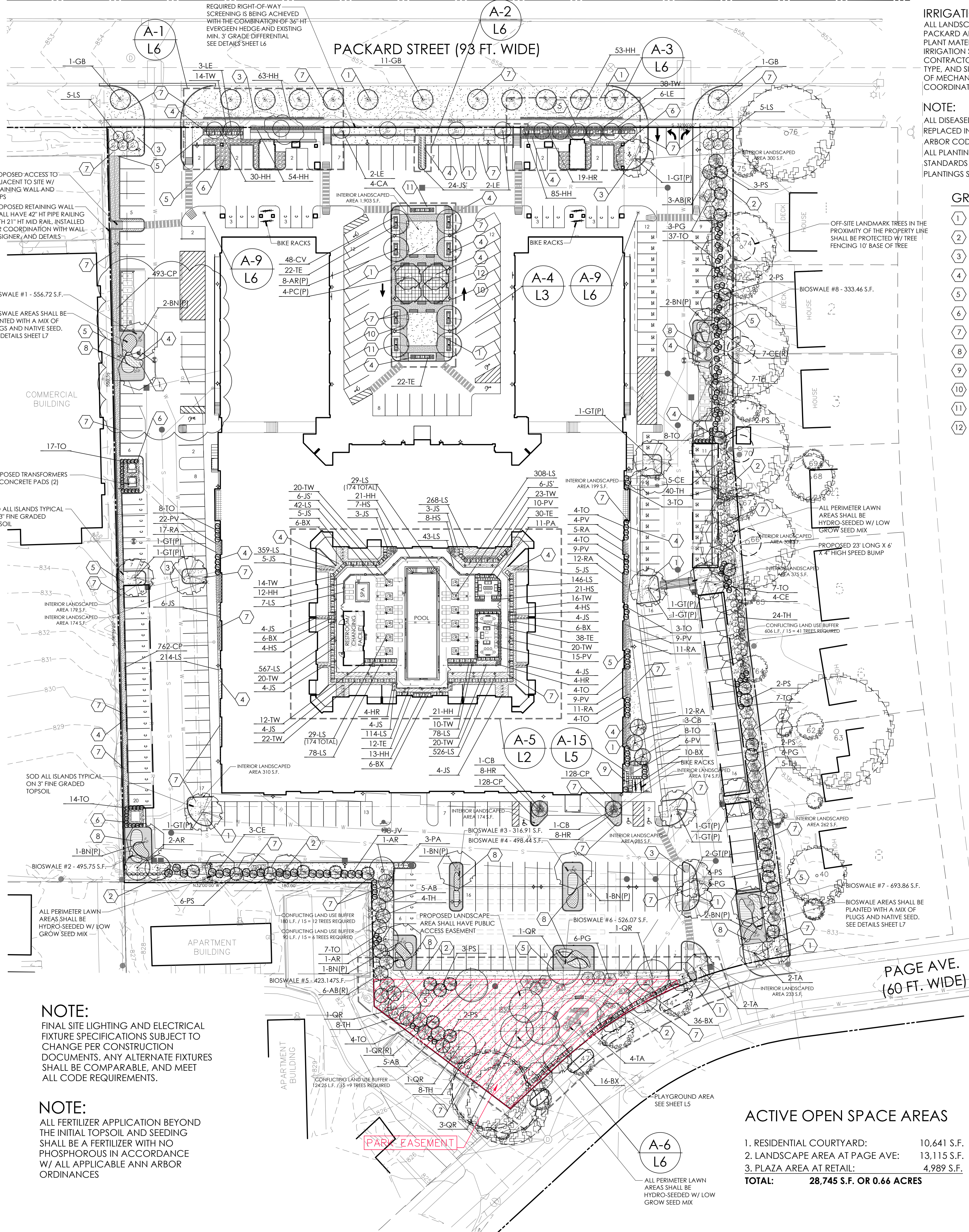
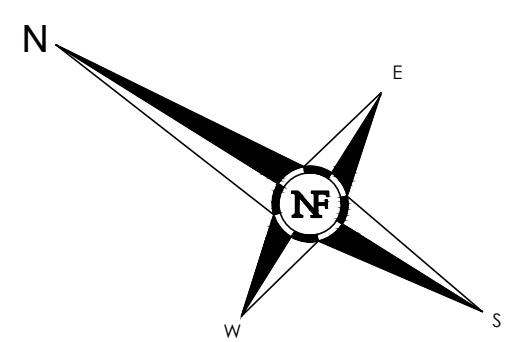
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



LANDSCAPE REQUIREMENTS

EXISTING SITE AREA: 283,932.89 S.F. OR 6.52 ACRES

1. VEHICLE USE AREA

A. R.O.W. SCREENING
10' WD. BUFFER: 1 TREE PER 30 L.F. OR FRACTION THEREOF, PLUS HEDGE (30' HT.)
PACKARD ST.: 456 L.F. / 30 = 22.8 OR 23 TREES REQUIRED

B. INTERIOR LANDSCAPE

VEHICLE USE AREA (111,332.37 S.F.)
1 S.F. PER 15 S.F. OF VEHICLE USE AREA
111,332.37 / 15 = 7,422.16 S.F. LANDSCAPE AREA REQUIRED

2. CONFLICTING LAND USE BUFFER

1 TREE PER 20 L.F. OF LENGTH
606 L.F. / 20 = 31 TREES REQUIRED
TREES PROVIDED: 31 TREES

3. STREET TREE ESCROW REGULATIONS

REQUIRED PER LAND DEVELOPMENT REGULATIONS - ATTACHMENT C
LENGTH OF FRONTAGE: 456 L.F. (ALONG PACKARD)
456 L.F. X \$1.30 PER LINEAR FOOT OF FRONTAGE = \$592.80

4. LANDMARK TREE MITIGATION

TOTAL INCHES OF LANDMARK TREE REPLACEMENT: 49.5
TOTAL INCHES OF MITIGATION PROPOSED: 17 TREES AT 3" CALIBER = 51" OF REPLACEMENT

RAIN GARDEN SEED MIX

*CONTAINS 30% WILDFLOWERS, 10% NATIVE GRASSES AND 60% TEMPORARY GRASSES

Table with 2 columns: WILDFLOWERS and GRASSES. Lists various plant species like HEATH ASTER, CANADA WILD RYE, etc.

NOTE:

FINAL SITE LIGHTING AND ELECTRICAL FIXTURE SPECIFICATIONS SUBJECT TO CHANGE PER CONSTRUCTION DOCUMENTS.

NOTE:

ALL FERTILIZER APPLICATION BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHOROUS IN ACCORDANCE W/ ALL APPLICABLE ANN ARBOR ORDINANCES

IRRIGATION NOTE: ALL LANDSCAPE AREAS, INCLUDING AREAS IN THE POOL COURTYARD, THE PACKARD AND PAGE RIGHTS-OF-WAY AND PARKING LOT ISLANDS WITH PLANT MATERIAL SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM...

NOTE: ALL DISEASED, DAMAGED OR DEAD PLANT MATERIAL SHALL BE REPLACED IN ACCORDANCE W/CHAPTER 62 OF THE CITY OF ANN ARBOR CODE...

GROUND COVER KEY

- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
2 TYPICAL LOW-GROW SEED LAWN AREAS, SOWN ON 3" TOPSOIL
3 3-4" DIA SPADE CUT EDGE W/ 4" SHREDDED BARK MULCH

PLANT LIST

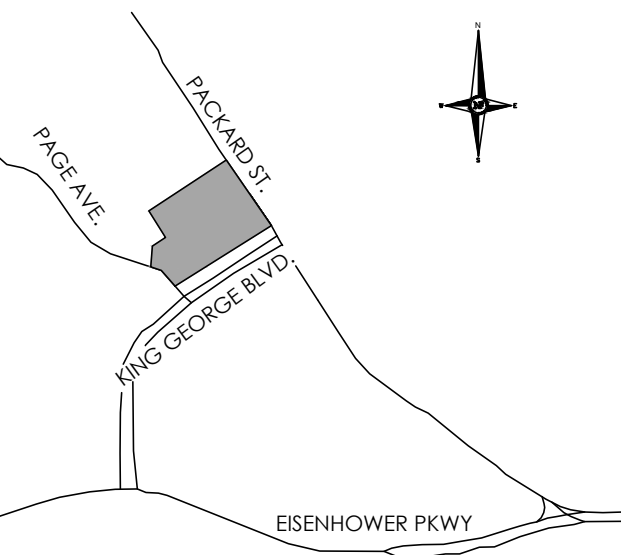
Table with columns: KEY, QTY, BOTANICAL/COMMON NAME, SIZE, SPACING, ROOT, COMMENT. Lists various trees and shrubs like Abies balsamea, Acer rubrum, etc.

SITE FURNISHINGS SCHEDULE

Table with columns: KEY, QTY, BOTANICAL/COMMON NAME. Lists items like LONG SURFACE MOUNT BENCH, BIKE BIKE RACKS.

ACTIVE OPEN SPACE AREAS

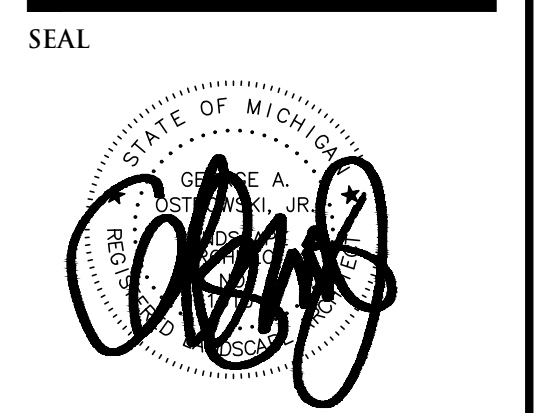
- 1. RESIDENTIAL COURTYARD: 10,641 S.F.
2. LANDSCAPE AREA AT PAGE AVE: 13,115 S.F.
3. PLAZA AREA AT RETAIL: 4,989 S.F.
TOTAL: 28,745 S.F. OR 0.66 ACRES



LOCATION MAP



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX. (248) 332-8257



PROJECT
The George

CLIENT
Somerset Development
101 Crawfords Corner Rd
Holmdel, NJ, 07733

Contact: Ken Gold
Phone: 732-415-7171

PROJECT LOCATION
Part of the 1/4 of
Section 4
T. 3 South, R. 6 East
City of Ann Arbor,
Washtenaw County,
Michigan

SHEET
Existing Landscape Plan



REVISIONS
03/11/21 SPPC ISSUED
05/16/22 REVISED PER CITY/OWNER

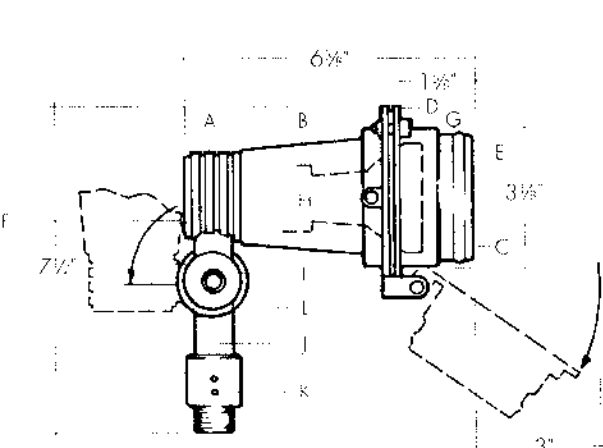
DRAWN BY: G. Ostrowski
DESIGNED BY: G. Ostrowski
APPROVED BY: G. Ostrowski

DATE: 03-11-22
SCALE: 1" = 40'

NFE JOB NO. SHEET NO.
D601 L1

TEKA

ILLUMINATION



Description
5 ring adjustable luminaire for incandescent PAR 20 lamp

- Materials and Construction**
- A. Machine brass housing base with porcelain socket
 - B. Heavy wall copper screw housing
 - C. Heavy wall, copper ringed socket
 - D. Stainless steel ringed clamp ring
 - E. Tempered clear glass lens
 - F. Large metal adjustment face screw
 - G. Cap screw for lamp access
 - H. Lens alignment lock screw
 - I. Modified brass screw
 - J. 1/4" O.D. heavy wall brass stem
 - K. Solid brass slip fit adjustable adapter with O-ring seal and 2 1/8" thread
 - L. Modified brass screw lock
 - M. All fasteners are stainless steel

Mounting
To any 1/8" IP thread

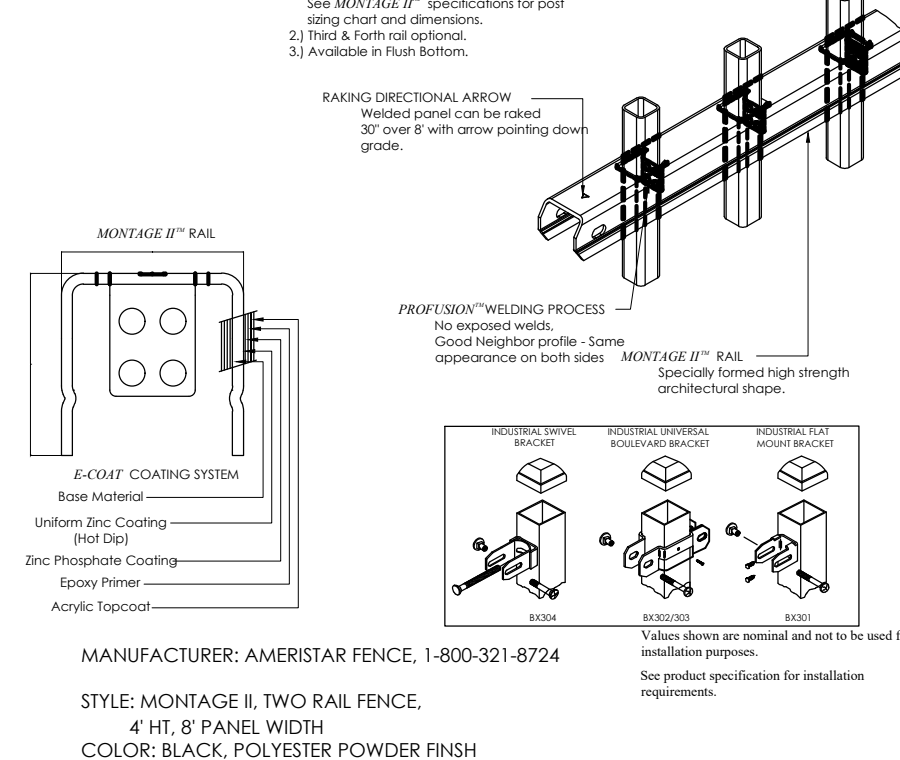
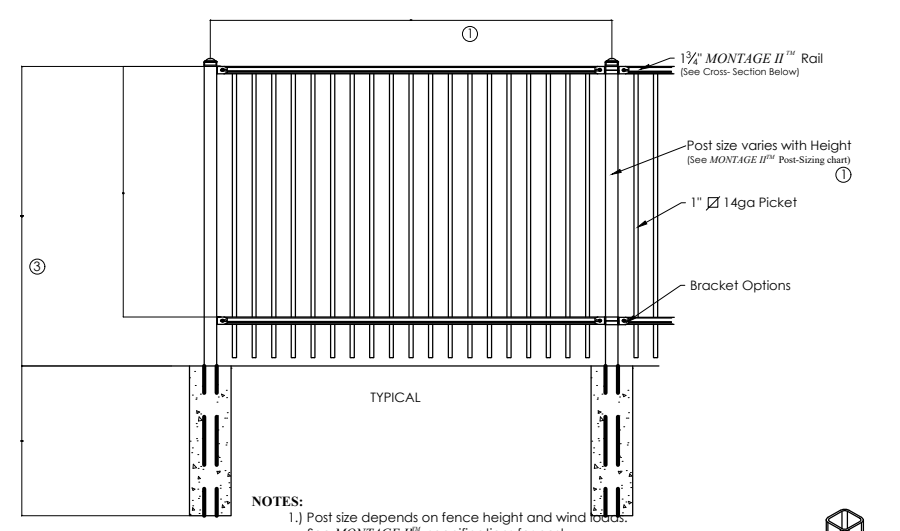
Product Number	Lamp	Finish Option
IPF-2116 / Natural	50W PAR 20	Black / Patina
IPF-2166 / Nickel	50W PAR 20	None

- *Neckal Plate**
- Options available at additional cost
1. Add suffix BP has brown patina
 2. Larger stem lengths up to 24" available - specify length
 3. LS-200 - clear lens spread lens and rearer ring
 4. UV-200 - 45° UV lens cover and rearer ring

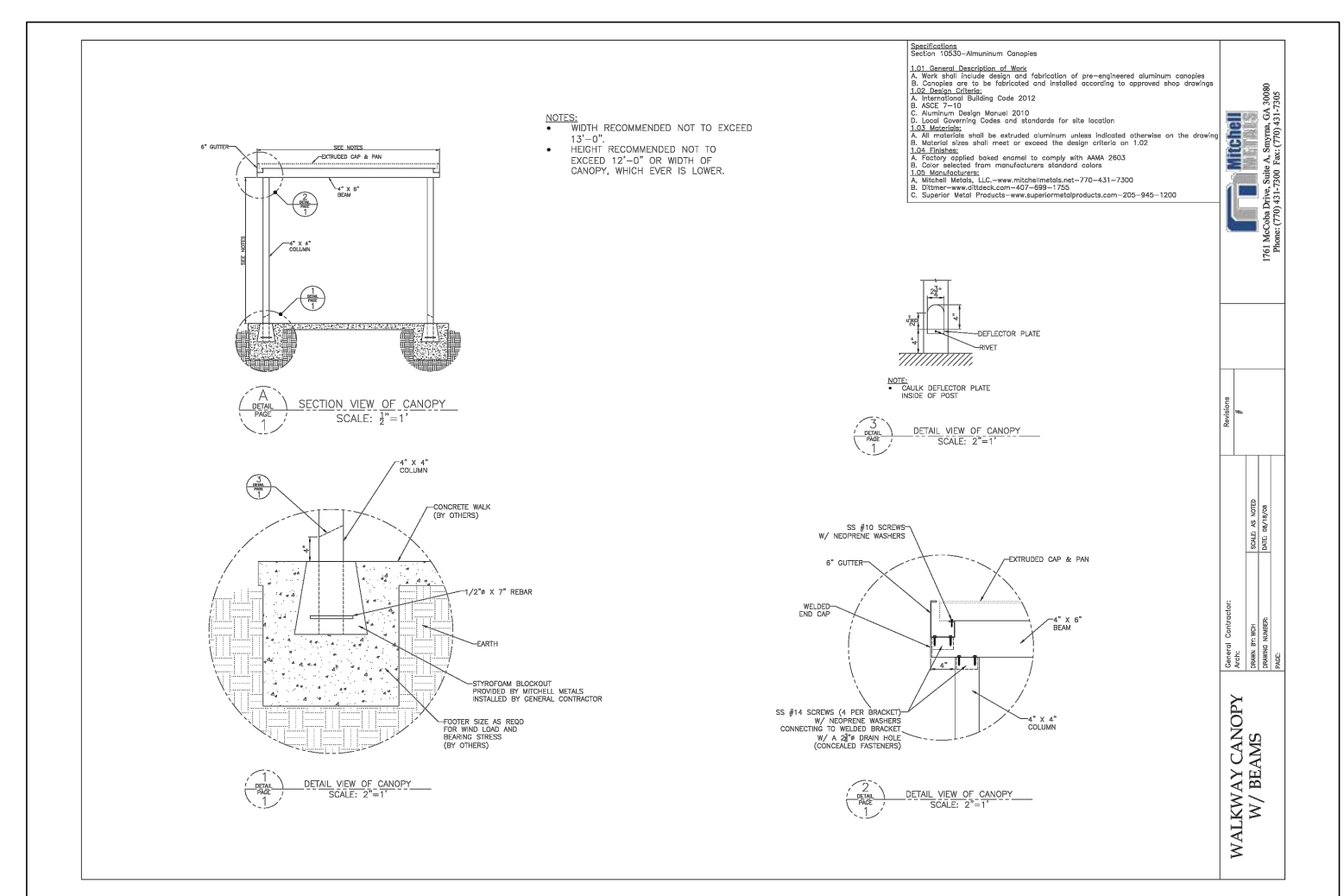
Note
U.L. and CUL listed, suitable for wet locations

INCANDESCENT PAR FLOODLIGHT

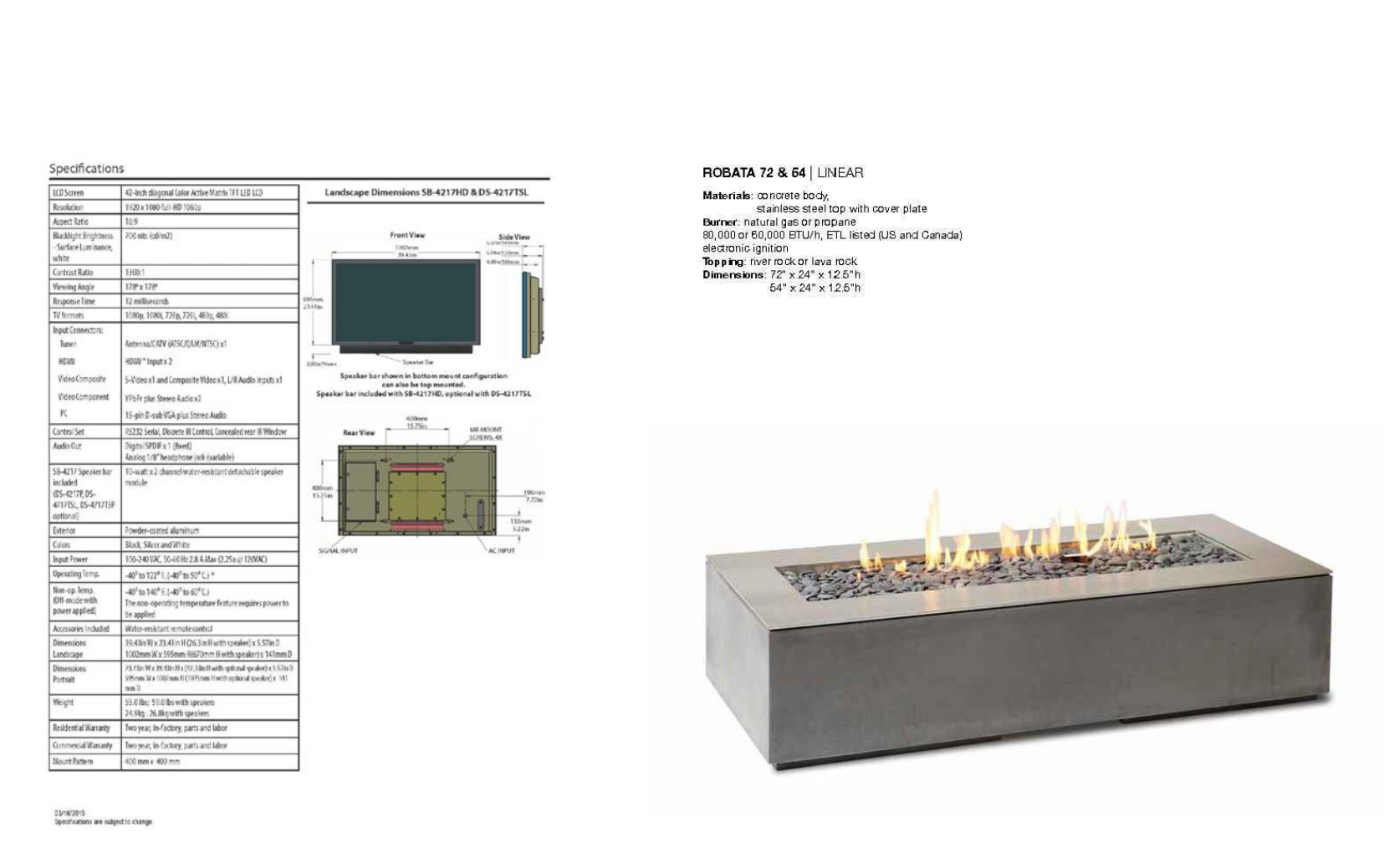
IPF-2116/NATURAL 50WPAR20 W/ BROWN PATINA



4' HT. ORNAMENTAL FENCE DETAIL

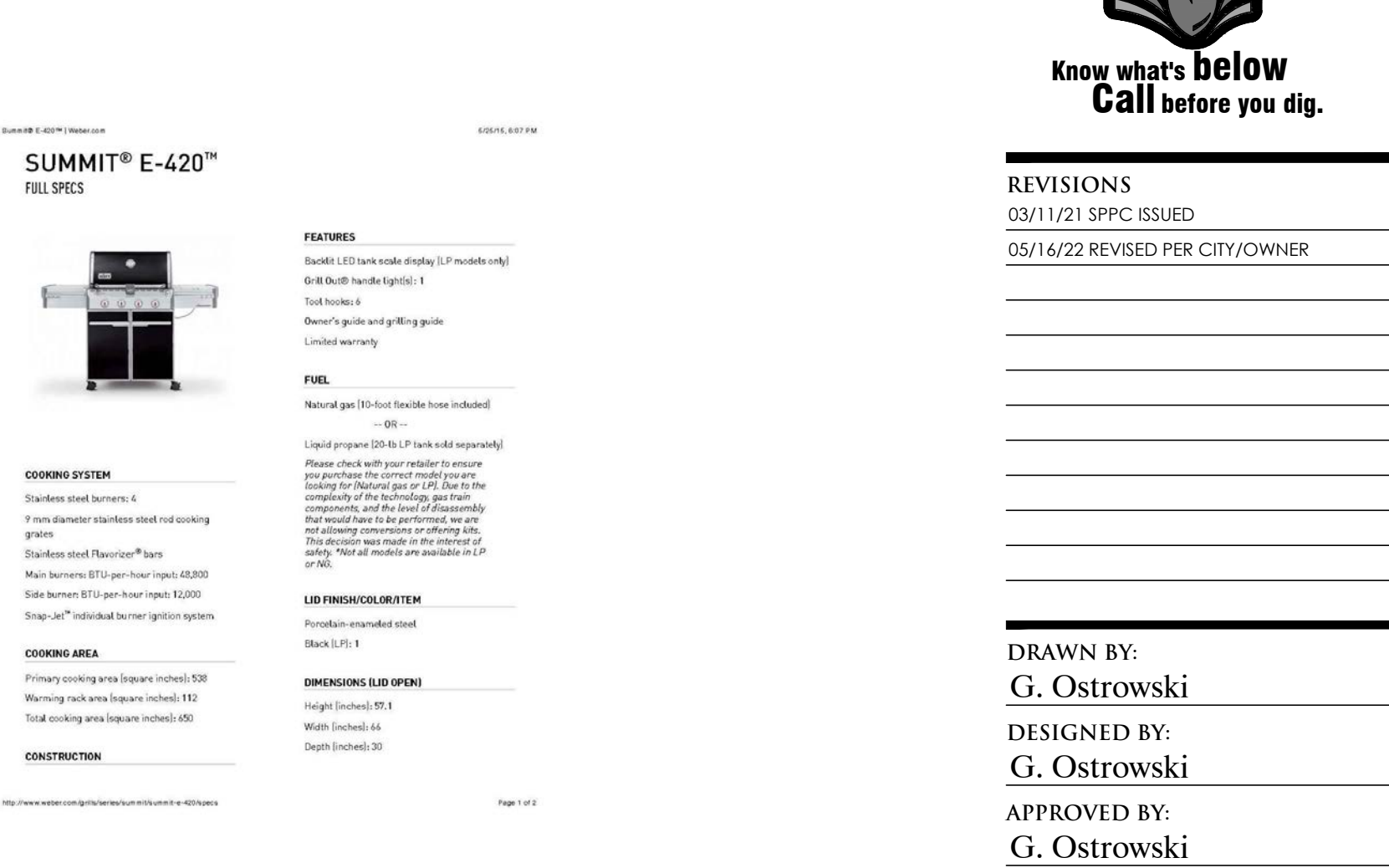


MODULAR EXTRUDED ALUMINUM CANOPY
16' X 32' IN ANODIZED FINISH
BY: MITCHELL METALS

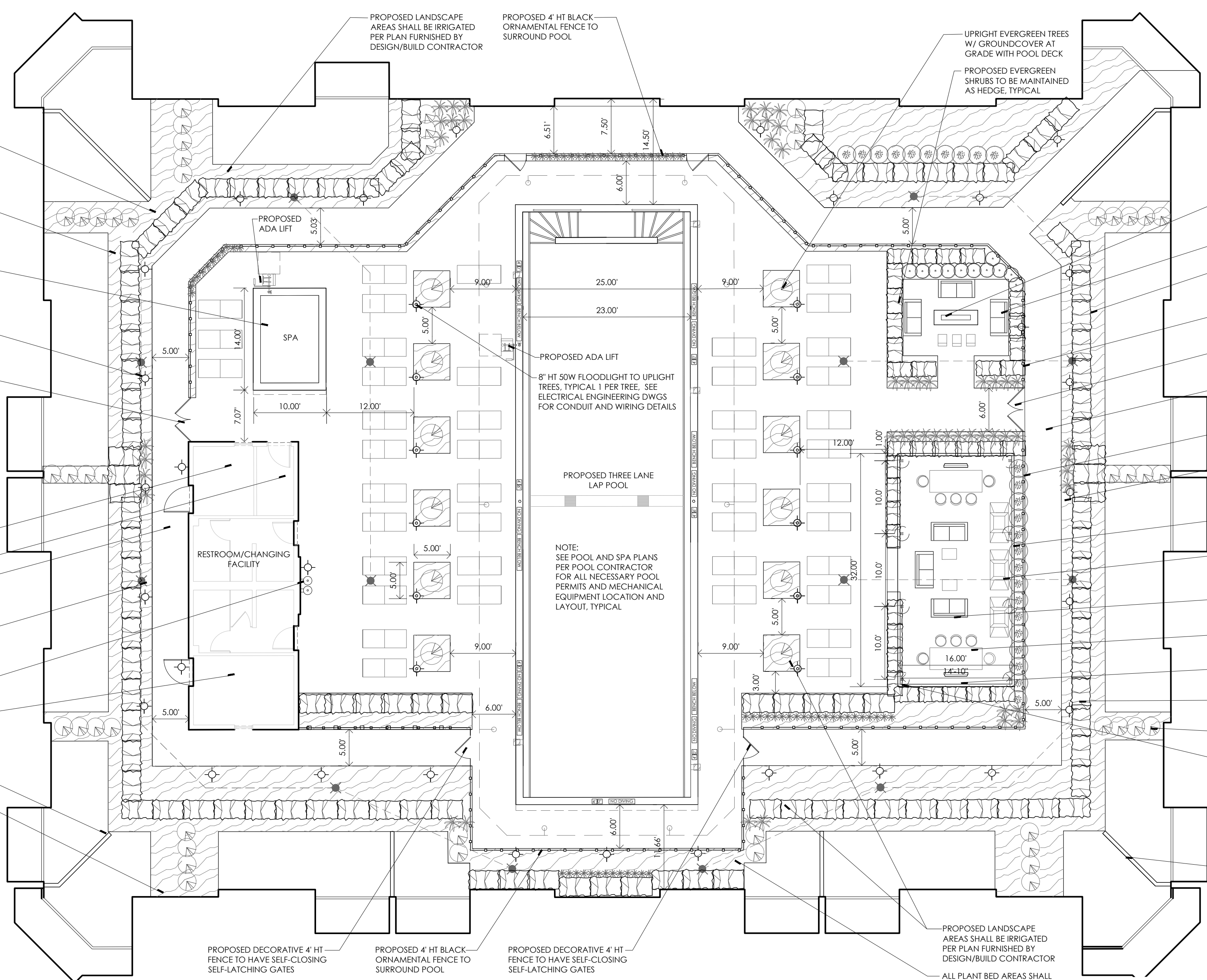


OUTDOOR TELEVISION
SUNBRITE 42" PRO SERIES DIRECT-SUN
SB-421HD, MOUNTED PER MANUFACTURER

FIRE TABLE (72"X24"X12.5")
ROBATA FIRE TABLE IN CONCRETE WITH STAINLESS TOP
BY: PALOFORM, 1-888-823-8883

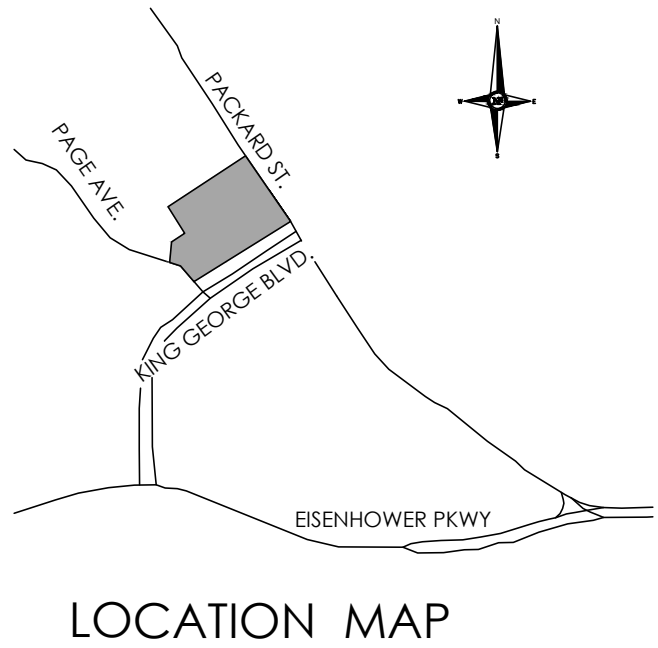


OUTDOOR PATIO GRILL
SUMMIT E-420 GRILL W/ NATURAL GAS CONNECTION
BY: WEBER



A-5 COURTYARD AND POOL ENLARGEMENT

1"=10'



NF ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
The George

CLIENT
Somerset Development
101 Crawfords Corner Rd
Holmdel, NJ, 07733

Contact: Ken Gold
Phone: 732-415-7171

PROJECT LOCATION
Part of the 1/4 of
Section 4
T. 3 South, R. 6 East
City of Ann Arbor,
Washtenaw County,
Michigan

SHEET
Existing Courtyard/
Pool Details



REVISIONS
03/11/21 SPPC ISSUED
05/16/22 REVISED PER CITY/OWNER

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski

DATE:
03-11-22
SCALE:
AS NOTED

NFE JOB NO. SHEET NO.
D601 L2



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT

The George

CLIENT

Somerset Development
101 Crawfords Corner Rd
Holmdel, NJ, 07733

Contact: Ken Gold
Phone: 732-415-7171

PROJECT LOCATION

Part of the 1/4 of
Section 4
T. 3 South, R. 6 East
City of Ann Arbor,
Washtenaw County,
Michigan

SHEET

Existing Plaza and Details



Know what's below
Call before you dig.

REVISIONS

03/11/21 SPPC ISSUED
05/16/22 REVISED PER CITY/OWNER

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

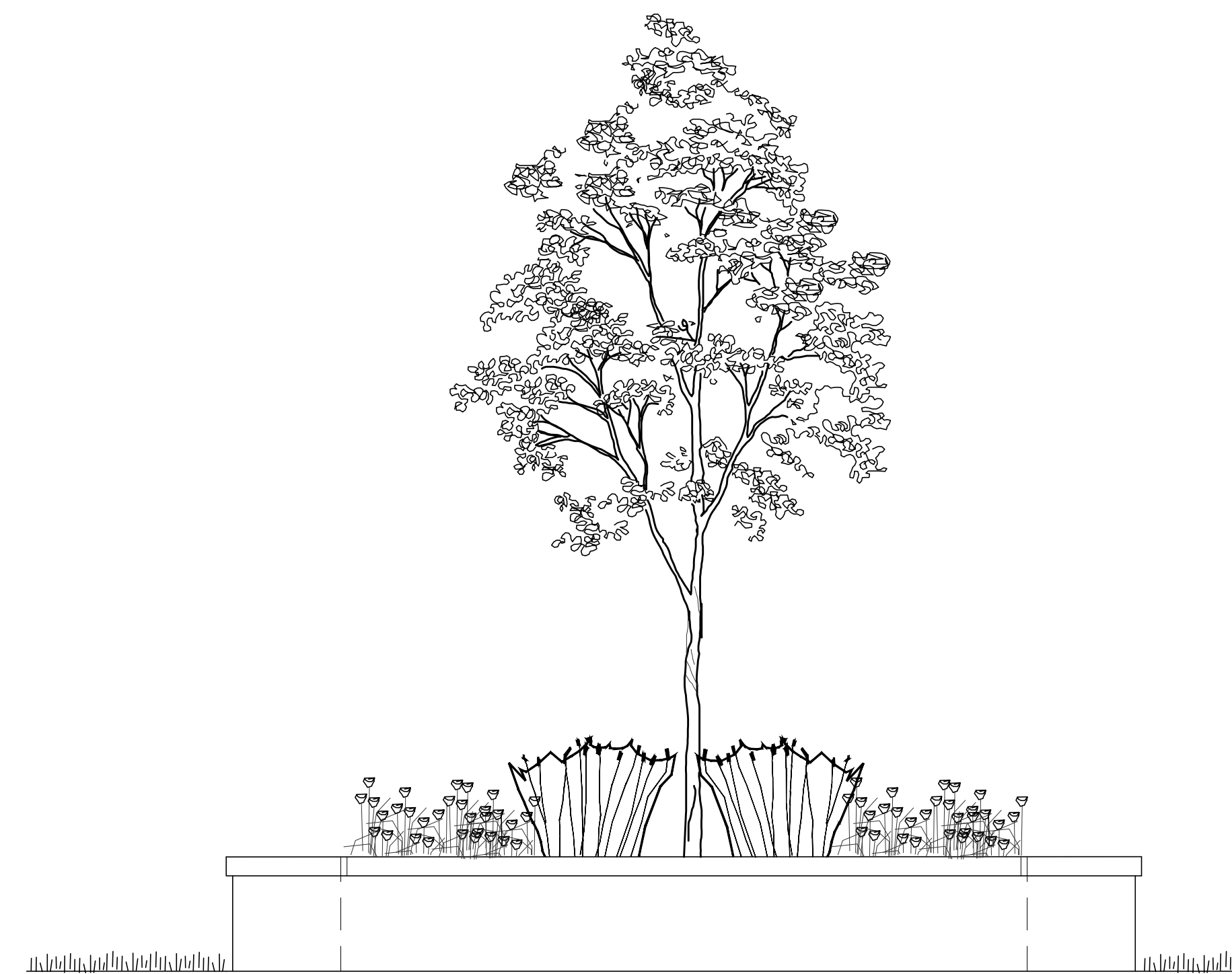
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01-21-11

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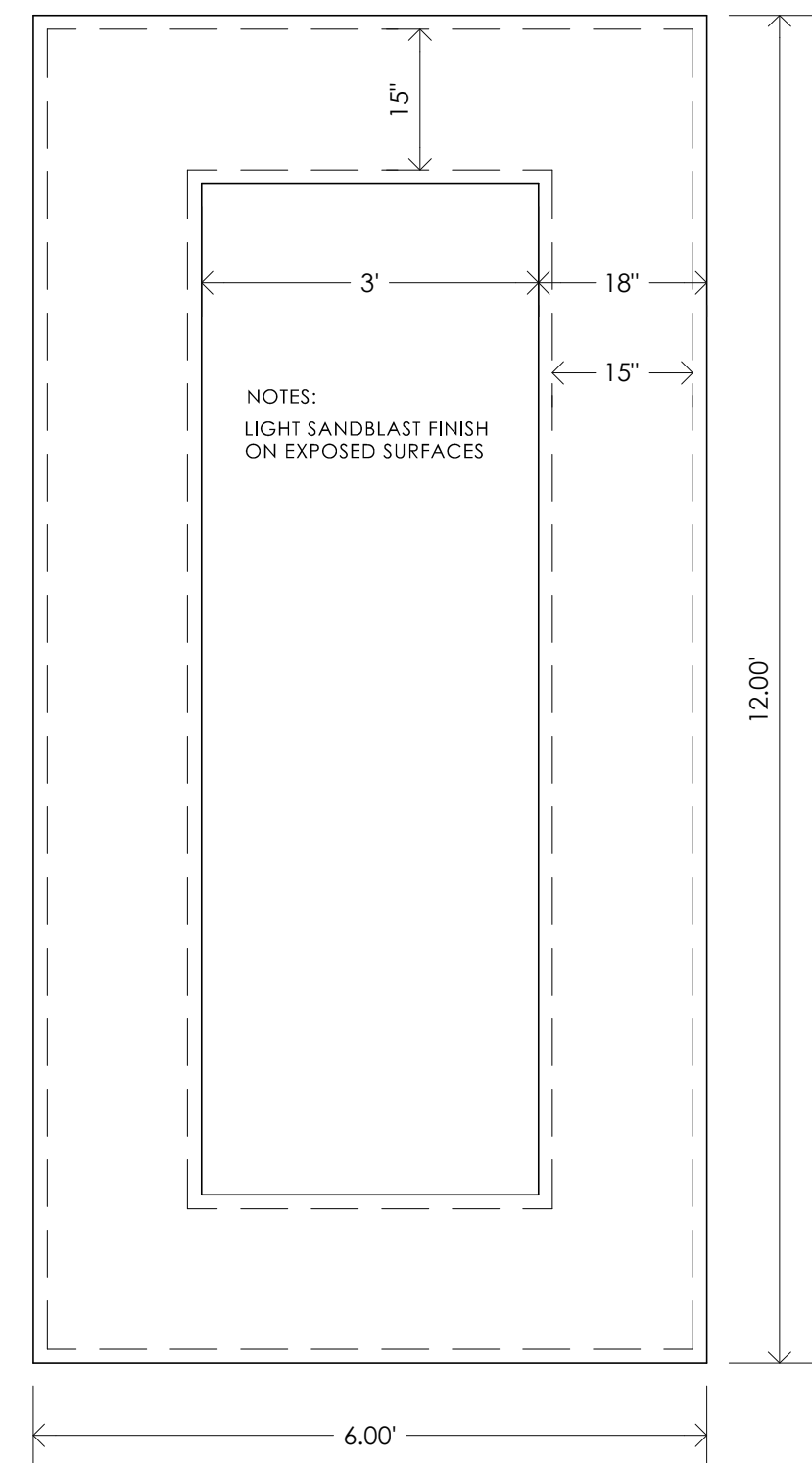
AS NOTED

NFE JOB NO.
D601

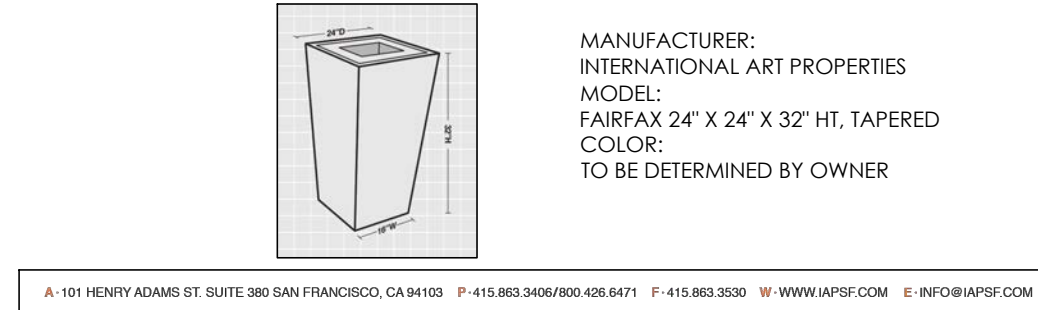
SHEET NO.
L3



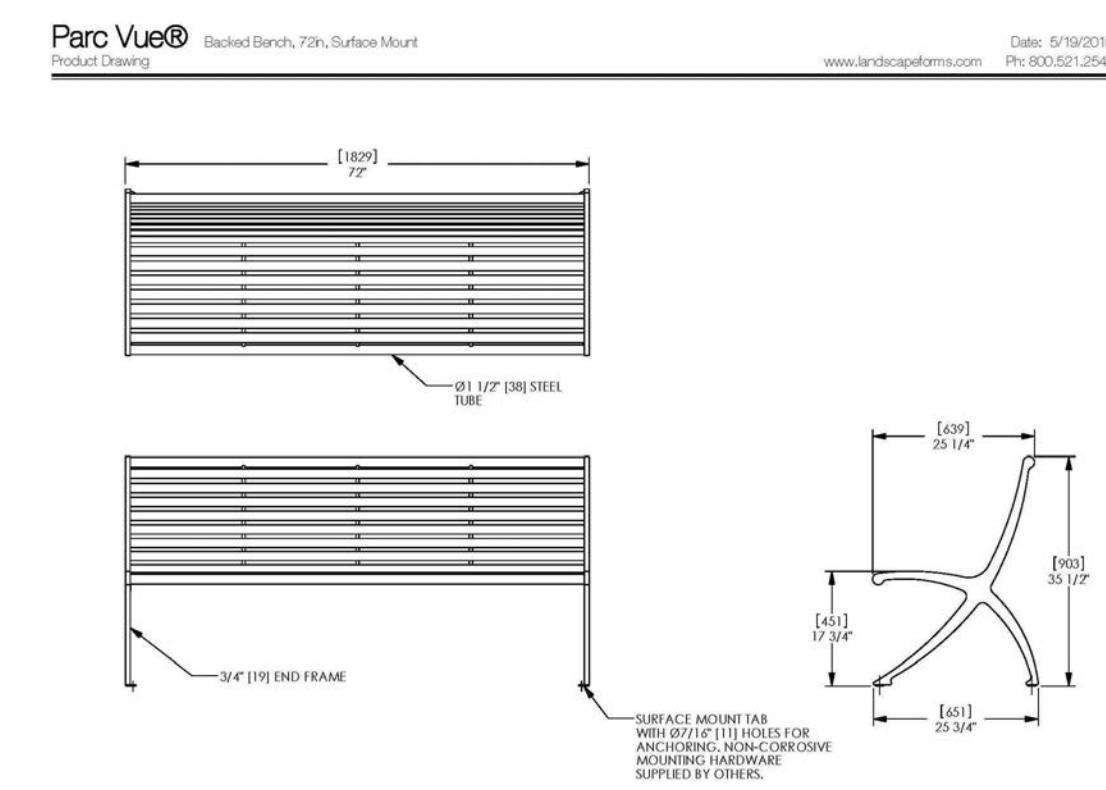
A-11 PLANTER / SEATWALL ELEVATION
NTS



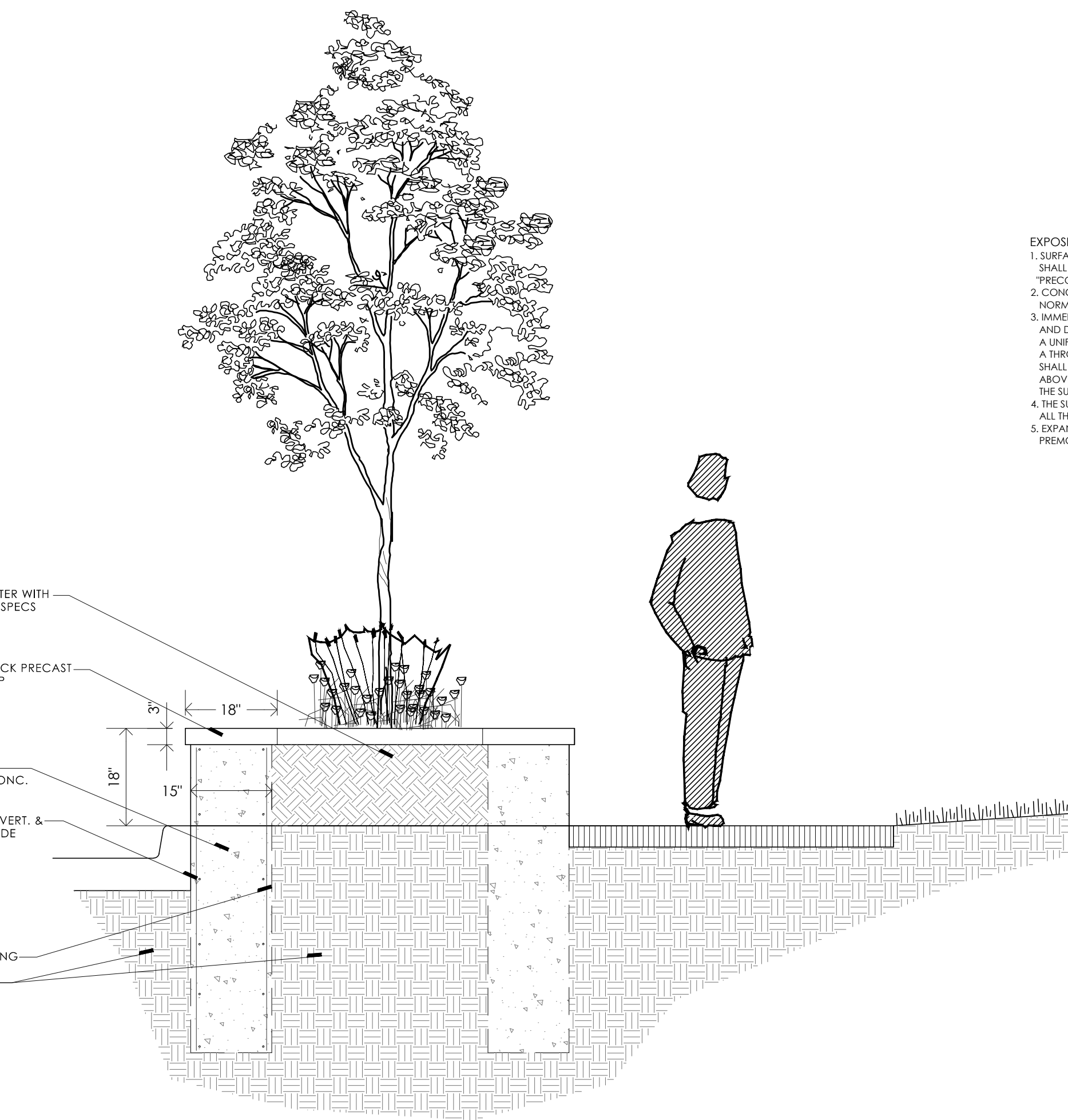
RAISED PLANTER - PLAN VIEW
6' x 12' x 18'
NTS



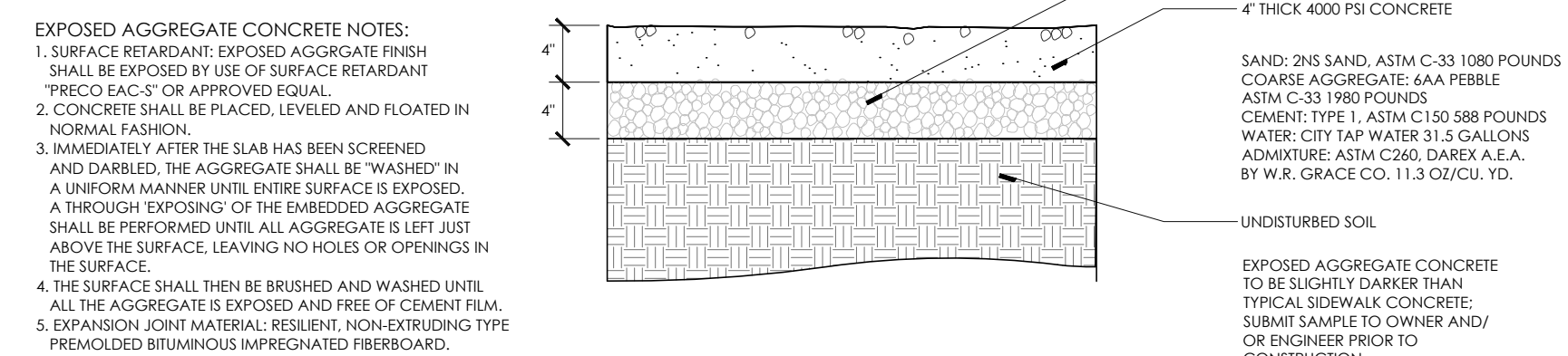
TRASH AND RECYCLING BINS
NTS



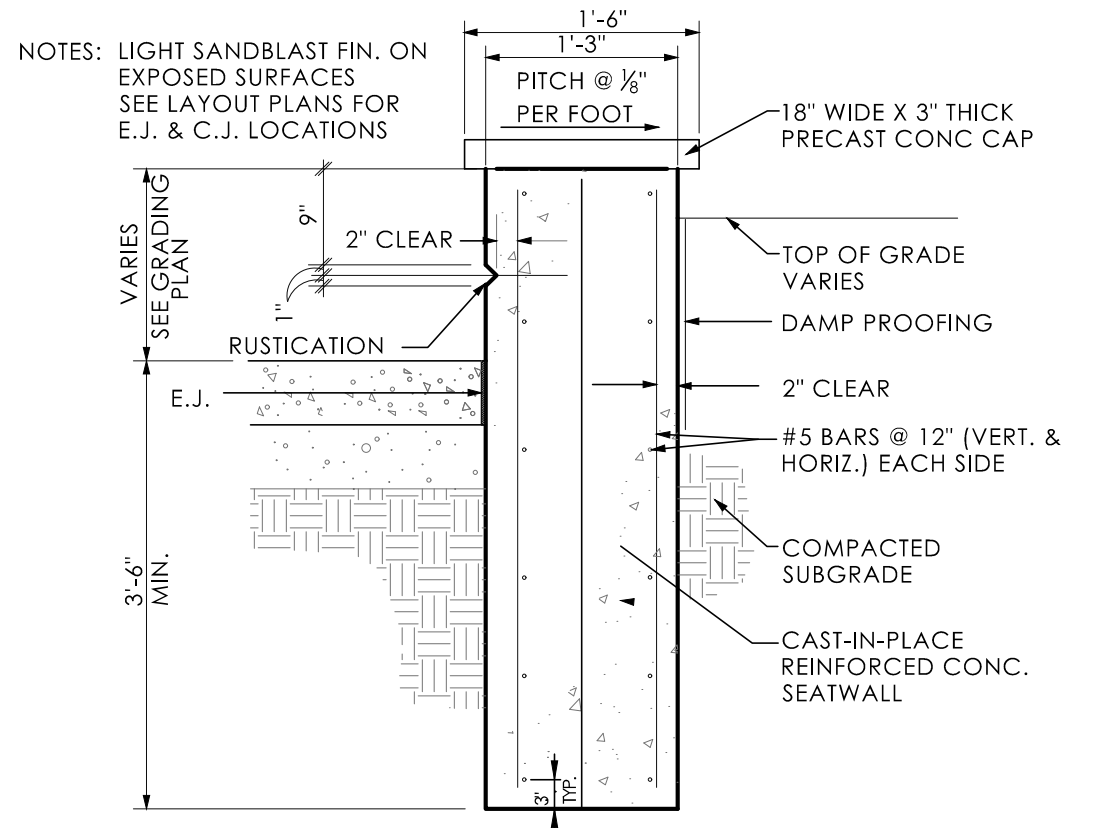
PROPOSED BENCH
NTS



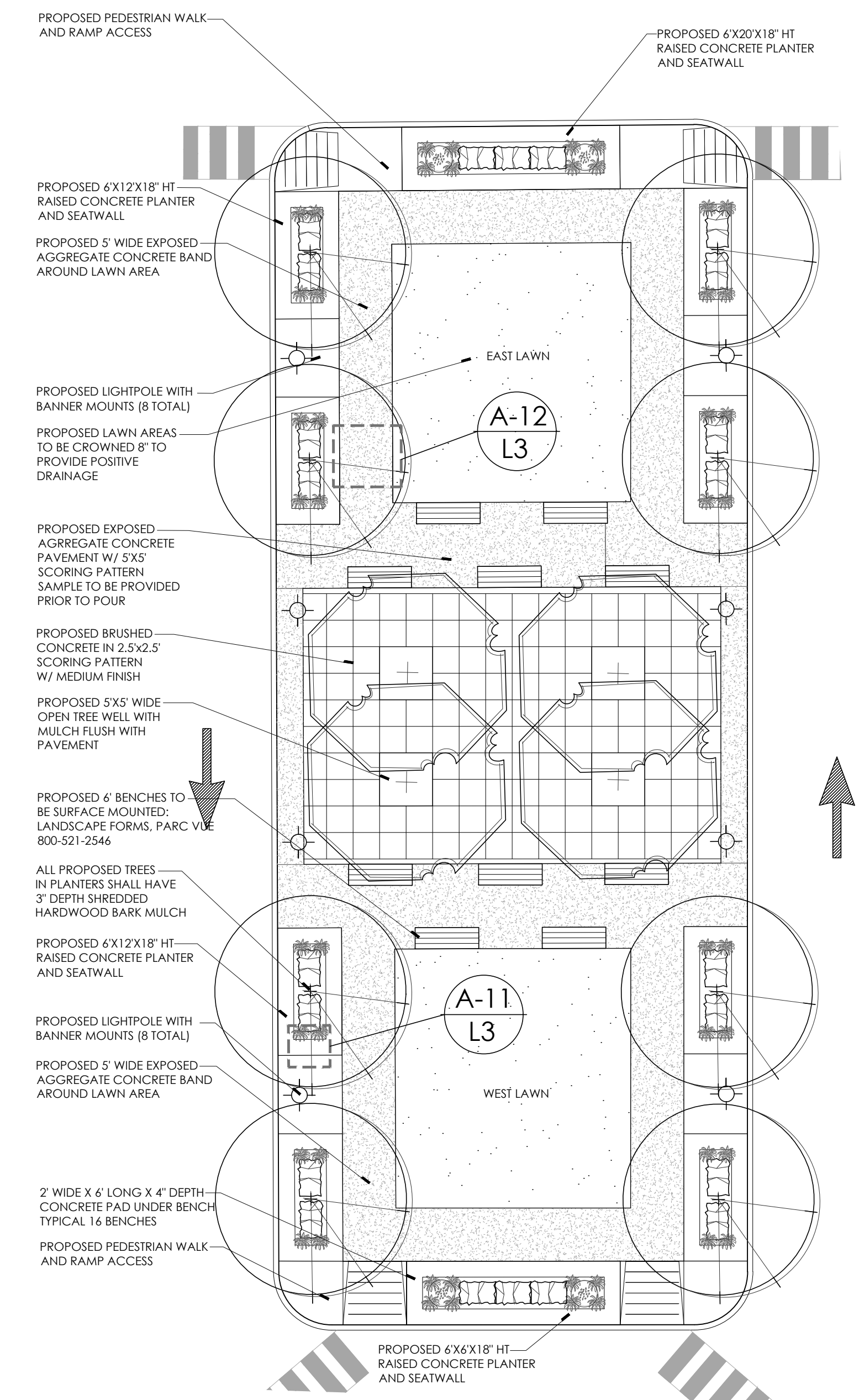
A-12 PLANTER / SEATWALL SECTION
NTS



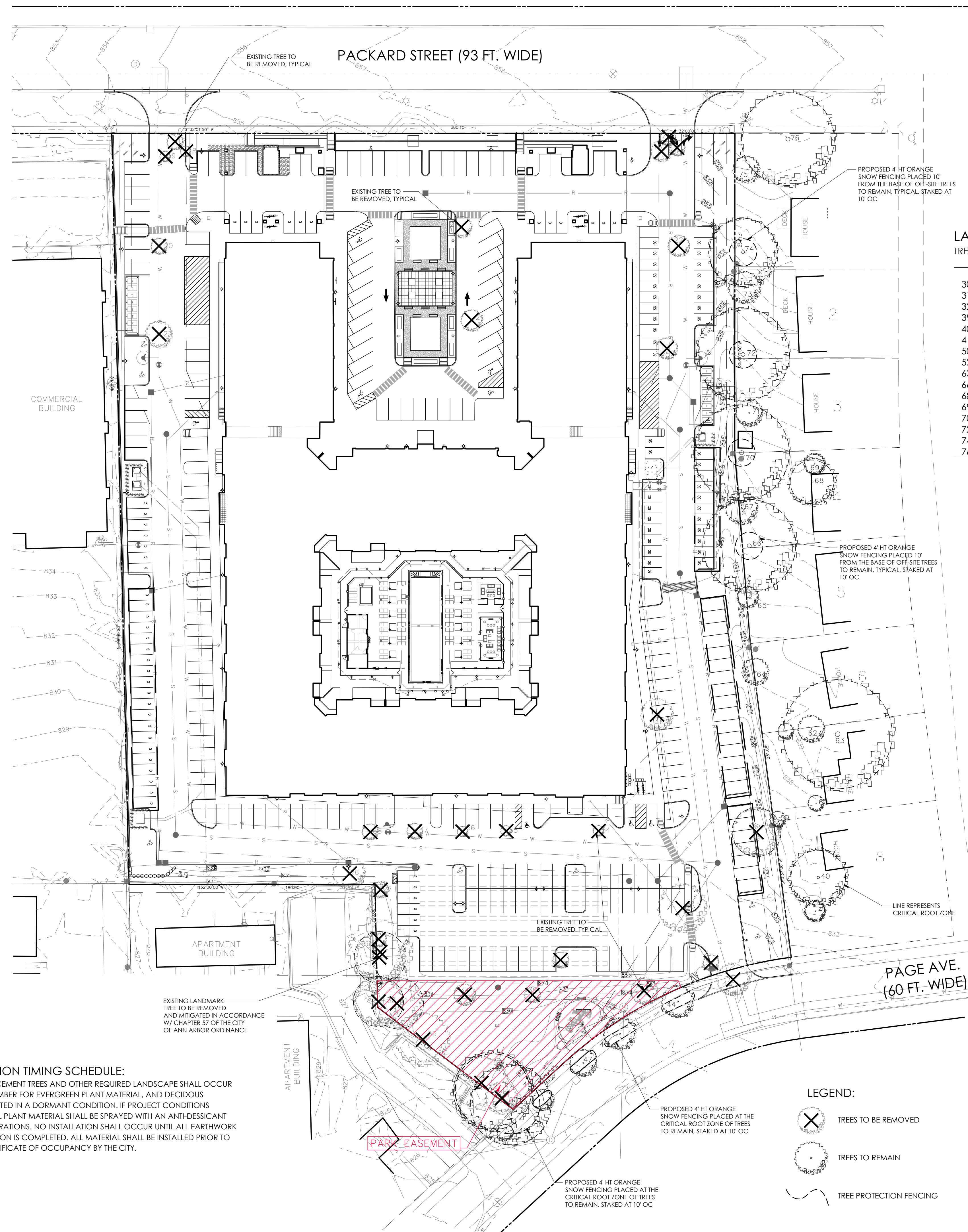
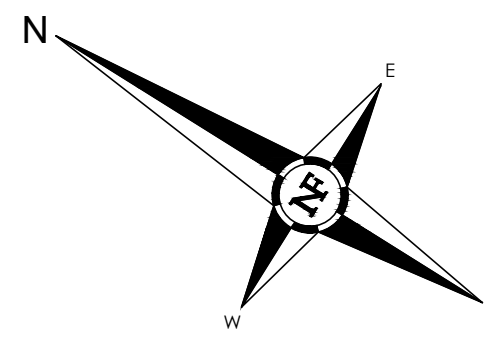
EXPOSED AGGREGATE WALK DETAIL
NTS



CONCRETE SEATWALL
NO SCALE



A-4 PLAZA DETAIL
1"=10'

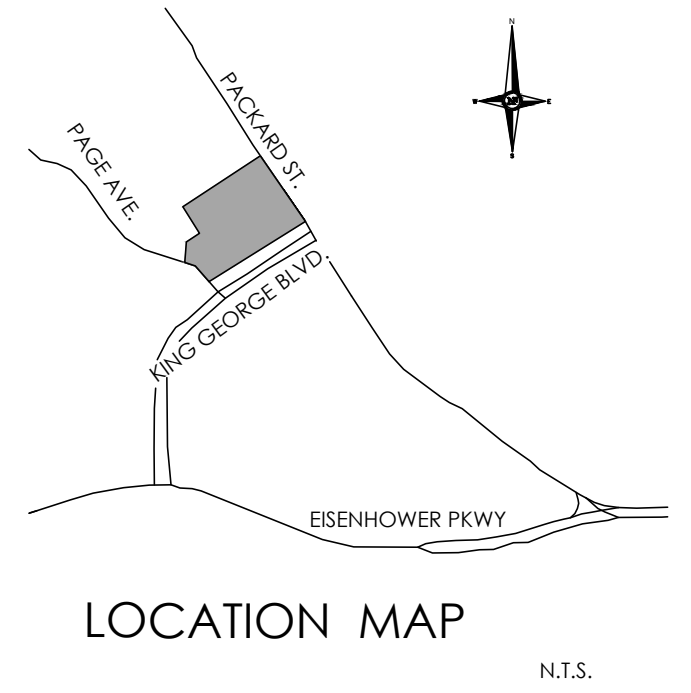


PLANT INSTALLATION TIMING SCHEDULE:
 INSTALLATION OF REPLACEMENT TREES AND OTHER REQUIRED LANDSCAPE SHALL OCCUR BETWEEN AUGUST-NOVEMBER FOR EVERGREEN PLANT MATERIAL, AND DECIDUOUS MATERIAL SHALL BE PLANTED IN A DORMANT CONDITION. IF PROJECT CONDITIONS PROHIBIT THIS TIMING, ALL PLANT MATERIAL SHALL BE SPRAYED WITH AN ANTI-DESSICANT PRIOR TO PLANTING OPERATIONS. NO INSTALLATION SHALL OCCUR UNTIL ALL EARTHWORK AND UTILITY CONSTRUCTION IS COMPLETED. ALL MATERIAL SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY.



TREE REMOVAL SUMMARY:

TOTAL TREES SURVEYED:	63
TOTAL LANDMARK TREES:	16
TOTAL NON-LANDMARK TREES:	47
TOTAL LANDMARK REMOVALS:	4
TOTAL NON-LANDMARK REMOVALS:	32
TOTAL LANDMARK TO REMAIN:	12
TOTAL NON-LANDMARK TO REMAIN:	15
TOTAL NEW TREES PROPOSED:	182



LANDMARK TREE SUMMARY

TREE NO	COMMON NAME	TRUNK SIZE(S)	REMOVE/REMAIN	MITIGATION REQUIRED (Y/N)	REPLACEMENT (50% OF DBH)
30	COTTONWOOD	17", 17"	REMOVE	Y	17"
31	HONEY LOCUST	16"	REMOVE	Y	8"
32	AMERICAN ELM	18", 10", 5"	REMOVE	Y	16.5"
39	HONEY LOCUST	16"	REMOVE	Y	8"
40	BLUE SPRUCE (OFF-SITE)	20"	REMAIN	N	-
41	CRABAPPLE (OFF-SITE)	14" COMBINED	REMAIN	N	-
50	COTTONWOOD	24"	REMAIN	N	-
52	COTTONWOOD	28"	REMAIN	N	-
63	SILVER MAPLE (OFF-SITE)	40"	REMAIN	N	-
66	COTTONWOOD (OFF-SITE)	34"	REMAIN	N	-
68	FIR (OFF-SITE)	16"	REMAIN	N	-
69	CRABAPPLE (OFF-SITE)	14" COMBINED	REMAIN	N	-
70	SILVER MAPLE (OFF-SITE)	35"	REMAIN	N	-
72	SILVER MAPLE (OFF-SITE)	34"	REMAIN	N	-
74	SILVER MAPLE (OFF-SITE)	15", 20"	REMAIN	N	-
76	SILVER MAPLE (OFF-SITE)	34"	REMAIN	N	-
TOTAL INCHES OF LANDMARK TREE MITIGATION:					49.5" TOTAL

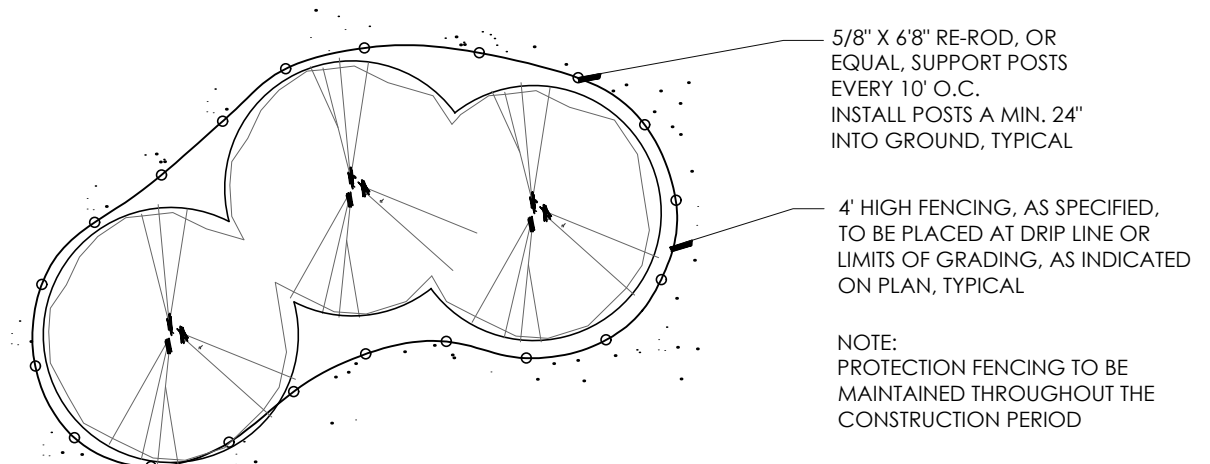
GENERAL TREE PROTECTION NOTES

1. APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
2. ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
3. NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
4. WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
5. DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
6. ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TREENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
7. SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
8. TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
9. ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
10. THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
11. THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
12. ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
13. THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES. FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
15. TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

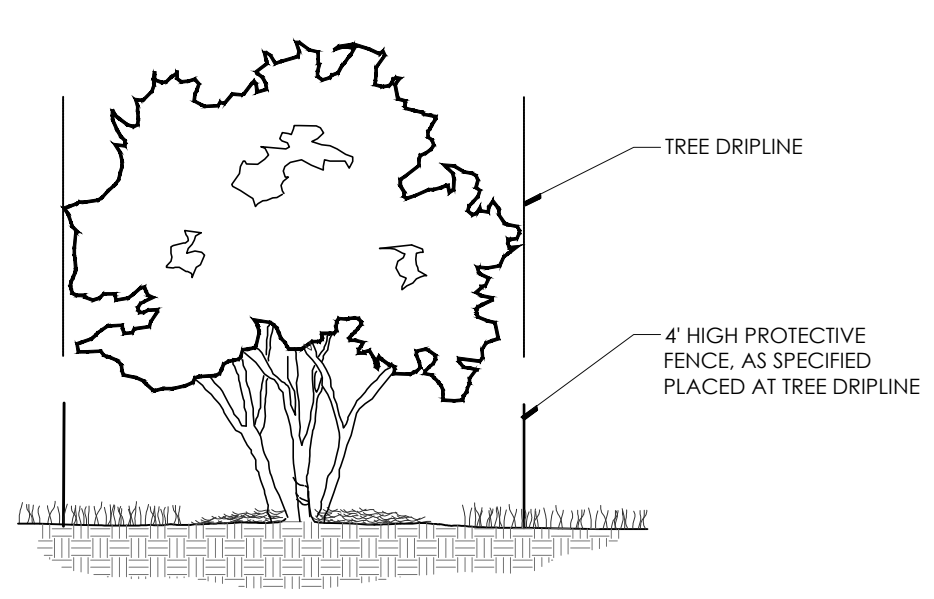
MITIGATION SUMMARY:

TOTAL INCHES OF LANDMARK TREE REPLACEMENT: 49.5
 TOTAL INCHES OF MITIGATION PROPOSED:
 17 TREES AT 3" CALIPER = 33" OF REPLACEMENT REQUIRED
 51" OF REPLACEMENT PROPOSED

NOTE:
 SEE SHEET L1 FOR PROPOSED REPLACEMENT TREE LOCATIONS FOR LANDMARK TREES



TREE PROTECTION DETAIL-PLAN
N.T.S.



TREE PROTECTION DETAIL-SECTION
N.T.S.



NOWAK & FRAUS ENGINEERS
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 PONTIAC, MI 48342-5032
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 City of Ann Arbor,
 Washtenaw County,
 Michigan

SHEET
 Existing Natural Features
 Mitigation Plan

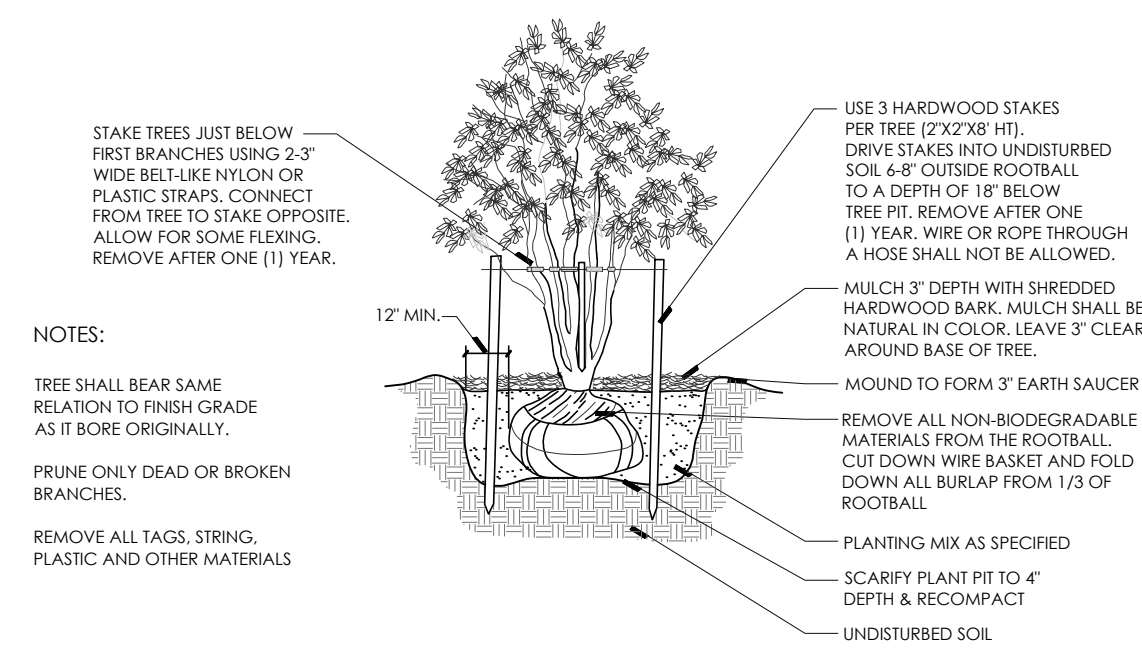


REVISIONS
 03/11/21 SPPC ISSUED
 05/16/22 REVISED PER CITY/OWNER

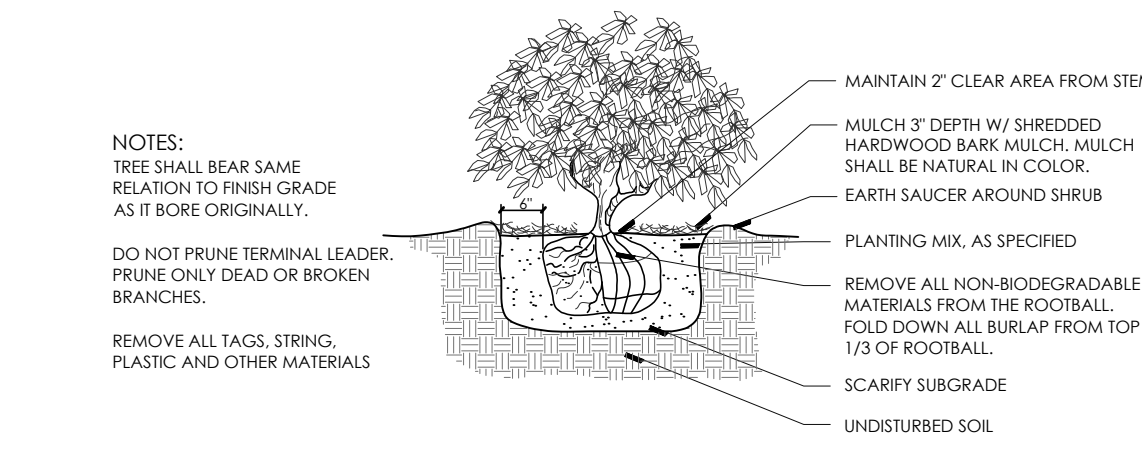
DRAWN BY:
G. Ostrowski
 DESIGNED BY:
G. Ostrowski
 APPROVED BY:
G. Ostrowski

DATE:
 03-11-22
 SCALE:
 1" = 40'

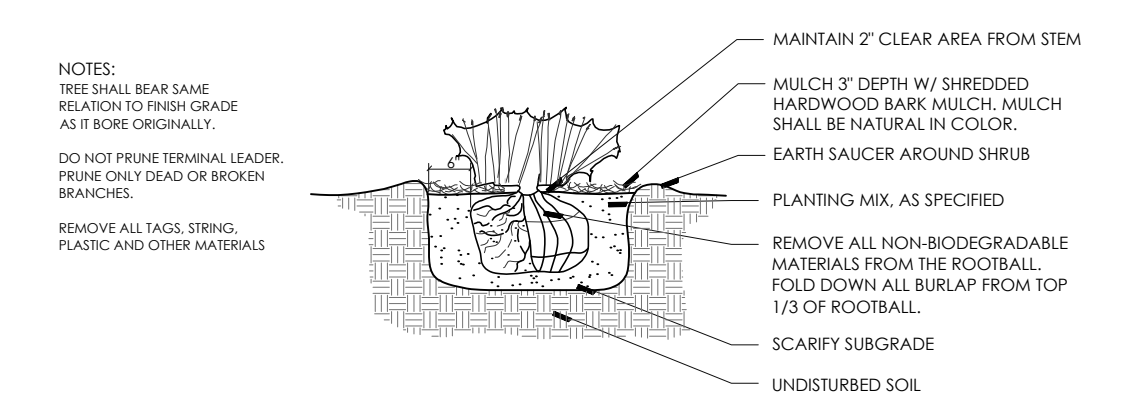
NFE JOB NO. SHEET NO.
D601 L4



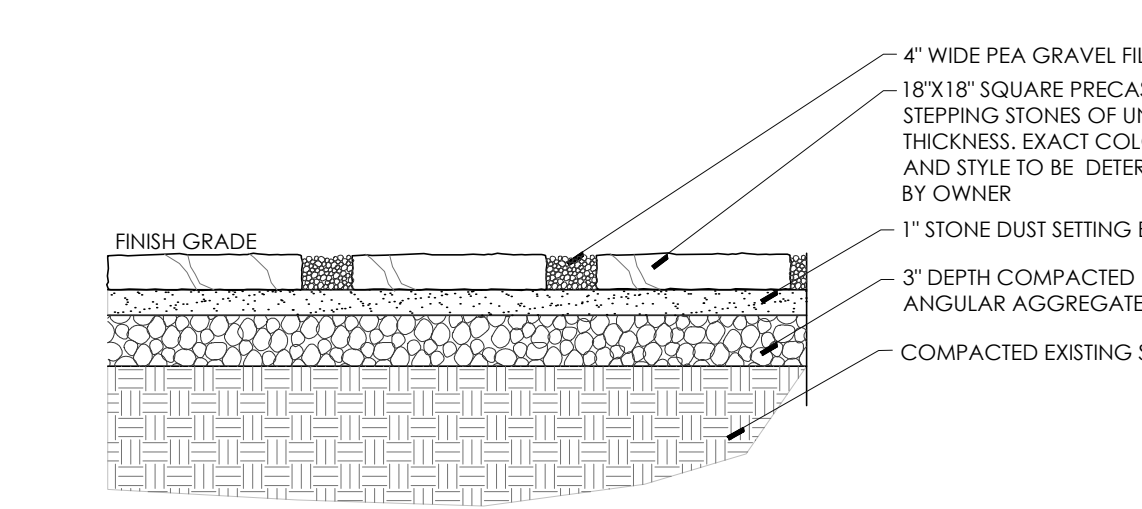
MULTI-STEM TREE PLANTING DETAIL
NTS



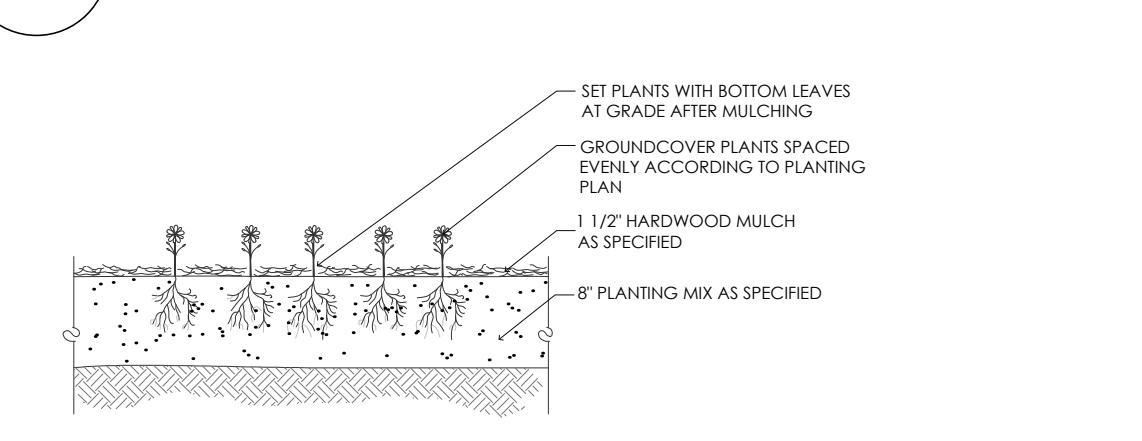
SHRUB PLANTING DETAIL
DECIDUOUS SHRUB
NTS



HEDGE PLANTING DETAIL
NTS



A-15 STEPPING STONE DETAIL
NTS

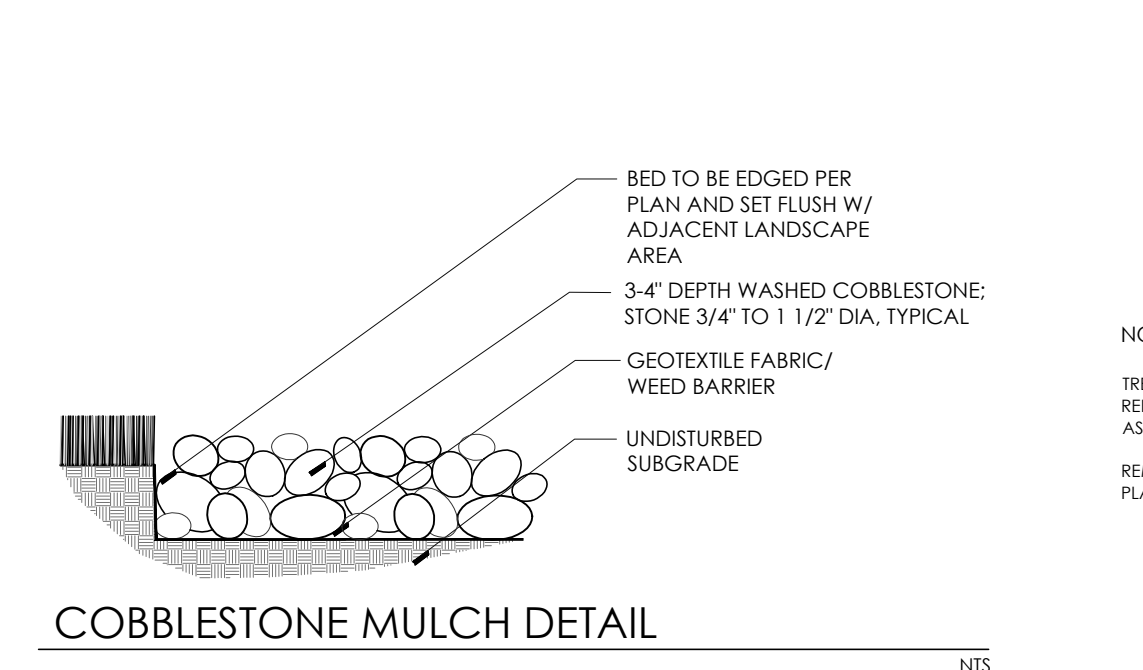


GROUNDCOVER PLANTING DETAIL
NTS

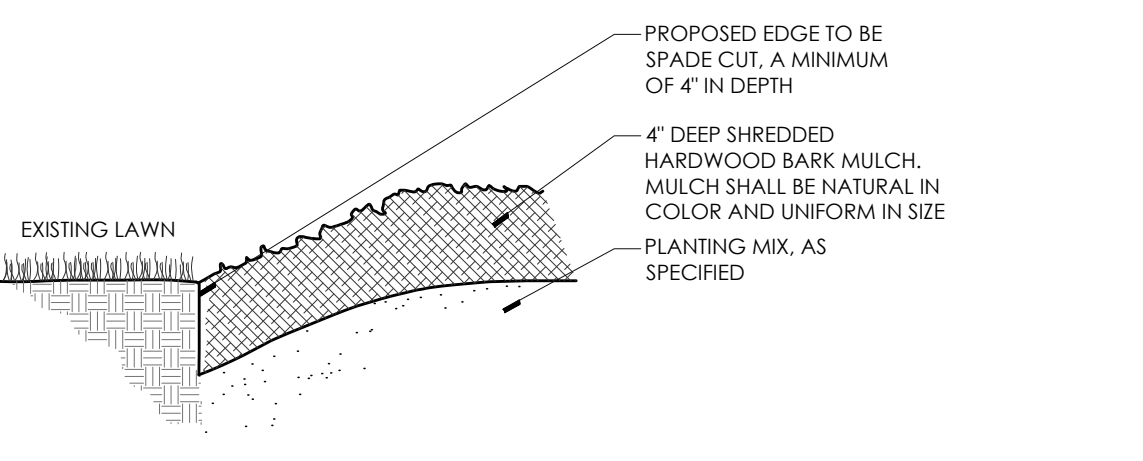
GENERAL SOD NOTE:
ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHED. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL 1 TO JUNE 1
FALL: AUGUST 15 TO OCTOBER 15

GENERAL SEED NOTE:
ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,200 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL 1 TO JUNE 1
FALL: AUGUST 15 TO OCTOBER 15

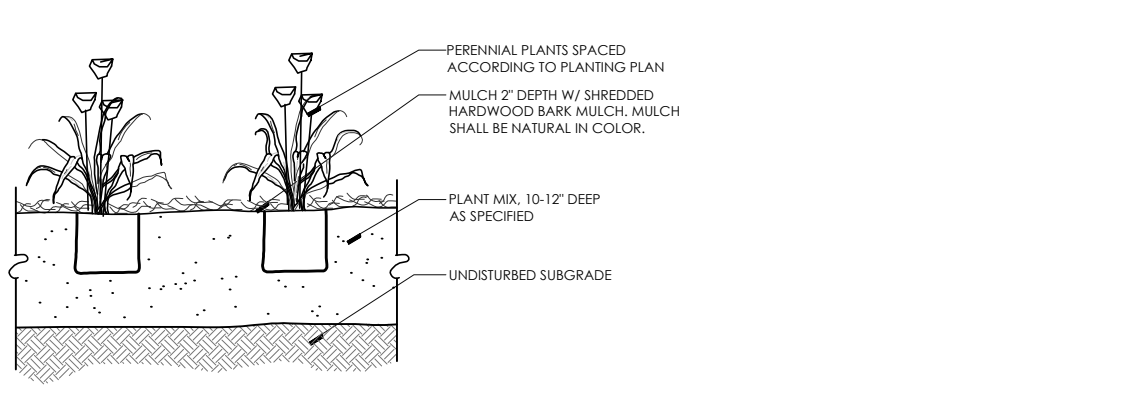
TYPICAL SEEDED LAWN MIX:
ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE MIX IS COMPRISED OF:
30% NITE HAWK PERENNIAL RYE
30% KENTUCKY BLUEGRASS
20% CREEPING RED FESCUE
10% MERIT KENTUCKY BLUEGRASS
10% NEWPORT KENTUCKY BLUEGRASS



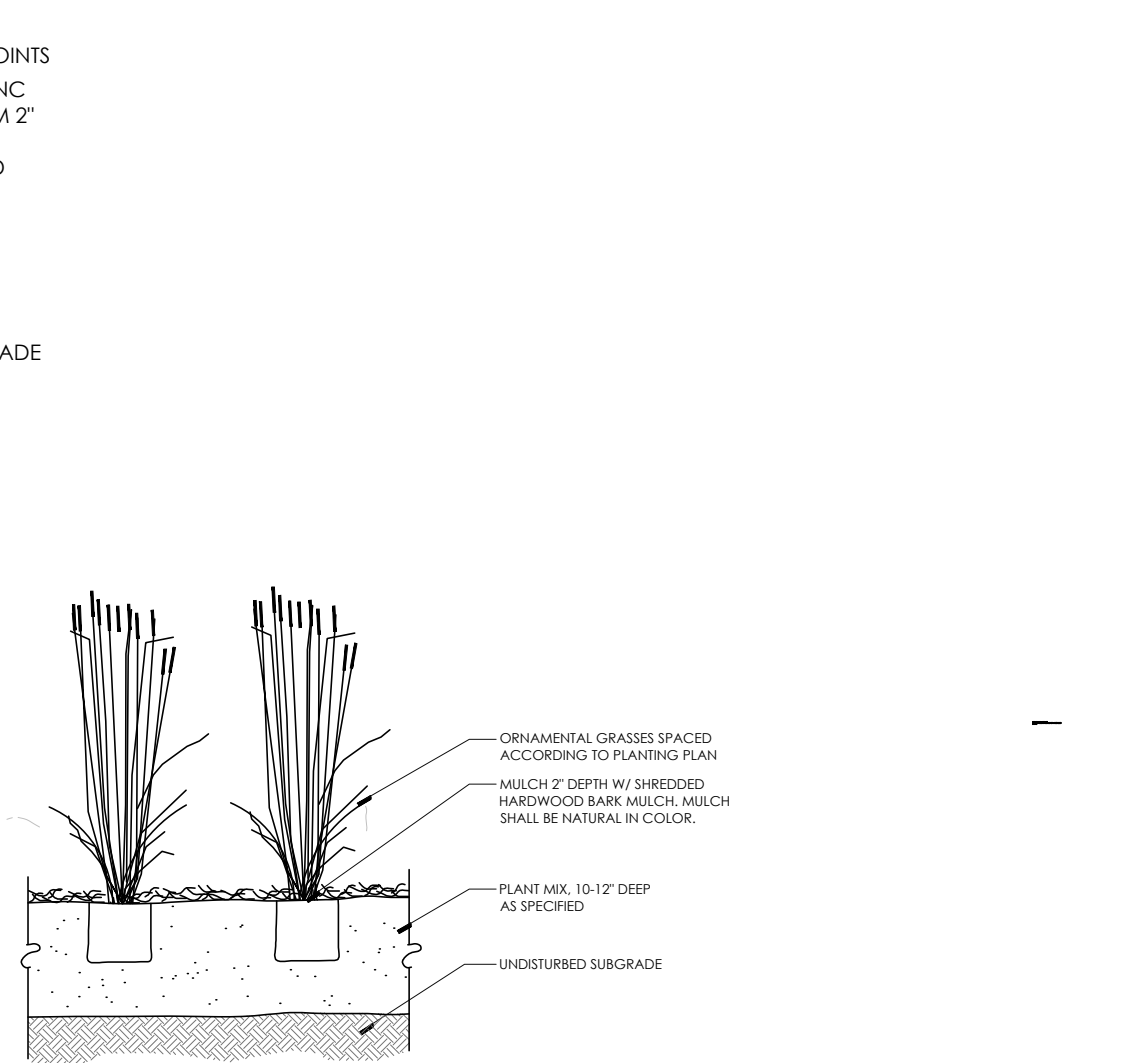
COBBLESTONE MULCH DETAIL
NTS



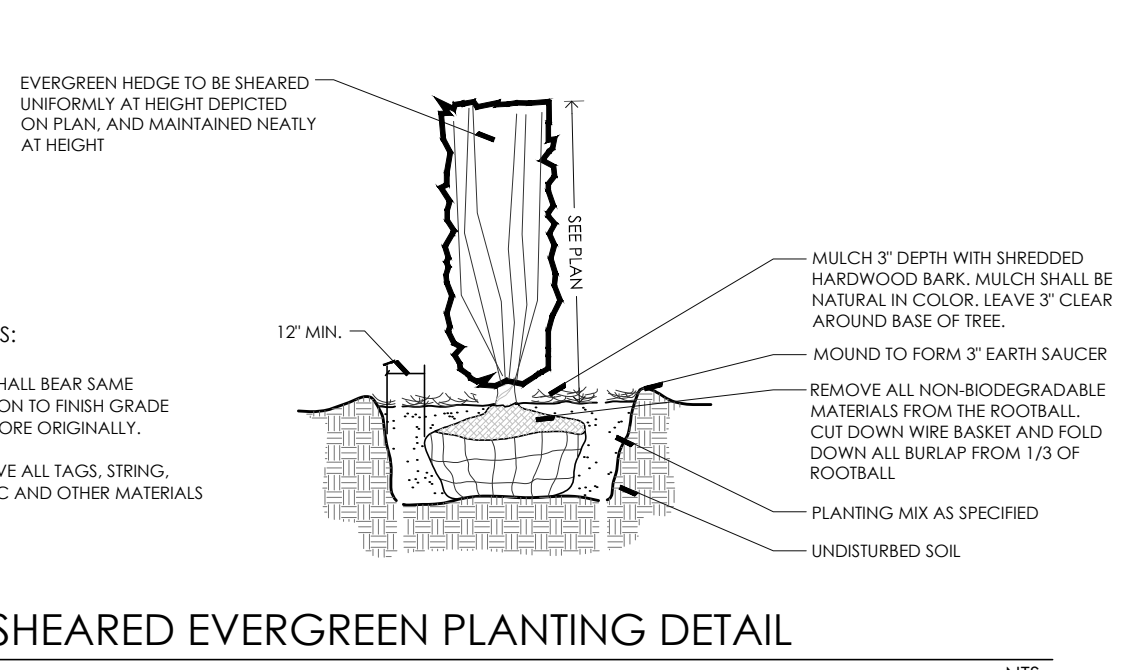
SPADE CUT EDGE DETAIL
NTS



PERENNIAL PLANTING DETAIL
NTS



ORNAMENTAL GRASS PLANTING DETAIL
NTS



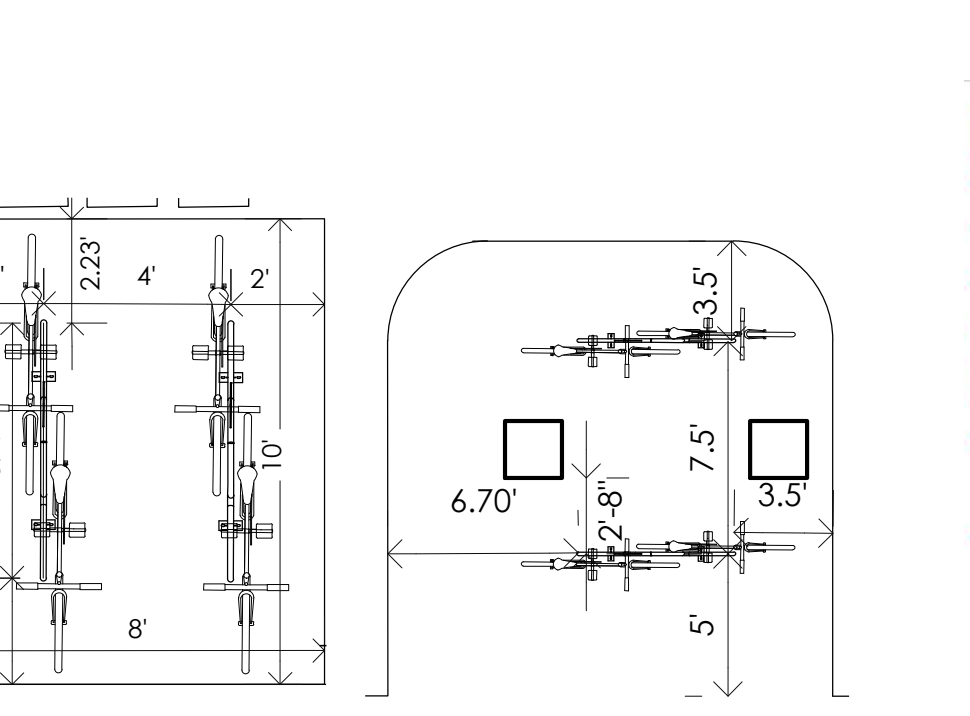
SHEARED EVERGREEN PLANTING DETAIL
NTS



PLAYGROUND DETAIL
PRODUCT NO. 350-1520, HOP, SKIP & SLIDE
AVAILABLE: PLAYWORLD MIDSTATES 1-800-367-4440



BIKE RACK DETAIL
BIKE BIKE RACK, COLOR PER OWNER
BY: DERO, 888-337-6729



EXTERIOR BIKE RACK LAYOUT
NTS

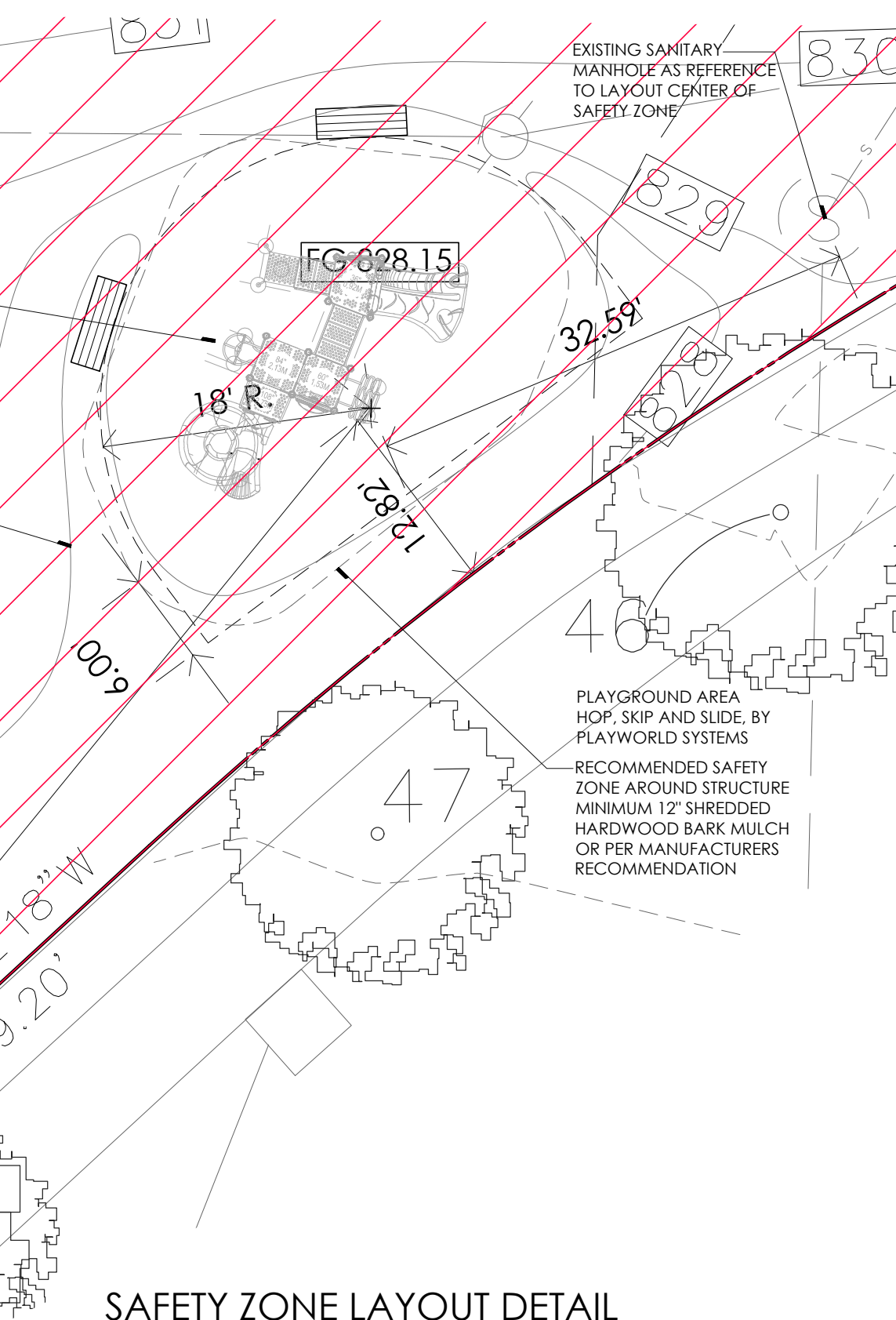
GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 3" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL USING NATIVE MATERIAL FROM ON-SITE WHERE POSSIBLE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.
- SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURERS RECOMMENDED RATES.
- PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED NATIVE TOPSOIL, 1/3 SAND, AND 1/3 "DAIRY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PIECES ON INCONSISTENT SIZE.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.



PIPE RAILING
PRODUCT: 1-1/4" DIAMETER GALVANIZED PIPE AT 21" AND 42" ABOVE GRADE
COLOR: GALVANIZED STEEL

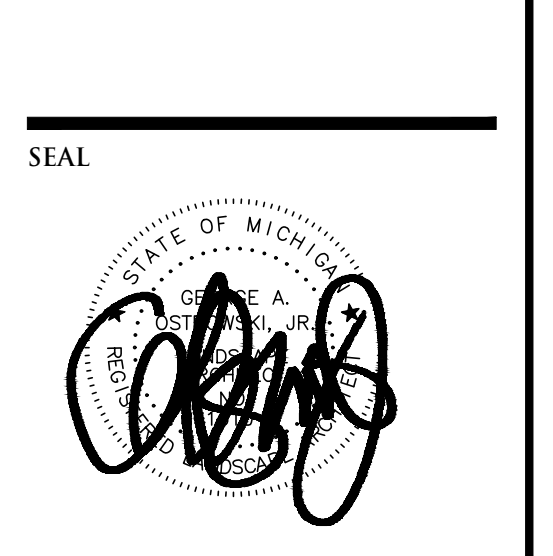
NOTE: COORDINATE INSTALLATION WITH RETAINING WALL DESIGN. PIPE RAILING TO USED USED ON ALL WALLS WHERE WALL HEIGHT EXCEEDS 30" HIGH



SAFETY ZONE LAYOUT DETAIL
1" = 10'



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
The George

CLIENT
Somerset Development
101 Crawfords Corner Rd
Holmdel, NJ, 07733

Contact: Ken Gold
Phone: 732-415-7171

PROJECT LOCATION
Part of the 1/4 of Section 4
T. 3 South, R. 6 East
City of Ann Arbor, Washtenaw County, Michigan

SHEET
General Landscape Notes and Details

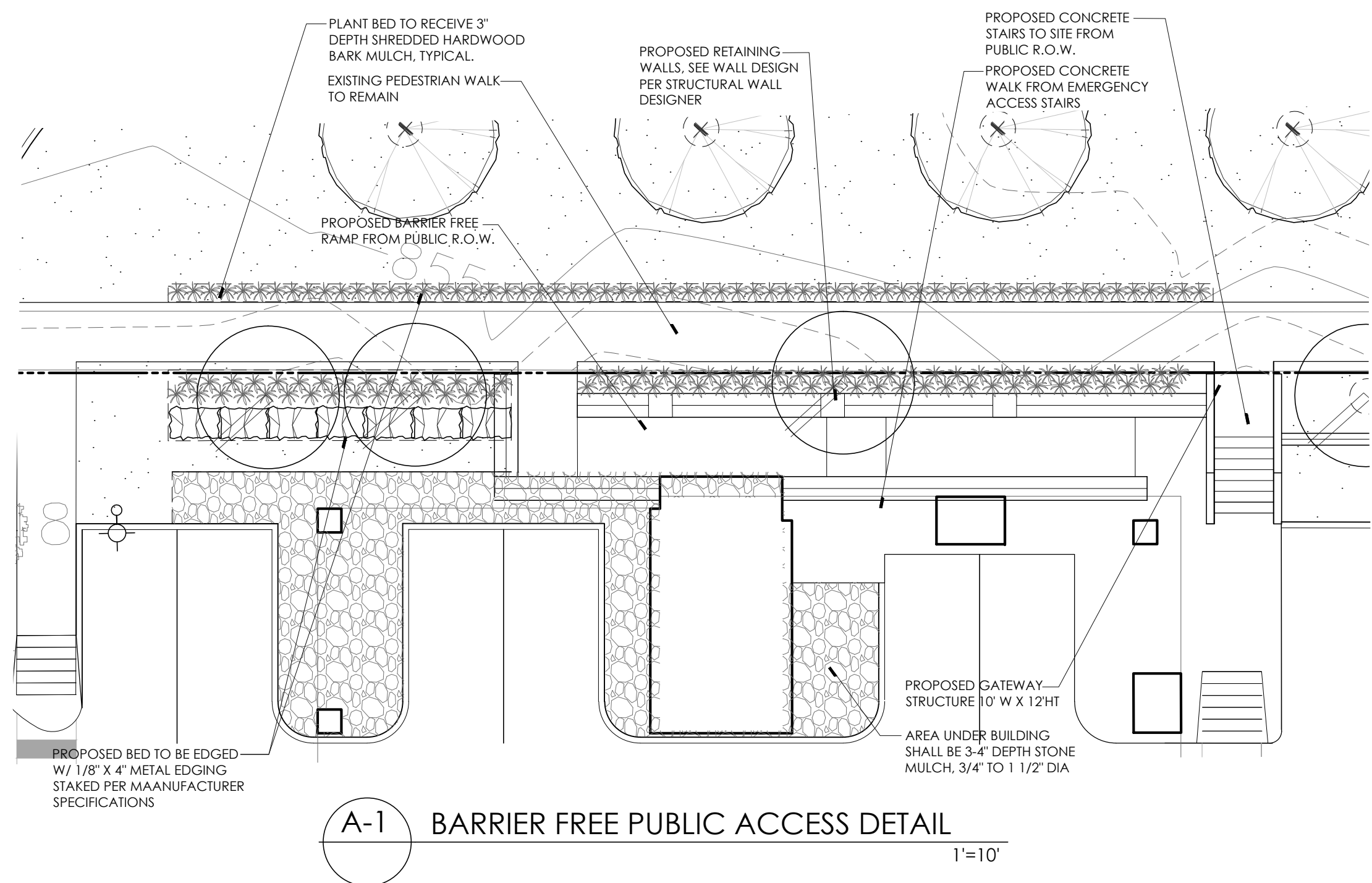


REVISIONS
03/11/21 SPPC ISSUED
05/16/22 REVISED PER CITY/OWNER

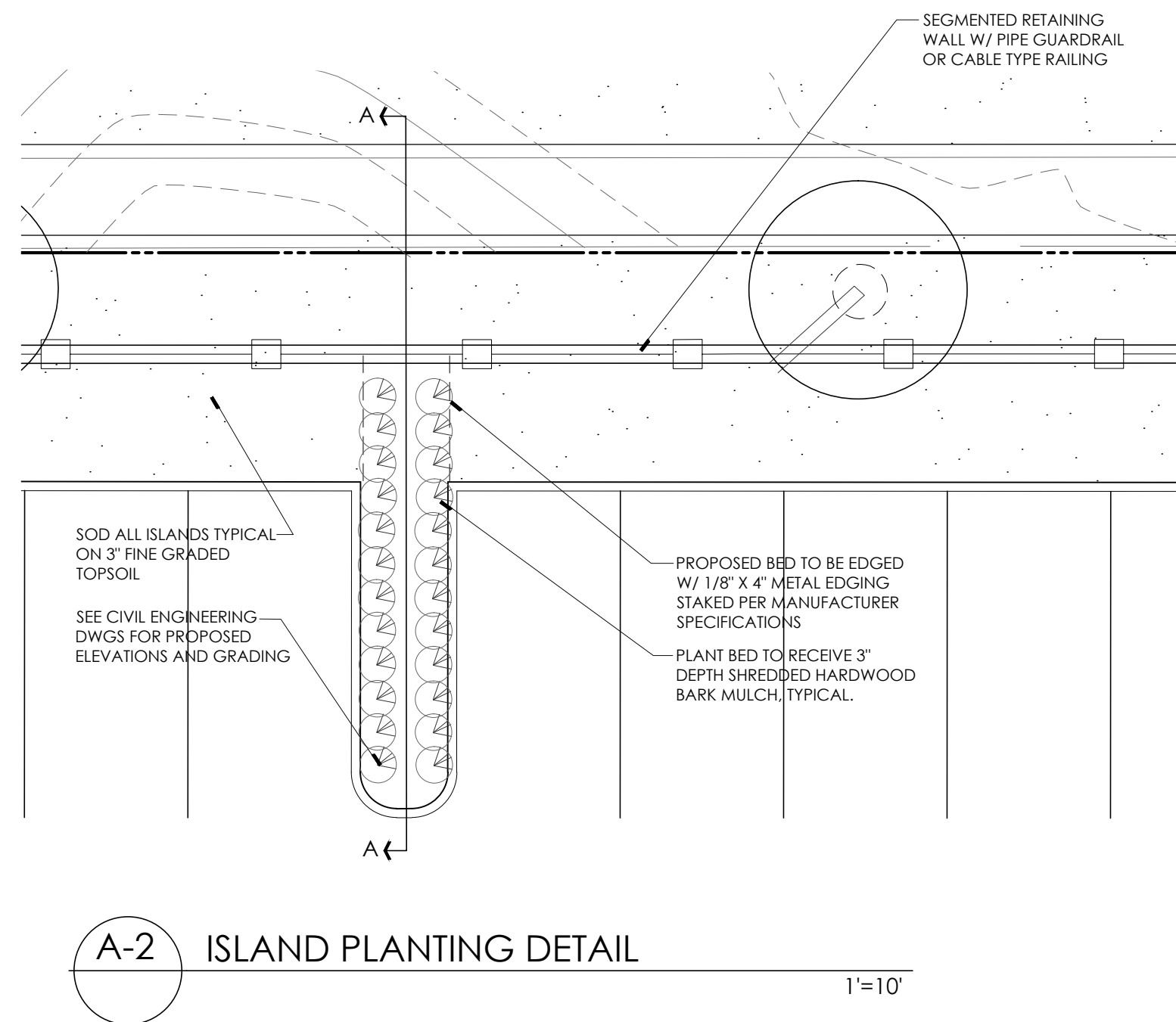
DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski

DATE:
03-11-22
SCALE:
VARIES

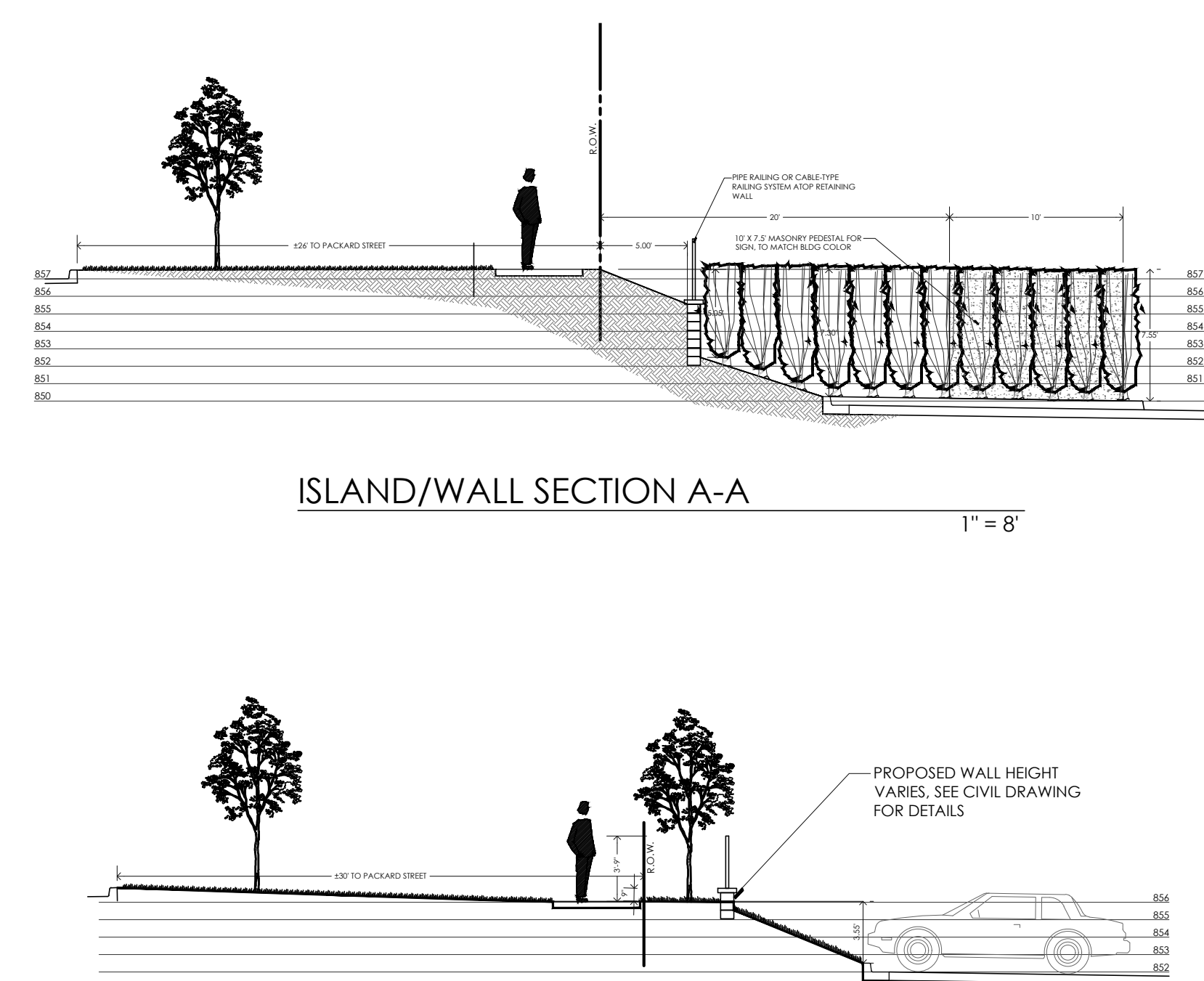
NFE JOB NO. **D601** SHEET NO. **L5**



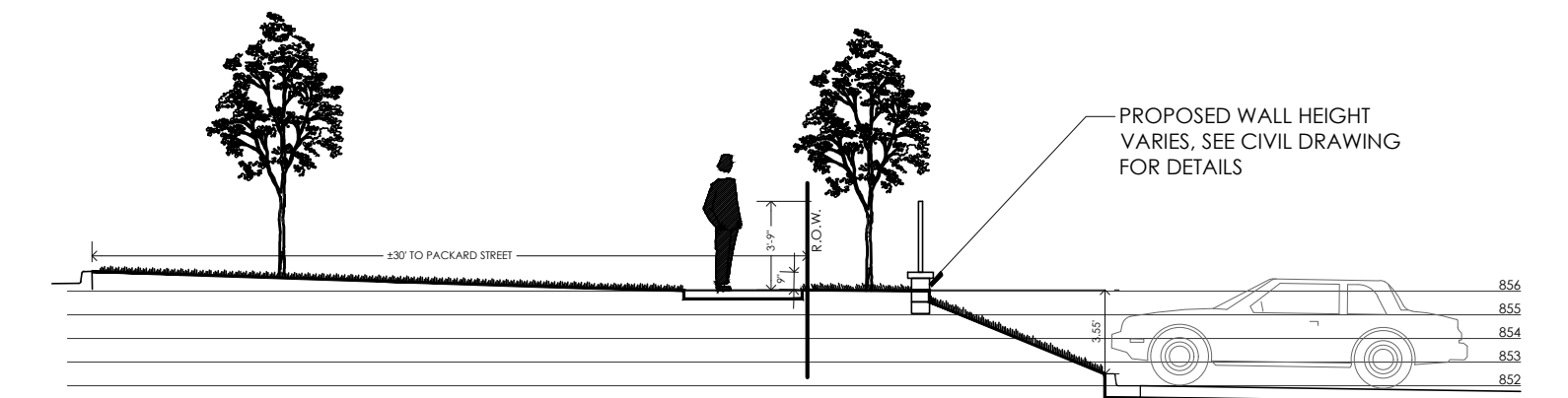
A-1 BARRIER FREE PUBLIC ACCESS DETAIL
1"=10'



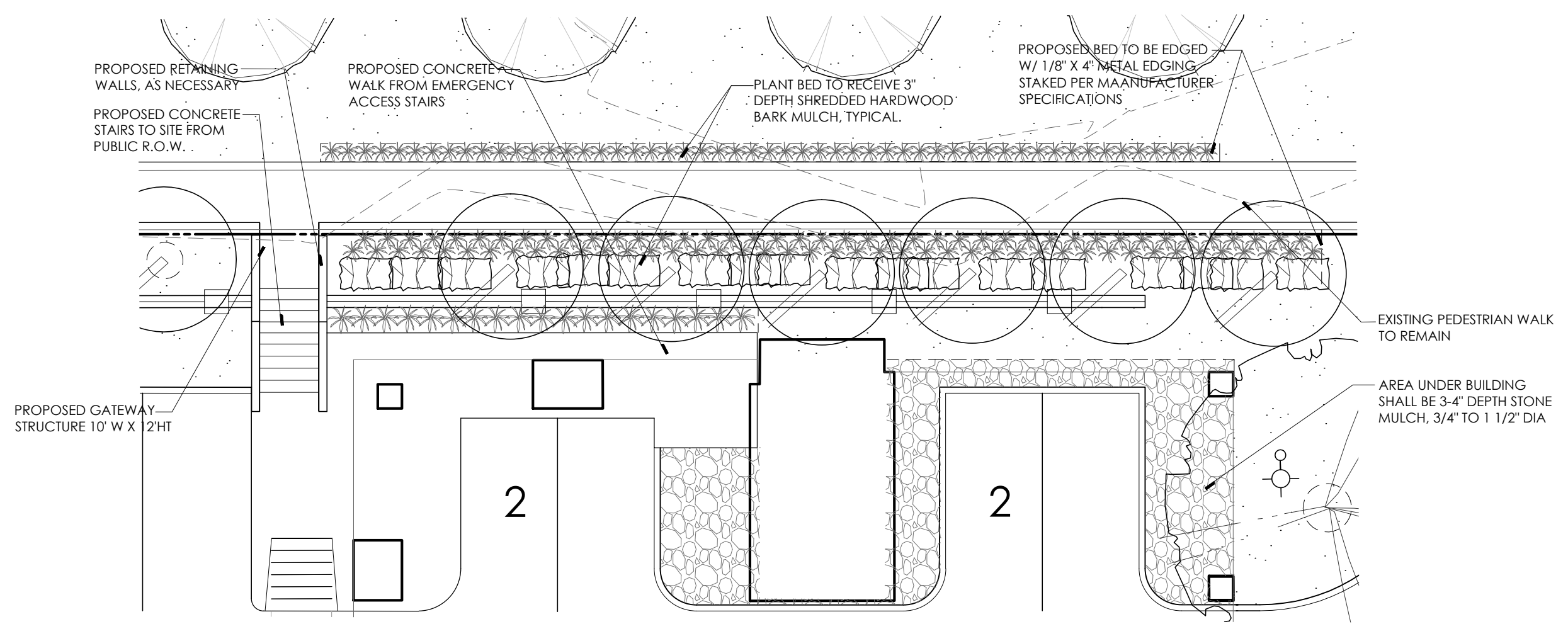
A-2 ISLAND PLANTING DETAIL
1"=10'



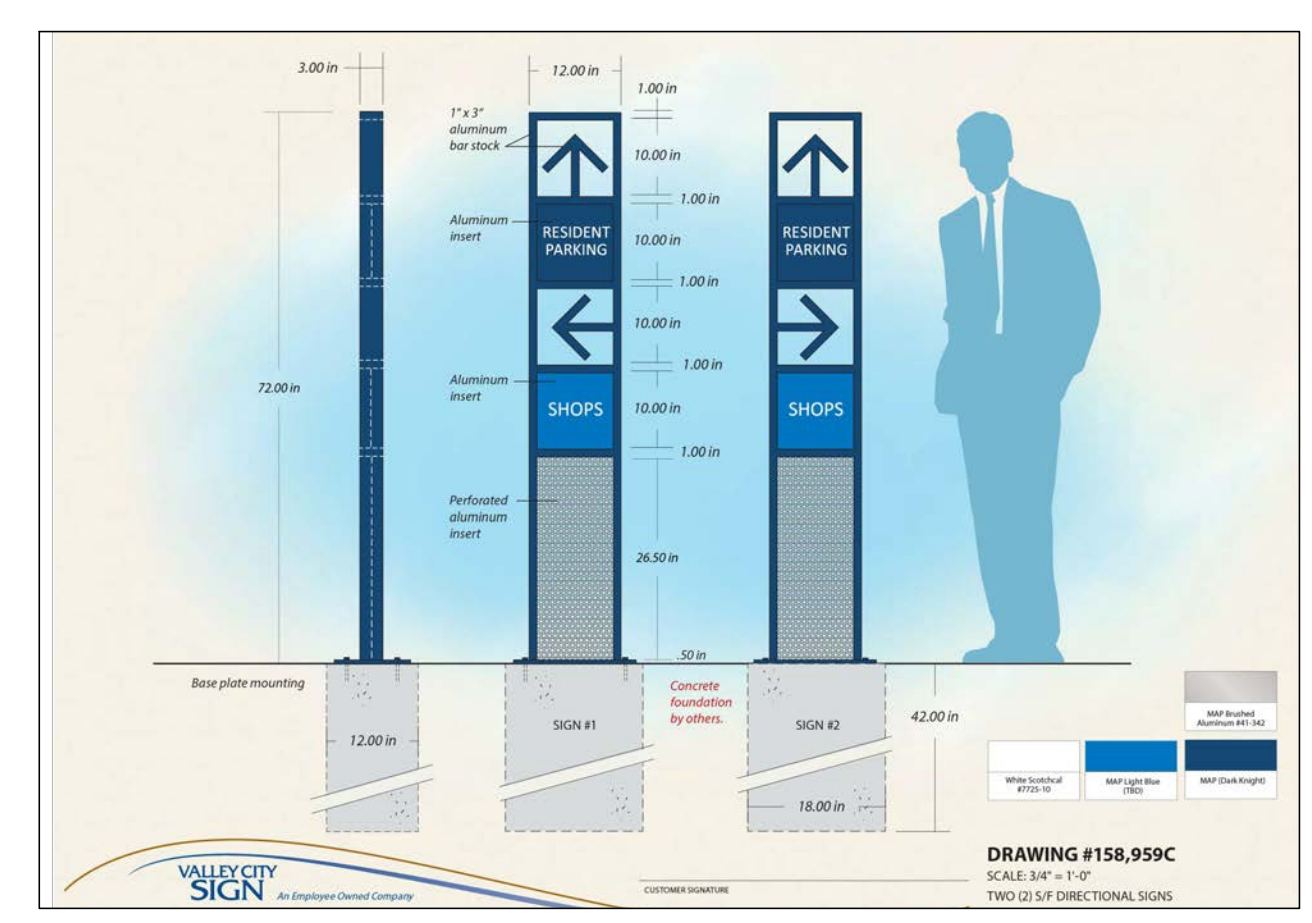
ISLAND/WALL SECTION A-A
1"=8'



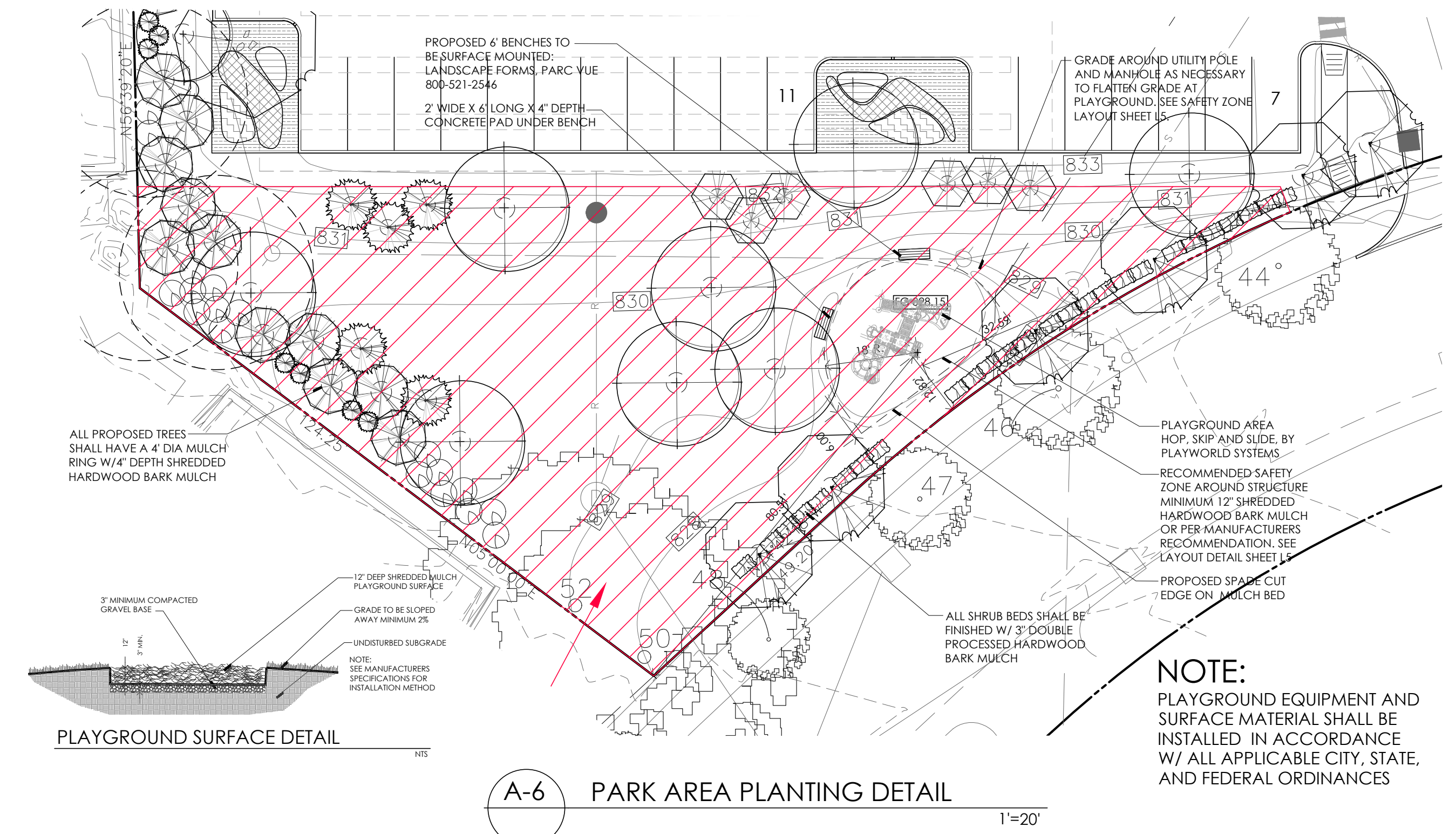
PACKARD ROAD TYPICAL SECTION
1"=8'



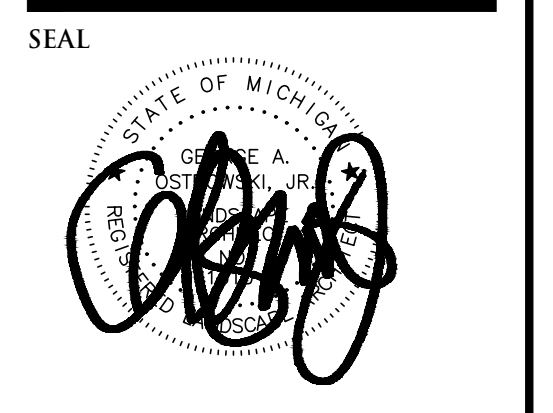
A-3 R.O.W. ACCESS / PLANTING DETAIL
1"=10'



A-9 DIRECTIONAL ON-SITE WAYFINDING
NTS



A-6 PARK AREA PLANTING DETAIL
1"=20'



SEAL



PROJECT

The George

CLIENT

Somerset Development
101 Crawfords Corner Rd
Holmdel, NJ, 07733

Contact: Ken Gold
Phone: 732-415-7171

PROJECT LOCATION

Part of the 1/4 of
Section 4
T. 3 South, R. 6 East
City of Ann Arbor,
Washtenaw County,
Michigan

SHEET

Existing Bioswale Details



Know what's below
Call before you dig.

REVISIONS

03/11/21 SPPC ISSUED
05/16/22 REVISED PER CITY/OWNER

DRAWN BY:

G. Ostrowski

DESIGNED BY:

G. Ostrowski

APPROVED BY:

G. Ostrowski

DATE:

03-11-22

SCALE:

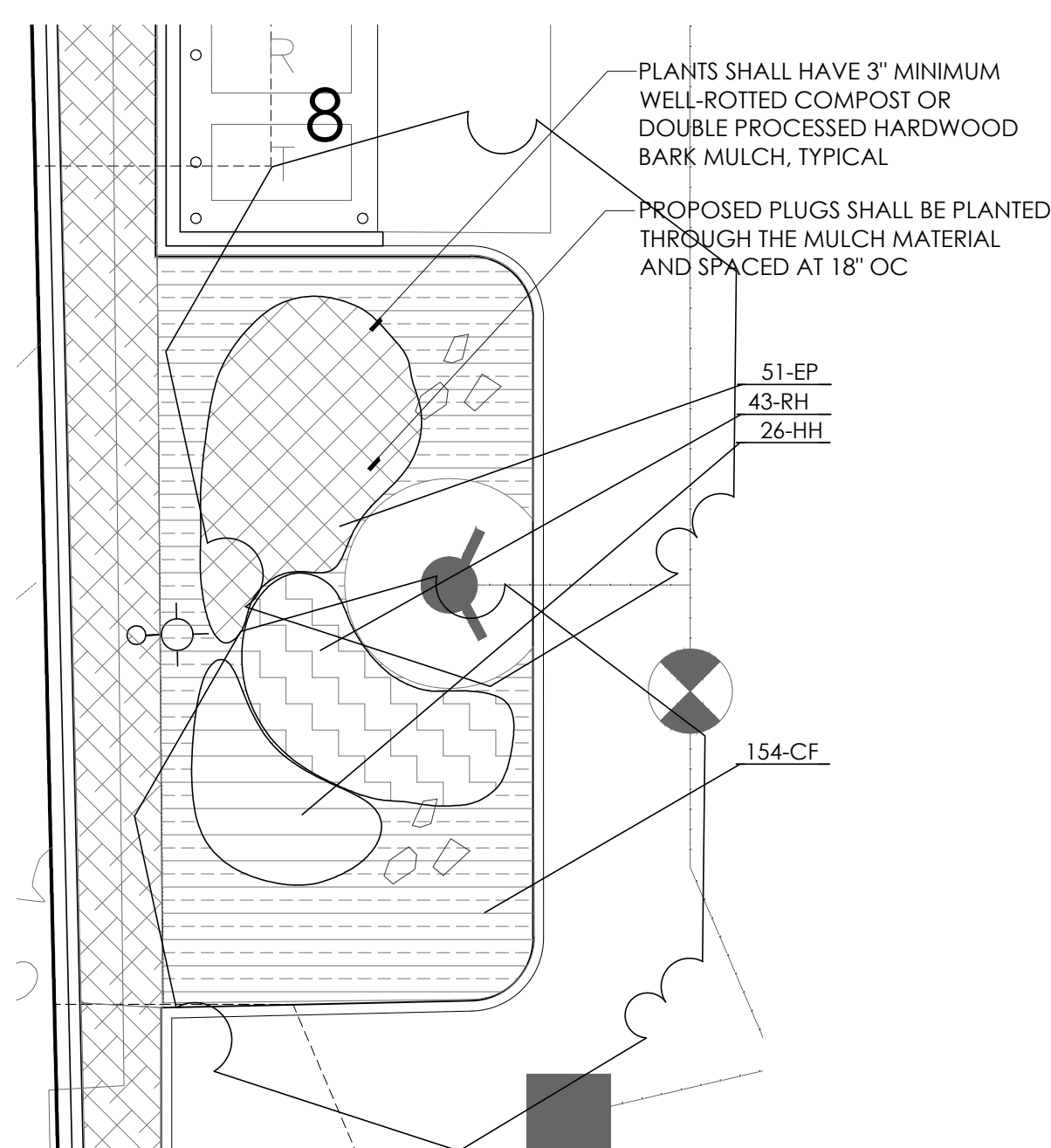
VARIES

NFE JOB NO.

D601

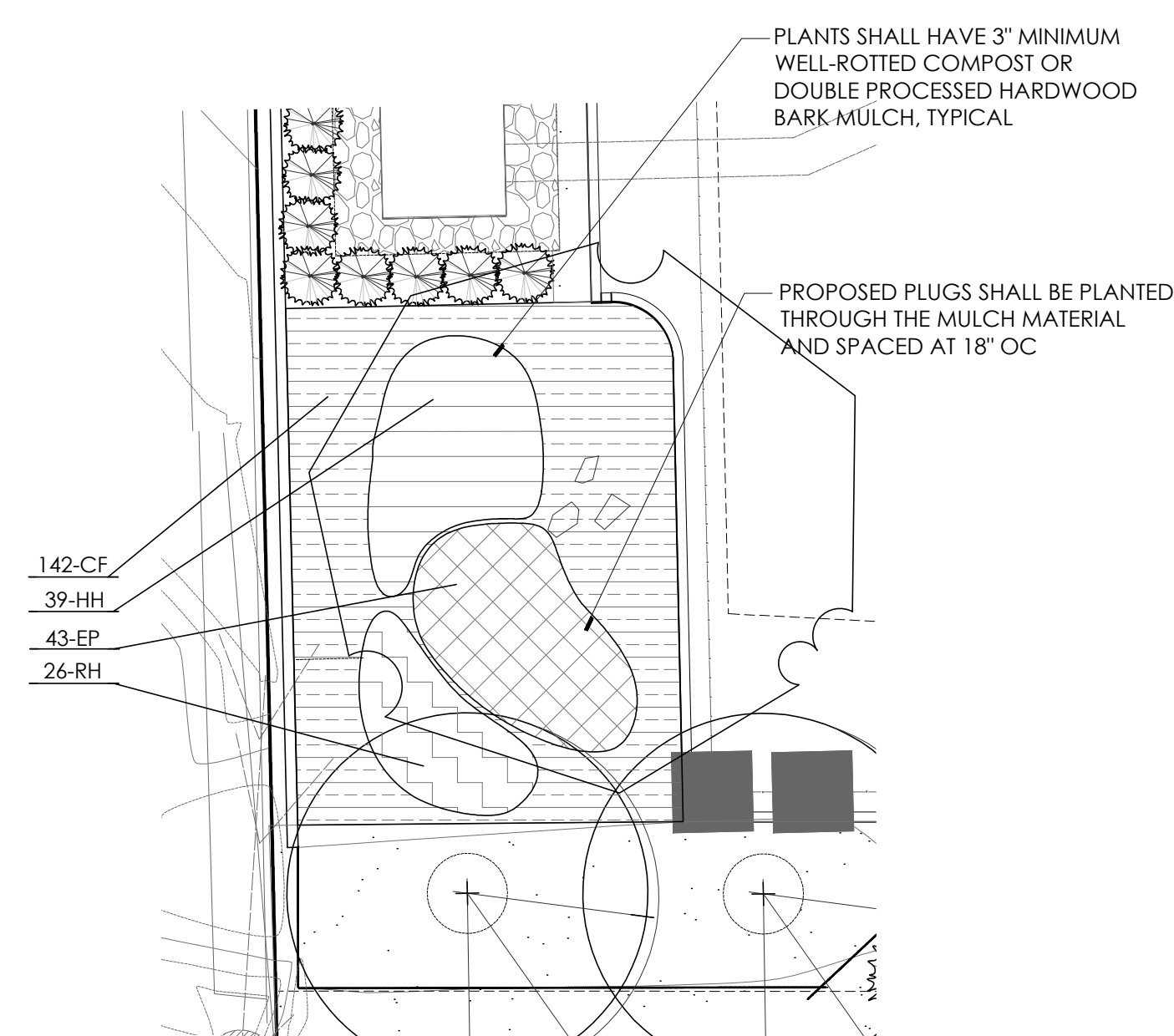
SHEET NO.

L7



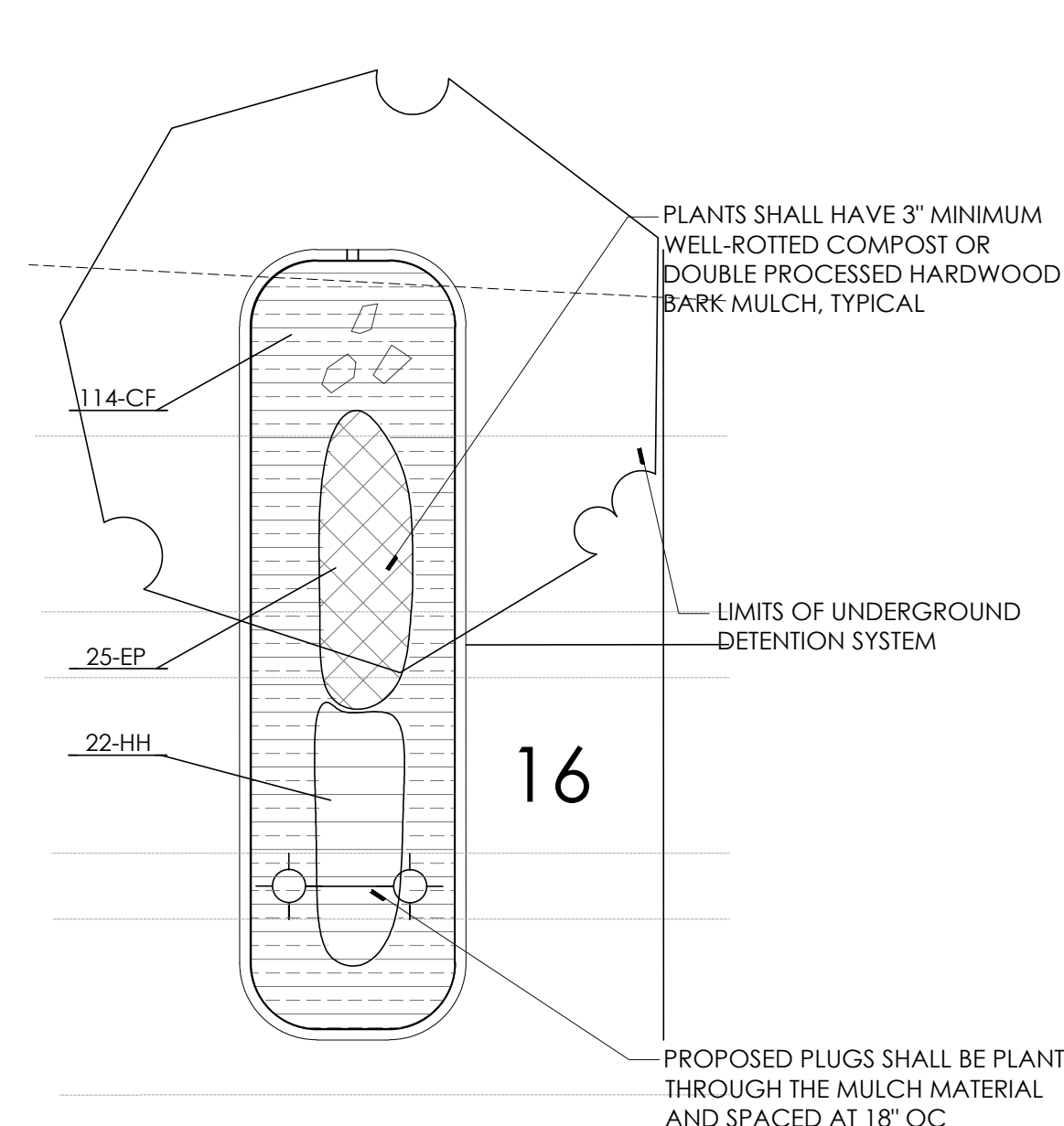
BIOSWALE AREA #1 - 556.72 S.F.

SCALE 1" = 8'



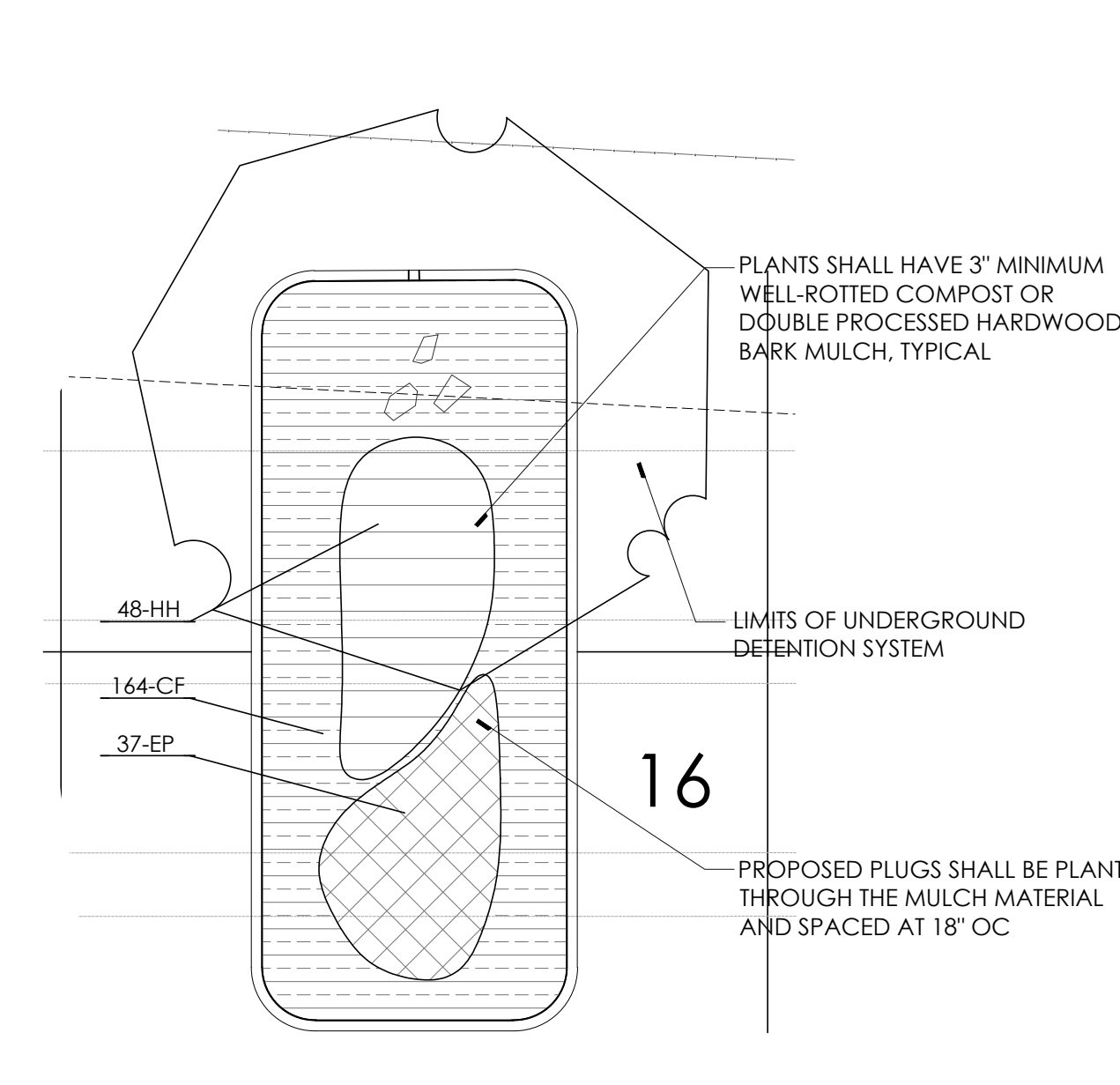
BIOSWALE AREA #2 - 495.75 S.F.

SCALE 1" = 8'



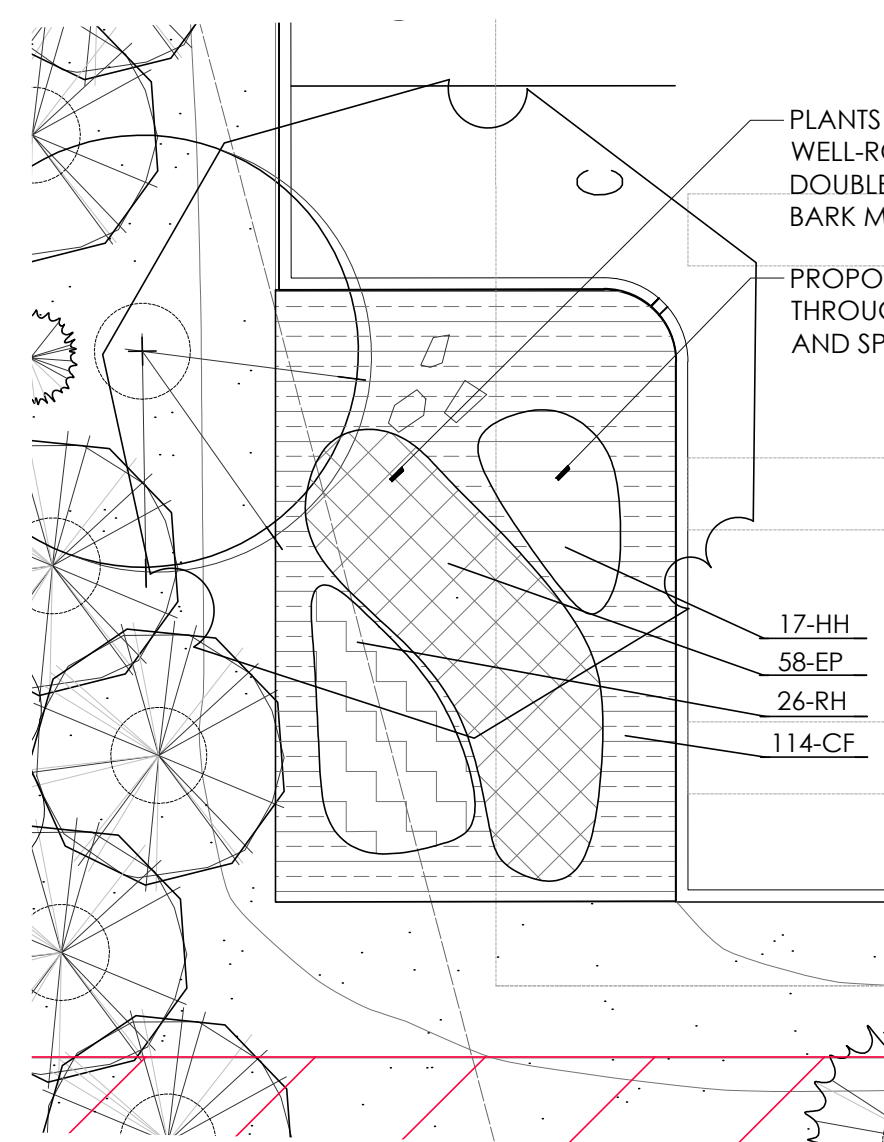
BIOSWALE AREA #3 - 316.91 S.F.

SCALE 1" = 8'



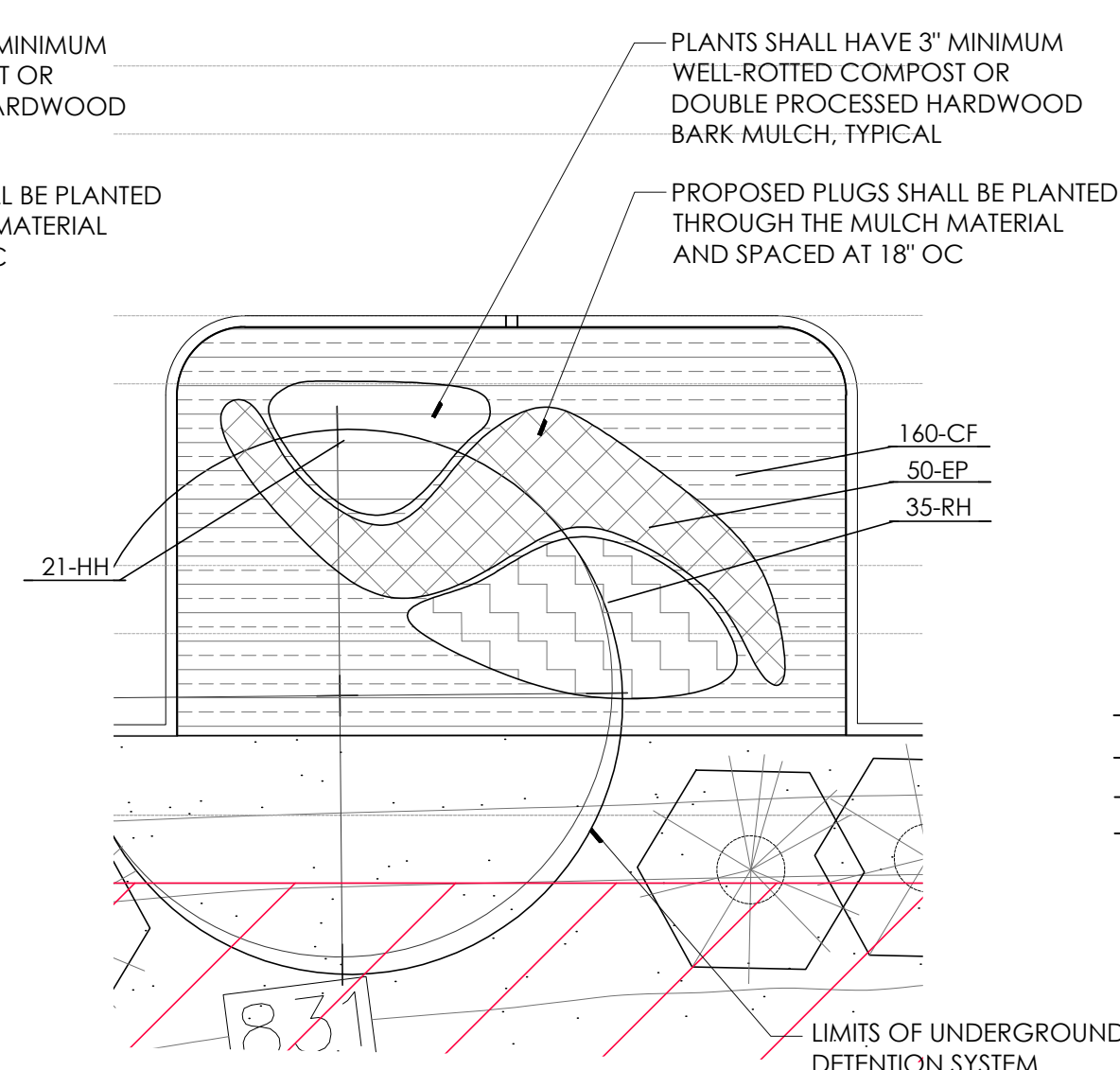
BIOSWALE AREA #4 - 498.44 S.F.

SCALE 1" = 8'



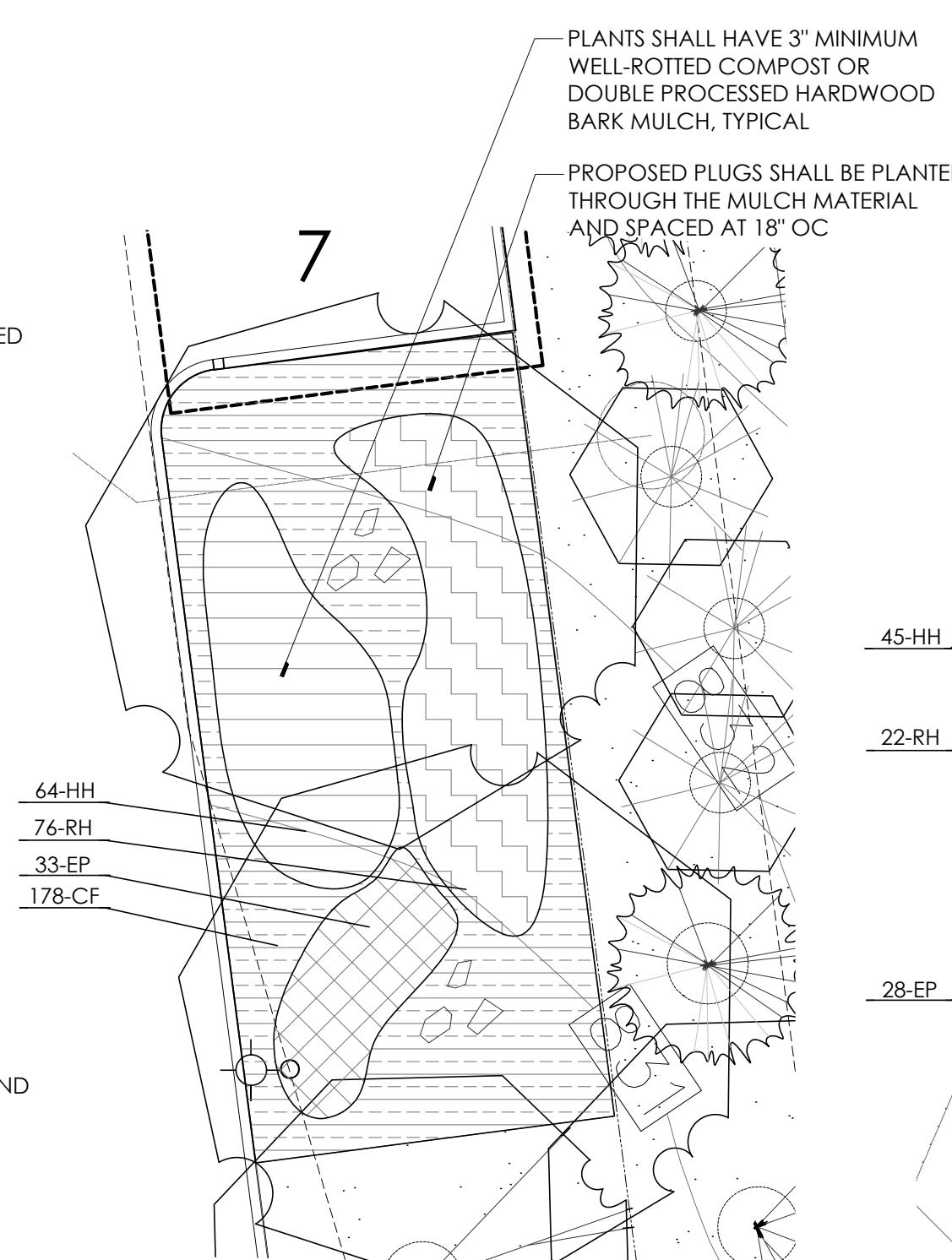
BIOSWALE AREA #5 - 423.47 S.F.

SCALE 1" = 8'



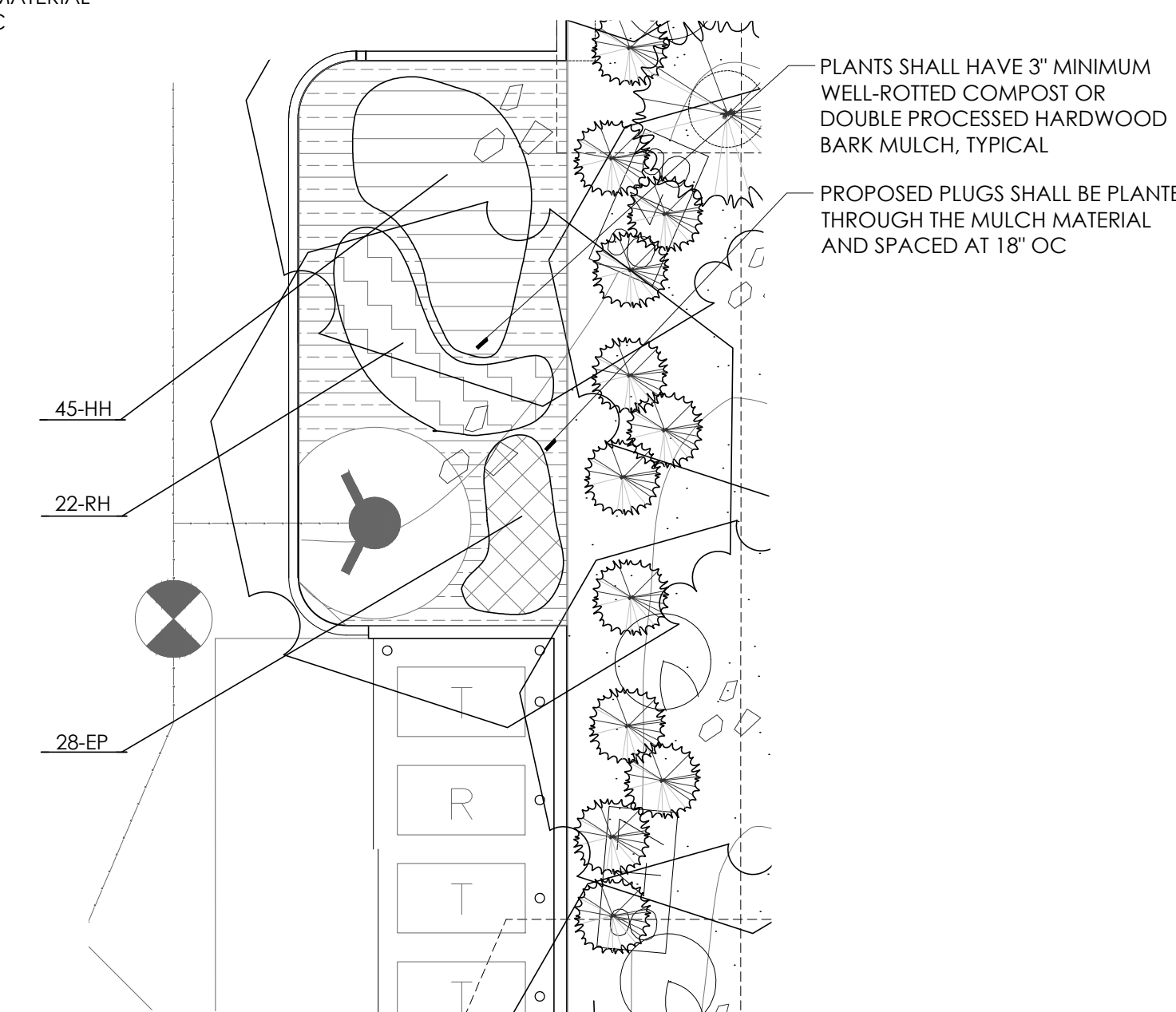
BIOSWALE AREA #6 - 526.07 S.F.

SCALE 1" = 8'



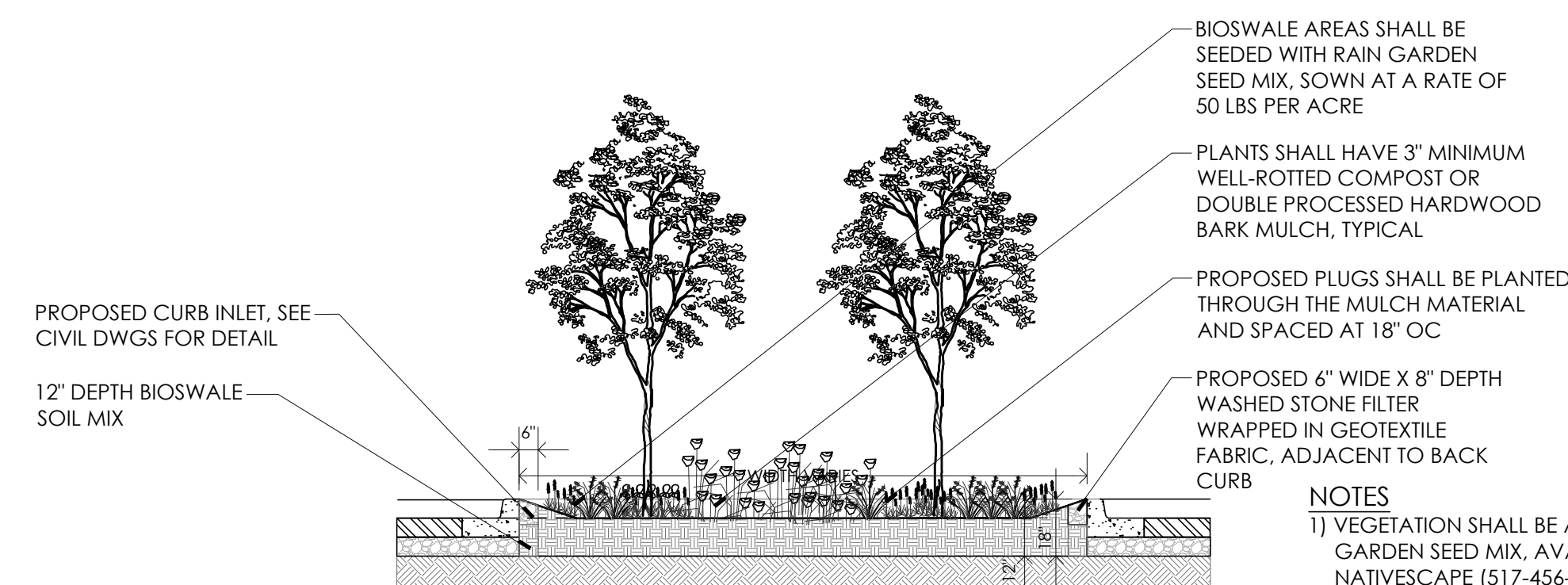
BIOSWALE AREA #7 - 693.86 S.F.

SCALE 1" = 8'



BIOSWALE AREA #8 - 333.46 S.F.

SCALE 1" = 8'



TYPICAL PARKING LOT BIOSWALE

NTS

NOTES

- VEGETATION SHALL BE A MIX OF PLUGS AND RAIN GARDEN SEED MIX, AVAILABLE FROM NATIVESCAPE (517-456-9696). SEE LANDSCAPE PLAN (L1) FOR SEED MIX DETAIL.
- SILT FENCE SHALL BE INSTALLED AT THE CURB INLET, AND A BIODEGRADABLE EROSION CONTROL BLANKET SHALL BE PLACED OVER SEED AREAS IMMEDIATELY AFTER SEEDING.
- REMOVE THE SILT FENCE AFTER THE VEGETATION IS ADEQUATELY ESTABLISHED.
- 6" WIDE STONE FILTER SHALL BE COMPRISED OF CLEAN 3/4" TO 1-1/2" DIA STONE, WRAPPED COMPLETELY WITH FILTER FABRIC
- SOIL IN THE BIOSWALE SHALL CONSIST OF A WELL-MIXED BLEND OF 30% COARSE MASONRY SAND, 30% ORGANIC COMPOST, AND 40% NATIVE TOPSOIL FROM AN ON-SITE, UPLAND SOURCE.

BIOSWALE PLANT LIST

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
BIOSWALE PLANTINGS						
EP	325	Echinacea purpurea Purple/Red Coneflower	#1 POT	18" OC	POT	
HH	282	Helianthus scaberrimus Ox-Eye Sunflower	#1 POT	18" OC	POT	
RH	228	Rudbeckia hirta Black-Eyed Susan	#1 POT	18" OC	POT	
PLUGS						
CF	1,169	Carex frankii Frank's Sedge	1 7/8"	18" OC	PLUG	

Bioswale Operation and Maintenance Plan

Maintenance

Typical Maintenance Activities for Bioswale Areas

Activity	Frequency
Water plants	As necessary during first growing season
Water plants during dry periods	As needed after first growing season
Re-mulch void areas	As needed
Treat diseased trees and shrubs	As needed
Inspect soil and repair eroded areas	Monthly
Remove litter and debris	Monthly
Add additional mulch	Once per year

Access

Sufficient access shall be provided to the facility to allow all necessary inspection and maintenance activities to be completed. Maintenance of access areas shall include removal of tree seedlings and woody vegetation, repair of eroded areas and removal of litter and debris.

Erosion

The soil and mulch in the facility and in areas draining to the facility shall be inspected for eroded areas. Eroded areas shall be filled with soil or mulch and vegetated.

Sediment Accumulation & Clogging

Sediment accumulation within the facility may reduce the infiltration capacity and impair proper performance of the facility. The facility shall be inspected for accumulation of sediment annually. Excessive sediment accumulation shall be removed with the area re-mulched and replanted.

Riprap

The facility may have riprap at points where runoff enters or leaves the facility. The riprap is used to prevent erosion of soils from stormwater flows. The facility shall be checked to make sure that an adequate amount of riprap exists to prevent erosion and additional riprap added if necessary.

Debris & Litter

The bioswale device is expected to accumulate debris and litter. Debris and litter should be removed on a monthly basis to maintain appearance and public acceptance of the bioswale device.

Engineered Soil

Longevity of the engineered soil is decreased by clogging, reduced cation exchange capacity and accumulation of sodium. Clogging problems can be reduced by limiting the input of sediment. Cation exchange capacity can be rejuvenated by the replacement of the engineered soil. Sodium accumulation can be countered by adding gypsum to the soil and/or by allowing about 1" of clean water to percolate through the planting bed 3 to 4 times in the spring.

Plant Maintenance

The vegetation type and amount are important to ensure that the facility operates correctly. Bioswale devices typically have a vegetation plan that specifies plant type, location, planting time of year, fertilizing, watering and other specifications. Proper vegetation maintenance includes watering plants during dry periods, re-mulching void areas, treating diseased trees and shrubs and mowing turf areas.

Snow Storage

Snow shall not be dumped directly onto the bioswale area.

OWNER REVIEW 1/6/2022
 DATE ISSUED
 DRAWN BY
 CHECKED BY

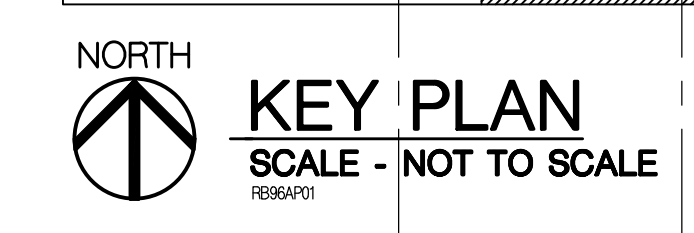
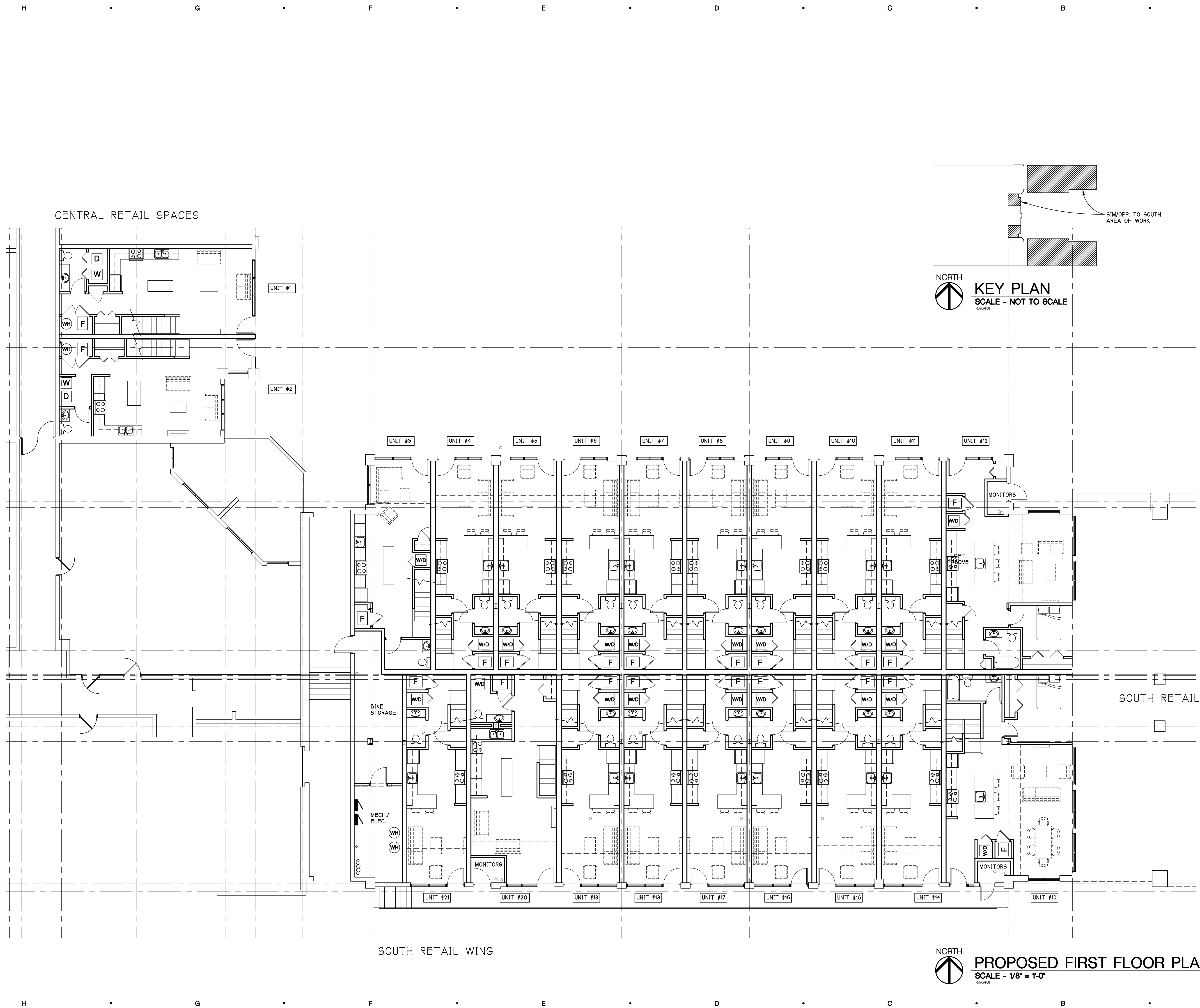
HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P.734.663.4189
 www.hobbs-black.com

THE GEORGE
 RETAIL TO RESIDENTIAL
 RENOVATIONS

PROJECT
 CONSULTANT

PROPOSED
 FIRST
 FLOOR PLAN

SHEET TITLE
 21-818
 PROJECT NUMBER
 A-100
 SHEET NUMBER



NORTH
PROPOSED FIRST FLOOR PLAN
 SCALE - 1/8" = 1'-0"
 REVISED

Drawing: P:\2022\1\21\01\DWG\CD\Arch\RESHA_1_00.dwg
 Date: Jan 06, 2022, 5:51 pm
 Layout: 24x36-Layout
 Plotted by: jpluddies

OWNER REVIEW 1/6/2022
DATE ISSUED

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ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P:734.663.4189
www.hobbs-black.com

THE GEORGE
RETAIL TO RESIDENTIAL
RENOVATIONS

PROJECT

CONSULTANT

PROPOSED
LOFT PLAN

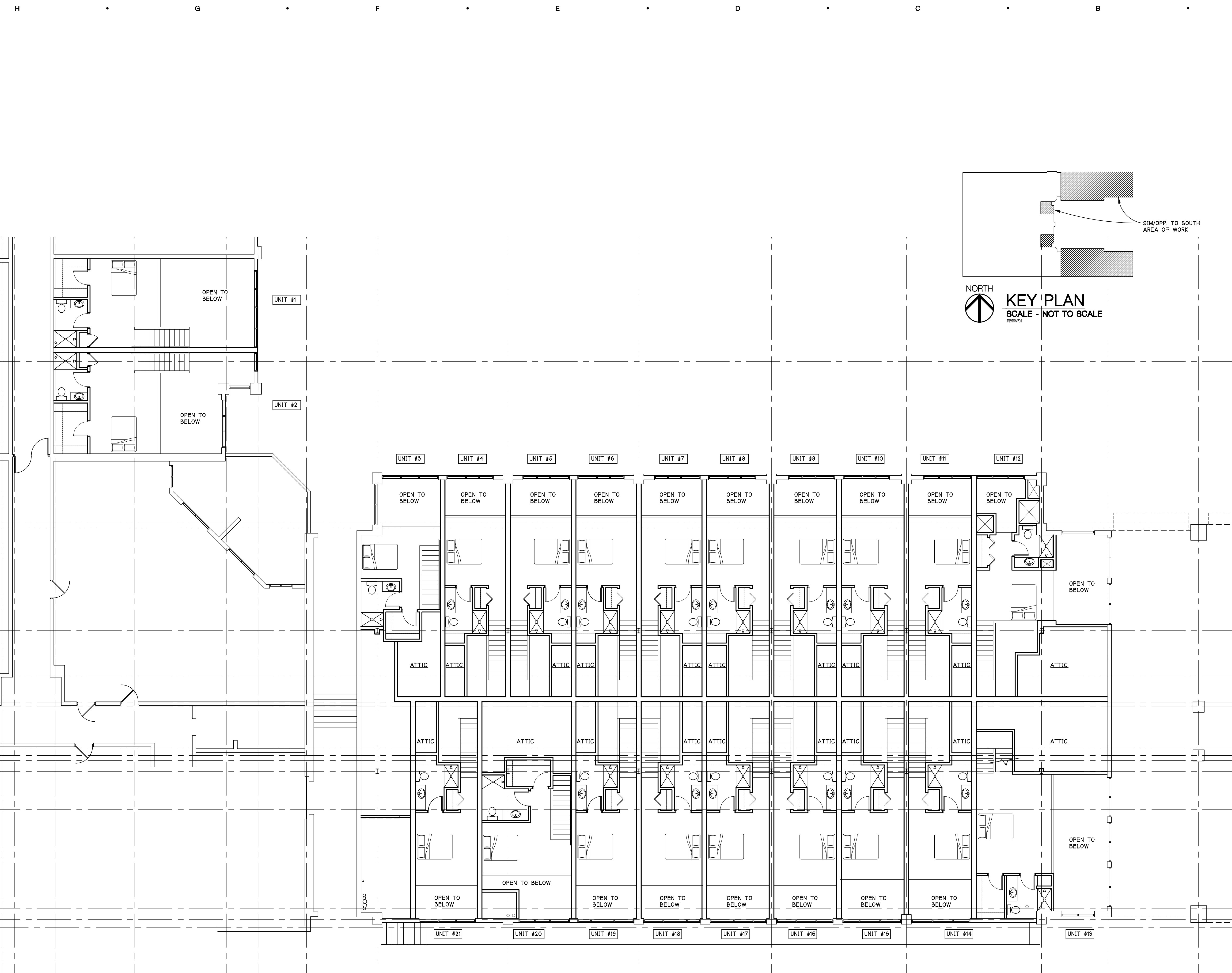
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21-818

PROJECT NUMBER

A-101

SHEET NUMBER

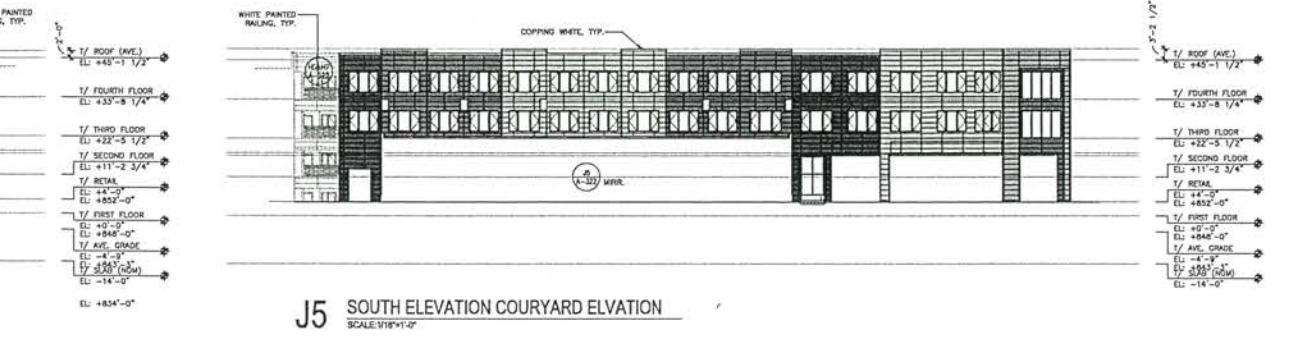
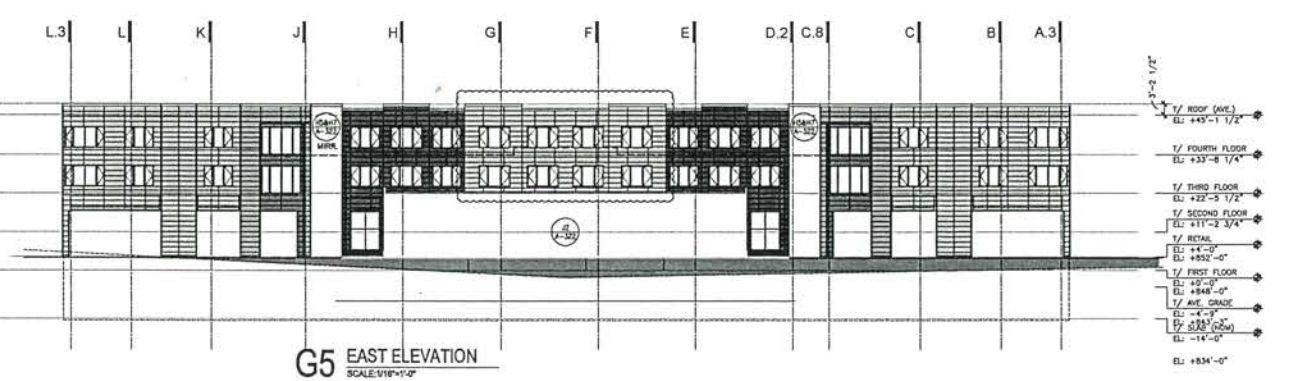
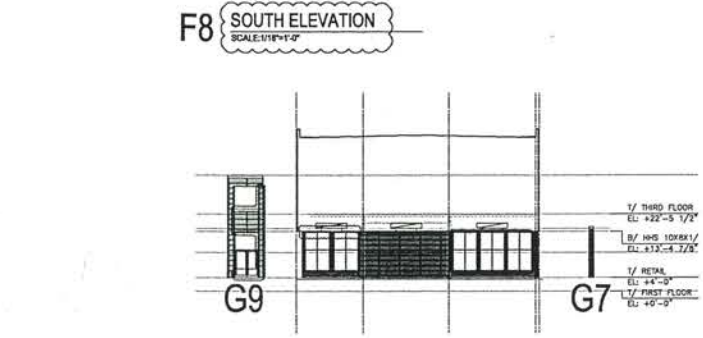
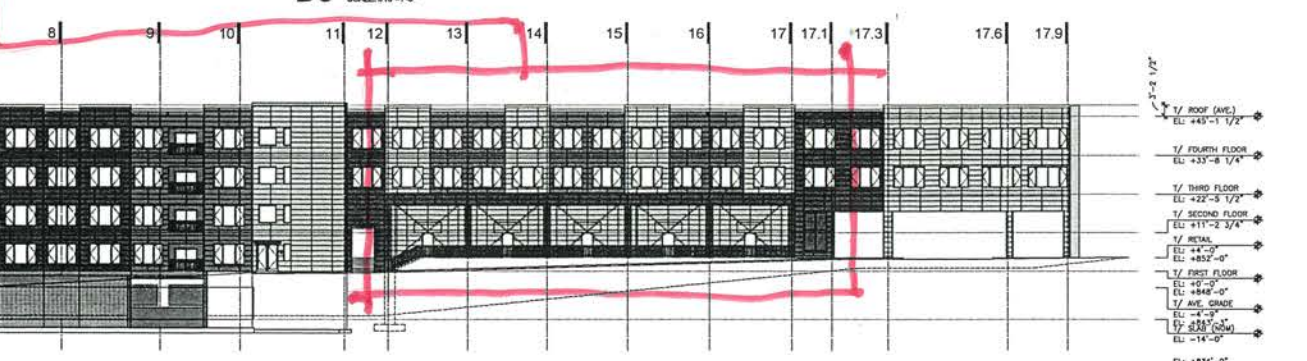
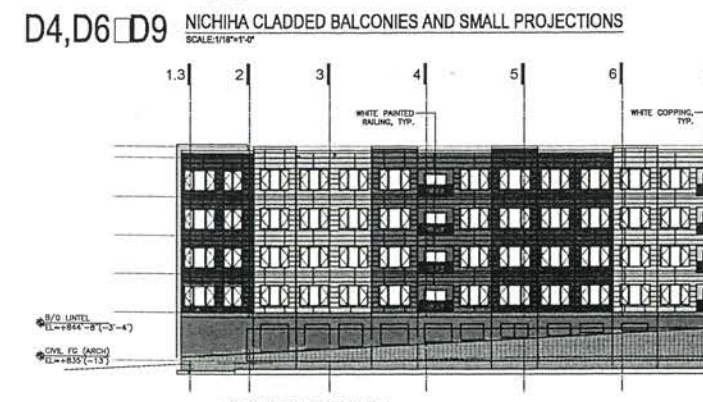
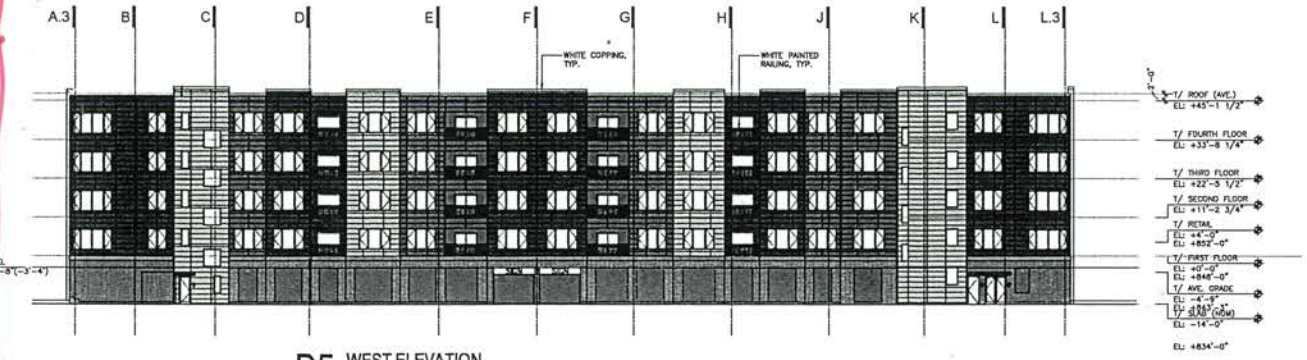
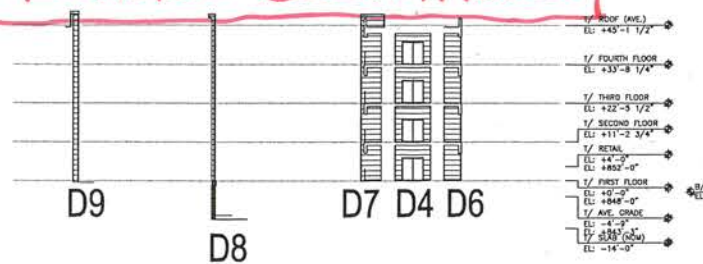
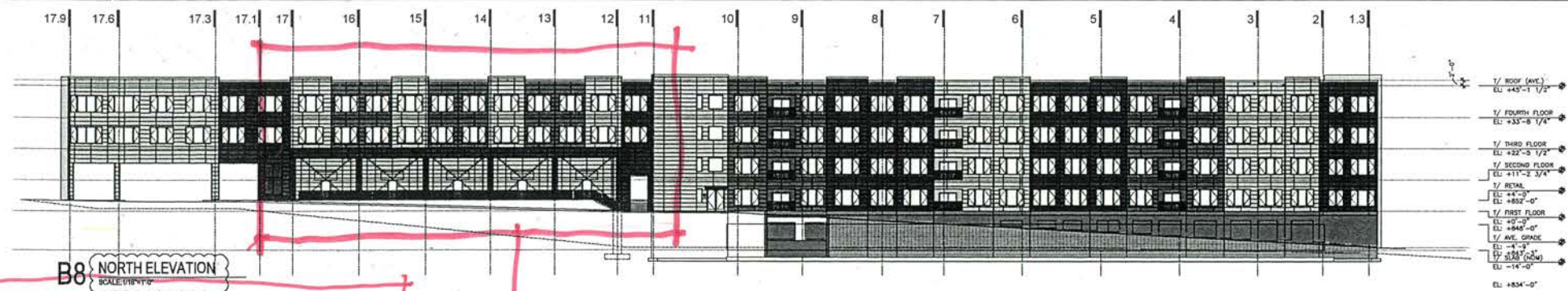


NORTH
KEY PLAN
SCALE - NOT TO SCALE

NORTH
PROPOSED LOFT PLAN
SCALE - 1/8" = 1'-0"

Drawing: P:\2022\1\21\01\Drawings\CD\Architectural\21-818-101.dwg
Date: Jan 06, 2022, 5:49pm
Layout: 24x36-Layout
Plotted by: jpluddies

SEE SHEET A323 FOR REVISED ELEVATIONS



- GENERAL NOTES:**
1. GRADING NOT TO FOUNDATION WALL TO BE 8" MINIMUM BELOW TOP OF FOUNDATION.
 2. REFER TO SHEET A323 FOR REVISIONS TO EXTERIOR WALL SYSTEM GENERAL NOTES AND EXTERIOR DETAIL GENERAL NOTES.
 3. STUD LAYOUT IN EXTERIOR WALLS BEHIND THE BRANDED GLASS SYSTEM TO BE DETERMINED BY PANEL REVEAL AND FASTENER LAYOUT. REFER TO EXTERIOR WALL SYSTEM DETAILS ON SHEET A323.
 4. ALL EXTERIOR MATERIALS COLOR ARE TO BE REVIEWED AND APPROVED BY ARCHITECT, TYP.
 5. SEE ASH AND ASHWOOD AND DOOR TACTS. ACCESS ARE FOR CITY REVIEW. ACCESS ARE FOR CONSTRUCTION. PLEASE REFER TO ACCESS FOR NICHIA COLOR PANELS AND THE WALL BOARDING LOCATIONS IN ELEVATIONS AND PLANS.
 6. WINDOWS 3" LOWER AT UNIT 3A & 3B OUTSIDE CORNER PER ON SITE ADJUSTMENT.

- EXTERIOR MATERIALS**
- FCP-1 "ILLUMINATION SERIES"
 - FCP-2 "ILLUMINATION SERIES"
 - FCP-3 "ILLUMINATION SERIES"
 - FCP-4 "ILLUMINATION SERIES"
 - NOT USED
 - NOT USED
 - VINYL LAP SIDING - VERTICAL VS-1, WHITE
 - VINYL LAP SIDING - HORIZONTAL VS-2, WHITE
 - CMU W/ SPLIT FACE FINISH, CMU-1 STACK BOND
 - CMU W/ SMOOTH FINISH, CMU-2 STACK BOND (DRAWING BOND AS ALTERNATE)
 - CAST STONE BRICK FINISHING GROUP CS-1
 - VENEER FACE BRICK - STACK BOND, BR-1
 - WHITE WINDOWS AND DOORS, FACTORY FINISH WHITE ANODIZED ALUMINUM SLIDERLINE
 - HOLLOW METAL DOORS AND FRAMES, PTD.
 - ALUM. STOREFRONT SYSTEM, ANODIZED
 - ALUM. STOREFRONT SYSTEM, ANODIZED
 - METAL RAILING SYSTEM, PRE-FINISHED, WHITE
 - METAL COPPING, PRE-FINISHED, WHITE
 - METAL LAMER, PRE-FINISHED
 - FABRIC AWNINGS, COLORS TBD BY OWNER
 - OVERHEAD SUPPORT TRUCK CRANES
 - ALUMINUM (WHITE AT COURTYARD ONLY)
 - ARCHITECTURAL EXTERIOR BUILDING LIGHTING
 - METAL SIGNAGE BY TENANT
 - ALUM. COLLARS GRILLE DOOR, ANODIZED
 - STEEL WIRE MESH SCREEN W/FRAME AND GALV. FINISH

Packard Square LLC
1900 S. Telegraph Road
Bloomfield Hills, MI

NO.	REVISION	DATE
1	FOR CITY REVIEW	01/04/2017
2	FOR CITY REVIEW	10/18/2015
3	FOR CITY REVIEW	04/11

PROJECT BY:
BUILT FORM
300 West Overman, Suite 300
Columbus, IN 47203

ARCHITECT:
NSA Architects
23181 Research Drive
Farmington Hills, MI

STRUCTURAL ENGINEER:
Kovach & Frace Engineers
16777 Farmington Avenue
Farmington, MI

MECHANICAL ENGINEER:
Shymanski & Associates, LLC
20633 Southwestern Hwy, Suite 300
Farmington Hills, MI

ELECTRICAL ENGINEER:
MA Engineering
500 E. River Street
Birmingham, MI

LANDSCAPE ARCHITECT:
Thom and Thom, Inc.
8224 Casswell Hill, Suite A
Columbus, IN 47203

PROJECT:
Packard Square
Ann Arbor, Michigan

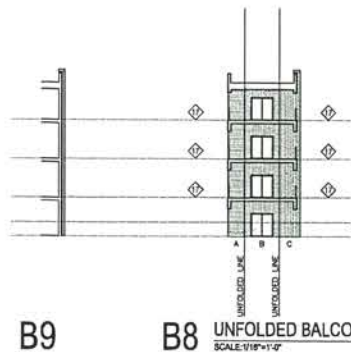
SHEET TITLE:
Colored Building Elevations
For City Review

PROJECT NO:
10-146

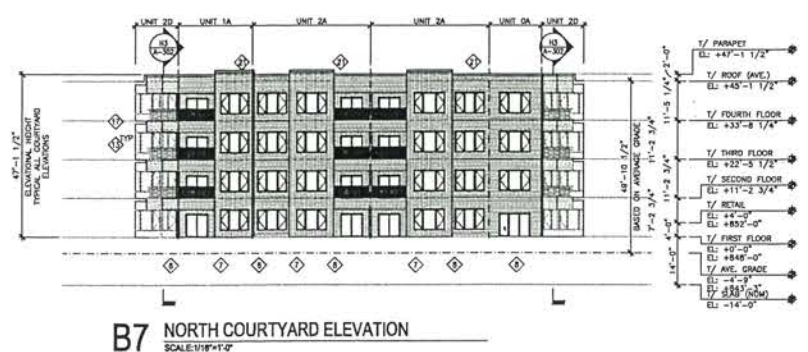
DATE:
10.19.2012

10-146 A321

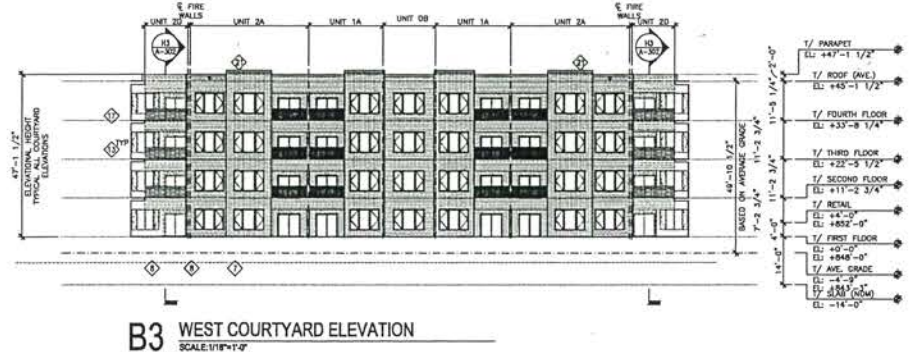
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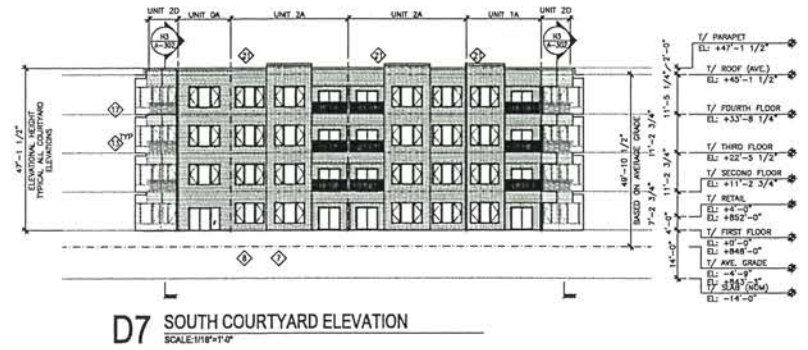
B9 B8 UNFOLDED BALCONY
SCALE: 1/8"=1'-0"



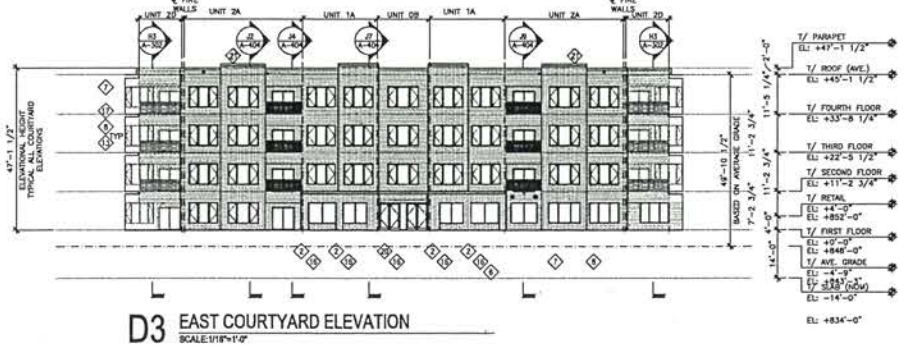
B7 NORTH COURTYARD ELEVATION
SCALE: 1/8"=1'-0"



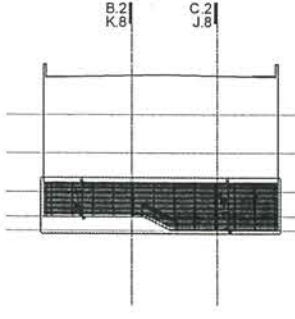
B3 WEST COURTYARD ELEVATION
SCALE: 1/8"=1'-0"



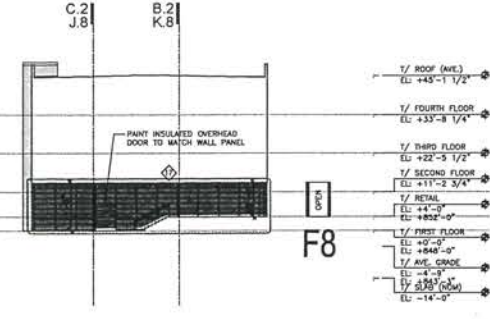
D7 SOUTH COURTYARD ELEVATION
SCALE: 1/8"=1'-0"



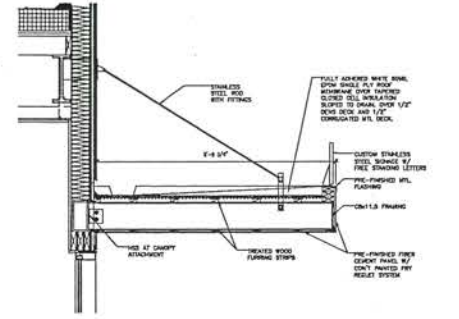
D3 EAST COURTYARD ELEVATION
SCALE: 1/8"=1'-0"



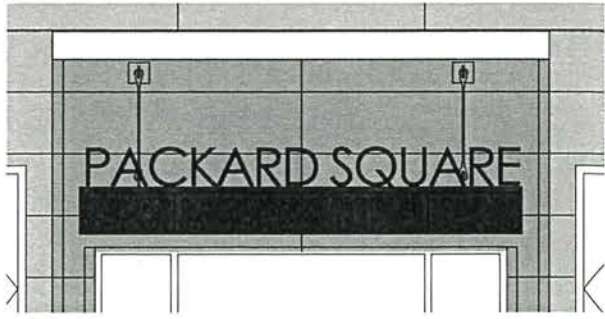
F9 EAST ELEV @ PEDESTRIAN PASS THROUGH
SCALE: 1/8"=1'-0"



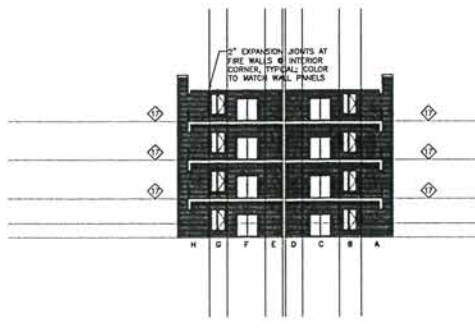
F7 WEST ELEV @ PEDESTRIAN PASS THROUGH
SCALE: 1/8"=1'-0"



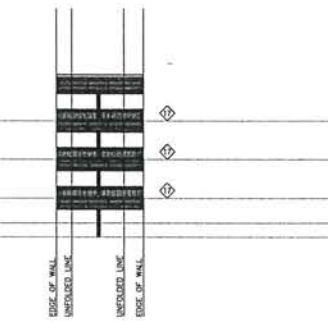
F5 MAIN ENTRY CANOPY ENLARGED SECTION
SCALE: 3/4"=1'-0"



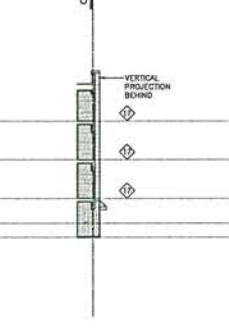
F2 MAIN ENTRY CANOPY ENLARGED ELEVATION
SCALE: 3/4"=1'-0"



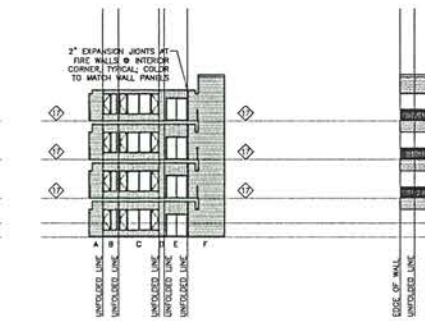
H7 UNFOLDED ELEVATIONS @ UNIT 1C&1D
SCALE: 1/8"=1'-0"



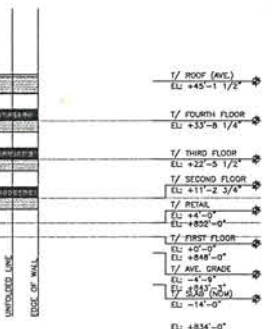
H5 BALCONY @ UNIT 1C&1D
SCALE: 3/4"=1'-0"



H4 AMENITY ENTRANCE
SCALE: 3/4"=1'-0"

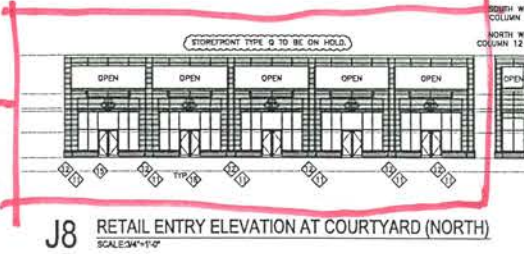


H3 UNFOLDED ELEVATIONS @ UNIT 2D
SCALE: 3/4"=1'-0"

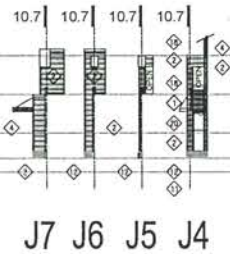


H1 BALCONY @ UNIT 2D
SCALE: 3/4"=1'-0"

SEE SHEET A323 FOR REVISED ELEVATIONS



J8 RETAIL ENTRY ELEVATION AT COURTYARD (NORTH)
SCALE: 3/4"=1'-0"



J7 J6 J5 J4



J2 RESIDENTIAL MAIN RETAIL ELEVATION (EAST)
SCALE: 3/4"=1'-0"

- GENERAL NOTES:**
1. GRADING NEXT TO FOUNDATION WALL TO BE 6" MINIMUM BELOW TOP OF FOUNDATION.
 2. REFER TO SHEET A007 FOR RAINSCREEN CLADDING SYSTEM GENERAL DETAILS, ADDITIONAL WALL SECTION GENERAL NOTES AND EXTERIOR SEAL GENERAL NOTES.
 3. STUD LAYOUT IN EXTERIOR WALLS BEHIND THE RAINSCREEN CLADDING SYSTEM TO BE LOCATED BY PANEL REVEAL AND FASTENER LAYOUT. REFER TO GENERAL RAINSCREEN DETAILS ON SHEET A007.
 4. ALL EXTERIOR MATERIALS COLOR ARE TO BE PROVIDED AND APPROVED BY ARCHITECT. TYP.
 5. SEE A001 AND A002 WINDOW AND DOOR SIZES. A002 ARE FOR CITY'S REVIEW. A002 ARE FOR CONSTRUCTION. PLEASE REFER TO A002 FOR WINDOW COLOR PANELS AND TWO PANEL SIZING LOCATIONS IN ELEVATIONS AND PLANS.
 6. WINDOWS MUST BE LOCATED AT UNIT 2A & 2B OUTSIDE CORNERS PER SITE ADJUSTMENT.

EXTERIOR MATERIALS

FCP-1	FIBER CEMENT PANEL (SR-7555) "ILLUMINATION SERIES"
FCP-2	FIBER CEMENT PANEL (SR-7555) "ILLUMINATION SERIES"
FCP-3	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-4	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-5	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-6	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-7	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-8	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-9	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-10	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-11	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-12	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-13	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-14	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-15	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-16	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-17	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-18	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-19	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-20	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-21	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-22	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-23	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
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FCP-98	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-99	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"
FCP-100	FIBER CEMENT PANEL (SR-8545) "ILLUMINATION SERIES"

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M&E Engineering
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Birmingham, MI

PROJECIT NO: 10-145
DATE: 10.19.2012

PACKARD SQUARE
Ann Arbor, Michigan
Colored Building Elevations
For City Review

PROJECT NO: 10-145
DATE: 10.19.2012

A322

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SITE PLAN SUBMITTAL	03/01/22
OWNER REVIEW	02/28/22
DATE ISSUED	
DRAWN BY	
CHECKED BY	

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THE GEORGE
 APARTMENT RENOVATIONS
 RETAIL TO RESIDENTIAL
 CONVERSION

PROJECT

CONSULTANT

PARTIAL
 BUILDING
 ELEVATIONS

SHEET TITLE

20-815
 PROJECT NUMBER

A-323
 SHEET NUMBER



1 SOUTH/NORTH ELEVATION (OPP.)
 SCALE - 1/8" = 1'-0"
 A-323



2 COURTYARD RENDERING
 SCALE - 1/8" = 1'-0"
 A-323

