

PROJECT CONTACTS

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GENERAL NOTES

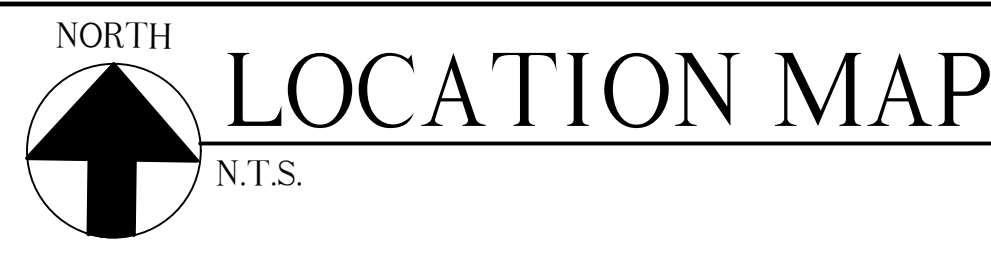
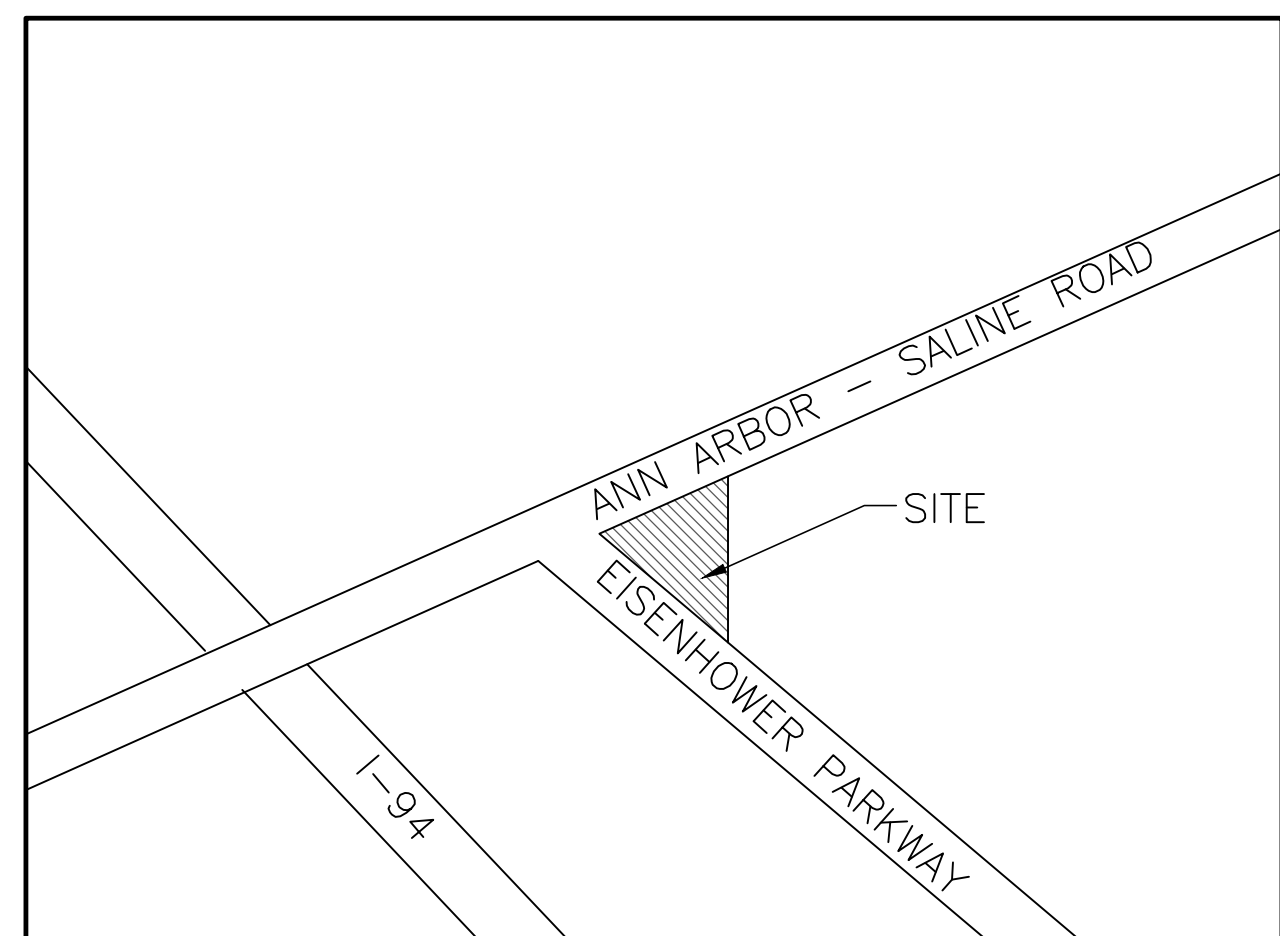
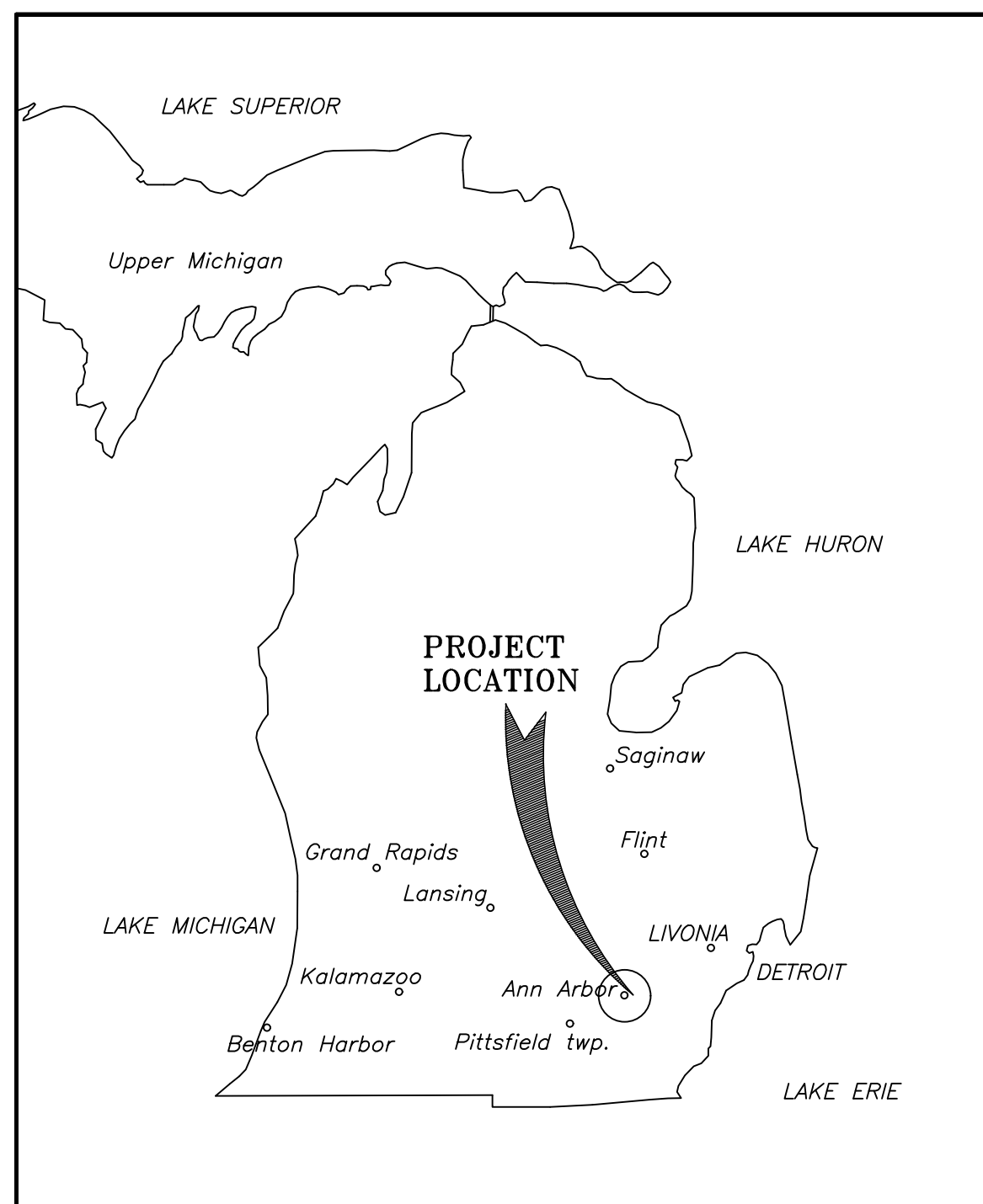
DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENT.
 IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY ARCHITECT IMMEDIATELY.
 ALL WOOD IN CONTACT WITH CONCRETE AND AT EXTERIOR LOCATIONS MUST BE PRESSURE TREATED MOISTURE RESISTANT WOOD.
 ALL WALL CONSTRUCTION FACING PLUMBING FIXTURE AREAS MUST UTILIZE MOISTURE RESISTANT GYPSUM BOARD UNLESS OTHERWISE NOTED.
 ALL DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
 ALL MEANS OF EGRESS DOOR OPENING HARDWARE SHALL BE OPERATED BY A SINGLE HAND WITHOUT MEANS OF TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. ALL DOORS EQUIPPED WITH PANIC HARDWARE MUST MAINTAIN A 32" CLEAR WIDTH. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED:
 A. 8.5 L.B.F. (37.7N) FOR EXTERIOR DOORS.
 B. 5.0 L.B.F. (22.2N) FOR INTERIOR DOORS.
 DOORS SHALL SET IN MOTION WHEN SUBJECTED TO A 30 POUND FORCE & SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15-POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.
 DOORS INDICATED AS PART OF THE REQUIRED MEANS OF EGRESS SHALL HAVE HARDWARE WHICH IS READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
 PROVIDE FIRE EXTINGUISHERS AS REQUIRED PER APPLICABLE CODES AND COORDINATE EXACT LOCATION WITH BUILDING INSPECTOR.
 PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.
 ALL LIGHT SWITCHES, THERMOSTATS, SECURITY ALARMS, ELECTRICAL OUTLETS, ETC. MUST BE MOUNTED TO MEET ALL GOVERNING ACCESSIBILITY REQUIREMENTS FOR FLOOR & HEIGHT CLEARANCES AND ONE HAND GRASPING OPERATION.
 CONTROLS SUCH AS LIGHT SWITCHES, HEATING/AIR CONDITIONING CONTROLS, FIRE ALARM PULLS AND ELECTRICAL OUTLETS ARE WITHIN SPECIFIED REACH RANGES AND HAVE ADEQUATE CLEAR FLOOR SPACE FOR ACCESS. OPERABLE PARTS MUST BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT PINCHING OR GRASPING.
 ALL INTERIOR DIMENSIONS ARE FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 ANY DAMAGE TO LANDLORD'S PROPERTY DURING TENANT DEMOLITION OR CONSTRUCTION (MALL/BUILDING/OTHER FLOORING, BULKHEAD, NEUTRAL PIERS, ETC.) WILL BE REPAIRED PER MALL/BUILDING/OTHER SPECIFICATIONS AT TENANT'S EXPENSE.
 REINFORCING STEEL OR STRUCTURAL FRAMEWORK OF ANY PART OF ANY BUILDING OR STRUCTURE SHALL NOT BE COVERED OR CONCEALED WITHOUT RECEIVING INSPECTION APPROVAL BY THE OFFICE OF CENTRAL INSPECTION. IN ADDITION TO REQUIRED ELECTRICAL, MECHANICAL AND PLUMBING INSPECTIONS, THE BUILDING PERMIT HOLDER OR HIS AGENT SHALL REQUEST THE OFFICE OF CENTRAL INSPECTION TO MAKE THE FOLLOWING CALLED BUILDING CONSTRUCTION INSPECTIONS:
 a. FOUNDATION INSPECTION PRIOR TO THE POURING OF CONCRETE
 b. FRAME INSPECTION AFTER PIPES, CHIMNEYS AND VENTS ARE INSTALLED BUT PRIOR TO CONCEALING THE FRAMEWORK
 c. INSULATION AND WALLBOARD INSPECTION
 d. FINAL INSPECTION PRIOR TO OCCUPANCY OF THE BUILDING
 A SET OF BUILDING PLANS AND SPECIFICATIONS APPROVED BY THE OFFICE OF CENTRAL INSPECTION AND MARKED "FIELD COPY" SHALL BE KEPT ON THE PROJECT DURING CONSTRUCTION UNTIL FINAL INSPECTION APPROVAL HAS BEEN MADE.
 CHANGES MADE, DURING CONSTRUCTION OF A PROJECT, THAT AFFECT EXITING, WALL CONFIGURATION AND STRUCTURAL ELEMENTS THAT ARE NOT JUST "COSMETIC", REQUIRE REVISED PLANS TO BE SUBMITTED TO THE OFFICE OF CENTRAL INSPECTION FOR REVIEW AND APPROVAL. IF A LICENSED ARCHITECT OR ENGINEER SEALED THE ORIGINAL PLANS, THE REVISED PLANS MUST ALSO BE SEALED.

SHELL GAS STATION

2679 ANN ARBOR SALINE ROAD ANN ARBOR MICHIGAN



PROJECT LOCATION



CODE REVIEW

GOVERNING CODES:
 ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING:
 AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION.

BUILDING: 2015 MICHIGAN BUILDING CODE
MECHANICAL: 2015 MICHIGAN MECHANICAL CODE
PLUMBING: 2015 MICHIGAN PLUMBING CODE
ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE W/ PART 8 AMMEND.
ENERGY: 2015 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE: 2015 INTERNATIONAL FIRE CODE
ACCESSIBILITY: 2003 ICC/ANSI A117.1

BUILDING INFORMATION
 CONSTRUCTION TYPE: TYPE VB
 UNPROTECTED- NON-SPRINKLED
 USE GROUP: BUSINESS - B, MERCANTILE - M
 MAX. TRAVEL DISTANCE: 64 FT
 # STORIES: 2
 GROSS LEASED AREA FOR (1) TENANT: 1,290 SQFT
 EXITS PER (1) TENANT: TWO (2) EXITS PROVIDED, TWO (2) EXITS PROVIDED

DOOR EXIST WIDTH
 DOOR EXIST WIDTH - PER 2015 MRC 1005.1
 DOORS = 0.20' / PERSON
 140 OCCUPANTS x .20 = 28"

EXIT WIDTH REQUIRED = 28" min
 FRONT DOOR WIDTH 6'-4"
 REAR DOOR WIDTH 3'-0"

MINIMUM PLUMBING FIXTURES & OCCUPANCY
 PLUMBING FIXTURE COUNT BASED ON THE TYPE OF OCCUPANCY & NUMBER OF OCCUPANTS FROM 2015 MBC & 2015 MPC

TOTAL OCCUPANTS: 140
OCCUPANTS FOR (1) UNIT 140/3: 47 PPL

	23 MALE		
	URINAL LESS THAN 87% OF REQ. # WC	WATER CLOSETS 1 PER 500	LAVATORIES 1 PER 750
REQUIRED	0	1	1
PROVIDED	0	1	1

	24 FEMALE		SERVICE SINK 1 PER 750	DRINKING FOUNTAIN 1 PER 1,000
	WATER CLOSETS 1 PER 500	LAVATORIES 1 PER 750		
REQUIRED	1	1	1	1
PROVIDED	1	1	1	1

NATURAL FEATURE IMPACT
 NO NATURE FEATURE IMPACT CHANGE.

MISCELLANEOUS NOTES:
 TENANT'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD.

PROJECT DESCRIPTION:
 TENANT IMPROVEMENT TO AN EXISTING BUILDING SPACE.

BUILDING SIGNAGE
 BUILDING SIGNAGE IS REVIEWED AND PERMITTED SEPARATE FROM BUILDING PERMIT.

EGRESS OCCUPANT LOAD: PER TABLE 1004.1.1
ALLOWABLE
 140 PPL

MERCANTILE:
 RETAIL: 3(1290)/30 = 3870/30 = 129 PPL
 STORAGE: 639/300 = 2.13 = 2 PPL
 OFFICE: 478/60 = 8.0 = 8 PPL

COMMUNITY ANALYSIS

THE USE SHALL NOT CHANGE: THEREFORE THE IMPACT TO LOCAL PUBLIC SCHOOLS SHALL NOT CHANGE. NEIGHBORING USES ARE RESIDENTIAL (SOUTH & WEST) & OFFICE/BUSINESS (NORTH & WEST). AN EXISTING GAS STATION IS USEFUL TO THE EXISTING BUSINESSES & HOMES AROUND IT. IMPACT OF ADJACENT USES ON THIS SITE IS UNCHANGED. THE USE IS UNCHANGED. THE NUMBER OF PUMPING POSITIONS IS UNCHANGED SO IMPACT TO AIR, WATER QUALITY, EXISTING NATURAL FEATURES AND NEIGHBORING SITES IS MINIMAL.

SITE ANALYSIS

THE EXISTING USE IS A GAS STATION / CONVENIENCE STORE. ACTIVITY ON SITE ARE CUSTOMERS IN NEED OF GAS OR OTHER GENERAL CONVENIENCE STORE AMENITIES. THE EXISTING SOIL TYPE IS 6' OF SAND OVER CLAY. THE EXISTING VEGETATION IS LISTED ON THE DEMOLITION PLAN C-2. THERE IS NO 100-YEAR FLOOD PLAIN ON THIS SITE. THE ONLY STEEP SLOPE IS LOCATED IN THE PROPERTY TO THE SOUTH OF THIS SITE. THERE ARE NO WATERCOURSES, WETLANDS OR WOODLANDS ON THIS PROPERTY. EXISTING BUILDINGS/STRUCTURES ARE SHOWN ON C-1. ALL EXISTING UTILITIES ARE SHOWN ON THE SURVEY & C-1.

PROJECT DESCRIPTION

- DRIVEWAY WIDTH ALLOWANCE THE FOLLOWING CHANGES ARE PROPOSED:
 1. CONSTRUCTION OF A NEW 2-STORY ADDITION TO THE EXISTING BUILDING ON THE SITE.
 2. WE ARE ADDING ADDITIONAL PAVED PARKING AREA AND THE RECONFIGURATION OF SITE CIRCULATION.
 3. WE ARE REMOVING THE INVASIVE TREES ON SITE AND RELOCATING.

TRAFFIC IMPACT

PUMPING POSITIONS MOVED TO ALLOW BETTER FLOW FROM THE DRIVEWAY ENTRANCE AND PARKING AREAS.
 1. TWO WAY TRAFFIC NOW PROPOSED AROUND PUMPING SPACES (EXTERIOR) AND SINGLE FLOW BETWEEN (INTERIOR).
 2. WHERE AS CURRENTLY THERE IS ONLY ONE WAY TRAFFIC ON ONE SIDE AND IT'S VERY TIGHT (MORE OFTEN THEN NOT PEOPLE WAIT FOR OTHER CARS TO GO FIRST)
 3. WE ARE CLOSING TWO ENTRANCES THAT ARE RIGHT ON THE CORNER.
 4. THUS ALLOWING PEOPLE TO ENTER AND LEAVE THE SITE WITHOUT BLOCKING ON GOING TRAFFIC ON PACKARD AND STADIUM
 5. BUILDING INCREASE OF THIS SIZE HAS RESULTED IN OTHER STORES OF A INCREASE CAR VOLUME OF ~20-30%

INDEX OF DRAWINGS

NO.	TITLE
● TS1.0	TITLE SHEET, INDEX OF DRAWINGS, PROJECT DATA & VICINITY MAP
● C1	EXISTING SITE/LANDSCAPE PLAN
● C2	DEMOLITION SITE PLAN
● C3	SITE LAYOUT PLAN
● C4	SITE DRAINAGE & UTILITY PLAN
● C5	SOIL EROSION PLAN
● C6	STORAGE CALCULATIONS 1
● C7	SITE DETAILS
● C8	PHOTOMETRIC PLAN
● L1	SITE LANDSCAPING PLAN
● L2	BIO-RETENTION AREA
● A1	PROPOSED FIRST FLOOR PLAN
● A2	PROPOSED SECOND FLOOR PLAN
● A3	EXTERIOR ELEVATIONS
● A4	EXTERIOR ELEVATIONS
● A5	FRAGMENT ELEVATIONS

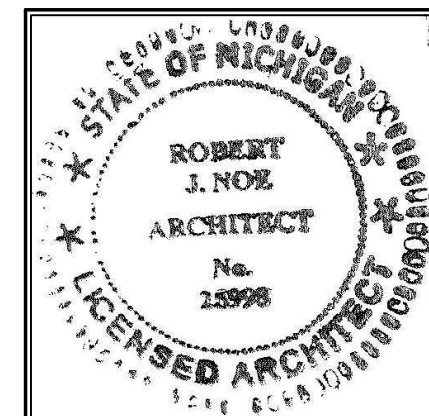
NOTES:
 DRAWINGS LISTED ABOVE ARE FOR INFORMATION ONLY. THESE DRAWINGS AS LISTED IN THE DRAWING INDEX ALONG WITH THE CONTRACT FOR CONSTRUCTION, ADDENDUMS & OTHER INFORMATION AS PROVIDED TO THE GENERAL CONTRACTOR CONSTITUTE THE INSTRUMENTS OF SERVICE AND ARE CONSIDERED A SINGLE ENTITY. THE CONTRACTOR IS THEREFORE BOUND BY ALL INFORMATION INCLUDED. NONE OF THIS INFORMATION OR DRAWING SHEETS SHALL BE TAKEN SEPARATELY OR "STAND ALONE" FROM THE REMAINDER OF THE CONSTRUCTION DOCUMENTS. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE TO REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO DETERMINE THEIR PARTICULAR SCOPE OF WORK. ANY DISCREPANCIES OR CONFLICTING INFORMATION NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A BID SHALL BE INTERPRETED AT THE SOLE DISCRETION OF THE ARCHITECT.

SPALDING DeDECKER
 THE PEAK HOURS OF TRAFFIC ON ANN ARBOR-SALINE RD AND EISENHOWER PKWY ARE SHOWN IN TABLE 1 BELOW. THESE TRAFFIC PREDICTIONS ARE DETERMINED USING THE SQUARE FOOTAGE OF THE CONVENIENCE MARKET AND PROPOSED BUILDING.

	AREA (SFT)	AM PEAK HOUR		PM PEAK HOUR	
		EXISTING	PROPOSED	EXISTING	PROPOSED
SUPER CONVENIENCE MARKET/GAS STATION (USE NO.960)	AREA (SFT)	4080	4080	4080	4080
	TRIP GENERATION RATE(PER 1000 SFT)	83.1	83.1	69.3	69.3
	SPLIT(ENTERING/EXITING)	50%/50%	50%/50%	50%/50%	50%/50%
MEDICAL-DENTAL OFFICE BUILDING (USE NO.720)	AREA (SFT)	NA	1550	NA	1550
	TRIP GENERATION RATE(PER 1000 SFT)	NA	2.8	NA	3.5
	SPLIT(ENTERING/EXITING)	NA	78%/22%	NA	28%/72%
TOTAL TRAFFIC GENERATED	AREA (SFT)	NA	1550	NA	1550
	TRIP GENERATION RATE(PER 1000 SFT)	NA	0.3	NA	4.3
	SPLIT(ENTERING/EXITING)	NA	64%/36%	NA	49%/51%
TOTAL TRAFFIC GENERATED		340	350	282	306
ENTERING TRAFFIC		170	178	141	150
EXITING TRAFFIC		170	350	141	156

TABLE 1: TRIP GENERATION
 THE AMOUNT OF TRAFFIC GENERATED BY THE NEW BUILDING IS APPROXIMATELY 5% COMPARED TO THE NUMBER OF TRIPS THE SITE IS CURRENTLY GENERATING.

TRAFFIC SPLIT
 THE DETERMINATION OF HOW MANY VEHICLES UTILIZE EACH ENTRANCE AND EXIT FOR THE SITE IS BASED ON THE ROADWAY VOLUME. ACCORDING TO SEMCOG'S (SOUTHEAST MICHIGAN COUNCIL OF GOVERNMENTS) TRAFFIC DATA, APPROXIMATELY 60% OF THE TRAFFIC AT THIS INTERSECTION IS ON ANN ARBOR-SALINE ROAD, WITH THE REMAINING 40% ON EISENHOWER BOULEVARD. THESE DISTRIBUTION ASSIGNMENTS WERE APPLIED TO THE ANTICIPATED TRIPS AT THE SITE AND ARE SHOWN.



DRAWN DATE:

4/23/18	REV-17	REV-21
9/19/18	REV-19	REV-19
10/02/18	REV-19	REV-19
10/24/18	4/8/19	REV-10
10/30/18	4/23/19	REV-11
11/8/18	REV-5	REV-12
11/7/18	4/26/19	REV-12
	5/6/19	REV-13
	8/20/19	REV-14

DRAWN BY: K.C./V.L.
 CHECKED BY: T.Q.
 APPROVED BY: T.Q.

PROJECT NO.:
2886

SHEET TITLE:
TITLE SHEET

SHEET NO.:
TS1.0

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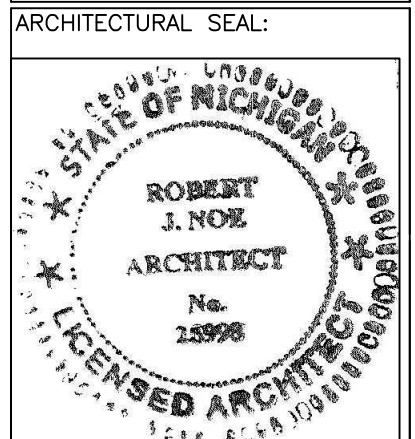
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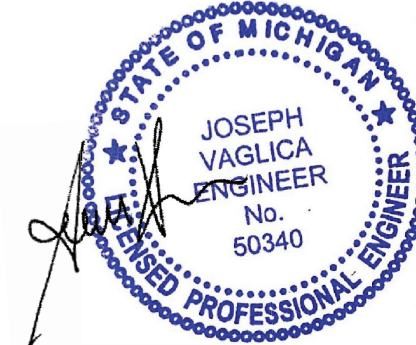
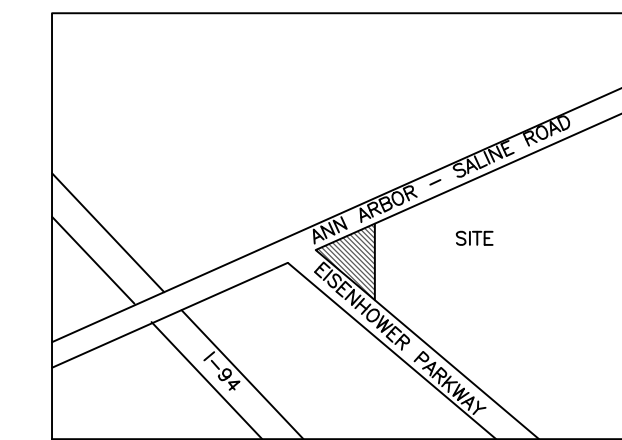
SHELL GAS STATION
2679 ANN ARBOR SALINE RD
ANN ARBOR MI

ISSUE DATE	
08/08/17	5/30/19
05/31/18	8/19/19
10/01/18	8/19/19
10/24/18	
12/10/18	
1/10/19	
2/28/19	
3/1/19	
3/19/19	
4/22/19	
5/02/19	

DRAWN BY: K.C./V.L.
CHECKED BY: T.Q.
APPROVED BY: T.Q.



PROJECT NO.: 2686
SHEET TITLE: EX. SITE/LANDSCAPE PLAN
SHEET NO.: C1



LOCATION MAP
NTS

LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 6, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE S 00°18'35"E 818.93 FEET ALONG THE EAST LINE OF SAID SECTION TO A POINT ON THE SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S 00°18'35"E 500.81 FEET ALONG SAID EAST LINE AND THE CENTER LINE VACATED LOHR ROAD TO A POINT ON THE NORTHERLY LINE OF EISENHOWER PARKWAY; THENCE N 46°28'10"W 347.17 FEET ALONG THE NORTHERLY LINE OF SAID EISENHOWER PARKWAY TO THE INTERSECTION WITH SAID SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD; THENCE N 43°34'35"E 361.22 FEET ALONG SAID SOUTHERLY LINE TO THE PLACE OF BEGINNING. CONTAINING 1.44 ACRES OF LAND, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

BENCHMARK

N.E. CORNER TOP OF CONCRETE LIGHT POLE BASE AT N.E. CORNER ANN ARBOR-SALINE ROAD AND EISENHOWER ELEV.=911.05

GENERAL NOTES

SPECIAL CONDITIONS

THE OWNER, GENERAL CONTRACTOR, THE INDIVIDUAL SUBCONTRACTOR AND MATERIAL MAN AGREE TO SAVE THE ARCHITECT HARMLESS, AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF ACTS OR OMISSIONS BY SAID OWNER, CONTRACTORS AND/OR MATERIAL MEN DURING THE PERFORMANCE OF THEIR WORK.

ALL WORK WILL PROCEED IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL SAFETY CODES, STATUTES AND RECOGNIZED STANDARDS.

THE GENERAL CONTRACTOR SHALL OBTAIN THE GENERAL BUILDING PERMIT(S), PAY ALL FEES AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK.

NO MATERIALS OR CONSTRUCTION PROCEDURES SHALL BE UTILIZED ON THIS PROJECT WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT ON THE ENVIRONMENT OR TO ANY PERSON ON THE SITE DURING CONSTRUCTION OR LATER OCCUPANCY.

INSURANCE

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIABILITY AND COMPREHENSIVE INSURANCE AND FOR WORK DAMAGED BY IMPROPER WORKMANSHIP. THE OWNER SHALL PURCHASE AND MAINTAIN THE OWNER'S USUAL COVERAGE INSURANCE ON THE WORK WHICH INSURES TO THE OWNER'S BENEFIT. OPTIONALLY THE OWNER MAY PURCHASE AND MAINTAIN OTHER INSURANCE FOR SELF-PROTECTION AGAINST CLAIMS WHICH MAY ARISE FROM OPERATIONS DURING CONSTRUCTION.

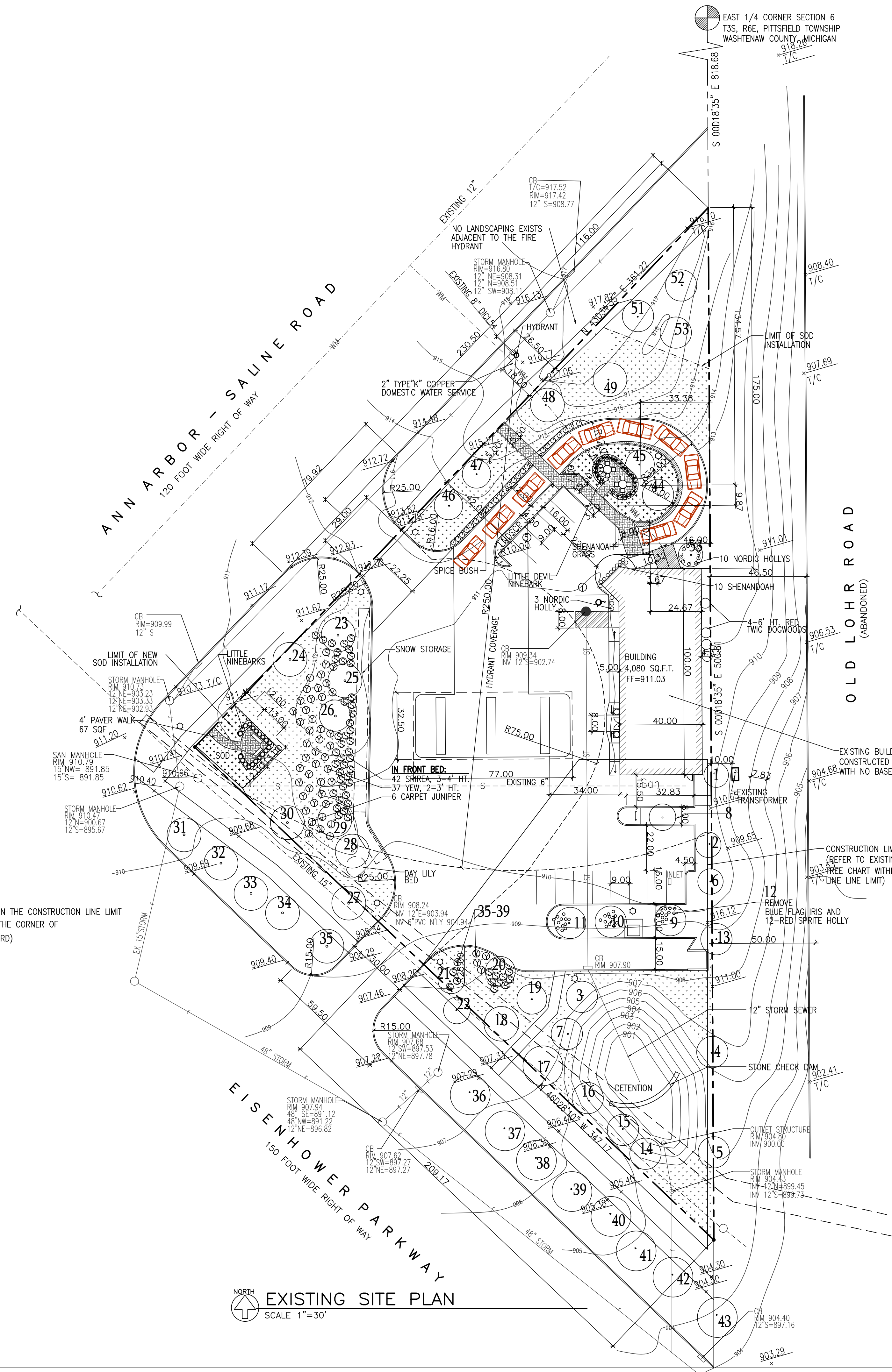
FIELD CONDITIONS

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD CHECKING ALL EXISTING CONDITIONS AND FOR FITTING THEIR WORK TO NEW AND EXISTING WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE ARCHITECT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS A CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE ARCHITECT OF DISCREPANCIES THEREIN.

IN GENERAL, UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ONLY THOSE TREES WITHIN THE BUILDING AREA SHALL BE REMOVED. ALL OTHERS WILL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

EXISTING SCHEDULE OF PLANTS	LM	DBH	CNDS	KEPT/REMOVE
1- 5" SUGAR MAPLE	N	5"	FAIR	1- *KEPT
2- 5" SUGAR MAPLE	N	5"	FAIR	2- *KEPT
3- 6" SPRUCE	N	6"	FAIR	3- *KEPT
4- 6" SPRUCE	N	6"	FAIR	4- *KEPT
5- 6" SPRUCE	N	6"	FAIR	5- *KEPT
6- 6" SUGAR MAPLE	N	6"	FAIR	6- *KEPT
7- 5" SPRUCE	N	5"	GOOD	7- *KEPT
8- SWEET GUM 2" CAL.	N	"	GOOD	8- *KEPT
9- BLACK GUM 2" CAL.	N	"	GOOD	9- *KEPT
10- BLACK GUM 2" CAL.	N	"	FAIR	10- *KEPT
11- BLACK GUM 2" CAL.	N	"	FAIR	11- *KEPT
12- 12 RED HOLLIES	N	"	FAIR	12- *KEPT
13- 8" SPRUCE	N	8"	FAIR	13- *KEPT
14- WHITE SPRUCE	N	"	FAIR	14- *KEPT
15- WHITE SPRUCE	N	"	FAIR	15- *KEPT
16- WHITE SPRUCE	N	"	GOOD	16- *KEPT
17- 7" SUGAR MAPLE	N	7"	FAIR	17- *KEPT
18- 8" CRAB APPLE	N	8"	FAIR	18- *KEPT
19- 12" BIRCH CLUMP	N	"	GOOD	19- *KEPT
20- 12" BIRCH CLUMP	N	"	GOOD	20- *KEPT
21- 12" PINE	N	12"	FAIR	21- *KEPT
22- 10" PINE	N	10"	GOOD	22- *KEPT
23- 8" LINDEN	N	"	FAIR	23- *KEPT
24- 8" LINDEN	N	"	FAIR	24- *KEPT
25- 8" LINDEN	N	"	FAIR	25- *KEPT
26- 6" SPRUCE	N	"	FAIR	26- *KEPT
27- 8" OAK	N	8"	FAIR	27- *KEPT
28- 8" LINDEN	N	8"	FAIR	28- *KEPT
29- 8" LINDEN	N	8"	FAIR	29- *KEPT
30- 8" LINDEN	N	8"	FAIR	30- *KEPT
31- CRAB APPLE	N	"	FAIR	31- *KEPT
31- CRAB APPLE	N	"	FAIR	31- *KEPT
32- CRAB APPLE	N	"	FAIR	32- *KEPT
33- CRAB APPLE	N	"	FAIR	33- *KEPT
34- CRAB APPLE	N	"	FAIR	34- *KEPT
35- SUGAR MAPLE	N	"	FAIR	35- *KEPT
36- CRAB APPLE	N	"	FAIR	36- *KEPT
37- CRAB APPLE	N	"	FAIR	37- *KEPT
38- CRAB APPLE	N	"	FAIR	38- *KEPT
39- SUGAR MAPLE	N	6"	FAIR	39- *KEPT
40- CRAB APPLE	N	"	FAIR	40- *KEPT
41- CRAB APPLE	N	"	FAIR	41- *KEPT
42- 8" LINDEN	N	8"	GOOD	42- *KEPT
43- 8" LINDEN	N	8"	GOOD	43- *KEPT
44- SWEET GUM	N	2"	FAIR	44- *KEPT
45- 5" SUGAR MAPLE	N	5"	FAIR	45- *KEPT
46- 5" SUGAR MAPLE	N	5"	FAIR	46- *KEPT
47- 5" SUGAR MAPLE	N	5"	FAIR	47- *KEPT
48- 6" SUGAR MAPLE	N	6"	FAIR	48- *KEPT
49- 6" SUGAR MAPLE	N	6"	FAIR	49- *KEPT
50- 6" SPRUCE	N	6"	FAIR	50- *KEPT
51- 6" SPRUCE	N	6"	FAIR	51- *KEPT
52- 6" SPRUCE	N	6"	FAIR	52- *KEPT
53- 5" SUGAR MAPLE	N	5"	FAIR	53- *KEPT

#23-26 ON CHART ARE NOT INCLUDED WITHIN THE CONSTRUCTION LINE LIMIT (REFERENCE LANDSCAPE ISLAND THAT IS IN THE CORNER OF EISENHOWER PKWY AND ANN ARBOR-SALINE RD)



LEGEND

- S-S- PROPOSED STORM
- W-W- PROPOSED WATER
- G-G- PROPOSED GAS
- San- PROPOSED SANITARY
- San- EXISTING SANITARY
- W-W- EXISTING WATER
- OH- EXISTING OH WIRES
- G-G- EXISTING GAS
- T/A- EXISTING GRADE
- T/C- TOP OF ASPHALT
- T/G- TOP OF CURB
- T/W- TOP OF GUTTER
- HYDRANT
- STRUCTURE
- EXISTING LIGHT POST
- SOD
- GRASS
- PAVED AREA
- EXISTING TREE

EXISTING SITE PLAN
SCALE 1"=30'



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GENERAL NOTES

SPECIAL CONDITIONS

THE OWNER, GENERAL CONTRACTOR, EACH INDIVIDUAL SUBCONTRACTOR AND MATERIALMAN AGREE TO SAVE THE ARCHITECT HARMLESS, AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF ACTS OR OMISSIONS BY SAID OWNER, CONTRACTORS AND/OR MATERIALMEN DURING THE PERFORMANCE OF THEIR WORK.

ALL WORK WILL PROCEED IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL SAFETY CODES, STATUTES AND RECOGNIZED STANDARDS.

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INSURANCE

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIABILITY AND COMPREHENSIVE INSURANCE AND FOR WORK DAMAGED BY IMPROPER WORKMANSHIP. THE OWNER SHALL PURCHASE AND MAINTAIN THE OWNER'S USUAL COVERAGE INSURANCE ON THE WORK WHICH INSURES TO THE OWNER'S BENEFIT. OPTIONALLY THE OWNER MAY PURCHASE AND MAINTAIN OTHER INSURANCE FOR SELF-PROTECTION AGAINST CLAIMS WHICH MAY ARISE FROM OPERATIONS DURING CONSTRUCTION.

FIELD CONDITIONS

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD CHECKING ALL EXISTING CONDITIONS AND FOR FITTING THEIR WORK TO NEW AND EXISTING WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE ARCHITECT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS A CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE ARCHITECT OF DISCREPANCIES THEREIN.

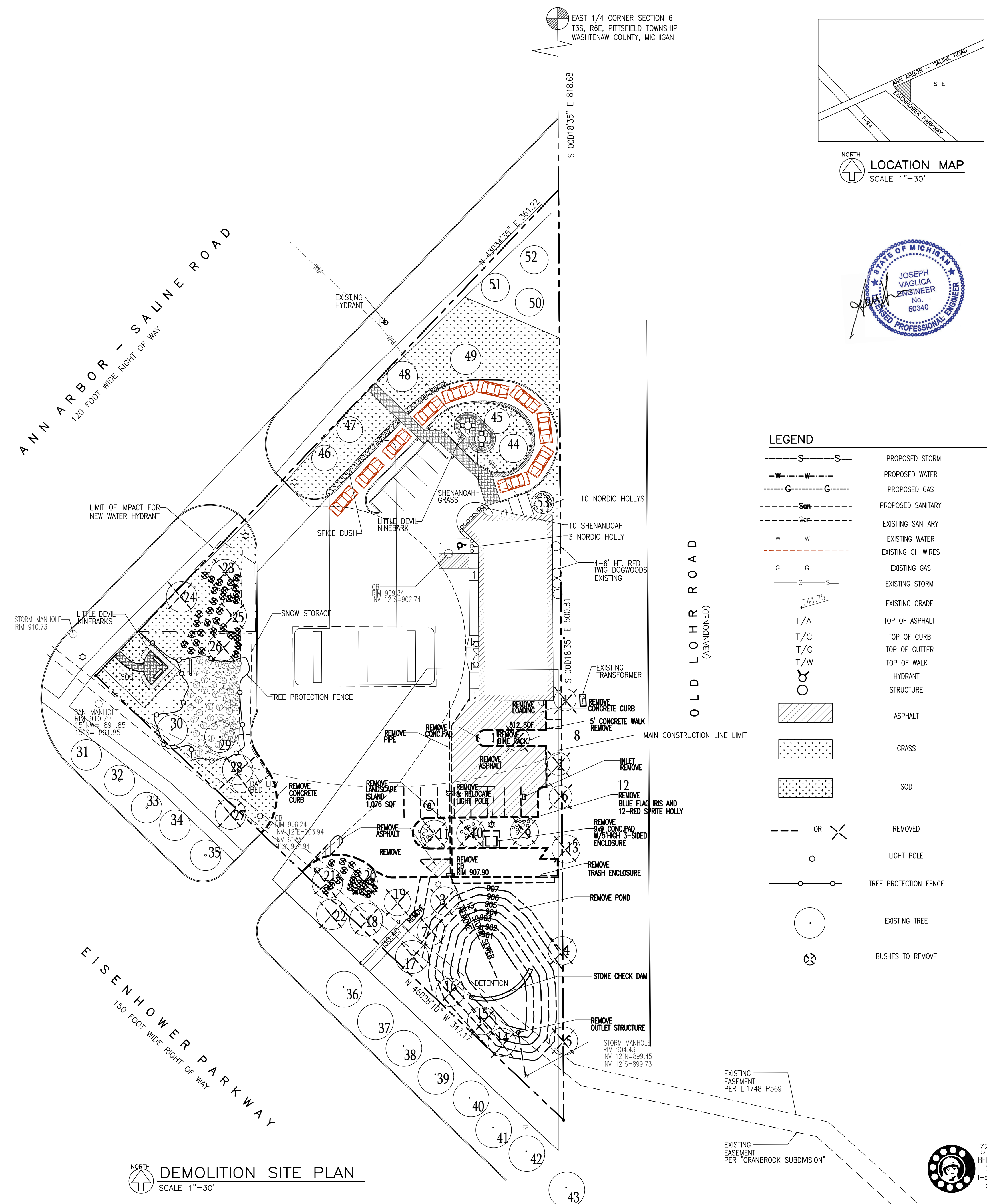
IN GENERAL, UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ONLY THOSE TREES WITHIN THE BUILDING AREA SHALL BE REMOVED. ALL OTHERS WILL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 6, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE S 00°18'35"E 818.93 FEET ALONG THE EAST LINE OF SAID SECTION TO A POINT ON THE SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S 00°18'35"E 500.81 FEET ALONG SAID EAST LINE AND THE CENTER LINE VACATED LOHR ROAD TO A POINT ON THE NORTHERLY LINE OF EISENHOWER PARKWAY; THENCE N 46°28'10"W 347.17 FEET ALONG THE NORTHERLY LINE OF SAID EISENHOWER PARKWAY TO THE INTERSECTION WITH SAID SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD; THENCE N 43°34'35"E 361.22 FEET ALONG SAID SOUTHERLY LINE TO THE PLACE OF BEGINNING; CONTAINING 1.44 ACRES OF LAND, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

EXISTING SCHEDULE OF PLANTS	LM	DBH	CNDS	KEPT/REMOVE
1- 5" SUGAR MAPLE	N	5"	FAIR	1- REMOVE
2- 5" SUGAR MAPLE	N	5"	FAIR	2- REMOVE
3- 6" SPRUCE	N	6"	FAIR	3- REMOVE
4- 6" SPRUCE	N	6"	FAIR	4- REMOVE
5- 6" SPRUCE	N	6"	FAIR	5- REMOVE
6- 6" SUGAR MAPLE	N	6"	FAIR	6- REMOVE
7- 5" SPRUCE	N	5"	GOOD	7- REMOVE
8- SWEET GUM 2" CAL.	N	"	GOOD	8- REMOVE
9- BLACK GUM 2" CAL.	N	"	GOOD	9- REMOVE
10- BLACK GUM 2" CAL.	N	"	FAIR	10- REMOVE
11- BLACK GUM 2" CAL.	N	"	FAIR	11- REMOVE
12- 12 RED HOLLYS	N	"	FAIR	12- REMOVE
13- 8" SPRUCE	N	8"	FAIR	13- REMOVE
14- WHITE SPRUCE	N	"	FAIR	14- REMOVE
15- WHITE SPRUCE	N	"	FAIR	15- REMOVE
16- WHITE SPRUCE	N	"	GOOD	16- REMOVE
17- 7" SUGAR MAPLE	N	7"	FAIR	17- REMOVE
18- 8" CRAB APPLE	N	8"	FAIR	18- REMOVE
19- 12" BIRCH CLUMP	N	"	GOOD	19- REMOVE
20- 12" BIRCH CLUMP	N	"	GOOD	20- REMOVE
21- 12" PINE	N	12"	FAIR	21- REMOVE
22- 10" PINE	N	10"	GOOD	22- REMOVE
23- 8" LINDEN	N	"	FAIR	23- REMOVE
24- 8" LINDEN	N	"	FAIR	24- REMOVE
25- 8" LINDEN	N	"	FAIR	25- REMOVE
26- 6" SPRUCE	N	"	FAIR	26- REMOVE
27- 8" OAK	N	8"	FAIR	27- REMOVE
28- 8" LINDEN	N	8"	FAIR	28- REMOVE
29- 8" LINDEN	N	8"	FAIR	29- KEPT
30- 8" LINDEN	N	8"	FAIR	30- KEPT
31- CRAB APPLE	N	"	FAIR	31- KEPT
31- CRAB APPLE	N	"	FAIR	31- KEPT
32- CRAB APPLE	N	"	FAIR	32- KEPT
33- CRAB APPLE	N	"	FAIR	33- KEPT
34- CRAB APPLE	N	"	FAIR	34- KEPT
35- SUGAR MAPLE	N	"	FAIR	35- KEPT
36- CRAB APPLE	N	"	FAIR	36- KEPT
37- CRAB APPLE	N	"	FAIR	37- KEPT
38- CRAB APPLE	N	"	FAIR	38- KEPT
39- SUGAR MAPLE	N	6"	FAIR	39- KEPT
40- CRAB APPLE	N	"	FAIR	40- KEPT
41- CRAB APPLE	N	"	FAIR	41- KEPT
42- 8" LINDEN	N	8"	GOOD	42- KEPT
43- 8" LINDEN	N	8"	GOOD	43- KEPT
44- SWEET GUM	N	2"	FAIR	44- KEPT
45- 5" SUGAR MAPLE	N	5"	FAIR	45- KEPT
46- 5" SUGAR MAPLE	N	5"	FAIR	46- KEPT
47- 5" SUGAR MAPLE	N	5"	FAIR	47- KEPT
48- 6" SUGAR MAPLE	N	6"	FAIR	48- KEPT
49- 6" SUGAR MAPLE	N	6"	FAIR	49- KEPT
50- 6" SPRUCE	N	6"	FAIR	50- KEPT
51- 6" SPRUCE	N	6"	FAIR	51- KEPT
52- 6" SPRUCE	N	6"	FAIR	52- KEPT
53- 5" SUGAR MAPLE	N	5"	FAIR	53- KEPT

#23-26 ON CHART ARE NOT INCLUDED WITHIN THE CONSTRUCTION LINE LIMIT (REFERENCE LANDSCAPE ISLAND THAT IS IN THE CORNER OF EISENHOWER PKWY AND ANN ARBOR-SALINE RD)



LEGEND

- S---S--- PROPOSED STORM
- W---W--- PROPOSED WATER
- G---G--- PROPOSED GAS
- San--- PROPOSED SANITARY
- W---W--- EXISTING WATER
- G---G--- EXISTING GAS
- S---S--- EXISTING STORM
- San--- EXISTING SANITARY
- G---G--- EXISTING OH WIRES
- S---S--- EXISTING GRADE
- T/A TOP OF ASPHALT
- T/C TOP OF CURB
- T/G TOP OF GUTTER
- T/W TOP OF WALK
- HYDRANT
- STRUCTURE
- ASPHALT
- GRASS
- SOD
- REMOVED
- LIGHT POLE
- TREE PROTECTION FENCE
- EXISTING TREE
- BUSHES TO REMOVE

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 12544-49266
 (734)43693-0892

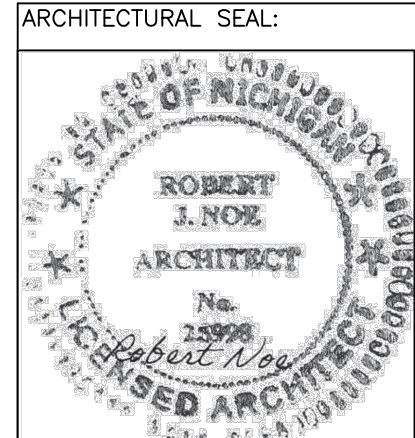
QUATRO CONSTRUCTION LLC
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 YPSILANTI, MI. 48198
 PHONE (734)485-7737, FAX (734)485-7873

SHELL GAS STATION
 2679 ANN ARBOR SALINE RD
 ANN ARBOR MI

ISSUE DATE

08/08/17	REV 1
10/23/18	REV 10/19
12/11/18	REV 12/17/19
1/9/19	
2/22/19	
2/27/19	
3/19/19	
4/22/19	
4/23/19	
5/02/19	
5/17/19	

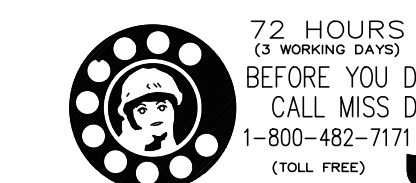
DRAWN BY: K.C./V.L.
 CHECKED BY: T.O.
 APPROVED BY: T.O.



PROJECT NO.: 2686

SHEET TITLE: DEMOLITION SITE PLAN

SHEET NO.: C2



GENERAL NOTES

SPECIAL CONDITIONS

THE OWNER, GENERAL CONTRACTOR, EACH INDIVIDUAL SUBCONTRACTOR AND MATERIALMAN AGREE TO WAIVE THE ARCHITECT HARMLESS, AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF ACTS OR OMISSIONS BY SAID OWNER, CONTRACTORS AND/OR MATERIALMEN DURING THE PERFORMANCE OF THEIR WORK.

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CITY STANDARDS

PER CHAPTER 49, SECTION 4-58 OF THE CITY CODE, ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

SITE RESPONSIBILITIES

THE SITE IS RESPONSIBLE FOR OPENING AND CLOSING ENCLOSURES AND MOVING CONTAINERS ON SERVICE DAYS.

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	VARIANCE	
				EXIST TO PROPOSED	NO CHANGE
ZONING	PUD/C1B	PUD/C1B	PUD/C1B		NO CHANGE
FRONT YARD-BLDG	10	88.55	88.55		NO CHANGE
SIDE YARD	0	132.17	58.00		
REAR YARD	0	4.33	4.33		NO CHANGE
LOADING	15.5x32.83				VARIANCE
PARKING	32 MIN	14	38		NO VARIANCE
PARKING SPACE	9x18(9x16*)	9x16	9x18		
HC PARKING	1	1	3		
PARKING AISLE	22	22	22		NO CHANGE
BICYCLE PARKING	3	1	3		
MAXIMUM HEIGHT	50	27	25		
STORIES	4	1	2		
FLOOR AREA		4,080	4,740		
LOT SIZE		62,809.1 SQF 1.44 ACRE	62,809.1 SQF 1.44 ACRE		NO CHANGE
MAX USABLE FLOOR AREA IN % OF LOT AREA	40%	6.5%	12%		

* 16' LONG IF 2' OF OVERHANG IS PROVIDED WHEN PARKING AGAINST THE CURB

BYCICLES PARKING CALCULATION

EXISTING RETAIL 3080/3000= 1.03 SPACES
 EXISTING STATION 0 SPACES
 PROPOSED RETAIL 3,645/3000 1.2 SPACE
 BICYCLE PARKING REQUIRED **3 SPACES**

VEHICLE & BICYCLE PARKING SIZE

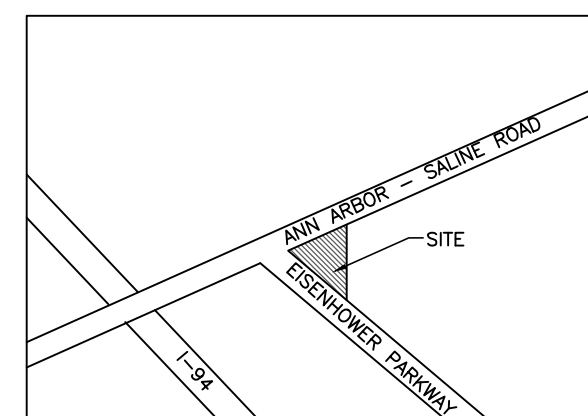
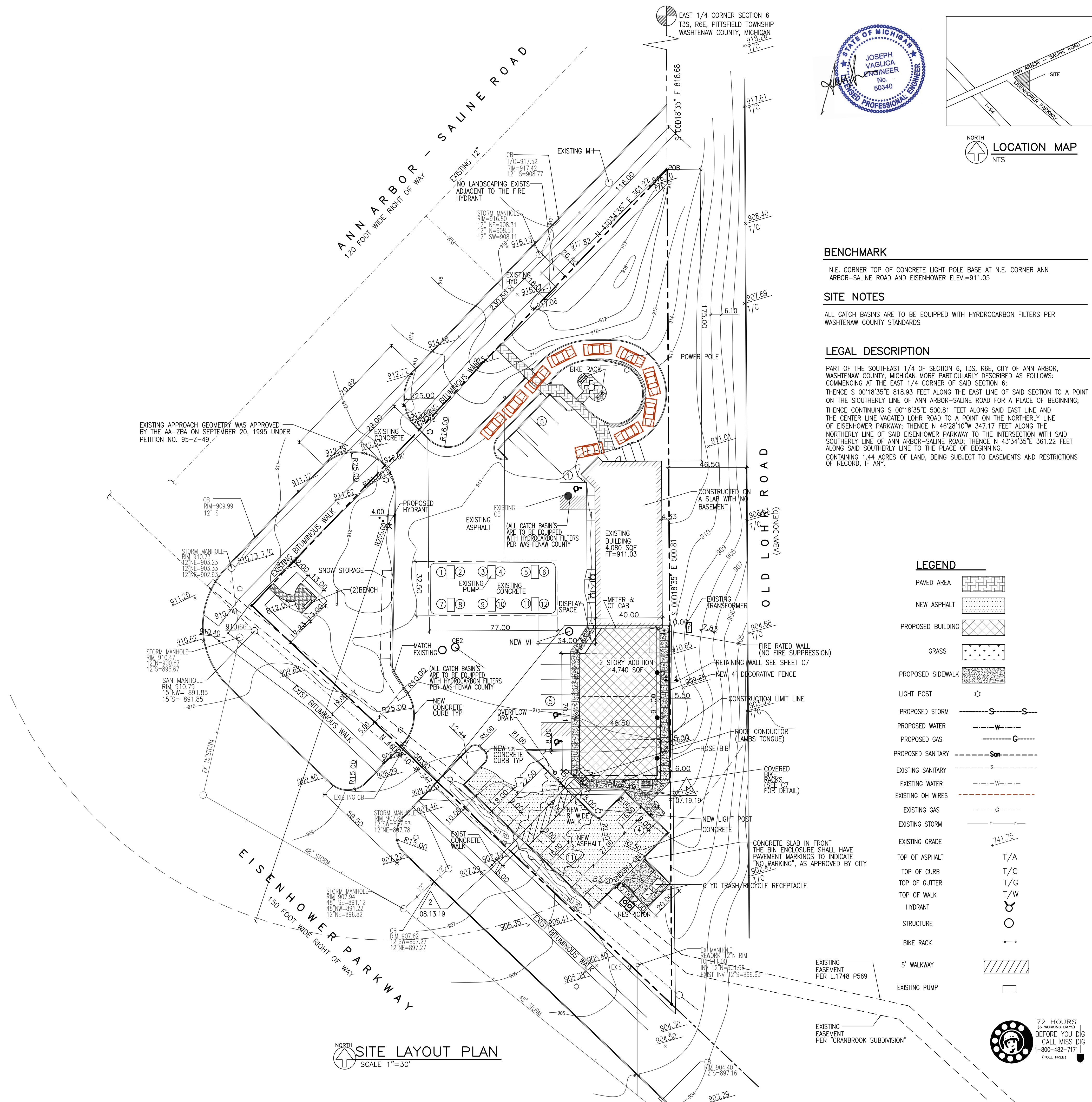
VEHICLE PARKING STALL 9' WIDE X 18' DEPTH (16' LONG, IF 2' OF OVERHANG IS PROVIDED WHEN PARKING AGAINST A CURB)
 BICYCLE PARKING STALL 2' WIDE X 6' DEPTH W/ 3' MIN. CLEAR ACCESS AISLE WIDTH.

EXISTING PARKING CALCULATIONS

RESTAURANT 680/100= 7 SPACES
 FUELING STATION 1000/200= 5 SPACES
 RETAIL 2400/310= 8 SPACES

PROPOSED PARKING CALCULATIONS

RETAIL 3645/310= 12 SPACES
 OFFICE 478/333= 2 SPACES
 STORAGE 616.81/2000= 1 SPACES
 TOTAL REQUIRED **15 SPACES**
 GRAND TOTAL **35 SPACES**



BENCHMARK

N.E. CORNER TOP OF CONCRETE LIGHT POLE BASE AT N.E. CORNER ANN ARBOR-SALINE ROAD AND EISENHOWER ELEV.=911.05

SITE NOTES

ALL CATCH BASINS ARE TO BE EQUIPPED WITH HYDROCARBON FILTERS PER WASHTENAW COUNTY STANDARDS

LEGAL DESCRIPTION

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LEGEND

- PAVED AREA [Symbol]
- NEW ASPHALT [Symbol]
- PROPOSED BUILDING [Symbol]
- GRASS [Symbol]
- PROPOSED SIDEWALK [Symbol]
- LIGHT POST [Symbol]
- PROPOSED STORM [Symbol]
- PROPOSED GAS [Symbol]
- PROPOSED SANITARY [Symbol]
- EXISTING SANITARY [Symbol]
- EXISTING WATER [Symbol]
- EXISTING OH WIRES [Symbol]
- EXISTING GAS [Symbol]
- EXISTING STORM [Symbol]
- EXISTING GRADE [Symbol]
- TOP OF ASPHALT T/A
- TOP OF CURB T/C
- TOP OF GUTTER T/G
- TOP OF WALK T/W
- HYDRANT [Symbol]
- STRUCTURE [Symbol]
- BIKE RACK [Symbol]
- 5' WALKWAY [Symbol]
- EXISTING PUMP [Symbol]

SITE LAYOUT PLAN
SCALE 1"=30'

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ROBERT NOE
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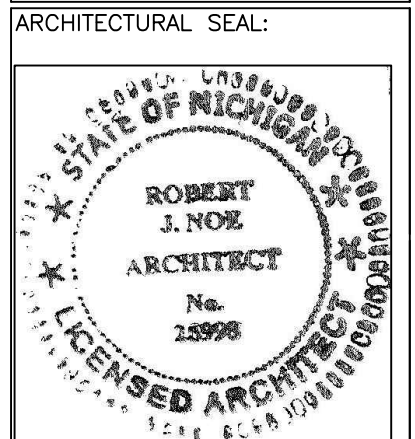
QUATRO CONSTRUCTION LLC
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YPSILANTI, MI 48198
PHONE (734) 485-7737, FAX (734) 485-7873

SHELL GAS STATION
2679 ANN ARBOR SALINE RD
ANN ARBOR MI

ISSUE DATE

5/31/18		5/06/19
9/19/18		5/21/19
10/02/18	2/28/19	7/08/19
10/24/18	3/1/19	7/11/19
10/30/18	3/05/19	7/15/19
11/08/18	3/12/19	7/22/19
11/09/18	3/22/19	8/5/19
12/11/18	3/28/19	8/30/19
1/9/19	4/19/19	
1/25/19	4/24/19	
2/5/19	5/02/19	

DRAWN BY: K.C./V.L.
 CHECKED BY: T.Q.
 APPROVED BY: T.Q.



PROJECT NO.: 2686
 SHEET TITLE:

SITE LAYOUT PLAN

SHEET NO.: C3

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOLL FREE)

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ROBERT NOE ARCHITECTURE ARCHITECTURE REGISTERED PROFESSIONAL ENGINEER No. 50340 201 N PARK STREET YPSILANTI, MI 48198 (734) 485-0852

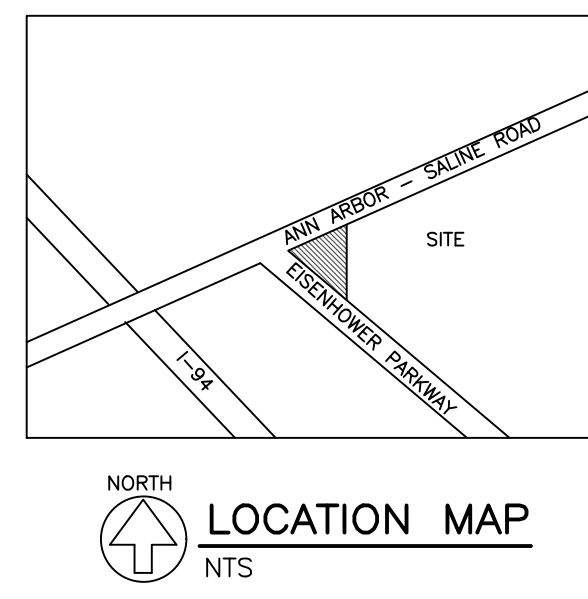
QUATRO CONSTRUCTION LLC *DESIGN BUILD CONTRACTOR* COMMERCIAL/INDUSTRIAL/RESIDENTIAL 201 NORTH PARK STREET YPSILANTI, MI 48198 PHONE (734) 485-7737 FAX (734) 485-7873

SHELL GAS STATION 2679 ANN ARBOR SALINE RD ANN ARBOR MI

ISSUE DATE	DATE
5/31/18	5/06/19
9/19/18	5/21/19
10/02/18	7/28/19
10/24/18	3/1/19
10/30/18	3/05/19
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11/09/18	3/22/19
12/11/18	3/28/19
1/9/19	4/19/19
1/25/19	4/24/19
2/5/19	5/02/19

DRAWN BY: K.C./V.L. CHECKED BY: T.Q. APPROVED BY: T.Q. ARCHITECTURAL SEAL: ROBERT NOE ARCHITECT No. 28996

PROJECT NO.: 2686 SHEET TITLE: SITE DRAINAGE & UTILITY PLAN SHEET NO.: C4



STORM DETENTION NARRATIVE:
THE EXISTING STORM WATER IS DIRECTED TO A STORM WATER DETENTION BASIN WITH AN OUTLET RESTRICTOR. TOTAL SITE IS 1.44 AC WITH 32,063 SFT OR .74 AC OF IMPERVIOUS AREA AND REQUIRES 11,375 C.F. OF STORAGE. WE HAD A PERK TEST PERFORMED BY "APPLIED GEOTECHNICAL SERVICES", INDICATING THAT THE EXISTING CONDITIONS WERE NOT CONDUCTIVE TO INFILTRATION. THE NEW PROJECT HAS INCREASED THE IMPERVIOUS AREA BY 17,615 SFT, OR .40 AC. THIS INCREASES THE DETENTION VOLUME TO 19,150 CFT. WE PROPOSED TO ACHIEVE THIS BY INSTALLING A COMPLETELY ENCLOSED UNDERGROUND SYSTEM WITH A OUTLET STRUCTURE AS DETAILED ON PLAN.

SITE NOTES
ALL CATCH BASIN ARE TO BE EQUIPPED WITH HYDROCARBON FILTERS PER WASHTENAW COUNTY STANDARDS

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PER CHAPTER 49, SECTION 4-58 OF THE CITY CODE, ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

LEGEND

---	PROPOSED STORM
-W-W-	PROPOSED WATER
-C-C-	PROPOSED GAS
-S-S-	PROPOSED SANITARY
-S-S-	EXISTING SANITARY
-W-W-	EXISTING WATER
-C-C-	EXISTING OH WIRES
-G-G-	EXISTING GAS
-S-S-	EXISTING STORM
-S-S-	EXISTING GRADE
T/A	TOP OF ASPHALT
T/C	TOP OF CURB
T/G	TOP OF CUTTER
T/W	TOP OF WALK
○	HYDRANT
□	STRUCTURE
○	LIGHT POST
○	BIKE RACK

EASEMENT "B"
A sanitary sewer easement of varying width being a part of the S.W. 1/4 of Section 5 and the S.E. 1/4 of Section 6, City of Ann Arbor, Washtenaw County, Michigan, described as follows:
Commencing at the S. 1/4 corner of Section 5, T.3S., R.6E., City of Ann Arbor, Washtenaw County, Michigan; and proceeding thence S 86° 38' 10" W 722.68 feet along the south line of said section and thence S 21° 50' W 25.18 feet to the point of beginning, proceeding along the arc of a curve to the right having a radius of 1543.95 feet passing through a central angle of 64° 29' 57" with a long chord bearing S 70° 18' 39" W 1244.87 feet; thence S 48° 01' 40" W 1235.59 feet; thence S 61° 10' E 3.52 feet; thence S 51° 38' 00" E 359.92 feet; thence S 77° 31' 25" E 139.93 feet; thence S 49° 01' 40" E 603.03 feet; thence S 49° 57' 53" E 305.77 feet; thence S 67° 55' 14" E 248.86 feet; thence S 90° 51' 24" E 269.26 feet; thence S 69° 11' 09" E 397.13 feet; thence S 78° 43' 14" E 381.54 feet; thence S 43° 00' 00" E 85.02 feet to point of beginning.
Also, a 50-foot wide temporary construction easement lying north of the above described sanitary sewer easement, said temporary easement to revert back to the owner upon City acceptance of the sanitary sewer.
PER LIBER 1784, PAGE 569

ALSO A 50 FT WIDE TEMPORARY CONSTRUCTION EASEMENT LYING NORTH OF THE ABOVE DESCRIBED SANITARY SEWER EASEMENT, SAID TEMPORARY EASEMENT TO REVERT BACK TO THE OWNER UPON CITY ACCEPTANCE OF THE SANITARY SEWER.

EXHIBIT B
ANN ARBOR-SALINE ROAD
ANN ARBOR, MICHIGAN

T.S. QUATRO COMPANY
DESIGN BUILD CONTRACTOR
COMMERCIAL/INDUSTRIAL/RESIDENTIAL
201 NORTH PARK STREET
YPSILANTI, MI 48198
PHONE (734) 485-7737
FAX (734) 485-7873

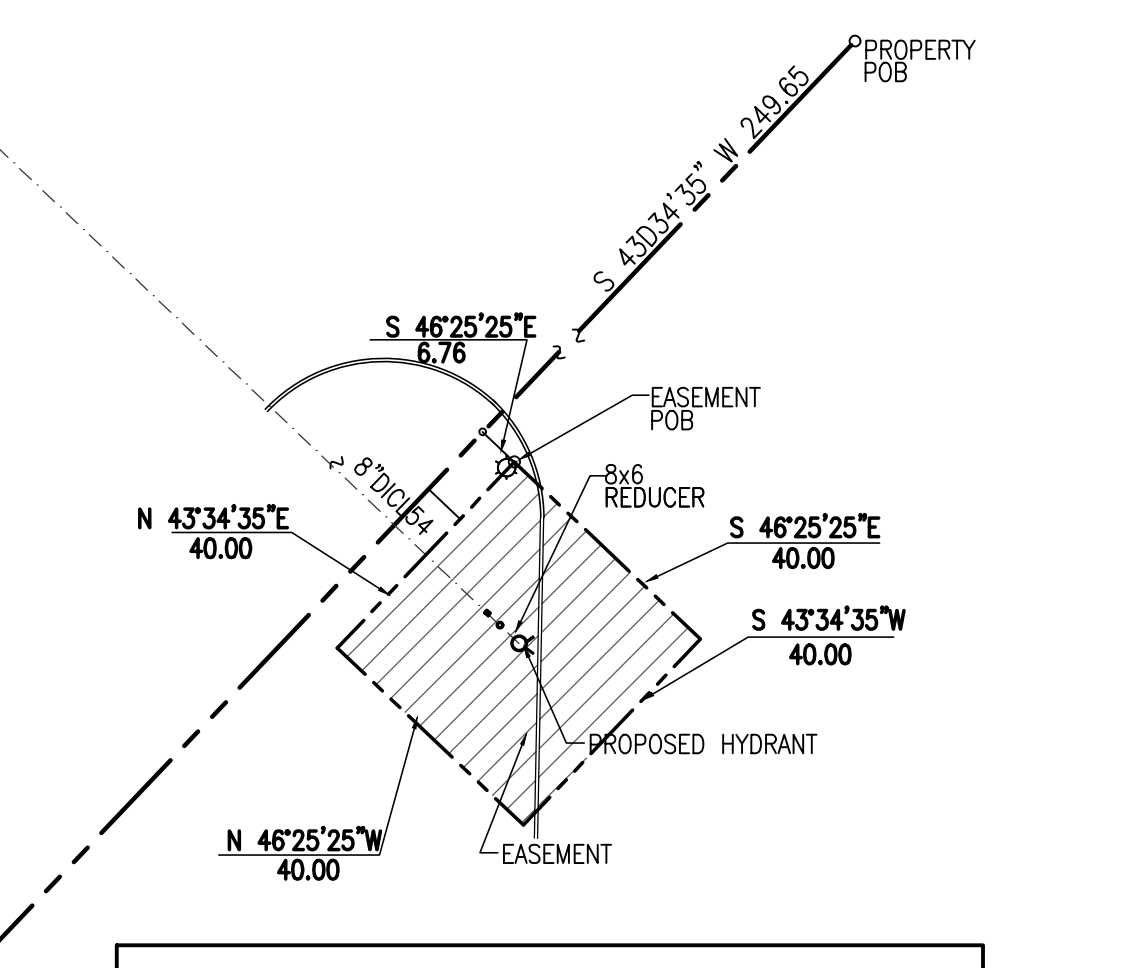
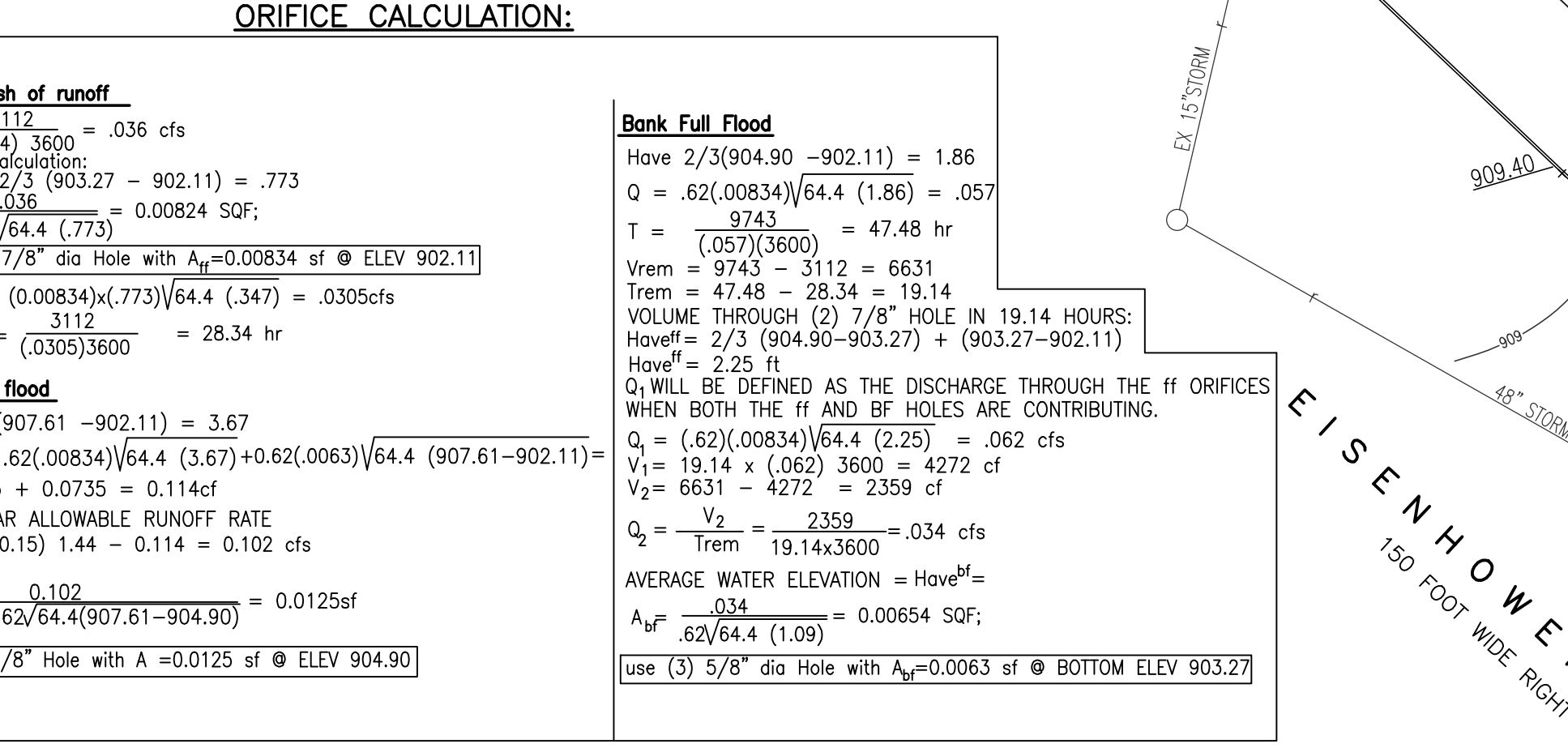
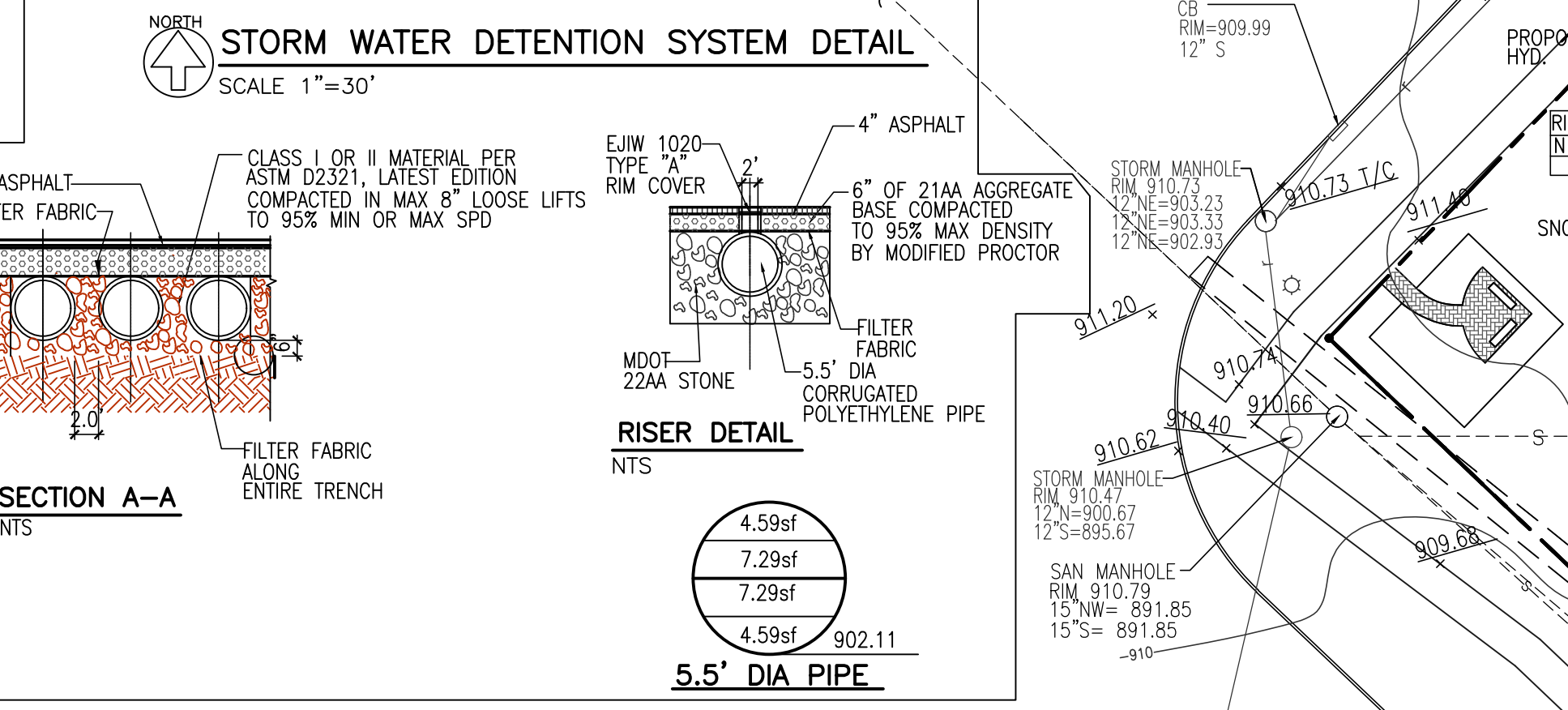
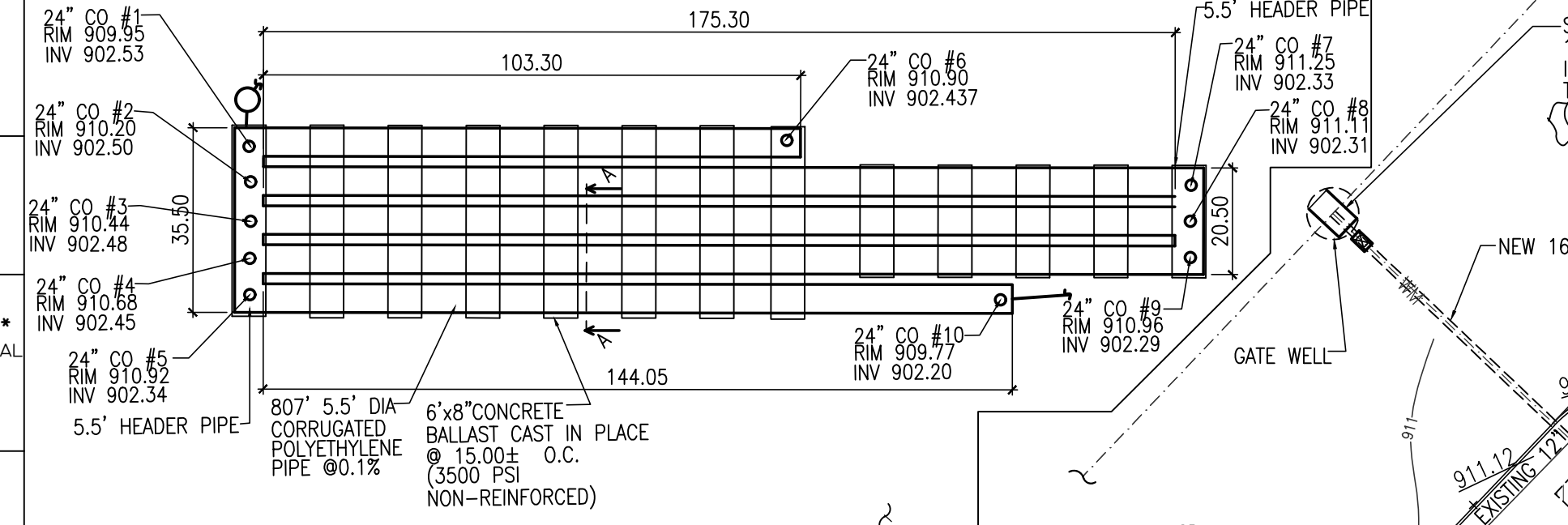
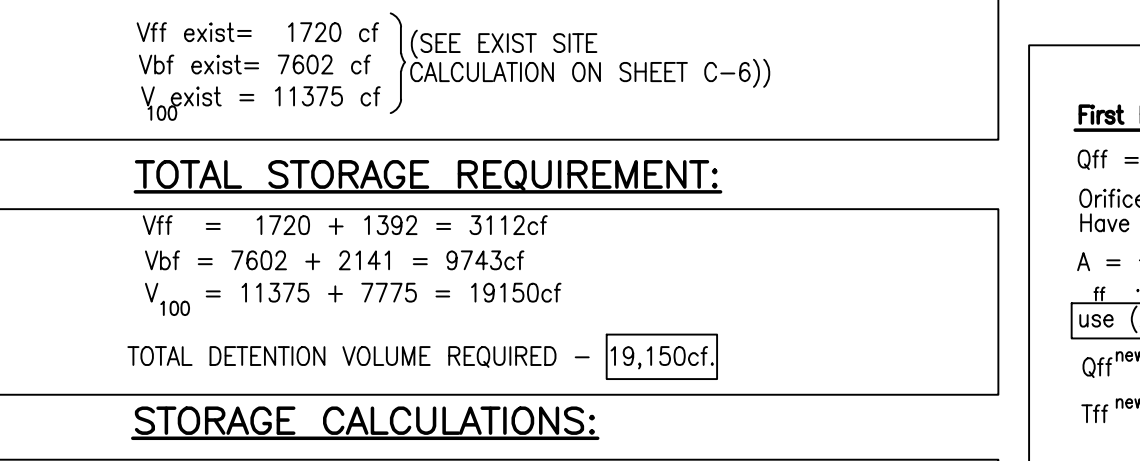
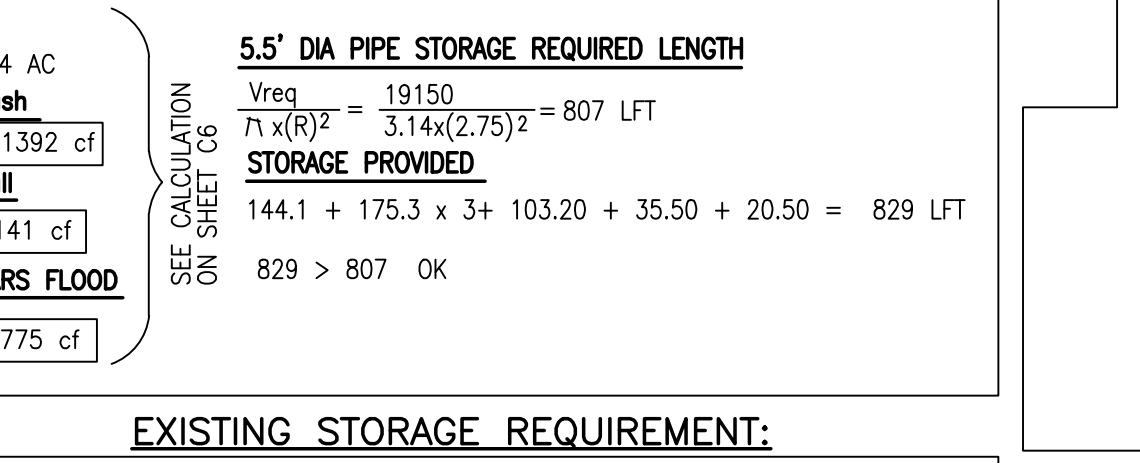
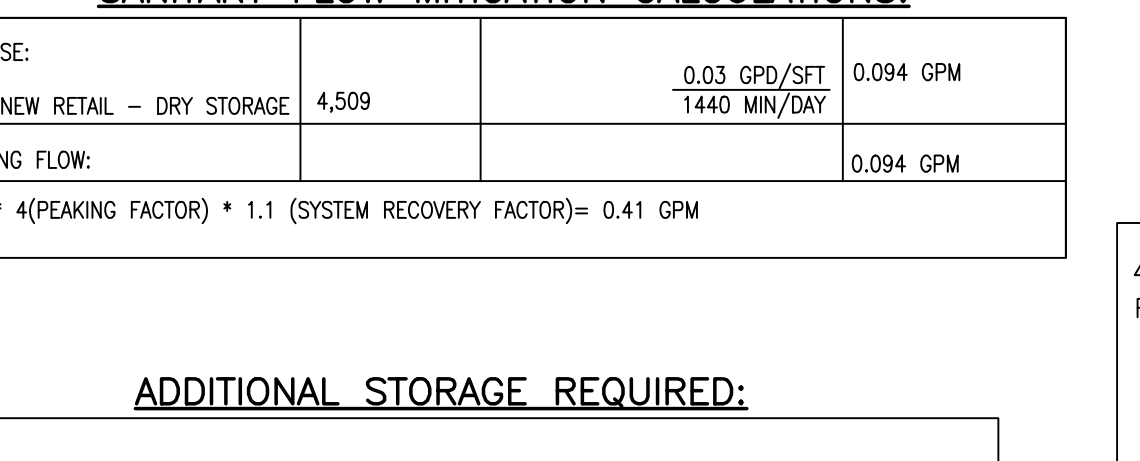
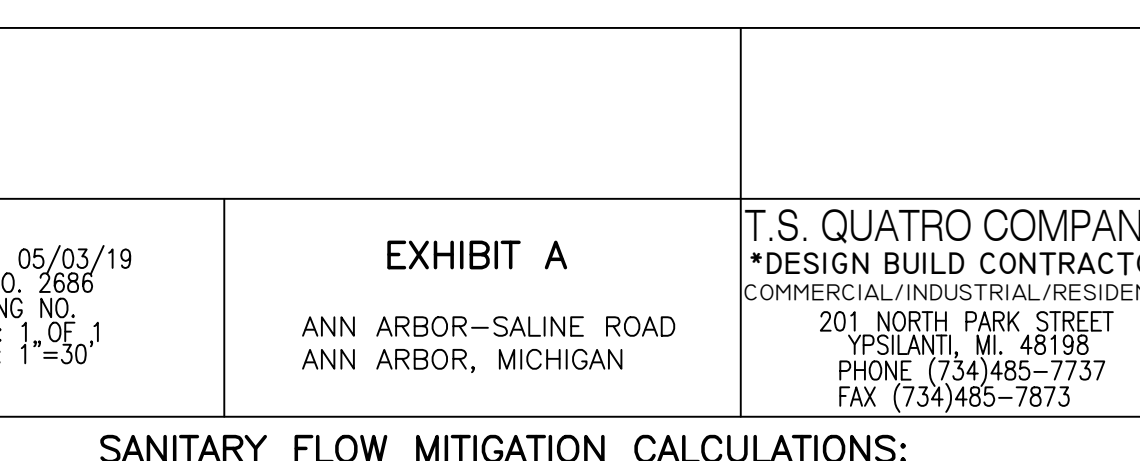


EXHIBIT A
ANN ARBOR-SALINE ROAD
ANN ARBOR, MICHIGAN

T.S. QUATRO COMPANY
DESIGN BUILD CONTRACTOR
COMMERCIAL/INDUSTRIAL/RESIDENTIAL
201 NORTH PARK STREET
YPSILANTI, MI 48198
PHONE (734) 485-7737
FAX (734) 485-7873



STORAGE CALCULATIONS:

Elevation	Depth	Volume	Total
902.11	0	0	0
RESTR INV			
903.49	1.375	4.59x807=3704	3704
904.86	1.375	7.29x807=5883	9587
906.24	1.375	7.29x807=5883	15470
907.61	1.375	4.59x807=3704	19174
19150-REQUIRED > 19174-PROVIDED			
X100 = 907.61			



SITE DRAINAGE & UTILITY PLAN
SCALE 1"=30"

72 HOURS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOL FREE)

STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN

- 1. RESPONSIBILITY FOR MAINTENANCE**
- DURING CONSTRUCTION**, IT IS THE DEVELOPER'S RESPONSIBILITY TO PERFORM THE MAINTENANCE.
 - FOLLOWING CONSTRUCTION**, IT WILL BE THE RESPONSIBILITY OF "OWNER" TO PERFORM THE MAINTENANCE.
 - THE MASTER DEED WILL SPECIFY** THAT ROUTINE MAINTENANCE OF THE STORMWATER FACILITIES MUST BE COMPLETED WITHIN DAYS OF RECEIPT OF WRITTEN NOTIFICATION THAT ACTION IS REQUIRED, UNLESS OTHER ACCEPTABLE ARRANGEMENTS ARE MADE WITH THE WASHTENAW COUNTY COMMISSIONER OR SUCCESSORS. EMERGENCY MAINTENANCE (I.E. WHEN THERE IS ENDANGERMENT TO PUBLIC HEALTH, SAFETY OR WELFARE) SHALL BE PERFORMED IMMEDIATELY UPON RECEIPT OF WRITTEN NOTICE. SHOULD "OWNER" FAIL TO ACT WITHIN THESE TIME FRAMES,

- THE COUNTY OR SUCCESSORS MAY PERFORM THE NEEDED MAINTENANCE AND ACCESS THE COSTS AGAINST "OWNER".
- SOURCE OF FINANCING**
"OWNER" IS REQUIRED TO PAY FOR ALL MAINTENANCE ACTIVITIES ON A CONTINUING BASIS.
 - MAINTENANCE TASKS AND SCHEDULE.**
 - SEE THE CHARTS THIS PAGE.
 - IMMEDIATELY FOLLOWING CONSTRUCTION, THE DEVELOPER WILL HAVE THE STORMWATER MANAGEMENT SYSTEM INSPECTED BY AN ENGINEER TO VERIFY GRADES OF THE DETENTION AND FILTRATION AREAS AND MAKE RECOMMENDATIONS. FOR ANY NECESSARY SEDIMENT.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES LEGEND

1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVISION. STOCKPILE SHOULD BE TEMPORARILY SEEDED.
13	RIP-RAP	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED, EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS. PERMITS RUNOFF TO INFILTRATE SOIL. DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS.
14	AGGREGATE COVER	STABILIZES SOIL SURFACE THUS MINIMIZING EROSION. PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREA FROM LEAVING PAVED SURFACE. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
18	DIVERSION BERM	DIVERTS WATER FROM VULNERABLE AREAS. COLLECTS AND DIRECTS WATER TO PREPARED DRAINAGEWAYS. MAY BE PLACED AS PART OF NORMAL CONSTRUCTION OPERATION.
39	ROCK FILTER	CAN UTILIZE MATERIAL FOUND ON SITE. EASY TO CONSTRUCT. FILTERS SEDIMENT FROM RUNOFF.
54	SILT FENCE	FILTERS AND DETAINS RUNOFF.

PROPOSED CONSTRUCTION SCHEDULE

ACTIVITY	TIME
PRE-GRADING MEETING	1 DAY
INSTALL SOIL EROSION	2 DAY
DEMOLITION	3 DAY
ROUGH GRADE SITE	1 W
PLACE DETENTION	2 W
DIG FOUNDS FOR BUILD/DUMP	1 DAY
INSTALL STORM CEPTOR	2 DAY
PLACE BUILDING FOUNDATIONS	1 DAY
PLACE CANOPY FOUNDATIONS	1 DAY
PREP SITE	2 DAY
FORM & POUR CONCRETE	2 DAY
BLOCK DUMPSTER	5 DAY
TIE INTO & ABANDON UTILITIES	3 DAYS
FINAL GRADE	2 DAY
PLACE STONE FOR CONCRETE	2 DAY
PLACE CONCRETE & CAULK	3 DAY
INSTALL STEEL	2 W
BLOCK BUILDING	10 DAY
FRAMING BUILD	3 W
INSTALL PERIMETER FENCE S&W	2 DAY
INSTALL IRRIGATION	2 DAY
LANDSCAPE	2 DAY
INSTALL ROOF	3 DAY
SEED DISTURBED AREA	1 DAY
CLEAN SITE	1 DAY
REMOVE SILT FENCE (AFTER GROWTH OF 90%)	21 DAYS

82 CALENDAR DAYS

PERMANENT MAINTENANCE TASKS & SCHEDULE

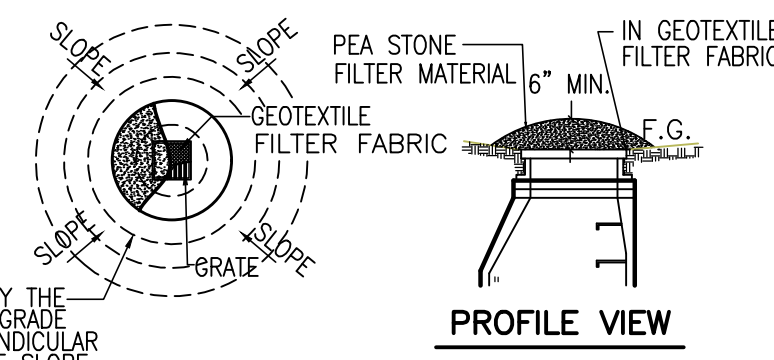
	COMPONENTS							SCHEDULE
	CATCH BASIN INLET CASINGS	DITCHES & SWALES	OUTFLOW CONTROL STRUCTURE	FILTRATION BASINS	STORM DETENTION AREAS	HYDROCARBON FILTERS		
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	ANNUALLY	
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	EVERY 2 YEARS AS NEEDED	
INSPECT FOR FLOATABLES & DEBRIS	X	X	X	X	X	X	ANNUALLY	
CLEANING OF FLOATABLES & DEBRIS INSPECTION	X	X	X	X	X	X	ANNUALLY	
FOR EROSION	X	X	X	X	X	X	0 TO 2 TIMES PER YEAR	
MOWING	X	X	X	X	X	X	ANNUALLY	
INSPECT STORMWATER SYSTEM COMPONENTS DURING WET WEATHER & COMPARE TO AS-BUILT PLANS(BY PROFESSIONAL ENGINEER REPORTING TO "CIRCLE K")	X	X	X	X	X	X	ANNUALLY	
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL INSPECTION WET WEATHER	X	X	X	X	X	X	AS NEEDED	
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO "SHELL STATION"	X	X	X	X	X	X	ANNUALLY	

LOW POINT INLET FILTER

DEFINITION: A LOW POINT INLET FILTER IS A COMBINATION OF GEOTEXTILE FILTER FABRIC, PEA GRAVEL AND SCARIFICATION AROUND THE GRATE OF A LOW POINT INLET STRUCTURE.

PURPOSE: LOW POINT INLET FILTERS PROVIDE A METHOD OF CONTROLLING THE AMOUNT OF SEDIMENT WHERE APPLICABLE LOW POINT INLET FILTERS ARE USED AT ALL LOW POINT INLETS PRIOR TO THE STABILIZATION OF THE ADJACENT AREAS.

SILT FENCE DETAIL



LOW POINT INLET/DANDY BAG FILTER

NTS

MAINTENANCE TASKS & SCHEDULE DURING CONSTRUCTION

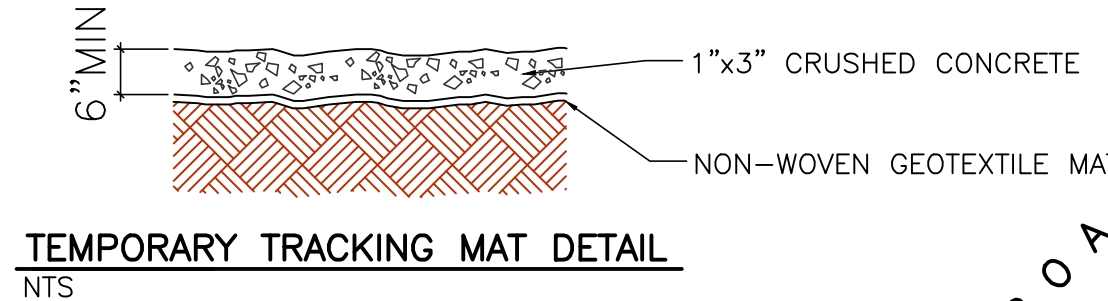
	COMPONENTS							SCHEDULE
	STORM SEWER SYSTEM	CATCH BASIN SUMP	CATCH BASIN INLET CASINGS	CONTROL STRUCTURE	FILTRATION BASINS	STORM DETENTION AREAS	HYDROCARBON FILTERS	
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	WEEKLY	
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	AS NEEDED* & PRIOR TO TURNOVER	
INSPECT FOR FLOATABLES & DEBRIS	X	X	X	X	X	X	QUARTERLY	
CLEANING OF FLOATABLES & DEBRIS	X	X	X	X	X	X	QUARTERLY AND AT TURNOVER	
INSPECTION FOR EROSION	X	X	X	X	X	X	WEEKLY	
MOWING	X	X	X	X	X	X	0 TO 2 TIMES PER YEAR	
INSPECT STORMWATER SYSTEM COMPONENTS DURING WET WEATHER & COMPARE TO AS-BUILT PLANS(BY PROFESSIONAL ENGINEER REPORTING TO "CIRCLE K")	X	X	X	X	X	X	ANNUALLY AND AT TURNOVER	
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	X	AS NEEDED	

EROSION COST ESTIMATE:
SILT FENCE: \$3,150
TRACKING MAT: \$700
TOTAL: \$3,850

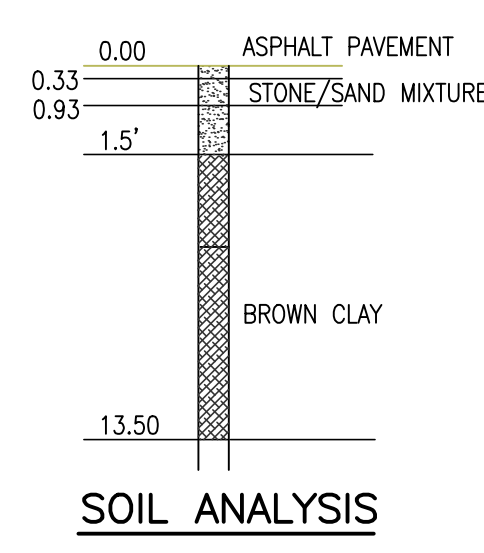
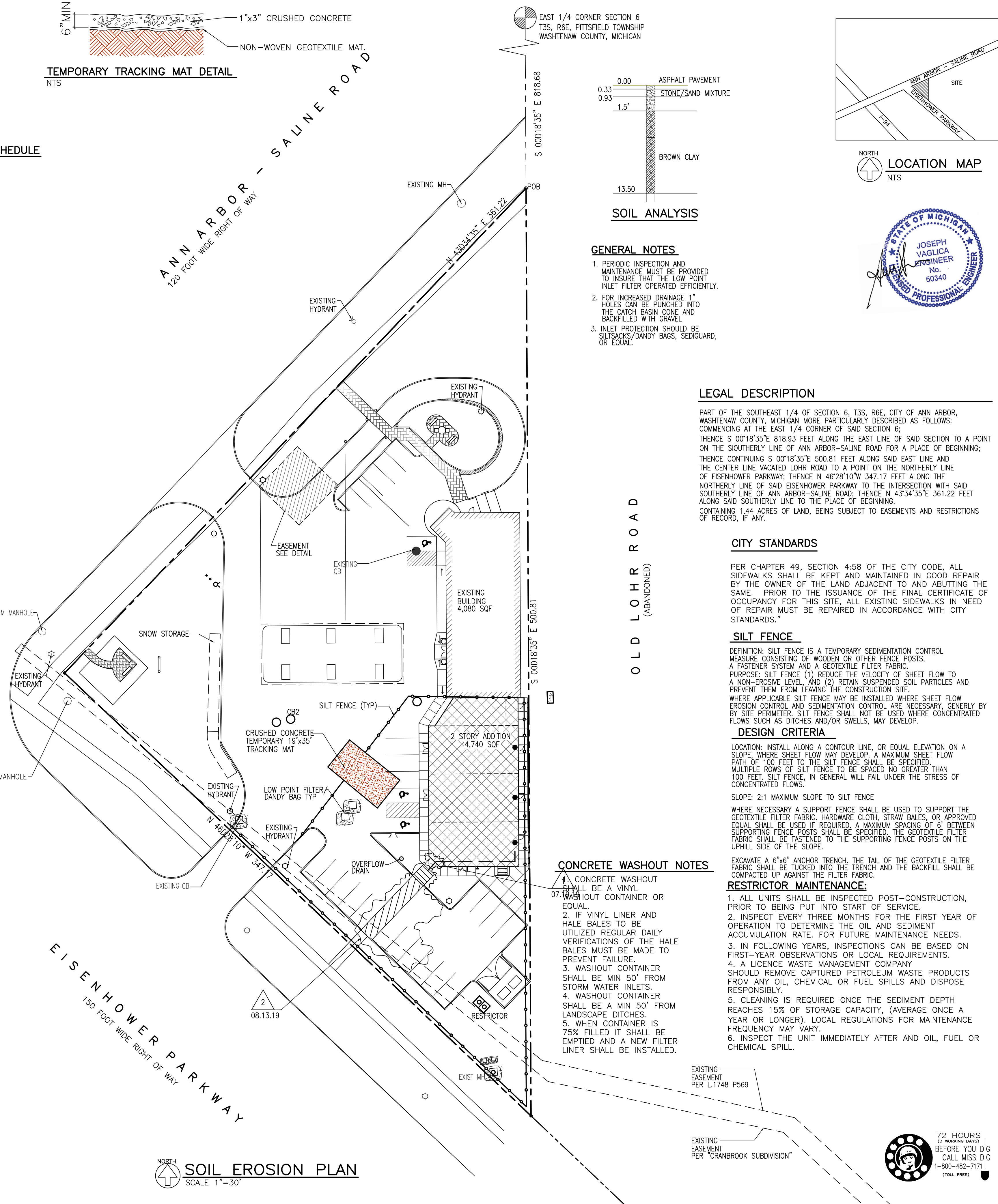
GRASS SEED: \$3 PER SQFT OF THE 1,850SQFT LANDSCAPING ISLAN.

EXCAVATION & FILL ESTIMATES FOR THE SITE:
EXCAVATION: 40 YDS
FILL: 55 YDS

*AS NEEDED MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH



TEMPORARY TRACKING MAT DETAIL



SOIL ANALYSIS

GENERAL NOTES

- PERIODIC INSPECTION AND MAINTENANCE MUST BE PROVIDED TO INSURE THAT THE LOW POINT INLET FILTER OPERATED EFFICIENTLY.
- FOR INCREASED DRAINAGE 1" HOLES CAN BE PUNCHED INTO THE CATCH BASIN CONE AND BACKFILLED WITH GRAVEL.
- INLET PROTECTION SHOULD BE SILTSACKS/DANDY BAGS, SEDIGUARD, OR EQUAL.

LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 6, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE S 00°18'35" E 818.93 FEET ALONG THE EAST LINE OF SAID SECTION TO A POINT ON THE SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S 00°18'35" E 500.81 FEET ALONG SAID EAST LINE AND THE CENTER LINE VACATED LOHR ROAD TO A POINT ON THE NORTHERLY LINE OF EISENHOWER PARKWAY; THENCE N 46°28'10" W 347.17 FEET ALONG THE NORTHERLY LINE OF SAID EISENHOWER PARKWAY TO THE INTERSECTION WITH SAID SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD; THENCE N 43°34'35" E 361.22 FEET ALONG SAID SOUTHERLY LINE TO THE PLACE OF BEGINNING. CONTAINING 1.44 ACRES OF LAND, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

CITY STANDARDS

PER CHAPTER 49, SECTION 4.58 OF THE CITY CODE, ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS."

SILT FENCE

DEFINITION: SILT FENCE IS A TEMPORARY SEDIMENTATION CONTROL MEASURE CONSISTING OF WOODEN OR OTHER FENCE POSTS, A FASTENER SYSTEM AND A GEOTEXTILE FILTER FABRIC.

PURPOSE: SILT FENCE (1) REDUCE THE VELOCITY OF SHEET FLOW TO A NON-EROSIVE LEVEL, AND (2) RETAIN SUSPENDED SOIL PARTICLES AND PREVENT THEM FROM LEAVING THE CONSTRUCTION SITE.

WHERE APPLICABLE SILT FENCE MAY BE INSTALLED WHERE SHEET FLOW EROSION CONTROL AND SEDIMENTATION CONTROL ARE NECESSARY, GENERALLY BY SITE PERIMETER. SILT FENCE SHALL NOT BE USED WHERE CONCENTRATED FLOWS SUCH AS DITCHES AND/OR SWELLS, MAY DEVELOP.

DESIGN CRITERIA

LOCATION: INSTALL ALONG A CONTOUR LINE, OR EQUAL ELEVATION ON A SLOPE, WHERE SHEET FLOW MAY DEVELOP. A MAXIMUM SHEET FLOW PATH OF 100 FEET TO THE SILT FENCE SHALL BE SPECIFIED. MULTIPLE ROWS OF SILT FENCE TO BE SPACED NO GREATER THAN 100 FEET. SILT FENCE, IN GENERAL WILL FAIL UNDER THE STRESS OF CONCENTRATED FLOWS.

SLOPE: 2:1 MAXIMUM SLOPE TO SILT FENCE

WHERE NECESSARY A SUPPORT FENCE SHALL BE USED TO SUPPORT THE GEOTEXTILE FILTER FABRIC. HARDWARE CLOTH, STRAW BALES, OR APPROVED EQUAL SHALL BE USED IF REQUIRED. A MAXIMUM SPACING OF 6' BETWEEN SUPPORTING FENCE POSTS SHALL BE SPECIFIED. THE GEOTEXTILE FILTER FABRIC SHALL BE FASTENED TO THE SUPPORTING FENCE POSTS ON THE UPHILL SIDE OF THE SLOPE.

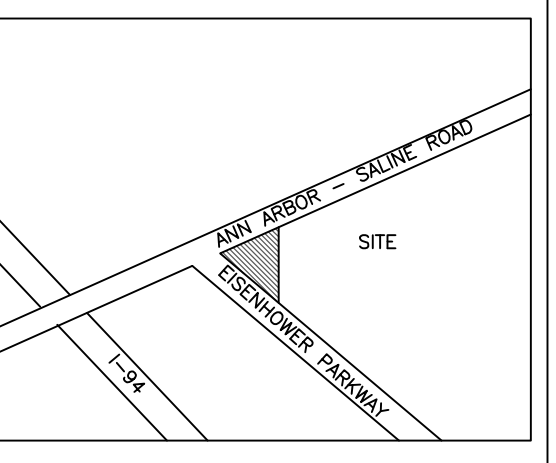
EXCAVATE A 6"x6" ANCHOR TRENCH. THE TAIL OF THE GEOTEXTILE FILTER FABRIC SHALL BE TUCKED INTO THE TRENCH AND THE BACKFILL SHALL BE COMPACTED UP AGAINST THE FILTER FABRIC.

RESTRICTOR MAINTENANCE:

- ALL UNITS SHALL BE INSPECTED POST-CONSTRUCTION, PRIOR TO BEING PUT INTO START OF SERVICE.
- INSPECT EVERY THREE MONTHS FOR THE FIRST YEAR OF OPERATION TO DETERMINE THE OIL AND SEDIMENT ACCUMULATION RATE. FOR FUTURE MAINTENANCE NEEDS.
- IN FOLLOWING YEARS, INSPECTIONS CAN BE BASED ON FIRST-YEAR OBSERVATIONS OR LOCAL REQUIREMENTS.
- A LICENCE WASTE MANAGEMENT COMPANY SHOULD REMOVE CAPTURED PETROLEUM WASTE PRODUCTS FROM ANY OIL, CHEMICAL OR FUEL SPILLS AND DISPOSE RESPONSIBLY.
- CLEANING IS REQUIRED ONCE THE SEDIMENT DEPTH REACHES 15% OF STORAGE CAPACITY, (AVERAGE ONCE A YEAR OR LONGER). LOCAL REGULATIONS FOR MAINTENANCE FREQUENCY MAY VARY.
- INSPECT THE UNIT IMMEDIATELY AFTER AND OIL, FUEL OR CHEMICAL SPILL.

CONCRETE WASHOUT NOTES

- CONCRETE WASHOUT SHALL BE A VINYL WASHOUT CONTAINER OR EQUAL.
- IF VINYL LINER AND HALE BALES TO BE UTILIZED REGULAR DAILY VERIFICATIONS OF THE HALE BALES MUST BE MADE TO PREVENT FAILURE.
- WASHOUT CONTAINER SHALL BE MIN 50' FROM STORM WATER INLETS.
- WASHOUT CONTAINER SHALL BE A MIN 50' FROM LANDSCAPE DITCHES.
- WHEN CONTAINER IS 75% FILLED IT SHALL BE EMPTIED AND A NEW FILTER LINER SHALL BE INSTALLED.



LOCATION MAP



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SHELL GAS STATION
2679 ANN ARBOR SALINE RD
ANN ARBOR MI

ISSUE DATE

5/31/18	5/06/19
9/19/18	5/21/19
10/02/18	2/28/19
10/24/18	3/1/19
10/30/18	3/05/19
11/08/18	3/12/19
11/09/18	3/22/19
12/11/18	3/28/19
1/9/19	4/19/19
1/25/19	4/24/19
2/5/19	5/02/19

DRAWN BY: K.C./V.L.
CHECKED BY: T.Q.
APPROVED BY: T.Q.

ARCHITECTURAL SEAL:
STATE OF MICHIGAN
ROBERT S. NOE
ARCHITECT
No. 25996
LICENSED ARCHITECT

PROJECT NO.: 2686
SHEET TITLE: SOIL EROSION PLAN
SHEET NO.: C5



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(TOLL FREE)

Part E. STANDARD METHOD RUNOFF VOLUME WORK SHEETS

W1 Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients. Includes tables for Rational Method and NRCS Variable methods.

W2 Standard Method Runoff Volume Calculations

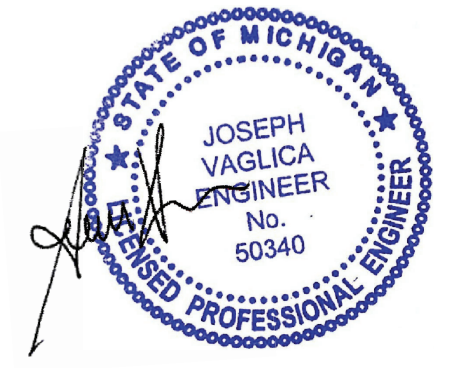
First Flush Runoff Calculations (V_{ff}). Includes equations for V_{ff} and final V_{ff} = 139.2 ft³.

W3 Standard Method Runoff Volume Calculations

Pre-development Bankfull Runoff Calculations (V_{pre-dev}). Includes calculations for 2-year/24-hour storm event and final V_{pre-dev} = 27.77 ft³.

W4 Standard Method Runoff Volume Calculations

Pervious Cover Post-Development Bankfull Runoff Calculations (V_{post-dev}). Includes calculations for 2-year/24-hour storm event and final V_{post-dev} = 2.03 ft³.



ROBERT NOE ARCHITECTURE ARCHITECTURE 9103 NUNSON #135 TECHAMUSEUM MI 48226-4556 (734) 693-0852

QUATRO CONSTRUCTION LLC *DESIGN BUILD CONTRACTOR* COMMERCIAL/INDUSTRIAL/RESIDENTIAL 201 NORTH PARK STREET YPSILANTI, MI. 48198 PHONE (734) 485-7737. FAX (734) 485-7873

SHELL GAS STATION 2679 ANN ARBOR SALINE RD ANN ARBOR MI

W5 Standard Method Runoff Volume Calculations

Impervious Cover Post-Development Bankfull Runoff Calculations (V_{pre-dev}). Includes calculations for 2-year/24-hour storm event and final V_{pre-dev} = 193.8 ft³.

W6 Standard Method Runoff Volume Calculations

Pervious Cover Post-Development 100-year Storm Runoff Calculations (V_{100-year}). Includes calculations for 100-year storm event and final V_{100-year} = 76.9 ft³.

W7 Standard Method Runoff Volume Calculations

Impervious Cover Post-Development 100-year Storm Runoff Calculations (V_{100-year}). Includes calculations for 100-year storm event and final V_{100-year} = 571.0 ft³.

W8 Standard Method Runoff Volume Calculations

Determine Time of Concentration for Applicable Flow Types (T_{con}). Includes a table of flow types and a final T_{con} = 1.08 hours.

W9 Standard Method Runoff Volume Calculations

Runoff Summary & Onsite Infiltration Requirement. Includes runoff summary table and onsite infiltration requirement calculation.

W10 Standard Method Runoff Volume Calculations

Detention/Retention Requirement. Includes calculations for peak flow, detention volume, and retention volume.

W11 Standard Method Runoff Volume Calculations

Determine Applicable BMPs and Associated Volume Credits. Includes a table of BMP types and a total volume reduction credit of 16,479 ft³.

W12 Natural Features Inventory

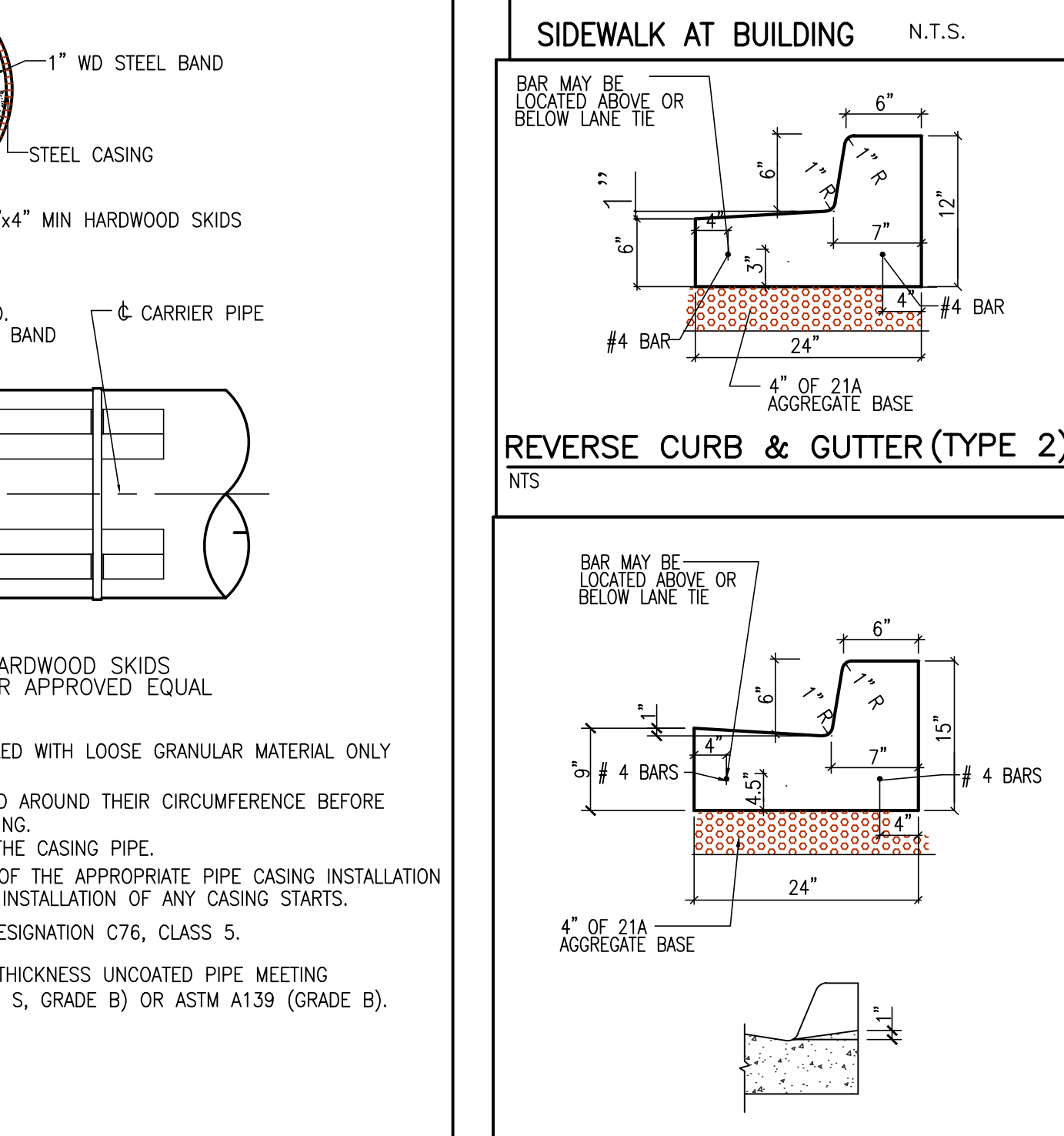
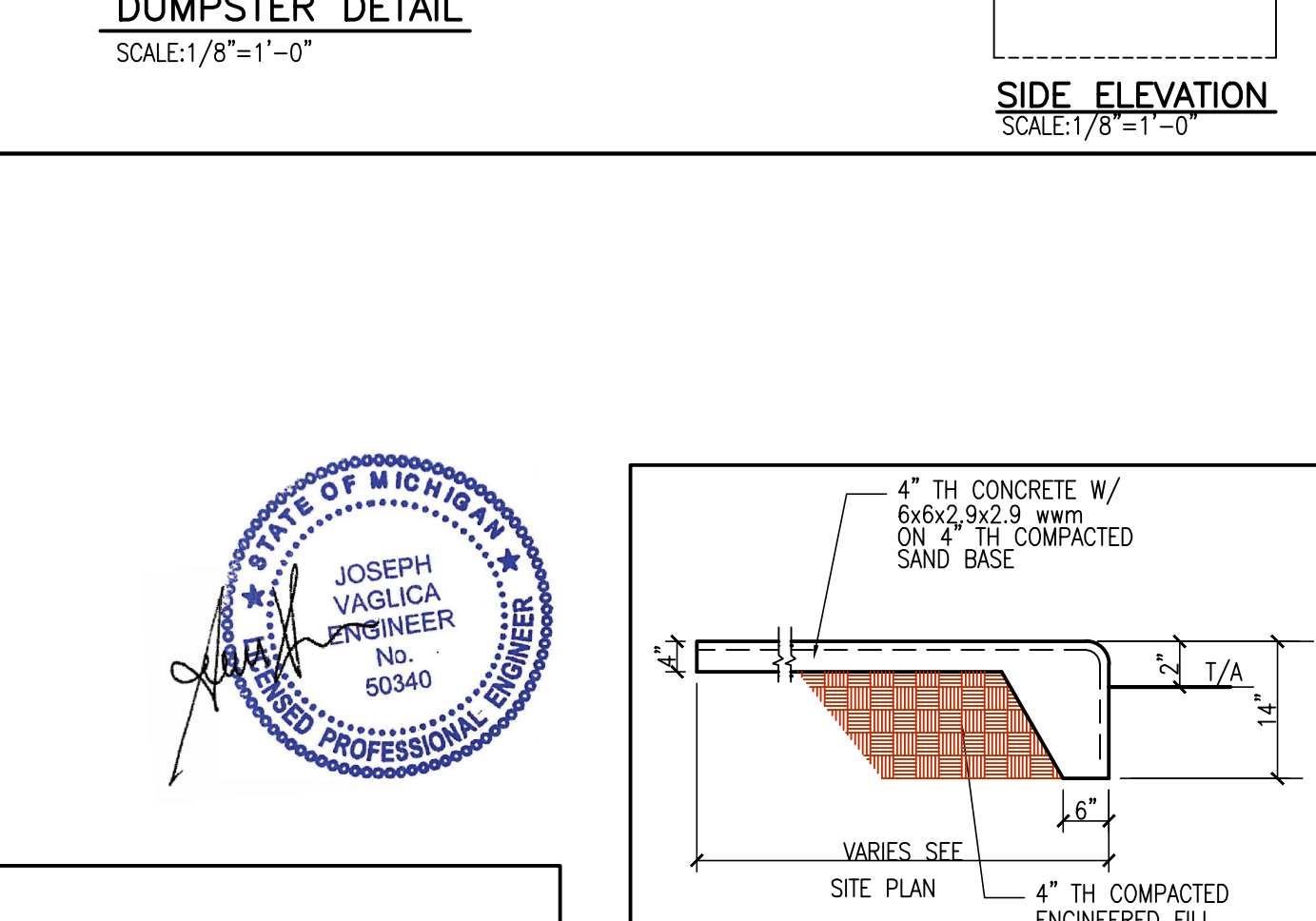
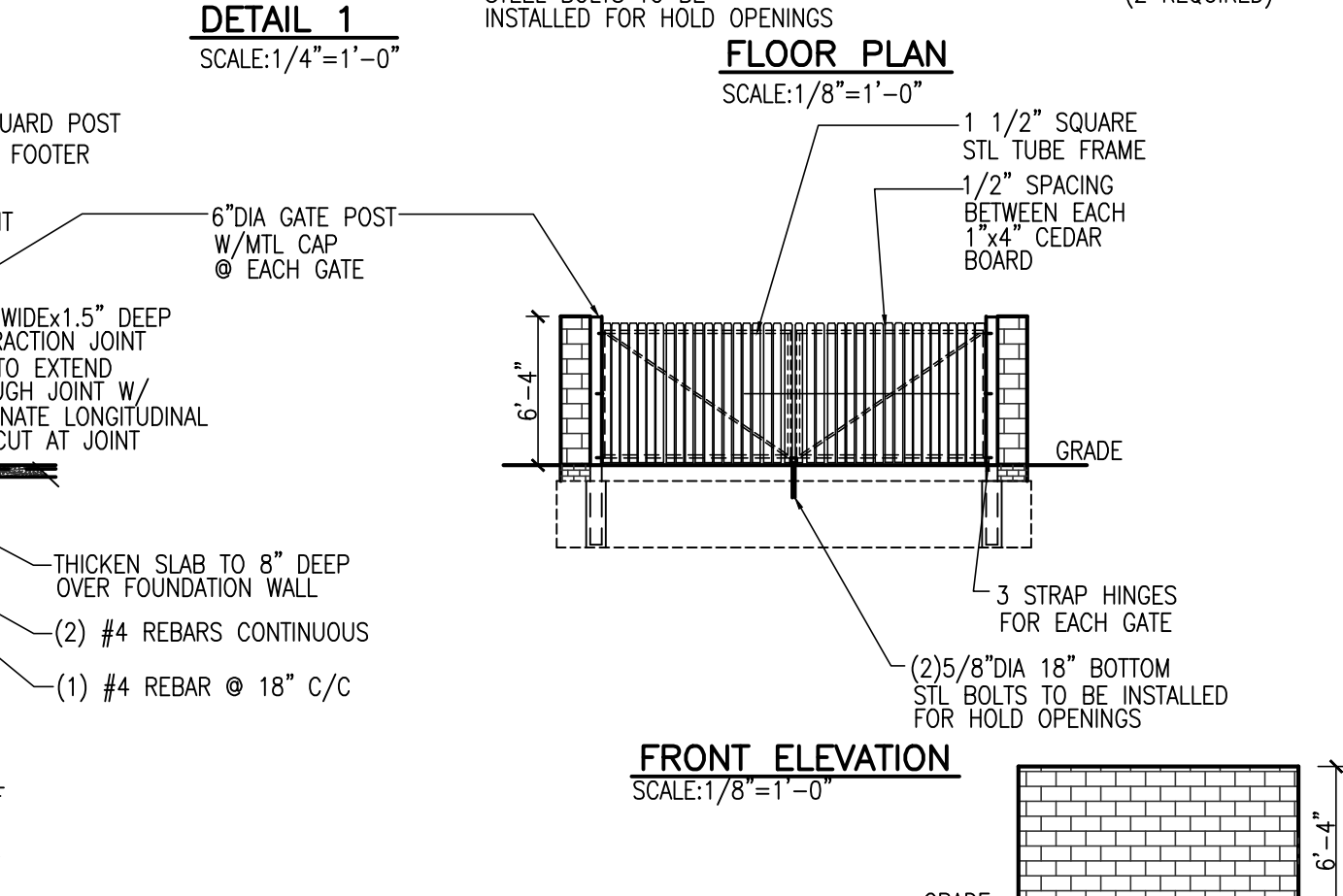
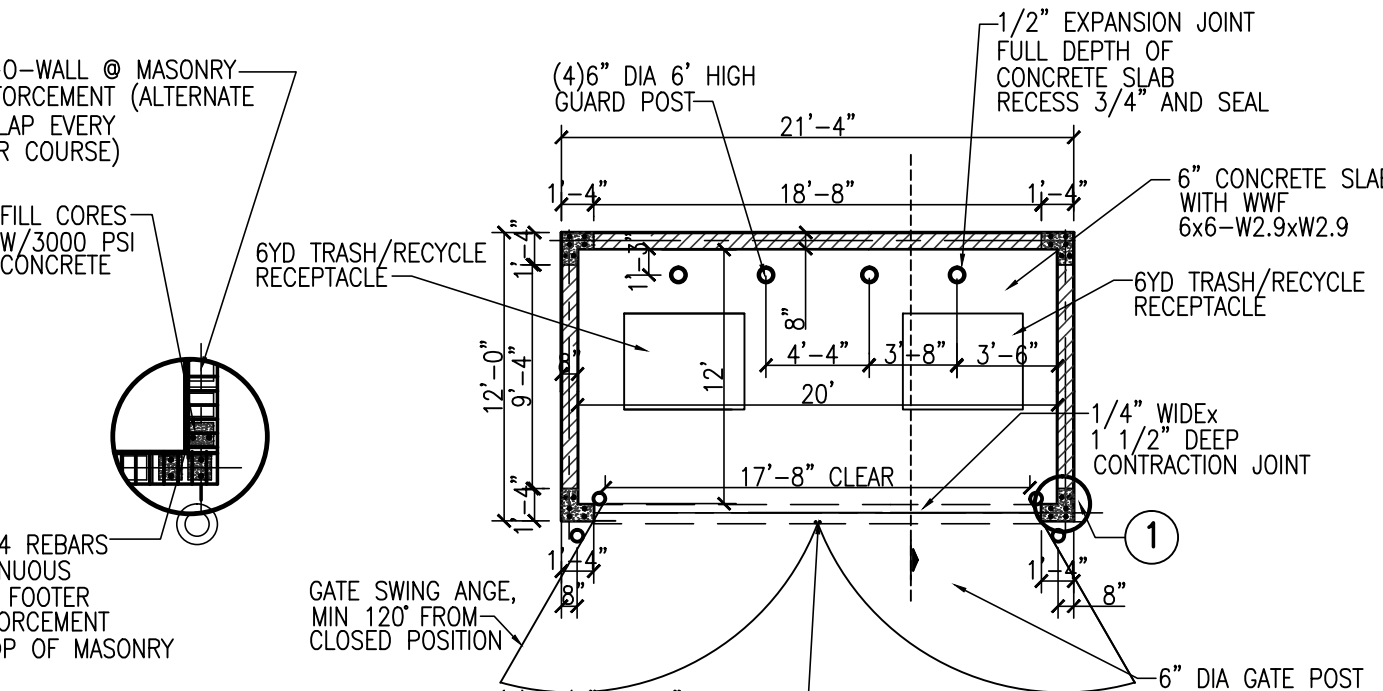
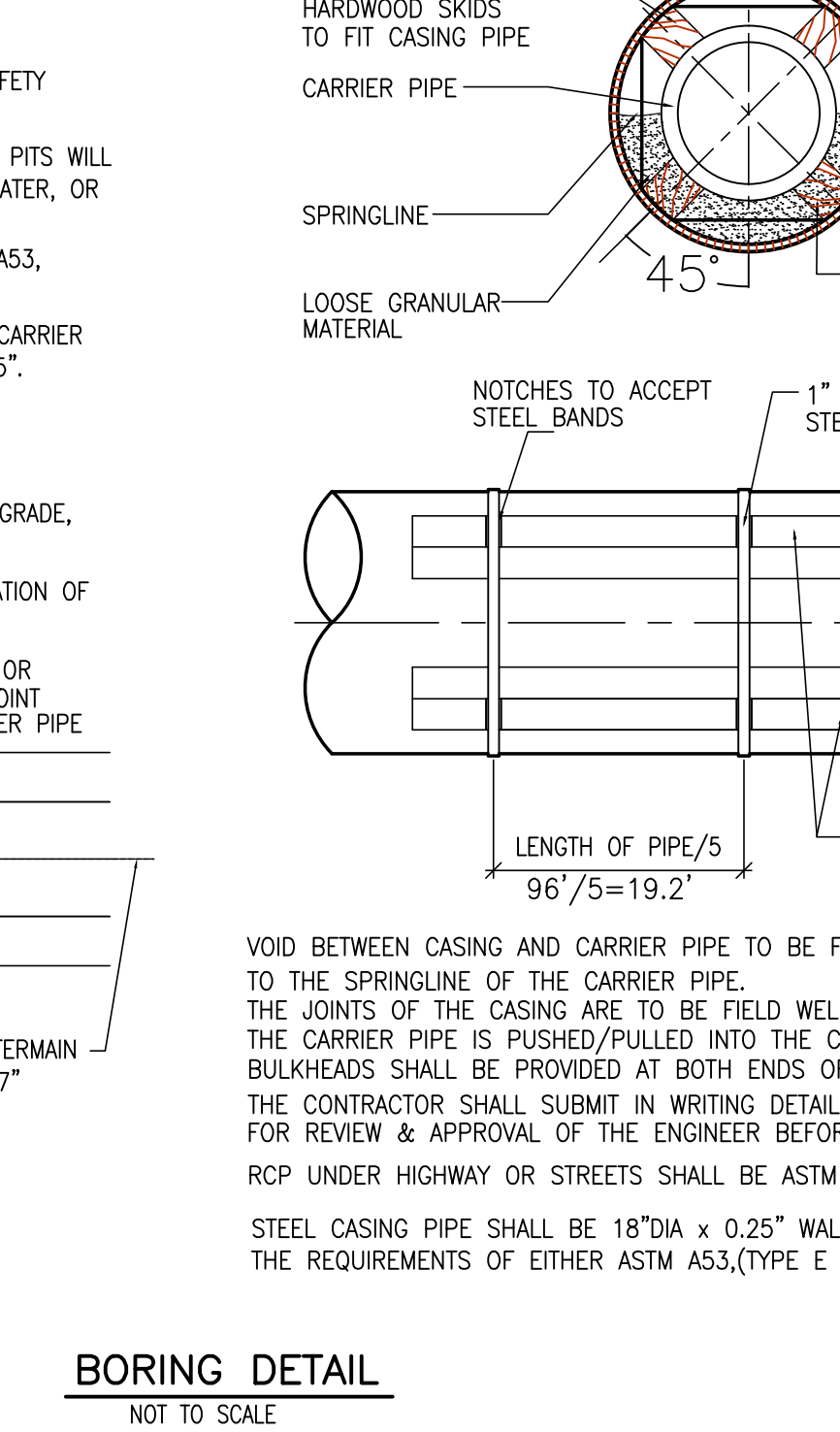
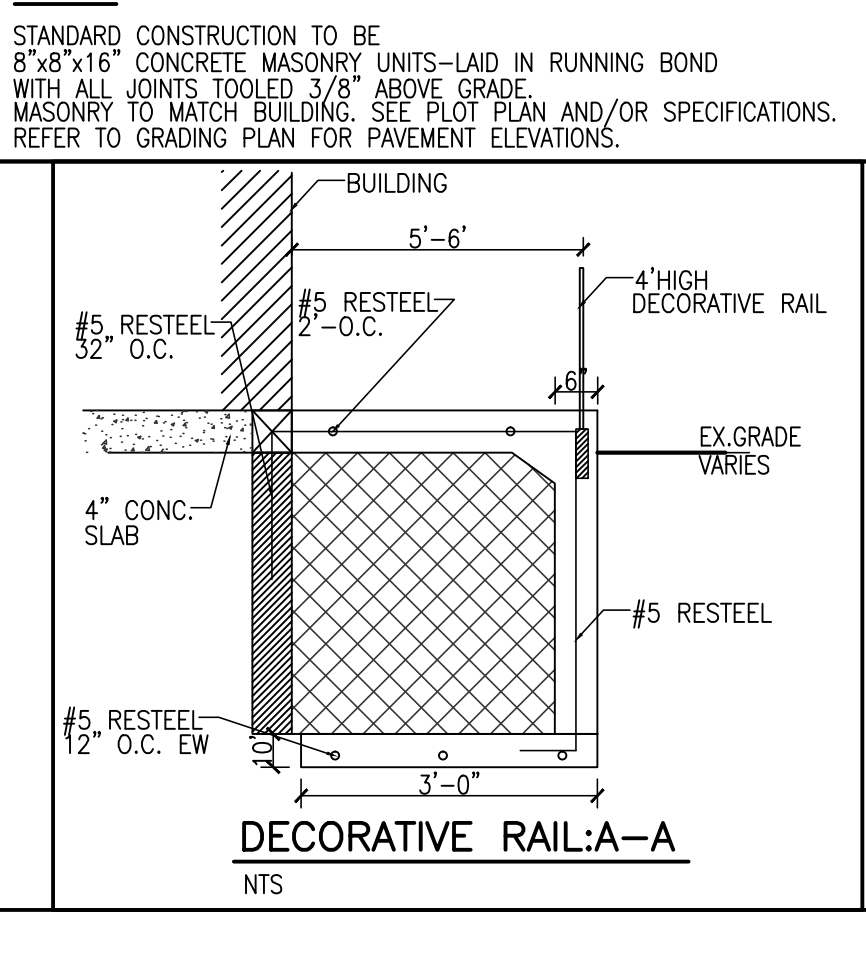
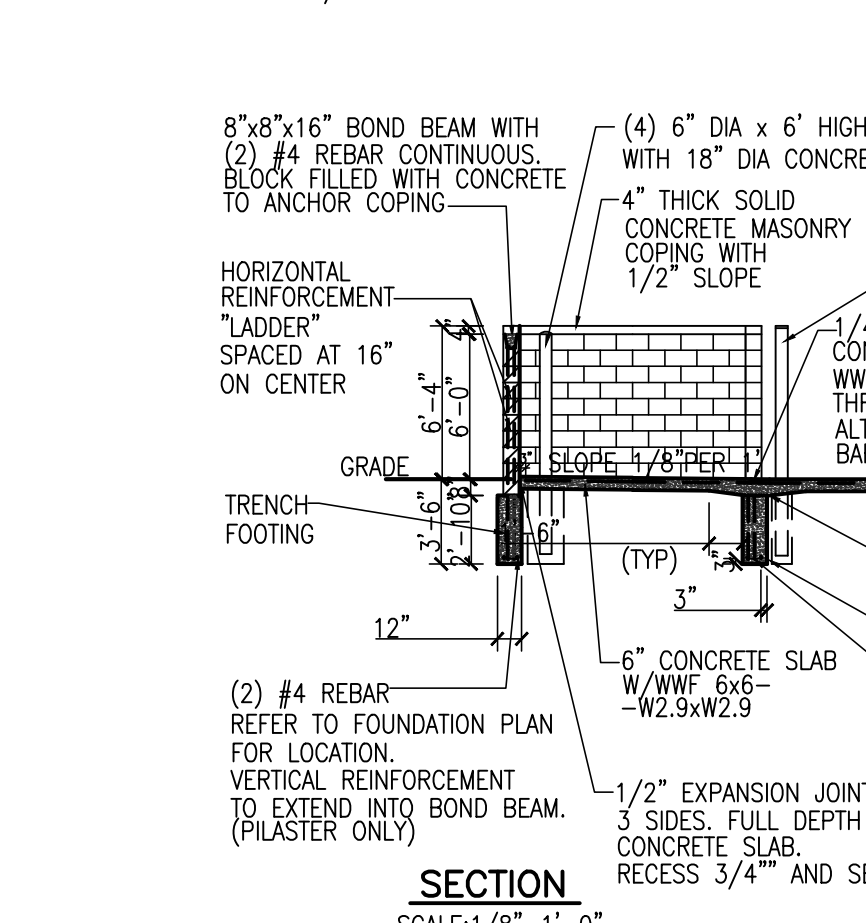
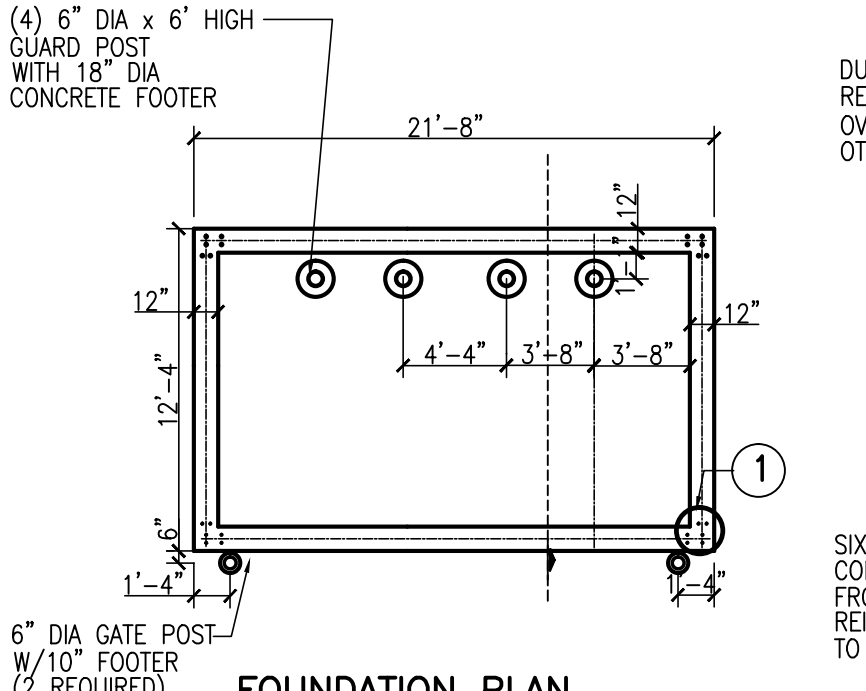
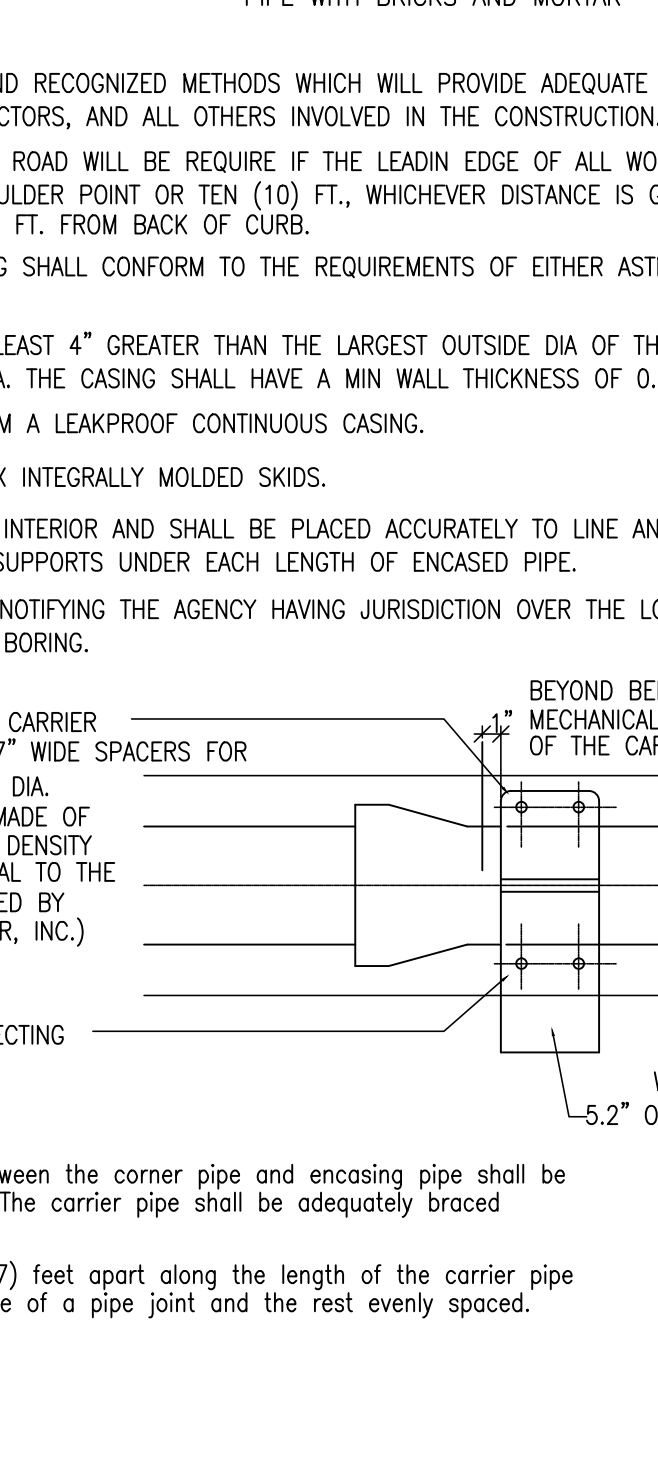
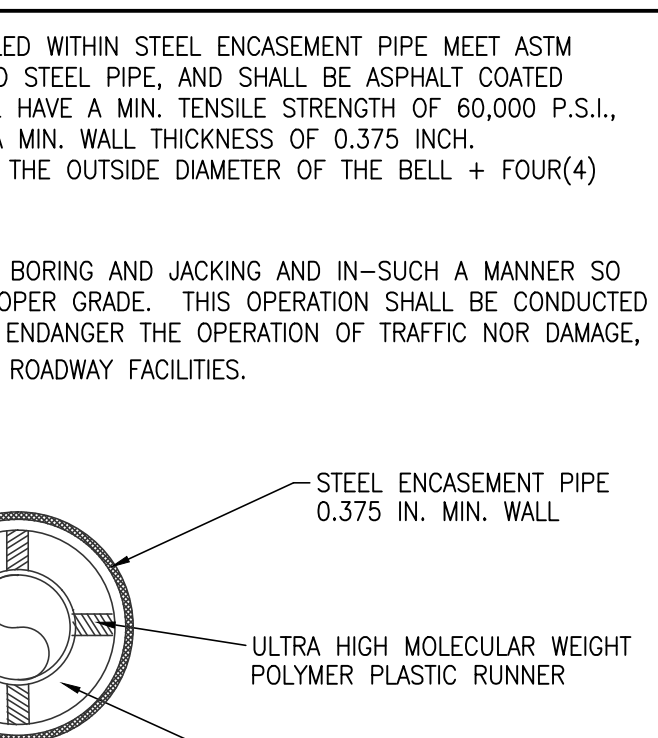
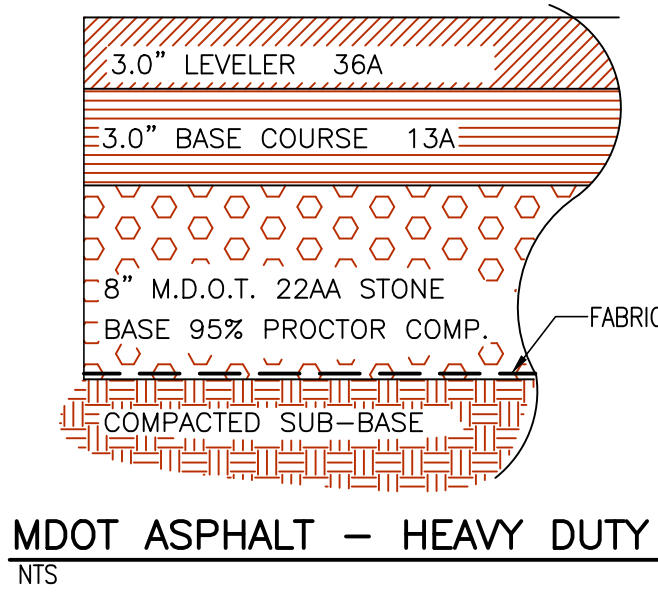
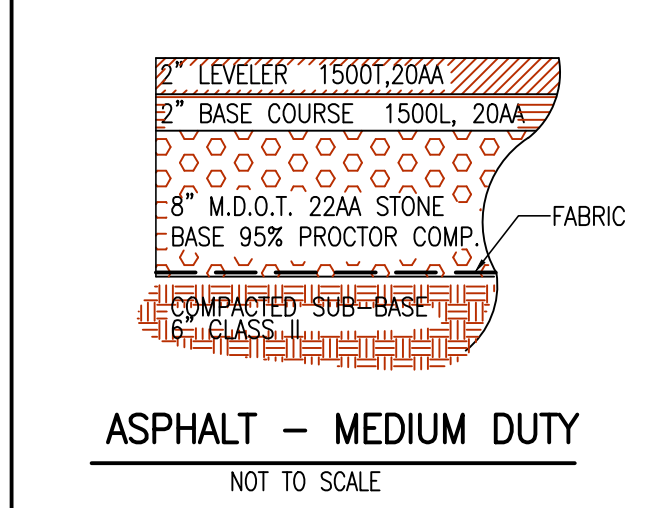
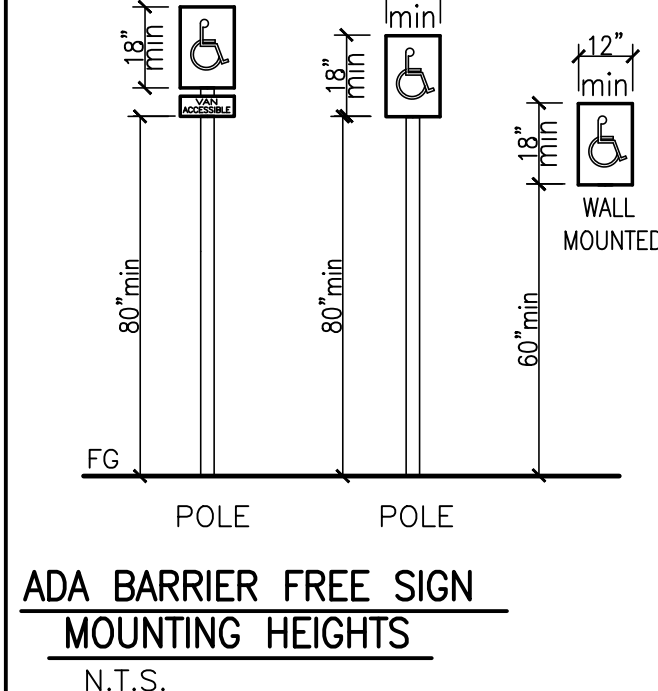
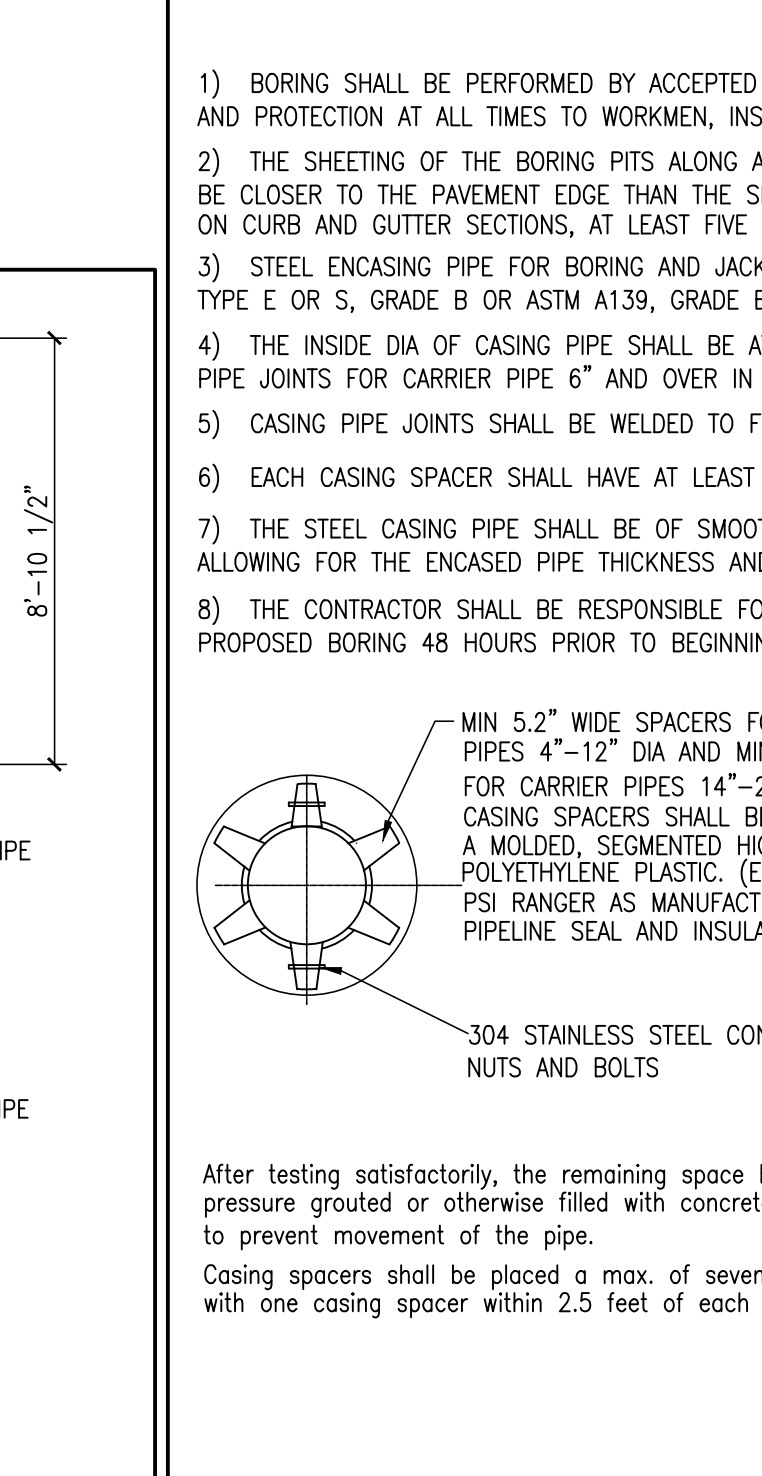
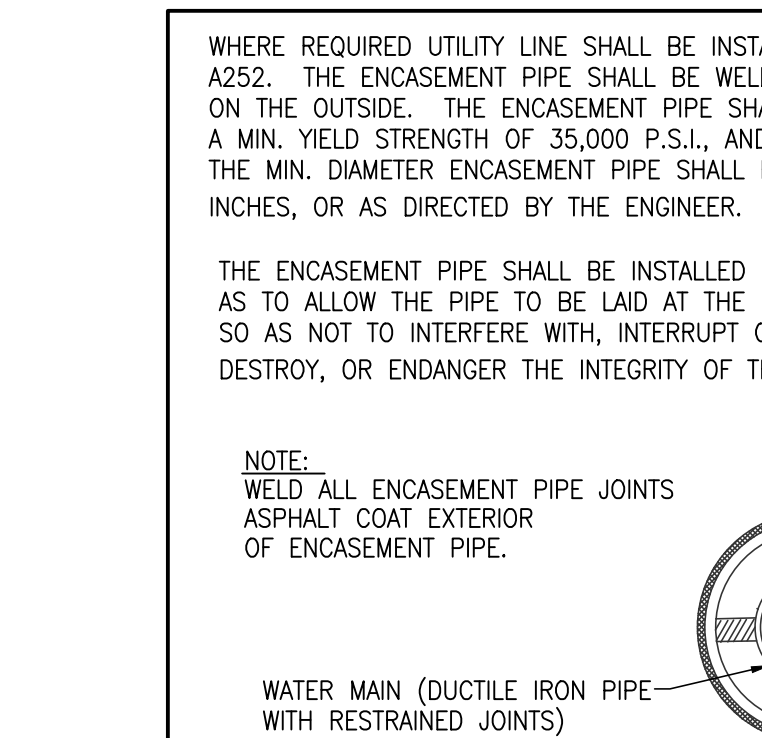
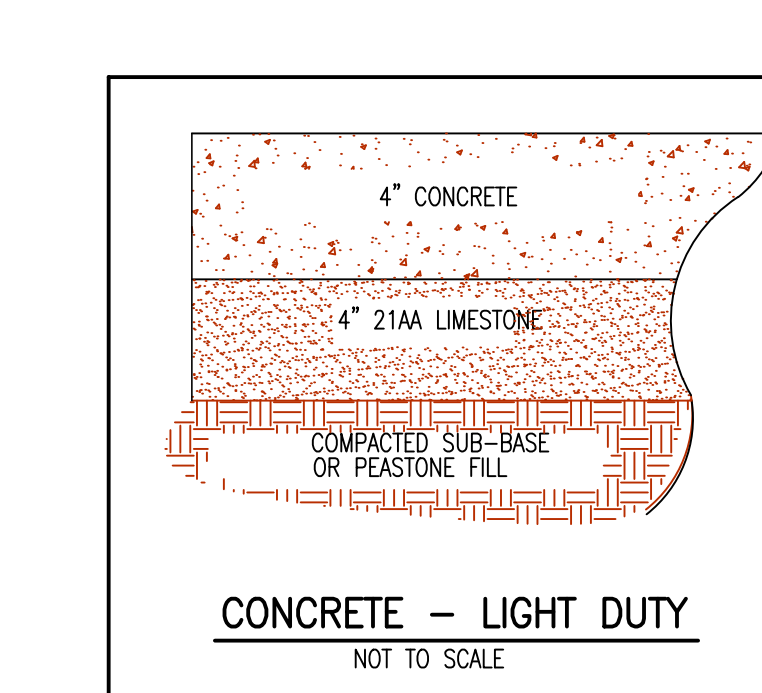
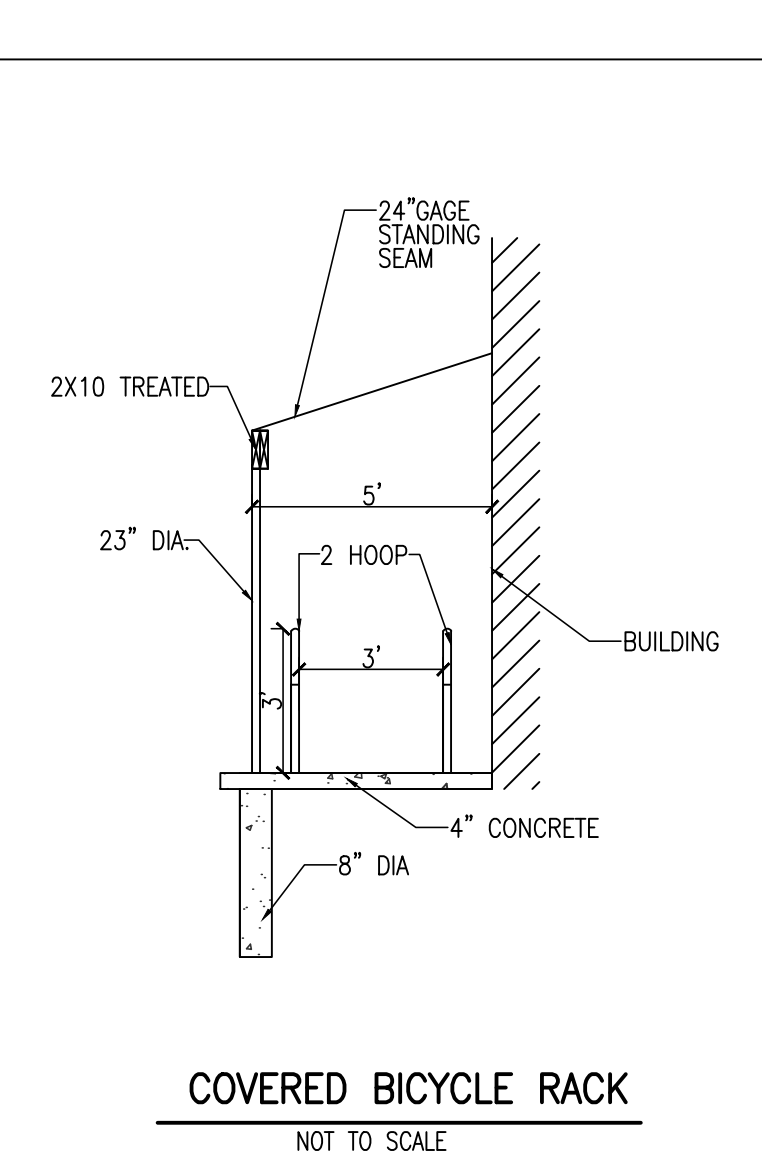
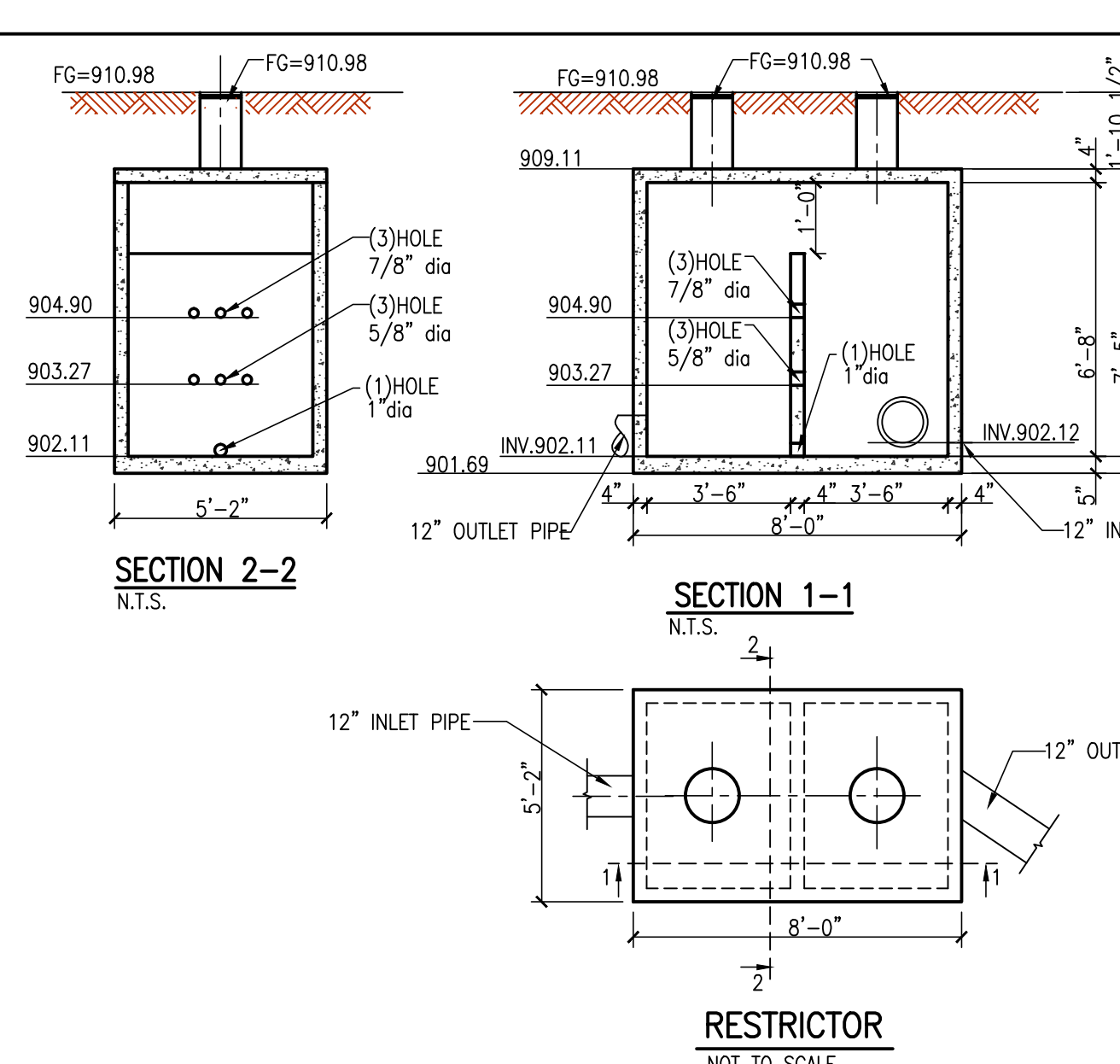
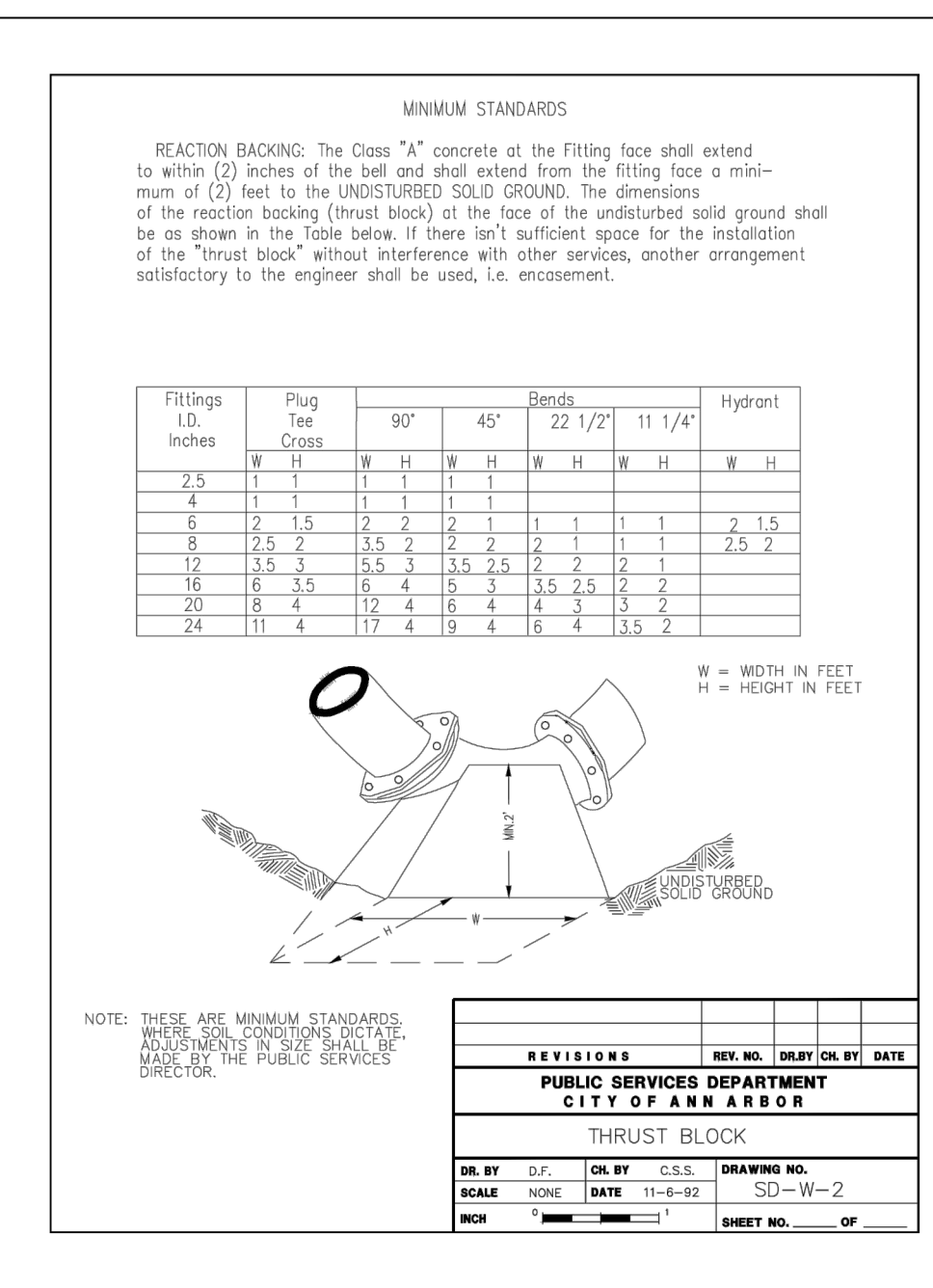
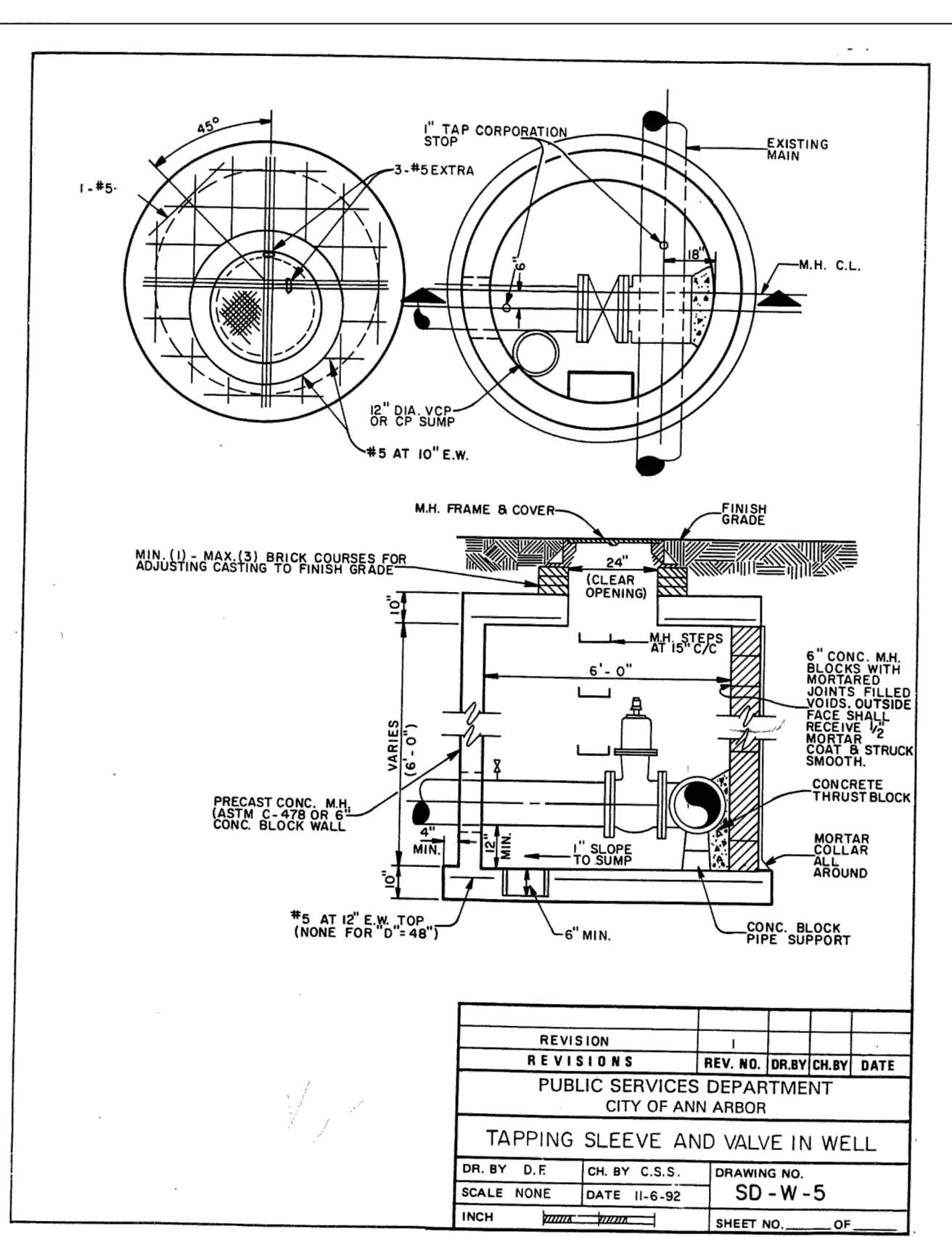
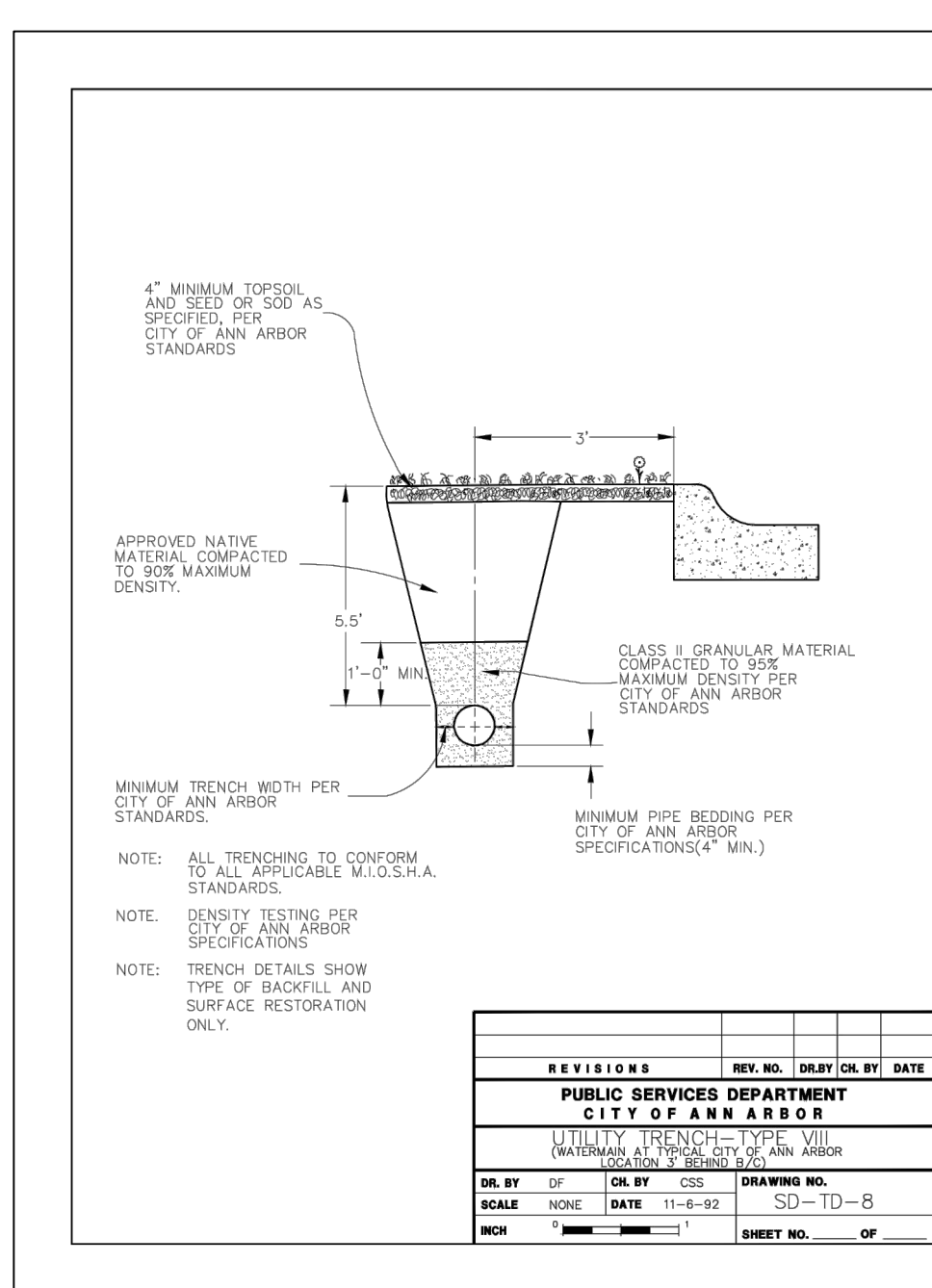
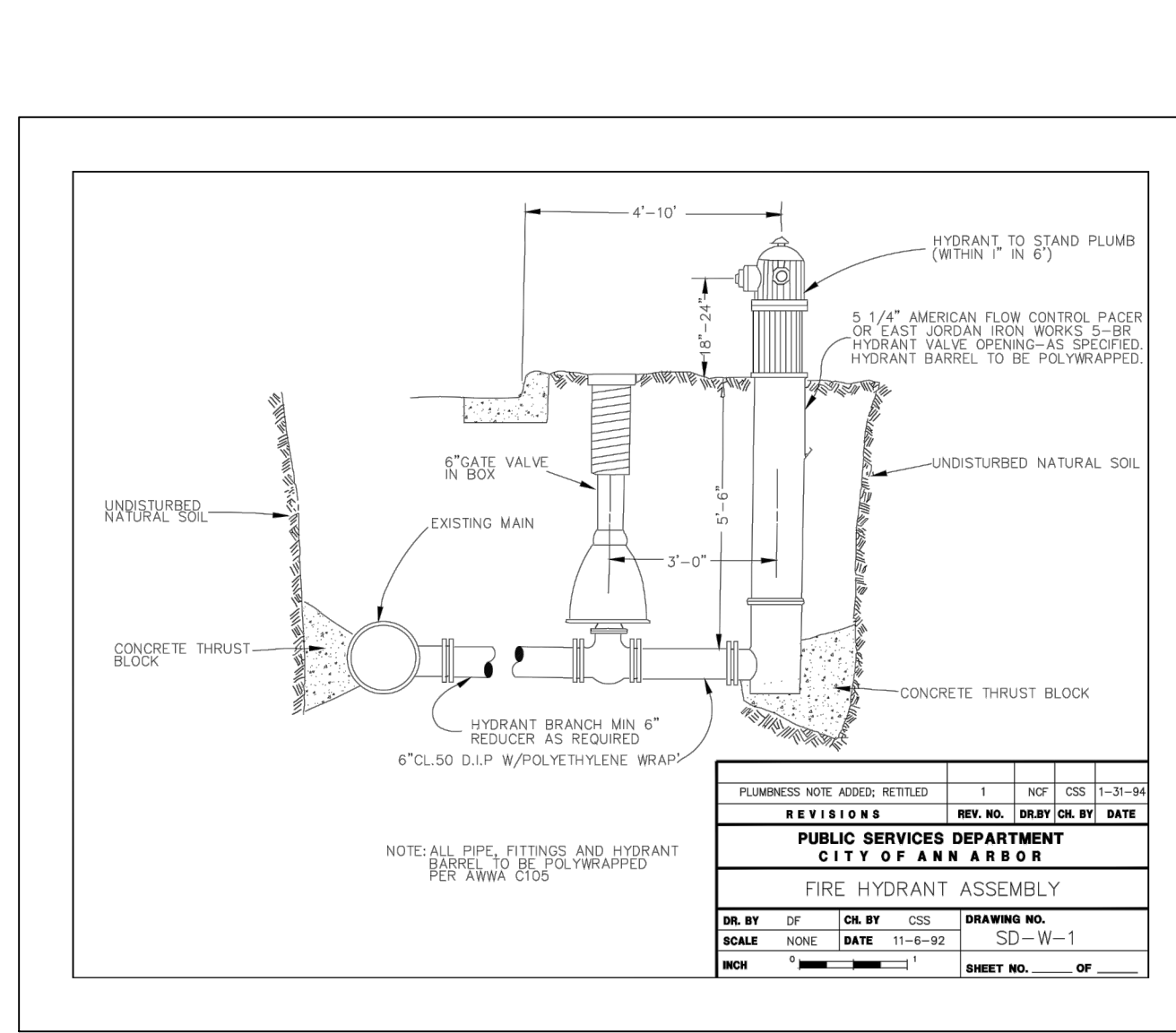
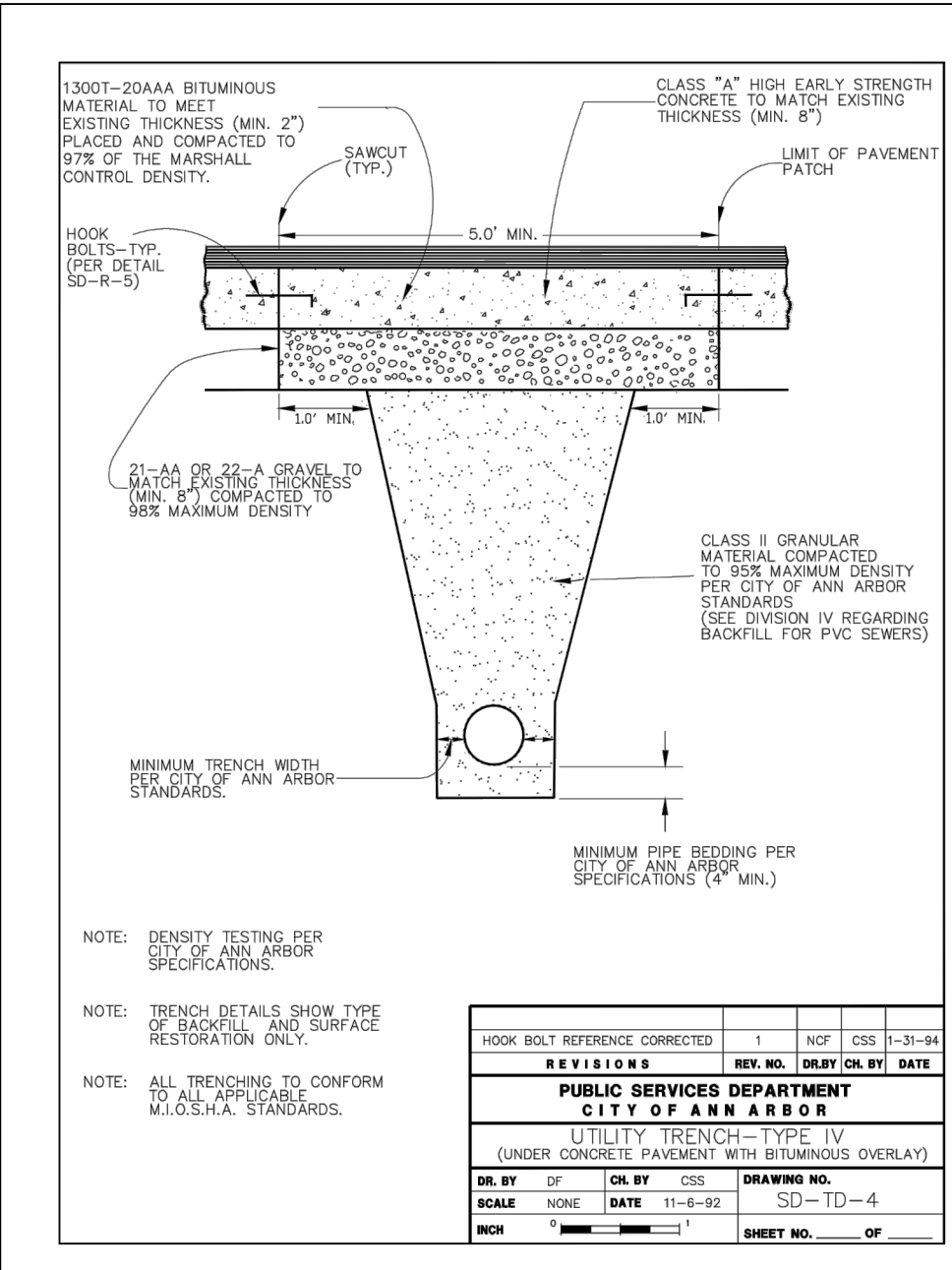
Natural Features Inventory. Includes a list of natural resources and a table of mapped vs. protected areas.

W13 Summary

Summary Site Summary of Infiltration & Detention. Includes a table of infiltration and detention volumes.

EXISTING STORM WATER DETENTION CALCULATIONS. Includes calculations for lot area, impervious areas, detention volume, and release rate.

ISSUE DATE 11-13-18 3-25-19. DRAWN BY: K.C./V.L. CHECKED BY: T.Q. APPROVED BY: T.Q. ARCHITECTURAL SEAL: ROBERT J. NOE ARCHITECT No. 25998. PROJECT NO.: 2686 SHEET TITLE: SITE CALCULATIONS 1 SHEET NO.: C6



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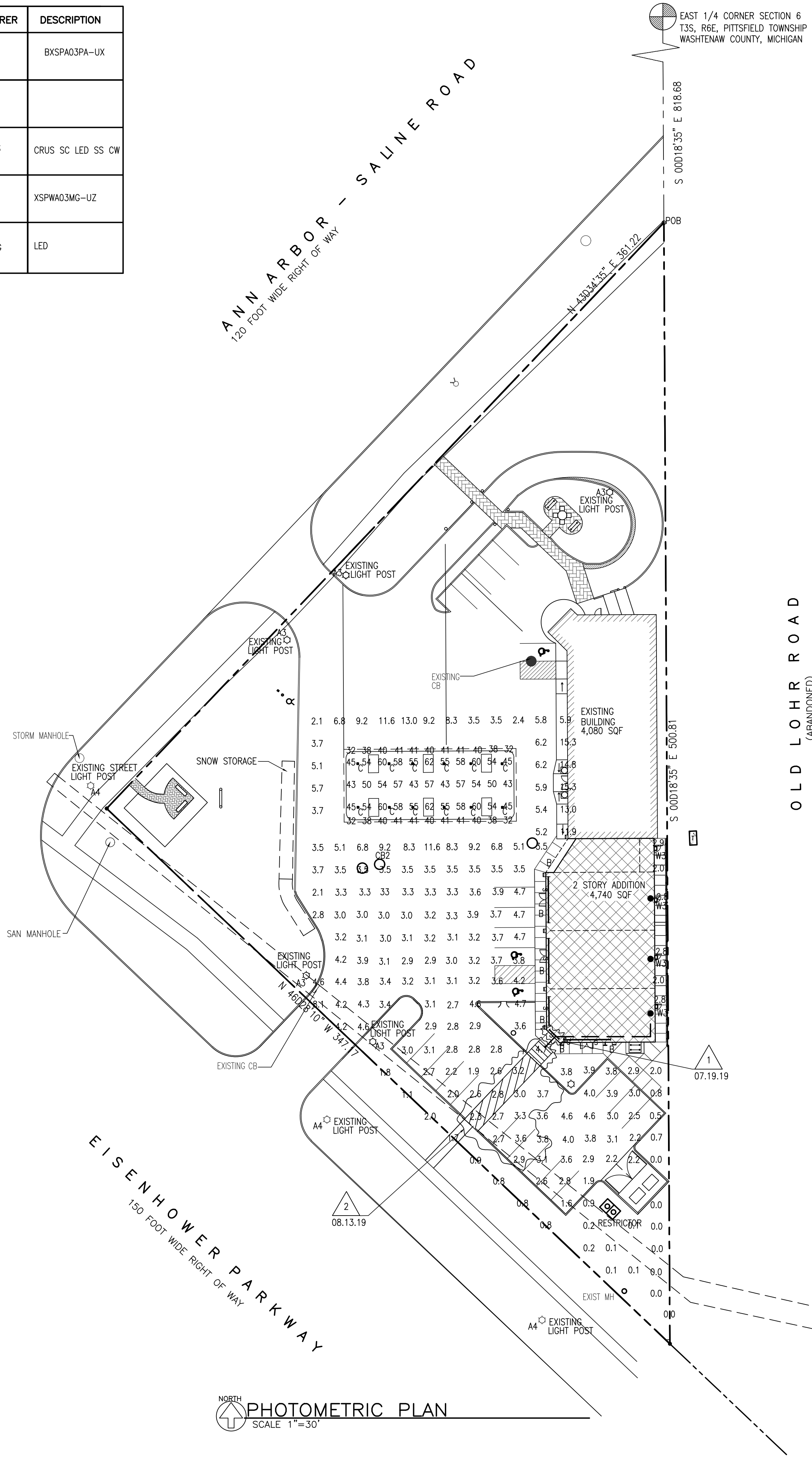
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ROBERT J. NOE
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LICENSED PROFESSIONAL ARCHITECT

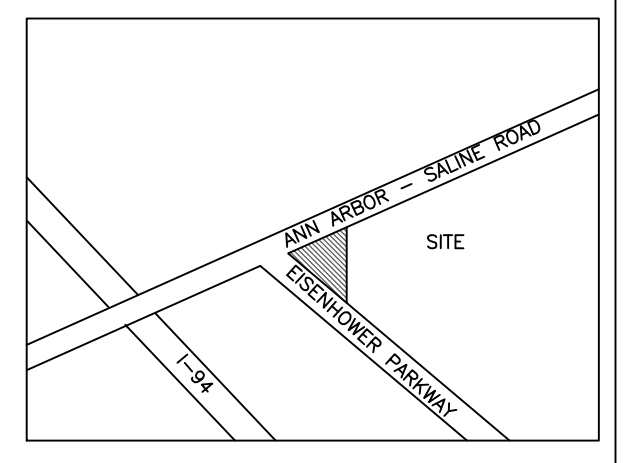
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SHEET TITLE: SITE DETAILS
SHEET NO.: C7

LUMINAIRE SCHEDULE

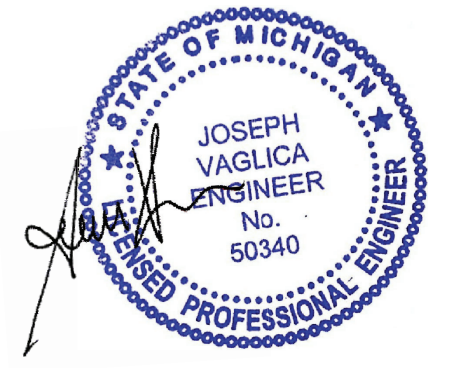
SYMBOL	QUANTITY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR.WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	5	A3-EXISTING LIGHT POST WITHIN PROPERTY	SINGLE	10680	1.050	102	102	CREE,INC.	BXSPA03PA-UX
	3	A4-EXISTING LIGHT POST OUTSIDE OF PROPERTY	SINGLE						
	12	C-EXISTING	SINGLE	21,900	1.050	164	164	LSI, INDUSTRIES	CRUS SC LED SS CW
	4	W3-PROPOSED	SINGLE	2673	1.040	25.28	50.56	CREE,INC.	XSPA03MG-UZ
	7	B-PROPOSED	SINGLE	5200		6	6	ALCON LIGHTING	LED



OLD LOHR ROAD
(ABANDONED)



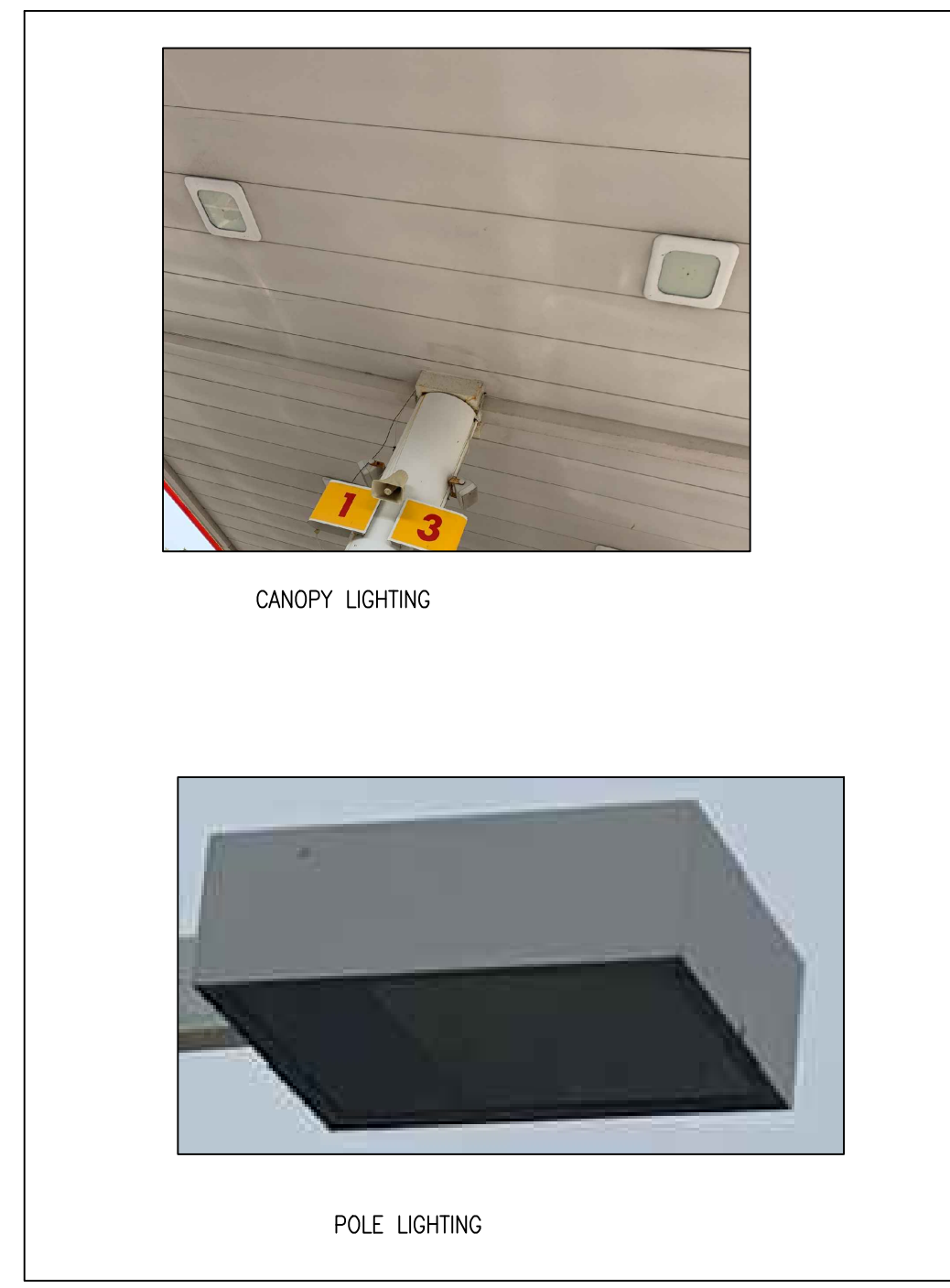
NORTH
LOCATION MAP
NTS



LEGEND

- PAVED AREA
- NEW ASPHALT
- PROPOSED BUILDING
- GRASS
- PROPOSED SIDEWALK
- LIGHT POST
- PROPOSED STORM
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED SANITARY
- EXISTING SANITARY
- EXISTING WATER
- EXISTING OH WIRES
- EXISTING GAS
- EXISTING STORM
- EXISTING GRADE
- TOP OF ASPHALT T/A
- TOP OF CURB T/C
- TOP OF GUTTER T/G
- TOP OF WALK T/W
- HYDRANT
- EXISTING PUMP
- PROPOSED GLASS WINDOWS

EXISTING LIGHTING



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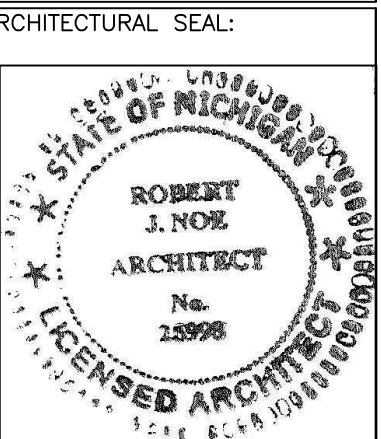
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10/30/18	3/05/19	7/15/19
11/08/18	3/12/19	8/12/19
11/09/18	3/22/19	8/17/19
12/11/18	3/28/19	
1/9/19	4/19/19	
1/25/19	4/24/19	
2/5/19	5/02/19	

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CHECKED BY: T.Q.
APPROVED BY: T.Q.



PROJECT NO.: 2686
SHEET TITLE: PHOTOMETRIC PLAN
SHEET NO.: C8

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GENERAL NOTES

SPECIAL CONDITIONS

THE OWNER, GENERAL CONTRACTOR, THE INDIVIDUAL SUBCONTRACTOR AND MATERIAL MAN AGREE TO SAVE THE ARCHITECT HARMLESS, AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF ACTS OR OMISSIONS BY SAID OWNER, CONTRACTORS AND/OR MATERIAL MEN DURING THE PERFORMANCE OF THEIR WORK.

ALL WORK WILL PROCEED IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL SAFETY CODES, STATUTES AND RECOGNIZED STANDARDS.

THE GENERAL CONTRACTOR SHALL OBTAIN THE GENERAL BUILDING PERMIT(S), PAY ALL FEES AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK.

NO MATERIALS OR CONSTRUCTION PROCEDURES SHALL BE UTILIZED ON THIS PROJECT WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT ON THE ENVIRONMENT OR TO ANY PERSON ON THE SITE DURING CONSTRUCTION OR LATER OCCUPANCY.

INSURANCE

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIABILITY AND COMPREHENSIVE INSURANCE AND FOR WORK DAMAGED BY IMPROPER WORKMANSHIP. THE OWNER SHALL PURCHASE AND MAINTAIN THE OWNER'S USUAL COVERAGE INSURANCE ON THE WORK WHICH INSURES TO THE OWNER'S BENEFIT. OPTIONALLY THE OWNER MAY PURCHASE AND MAINTAIN OTHER INSURANCE FOR SELF-PROTECTION AGAINST CLAIMS WHICH MAY ARISE FROM OPERATIONS DURING CONSTRUCTION.

FIELD CONDITIONS

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD CHECKING ALL EXISTING CONDITIONS AND FOR FITTING THEIR WORK TO NEW AND EXISTING WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE ARCHITECT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS A CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE ARCHITECT OF DISCREPANCIES THEREIN.

IN GENERAL, UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ONLY THOSE TREES WITHIN THE BUILDING AREA SHALL BE REMOVED. ALL OTHERS WILL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

NOTE:

- PLANTS SHALL BE NURSERY GROWN, FREE OF DISEASE AND SIZES CONFORM TO AMERICAN NURSERYMAN STANDARDS.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING IN GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE THIS SHOULD BE ACCOMPLISHED BY THE FOLLOWING STANDARDS:
 - ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO THAT PLANT MATERIALS DO NOT INTERFERE WITH PUBLIC UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR OTHERWISE CONSTITUTE A TRAFFIC HAZARD.
 - ALL PLANTED AREAS SHALL BE MAINTAINED IN A RELATIVELY WEED-FREE CONDITION, CLEAR OF UNDESIRABLE UNDERGROWTH
 - REPLACEMENT PLANTS SHALL CONFORM TO THE STANDARDS THAT GOVERN ORIGINAL INSTALLATION.
- UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED ADEQUATE TO MAINTAIN LANDSCAPE AREAS
- ALL APPLICATIONS OF FERTILIZER BEYOND INITIAL TOPSOIL AND SEEDING SHALL BE FERTILIZED WITH NO PHOSPHORUS.
- ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL OF THIS SECTION PER CHAPTER, ARTICLE V 5.29.6.L.
- ALL REMOVED INVASIVE SPECIES (TREE OF HEAVEN) TO BE CUT AND TREATED.
- ALL DEAD TREES TO BE REPLACED TO MATCH EXISTING
- EXISTING IRRIGATION SYSTEM TO BE MODIFIED IN ORDER TO SERVICE NEW LANDSCAPE AREAS.

LANDSCAPE NOTES: CHAPTER 55 SECTION 5:20:

- SPECIFICATION FOR TREATMENT OF COMPACTED SOIL ON THE ENTIRE SITE.
 - USE OF A AERATOR OVER COMPACTED SOIL AREAS SHALL BE UTILIZED TO LOOSEN SOIL FOR NEW GRASS & VEGETATION.
- SPECIFICATIONS FOR PLANTING MEDIA LANDSCAPED AREAS.
 - ADDITIONAL SOIL SHALL BE FILTERED TOPSOIL.
 - MULCH SHALL BE HARDWOOD, NON DYED FREE OF DEBRIS.
 - IDENTIFICATION OF SNOW STORAGE AREAS INCLUDING A STATEMENT THAT SNOW SHALL NOT BE PUSHED ONTO LANDSCAPE ISLANDS. (UNLESS DESIGNED FOR SNOW STORAGE).

GROWING MEDIUM:

AS MUCH AS POSSIBLE EXISTING SOIL SHALL BE STOCKPILED AND REUSED FOR THE GROWING MEDIUM. (FROM EX. LANDSCAPE AREAS ONLY)
IF SITE NEEDS ADDITIONAL SOIL, FILTERED TOP SOIL/SAND/SMALL STONE MIXTURE SHALL BE USED.
NEW SOIL IF REQUIRED SHALL BE MIXED WITH EXISTING SOIL

LEGAL DESCRIPTION

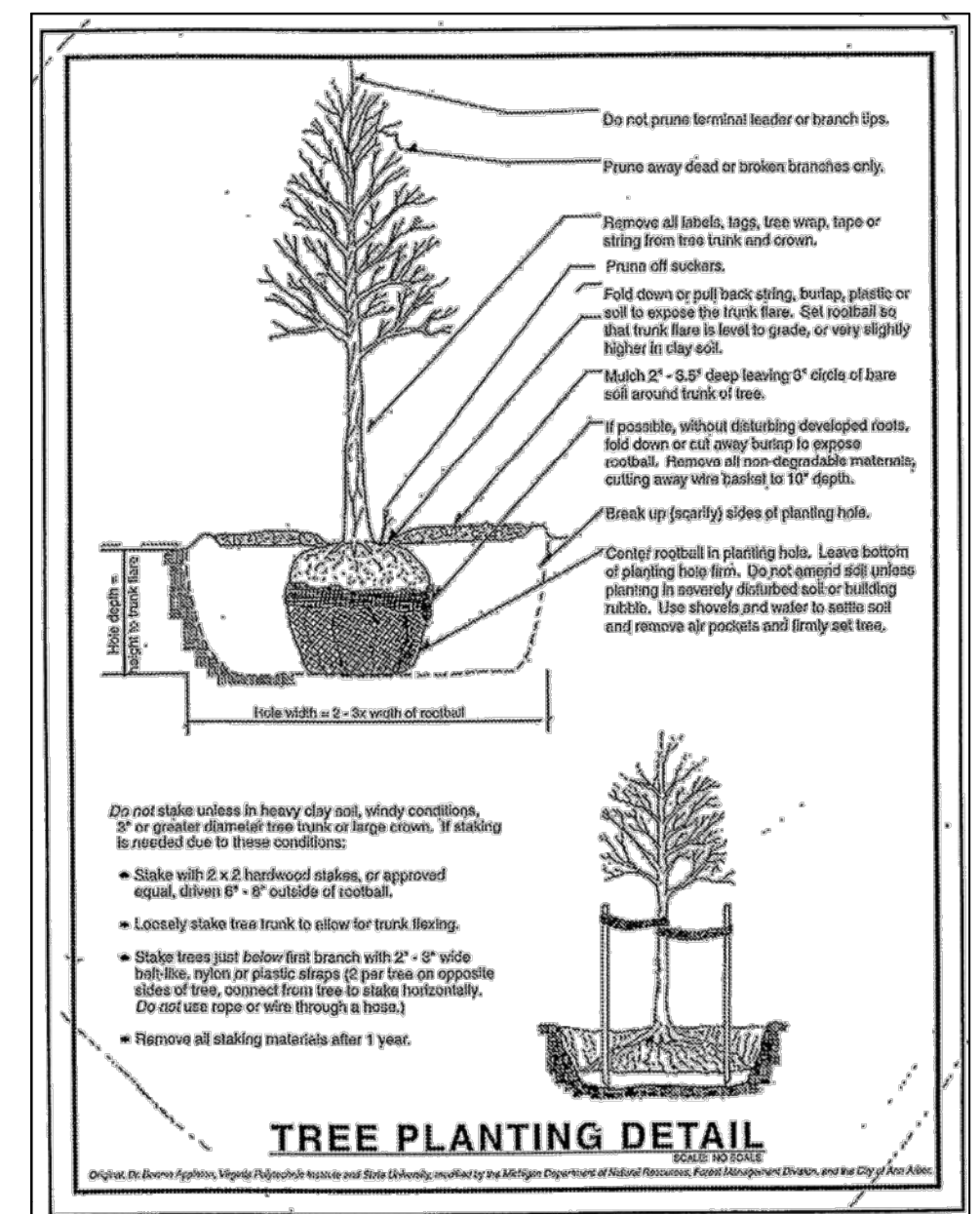
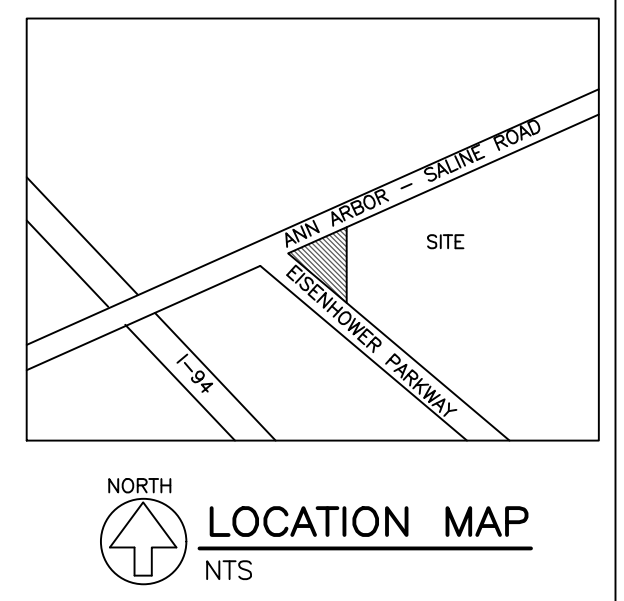
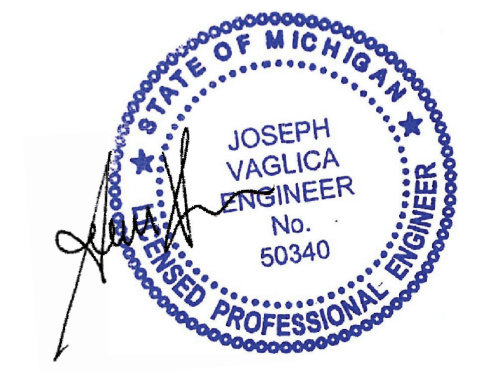
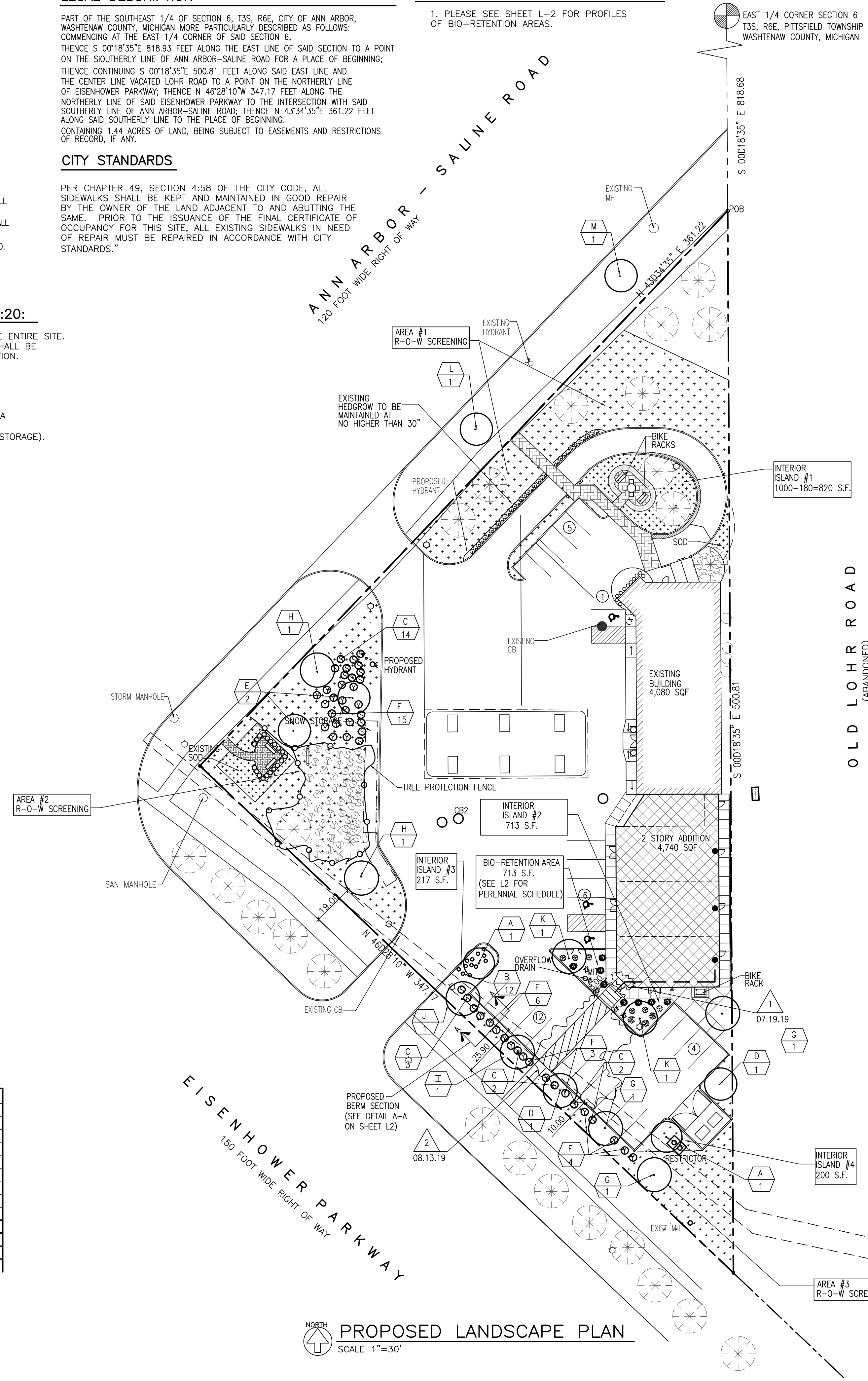
PART OF THE SOUTHEAST 1/4 OF SECTION 6, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 6; THENCE S 00°18'35"E 818.93 FEET ALONG THE EAST LINE OF SAID SECTION TO A POINT ON THE SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING S 00°18'35"E 500.81 FEET ALONG SAID EAST LINE AND THE CENTER LINE VACATED LOHR ROAD TO A POINT ON THE NORTHERLY LINE OF EISENHOWER PARKWAY; THENCE N 46°28'10"W 347.17 FEET ALONG THE NORTHERLY LINE OF SAID EISENHOWER PARKWAY TO THE INTERSECTION WITH SAID SOUTHERLY LINE OF ANN ARBOR-SALINE ROAD; THENCE N 43°34'35"E 361.22 FEET ALONG SAID SOUTHERLY LINE TO THE PLACE OF BEGINNING. CONTAINING 1.44 ACRES OF LAND, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

CITY STANDARDS

PER CHAPTER 49, SECTION 4:58 OF THE CITY CODE, ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

BIO-RETENTION LANDSCAPE ISLANDS

- PLEASE SEE SHEET L-2 FOR PROFILES OF BIO-RETENTION AREAS.



LANDSCAPE REQUIREMENTS (REFERENCE CHART BELOW)

LANDSCAPING & SCREENING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
ROW SCREENING (ROW)			
SIZE OF ROW BUFFER STRIP (MIN 10 FEET)	10' MIN	10' MIN	10' MIN
SCREENING CALCULATION BREAK-DOWN			
NUMBER OF ROW SCREENING TREES (1 TREE FOR EVERY 30' OR FRACTION THEREOF OF PUBLIC ROW STREET FRONTAGE OF THE VEHICULAR USE AREA)	AREA #1: 110LF/30 = 4 TREES AREA #2: 160LF/30 = 6 TREES AREA #3: 150LF/30 = 5 TREES TOTAL = 15 TREES	4 TREES 7 TREES 5 TREES TOTAL = 17 TREES	AREA(S) EXISTING AREA #1 4 TREES AREA #2 7 TREES AREA #3 6 TREES TOTAL(S) = 17 TREES
HEDGE, SHRUBS, BERM AND/OR WALL PROVIDED IN ROW BUFFER STRIP	SHRUBS	SHRUBS	BERM
IF SHRUBS USED, NUMBER OF SHRUBS PROVIDED (1 SHRUB FOR EVERY 4 LINEAR FEET)	71	96	88
VEHICULAR USE AREA (VUA)			
VUA SIZE (SQF)		27,544 SQF	28,105 SQF
SQUARE FEET OF INTERIOR LANDSCAPE ISLANDS REQUIRED	28,105/20 = 1,405 SQF	1,378 SQF	20+200+217+713 = 1,950 SQF
SQUARE FEET OF DEPRESSED BIORETENTION INTERIOR LANDSCAPE ISLANDS (AT LEAST 50% OF THE AREA IN THE INTERIOR LANDSCAPE AREA MUST BE DEPRESSED IF IS AREA EXCEEDS 750 S.F.)	1405/2 = 702.5 SQF	NONE	713 SQF
NUMBER OF INTERIOR LANDSCAPE ISLANDS TREES	1,405/250 = 5.62	6 TREES	6 TREES
STREET TREE REQUIREMENT	1 DECIDUOUS FOR EVERY 45 LF. (12' FROM THE EDGE OF CURB) 708.39 LF/45 = 15 TREES	13 TREES	15 TREES

PROPOSED SCHEDULE OF PLANTS

ITEM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
A	2	BLACK GUM	NYSSA SYLVATICA	2.5" CAL	B&B	PROPOSED DECIDUOUS: INTERIOR ISLAND #3 & #4
B	12	RED SPRITE HOLLY	ILEX VERTICILLATA 'NANA'	2.5" HT	POT	PROPOSED DECIDUOUS SHRUB: INTERIOR LANDSCAPE #3
C	21	SPIREA	SPIRAEA PRUMIFOLIA	2.5" HT	POT	PROPOSED DECIDUOUS SHRUB: R-O-W SCREEN
D	2	SUGAR MAPLE	ACER SACCHARUM	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: R-O-W SCREEN
E	2	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: R-O-W SCREEN
F	28	YEW	TAXACEAE DENSISORMIS	2.5" HT	POT	PROPOSED EVERGREEN SHRUB: BUFFER STRIP
G	3	WHITE SPRUCE	PICEA GLAUCA	2.5" CAL	B&B	PROPOSED EVERGREEN TREE: R-O-W SCREEN
H	2	LINDEN	TILIA GENUS	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: R-O-W SCREEN
I	1	CRAB APPLE	MALUS	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: R-O-W SCREEN
J	1	EASTERN WHITE PINE	PINUS STROBUS	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: R-O-W SCREEN
K	2	BLACK GUM (SOURGUM)	NYSSA SYLVATICA	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: VEHICULAR USE AREA TREE
L	1	NORTHERN RED OAK	QUERCUS RUBRA	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: STREET TREE
M	1	EASTERN REDBUD	CERCIS CANADENSIS	2.5" CAL	B&B	PROPOSED DECIDUOUS TREE: STREET TREE

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CHECKED BY: T.Q.
APPROVED BY: T.Q.

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STATE OF MICHIGAN

PROJECT NO.: 2686
SHEET TITLE: PROPOSED LANDSCAPE PLAN
SHEET NO.: L1

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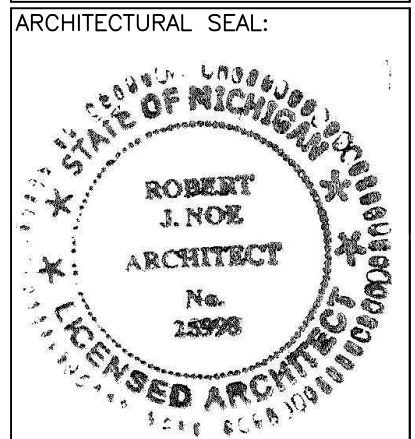
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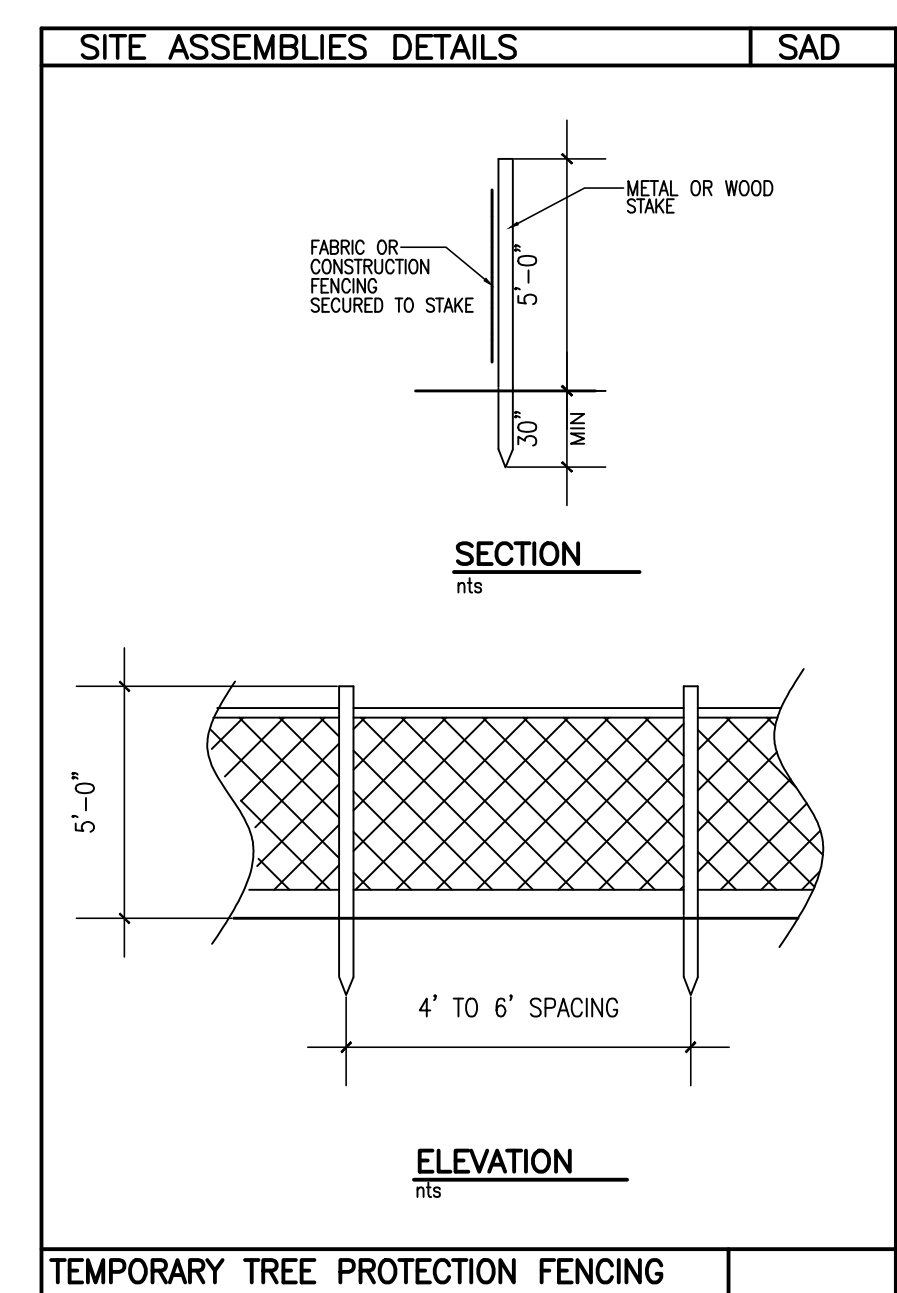
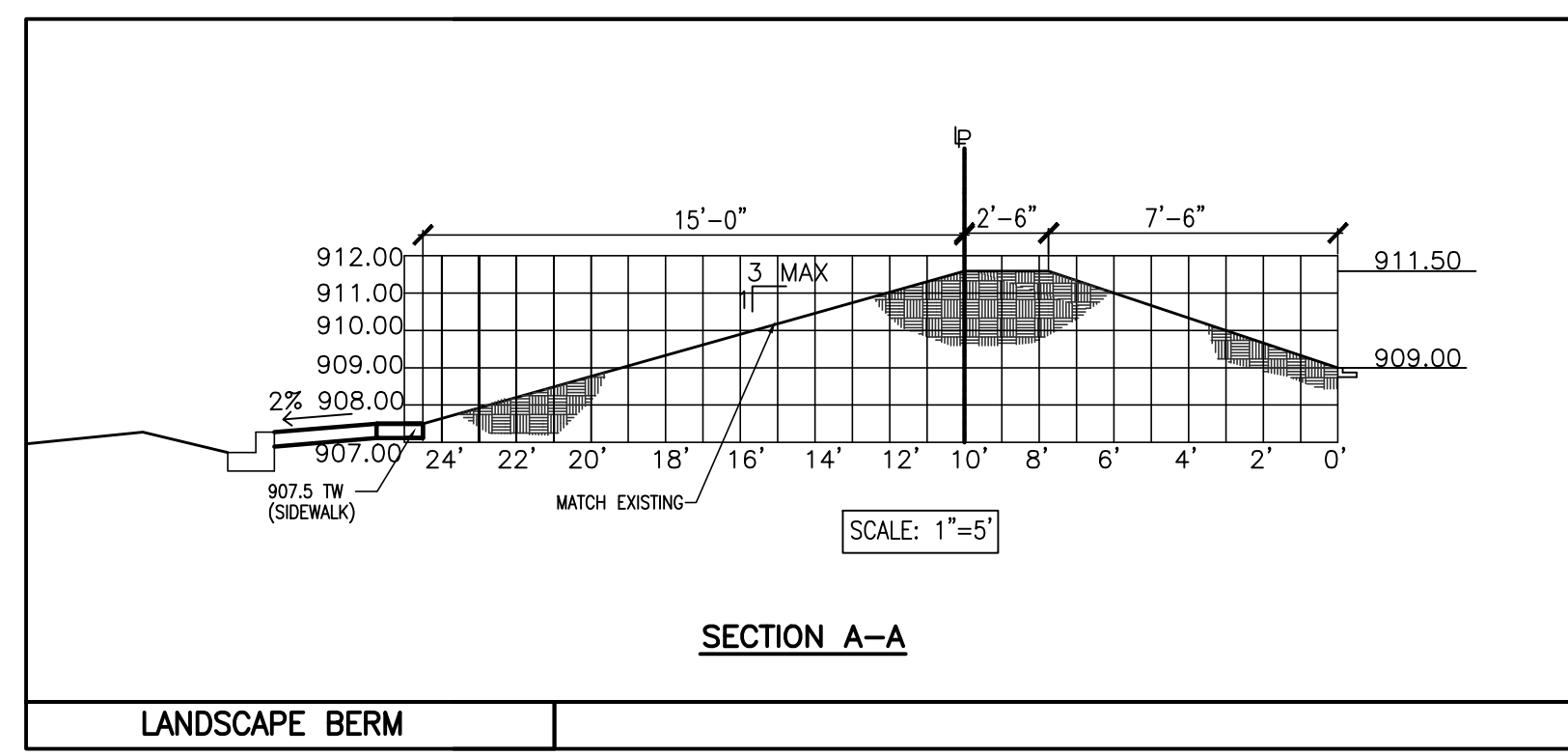
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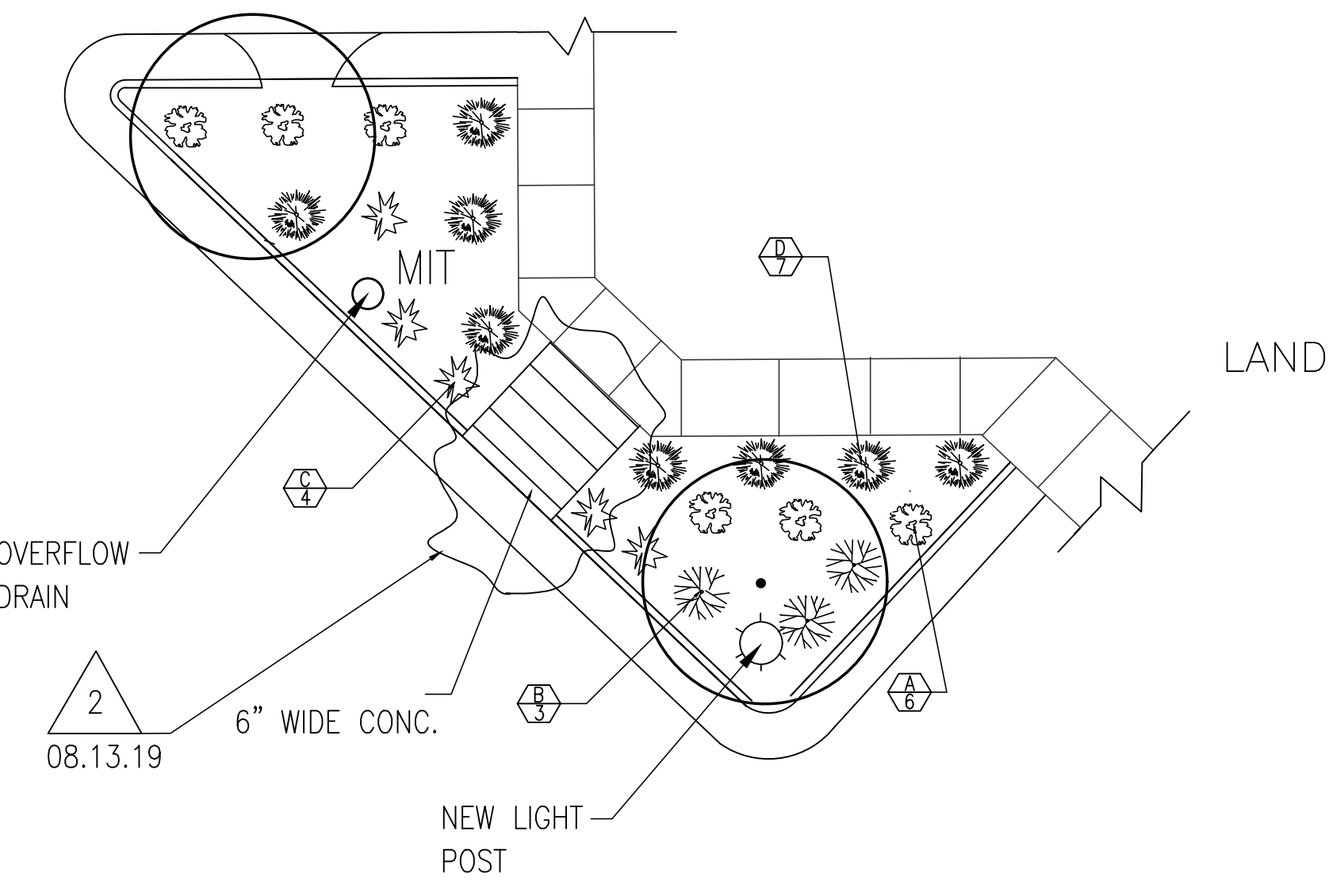
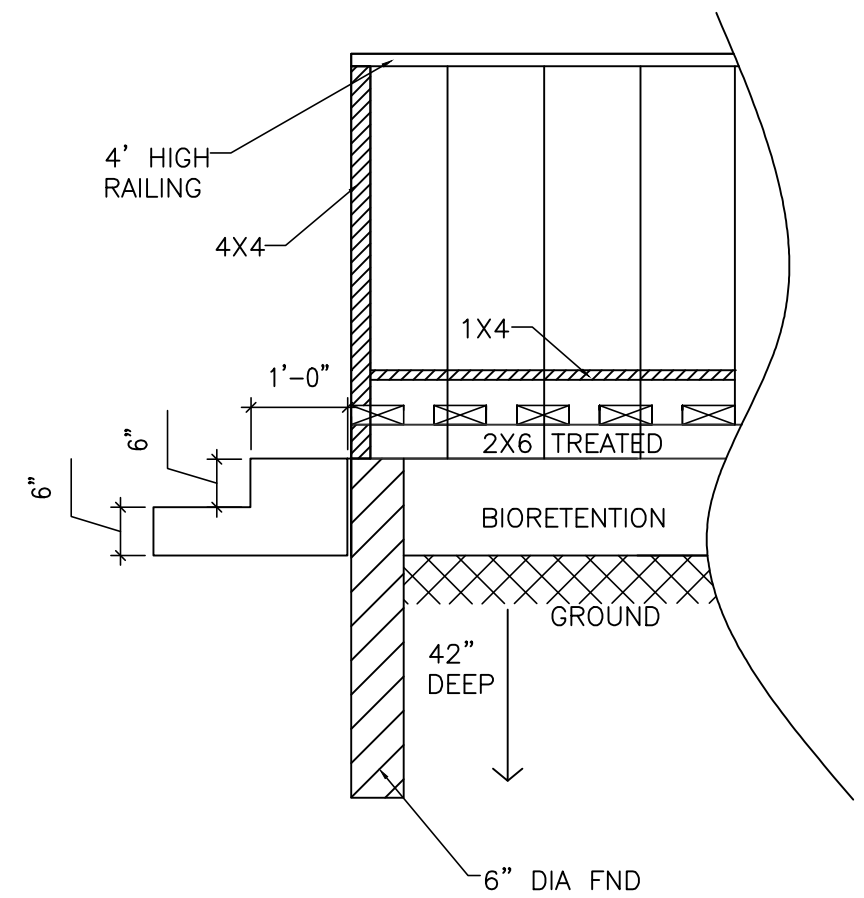
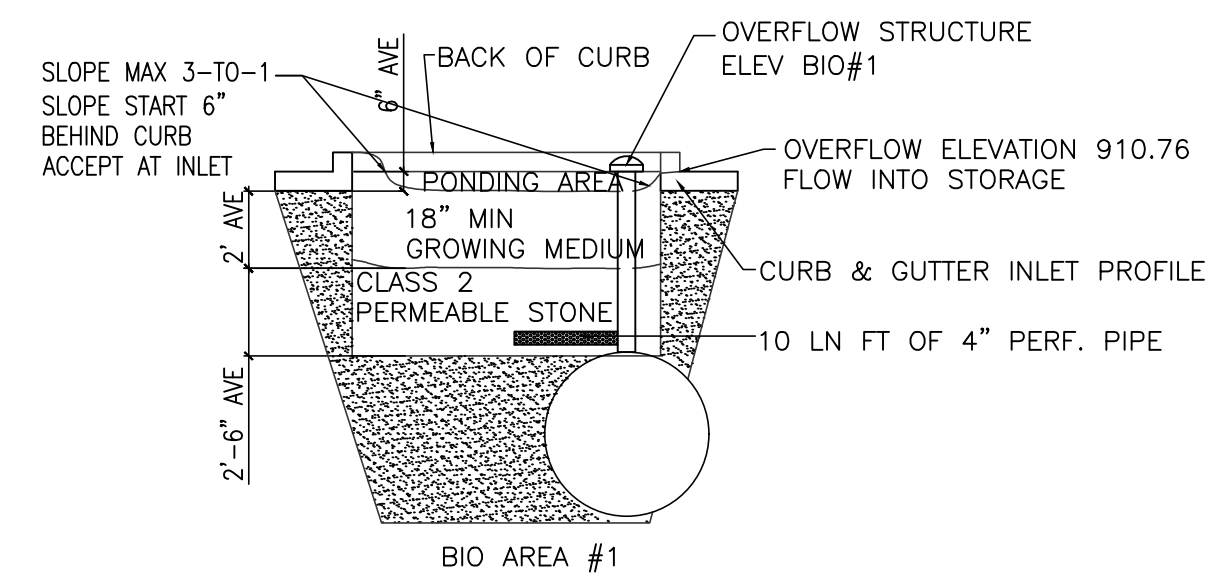
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PROJECT NO.: 2686
SHEET TITLE: BIO-RETENTION AREAS
SHEET NO.: L2



TREE PROTECTION NOTES:
1. TREE PROTECTION FENCE SHALL BE PLACED AT THE EDGE OF THE CRITICAL ROOT ZONE OF ALL PROTECTED TREES (2) SOLE OF WORK TO BE DONE & 6'-0" TALL EXCEPT WHERE UNAVAILABLE WITH EXISTING SIDEWALKS AND WALLS.



SCHEDULE OF PERENNIALS BIO-RETENTION

ITEM	QTY	COMMON NAME	BOTANICAL NAME	SYM	SIZE	HT FT	ROOT	REMARKS
A	6	BLACK EYED SUSAN	RUDBECKIA HIRTA	☼	1 GAL	1-3	POT	
B	3	FALSE DRAGON HEAD	PHYSOSTEGIA VIRGINIANA	☼	1 GAL	1-5	POT	M,W,ST.
C	4	HOARY VERVAIN	VERBENA STRICTA	☼	1 GAL	3-3.5	POT	D,M,ST,DR
D	7	GOLDEN ALEXANDERS	ZIZIA AUREA	☼	1 GAL	1-3	POT	M,W,DR,ST

D=DRY, M = MOIST, W= WET
ST= SALT TOLERANT
DR= DROUGHT TOLERANT

07.19.19

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WALL LEGEND	
	NEW DROP WALL 3/8" MTL STUD WITH DRYWALL (1) LAYER 1 SIDE (W1)
	NEW INTERIOR WALL 3/8" MTL STUD W (1) LAYER 8" DRYWALL BOTH SIDES (W2)
	EXISTING WALL WITH DOOR FILLED IN AND NEW (1) LAYER 8" DRYWALL BOTH SIDES (W3)
	EXISTING EXTERIOR WALL: 6" MTL STUD WITH SIDING (W4)
	EXISTING EXTERIOR WALL: 8" MASONRY BLOCK GROUTED SOLID AT OPENINGS. WITH NEW BRICK VENEER (W5)

WALL LEGEND	
	NEW METAL STUD WALLS
	NEW BRICK VENEER WALLS

- GENERAL FLOOR FINISH NOTES**
- SEE ELEVATIONS FOR EXACT FINISH LOCATIONS.
 - NEW CONCRETE FLOORS: 1/2" SLOPE TO ALL
 - G.C. TO PROVIDE STRESS-CRACK SUPPRESSION FOR ALL TILE SURFACES.

- GENERAL NOTES**
- FIELD VERIFY BASE BUILDING DIMENSIONS AND DOOR LOCATIONS. REPORT DISCREPANCIES TO ARCHITECT PRIOR TO BEGINNING OF INTERIOR CONSTRUCTION.
 - HEIGHT OF WALLS ARE MEASURED FROM FLOOR SLAB.
 - CONTRACTOR SHALL PROVIDE CONSTRUCTION BARRICADE/VISUAL SCREENS IN ACCORDANCE W/OWNER & O.H.S.A. REQUIREMENTS.
 - ALL SAFETY GLASS (TEMPERED, LAMINATED, ETC.) SHALL BE PERMANENTLY LABELED TO INDICATE THE TYPE OF GLASS AND THE SAFETY GLASS STANDARD TO WHICH IT COMPLIES.
 - G.C. TO WORK WITH FIRE MARSHALL TO LOCATE PORTABLE FIRE EXTINGUISHERS, SIZE & TYPE. EXTINGUISHERS SHALL BE INSTALLED WITH SECTION 906.1 OF THE 2009 INTERNATIONAL FIRE CODE.
- ALL CABINETS, COUNTERS, BARS & RESTROOM VANITIES SHALL BE SMOOTH, DURABLE, & EASILY CLEANABLE. ALL CRACKS WILL BE CAULKED AND BAR WOOD SEALED AND/OR PAINTED.
WALL MOUNTED EQUIPMENT SUCH AS SHELVES, SINKS, COUNTERS, VANITIES, URINALS, COAT RACKS, MOP RACKS, WALL FAN MOUNTS AND HOSE REELS SHALL BE SEALED IN PLACE. GAPS BETWEEN DOOR/WINDOW FRAMES/ MOLDING AND WALLS/FLOORS SHALL BE SEALED

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9103 NUNIKON #135
TECHNICAL CENTER
YPSILANTI, MI 48198
(734)693-0852

- DOOR HARDWARE**
- HARDWARE TYPE 1:
(STORE FRONT)
- (1) CLOSER/STOP
 - (1) EXIT DEVICE; ADAMS RITE #8400 MORTISE PANIC DEVICE (BY G.C.) OR EQUAL
 - NO PULL
 - (1) ADA APPROVED ALUM. THRESHOLD. WEATHER STRIPPING & SWEEP
- HARDWARE TYPE 2:
(STORAGE)
- PR) BUTT HINGES; HAGER BB 1 279 4 1/2"x4 1/2" 626
 - (1) KWIKSET LIDA SMARTKEY VENETIAN BRONZE UNIVERSAL KEYED DOOR LEVER
 - (1) KICKDOWN HOLDOPEN
 - (1) KICK PLATE 32"x8"x.05"; 626
 - (1) CLOSER; LCN 4041 SERIES
- HARDWARE TYPE 3:
(RESTROOM)
- (1) CLOSER; LCN 4041 SERIES DUROMONIC
 - (1) KICK PLATE 32"x8"x0.5" 626
 - (2) WALL STOP; QUALITY 308 IVORY
 - (1) OFFSET SWING PIVOT HINGE 120"

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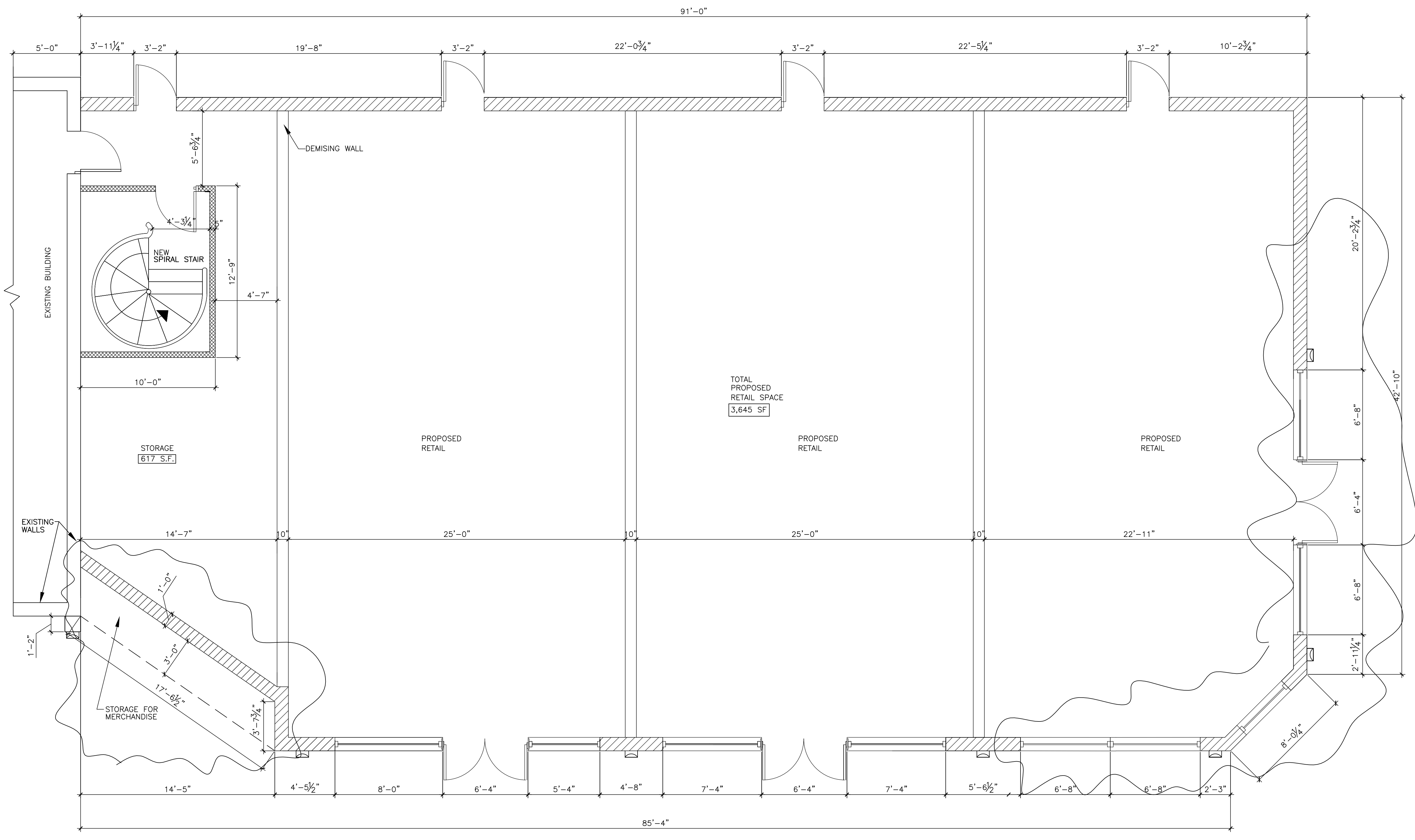
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10-24-18
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DRAWN BY: K.C./V.L.
CHECKED BY: T.Q.
APPROVED BY: T.Q.

ARCHITECTURAL SEAL:

PROJECT NO.: **2686**
SHEET TITLE: **FIRST FLOOR FLOOR PLAN**
SHEET NO.: **A1**



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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WALL LEGEND	
	NEW METAL STUD WALLS
	NEW BRICK VENEER WALLS

- GENERAL FLOOR FINISH NOTES**
- SEE ELEVATIONS FOR EXACT FINISH LOCATIONS.
 - NEW CONCRETE FLOORS: 1/2" SLOPE TO ALL
 - G.C. TO PROVIDE STRESS-CRACK SUPPRESSION FOR ALL TILE SURFACES.

- GENERAL NOTES**
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WALL LEGEND		
	NEW DROP WALL 3/8" MTL STUD WITH DRYWALL (1) LAYER 1 SIDE	(W1)
	NEW INTERIOR WALL 3/8" MTL STUD W (1) LAYER 5/8" DRYWALL BOTH SIDES	(W2)
	EXISTING WALL WITH DOOR FILLED IN AND NEW (1) LAYER 5/8" DRYWALL BOTH SIDES.	(W3)
	EXISTING EXTERIOR WALL: 6" MTL STUD WITH SIDING	(W4)
	EXISTING EXTERIOR WALL: 8" MASONRY BLOCK GROUDED SOLID AT OPENINGS. WITH NEW BRICK VENEER	(W5)

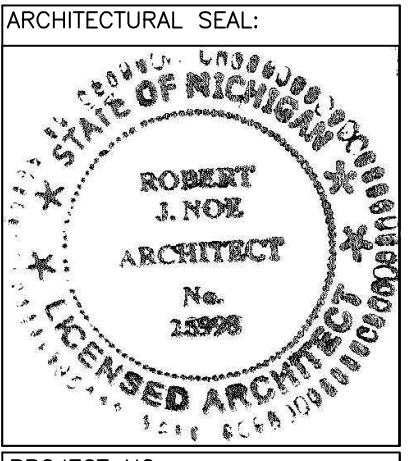
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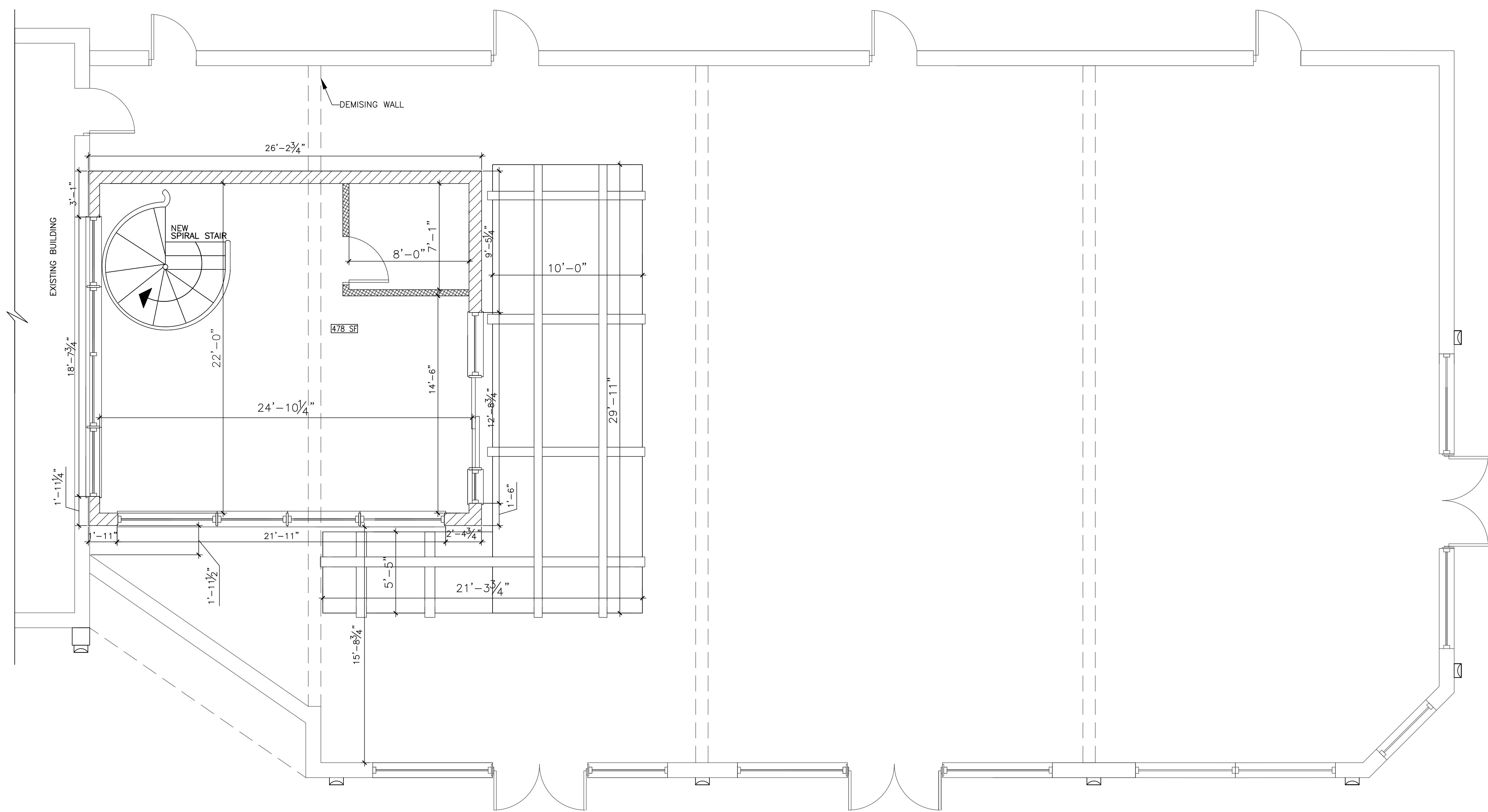
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APPROVED BY: T.Q.



PROJECT NO.: 2686
SHEET TITLE: SECOND FLOOR PLAN
SHEET NO.: A2



NORTH
SECOND FLOOR PLAN
SCALE 1/4"=1'

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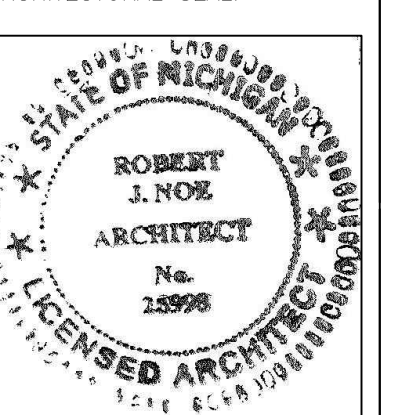
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ARCHITECTURAL SEAL:



PROJECT NO.:

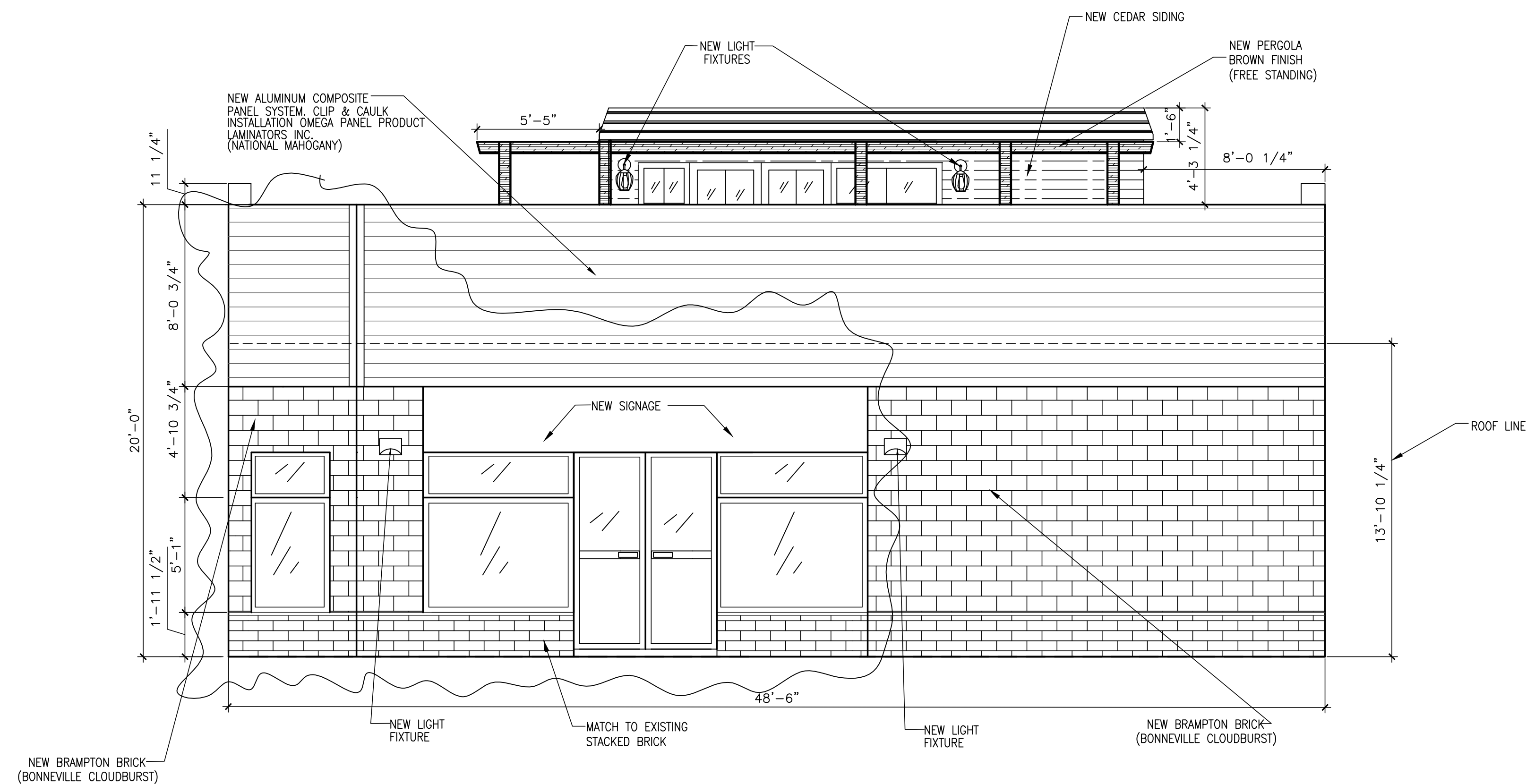
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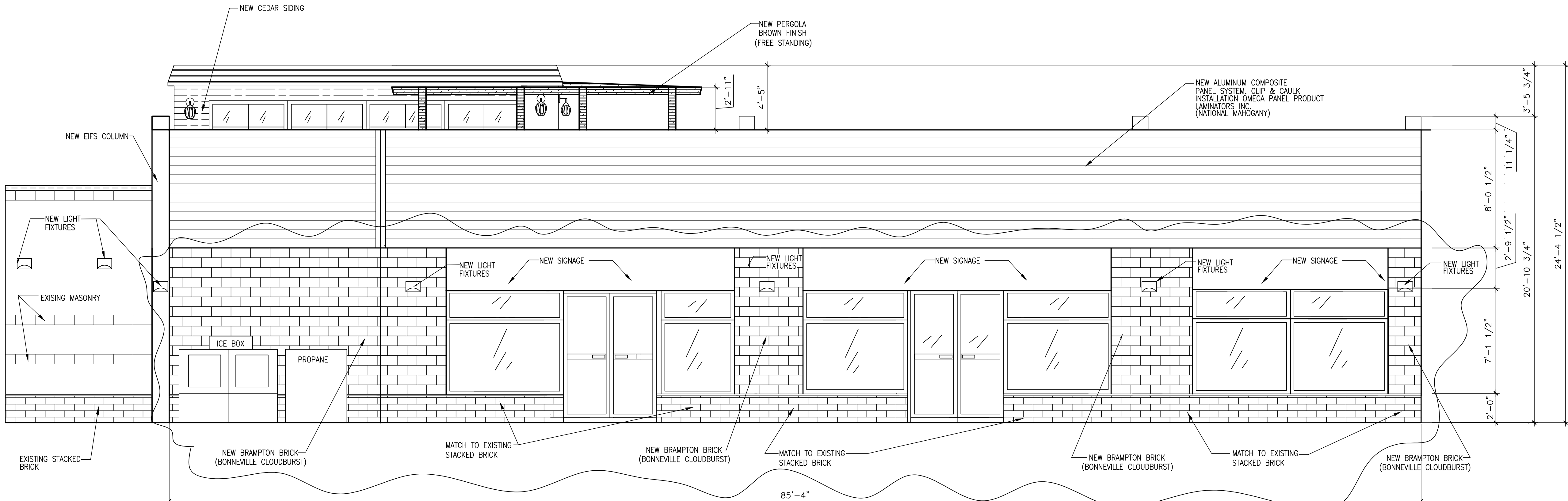
EXTERIOR ELEVATIONS

SHEET NO.:

A3



NORTH
 EXTERIOR ELEVATION
 SCALE 1/4"=1'



WEST
 EXTERIOR ELEVATION
 SCALE 1/4"=1'

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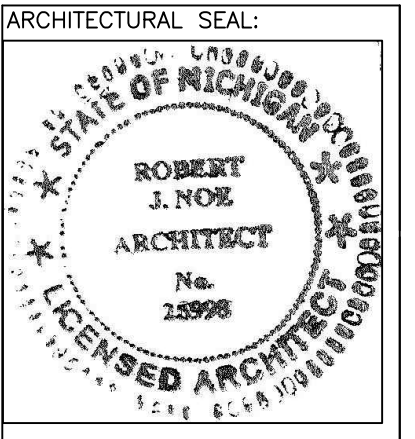
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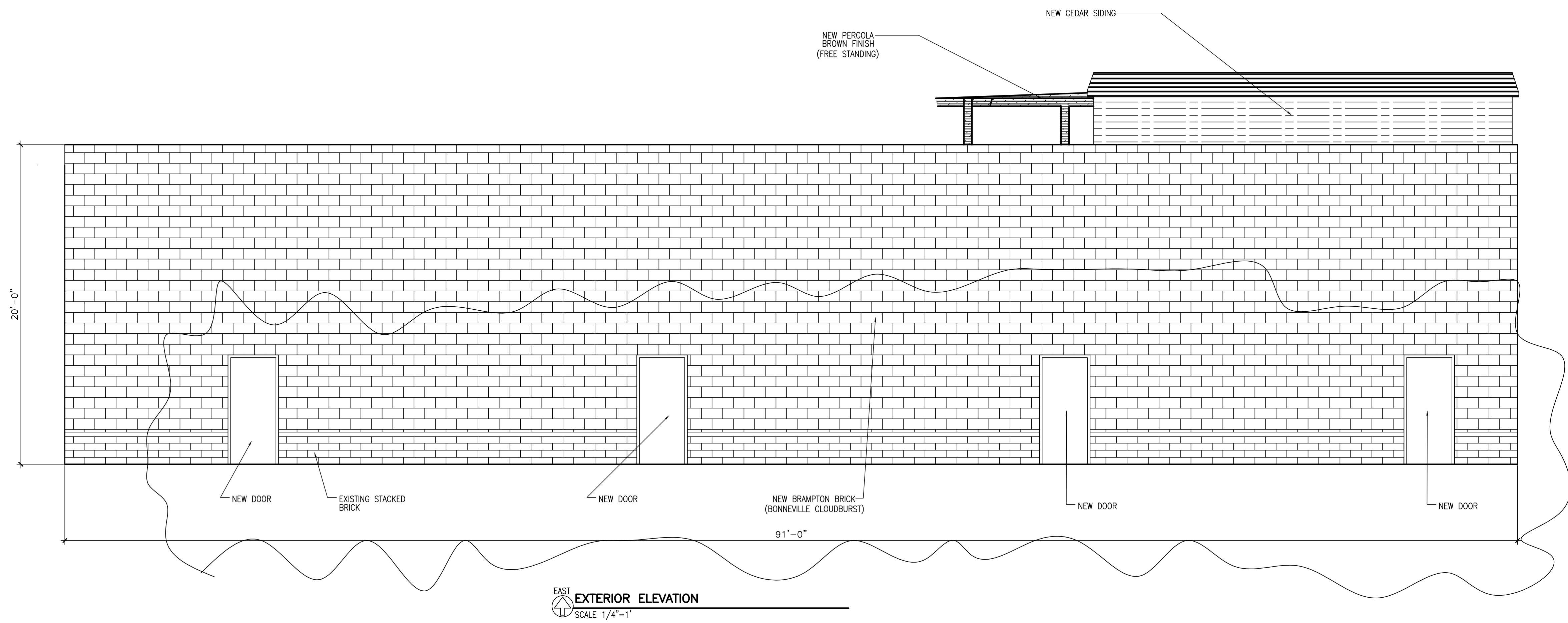
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PROJECT NO.:
2686

SHEET TITLE:
EXTERIOR ELEVATION

SHEET NO.:
A4



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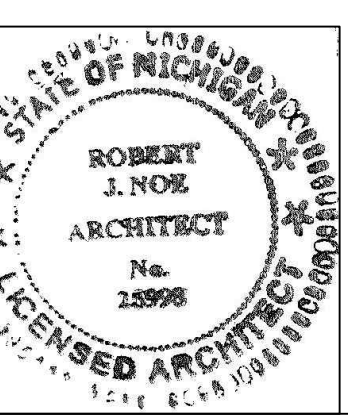
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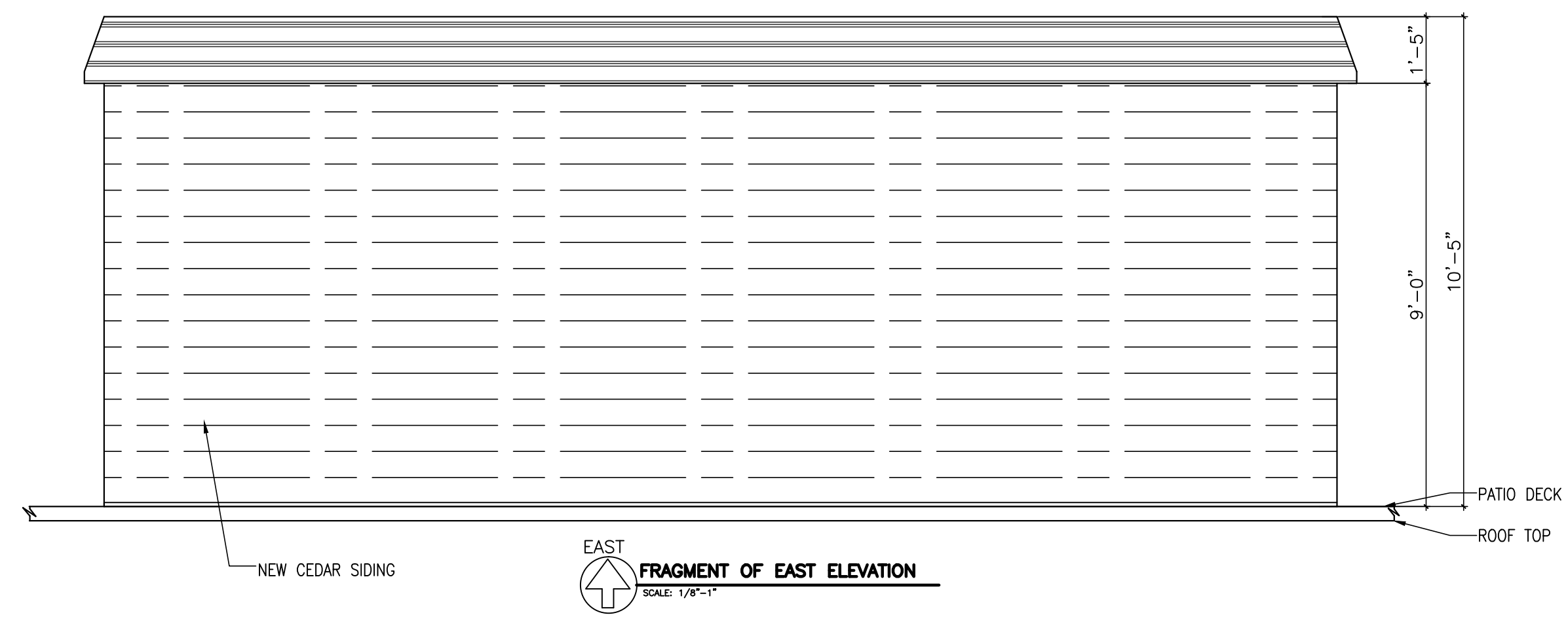
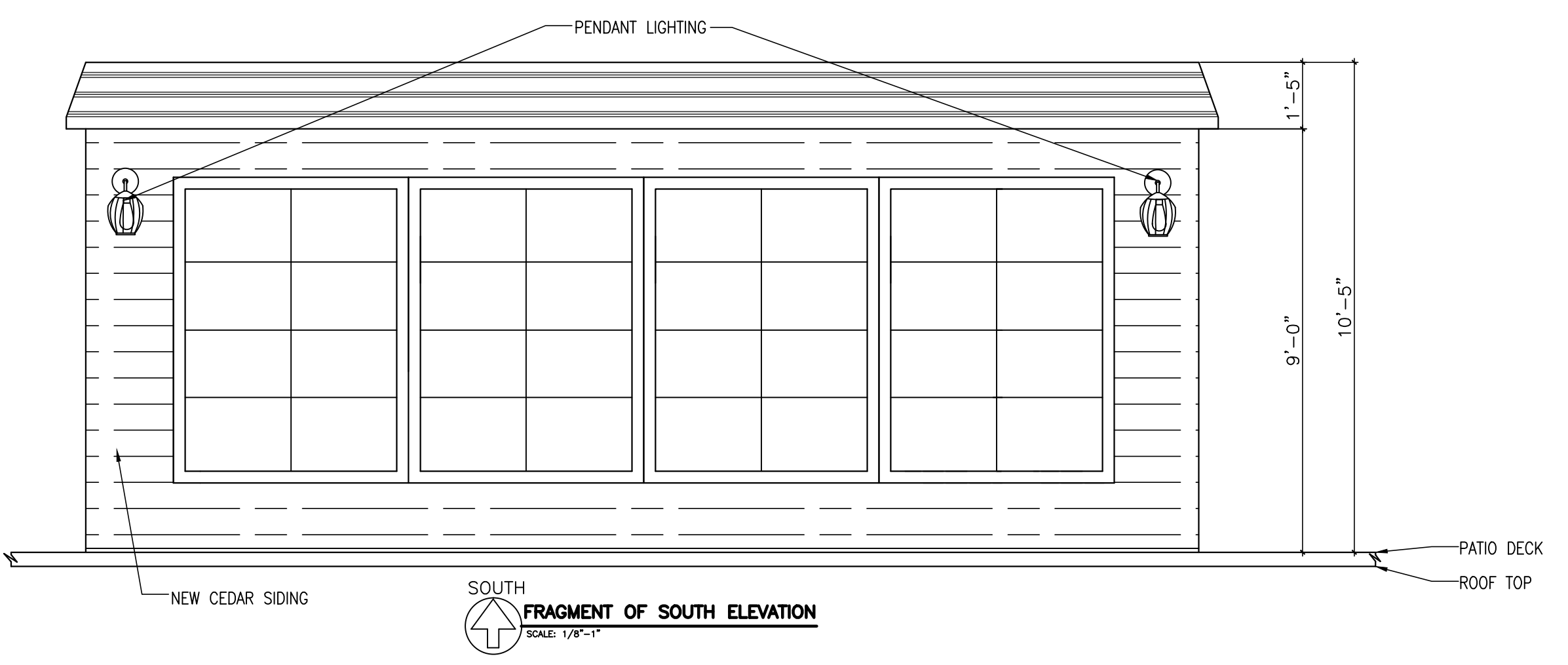
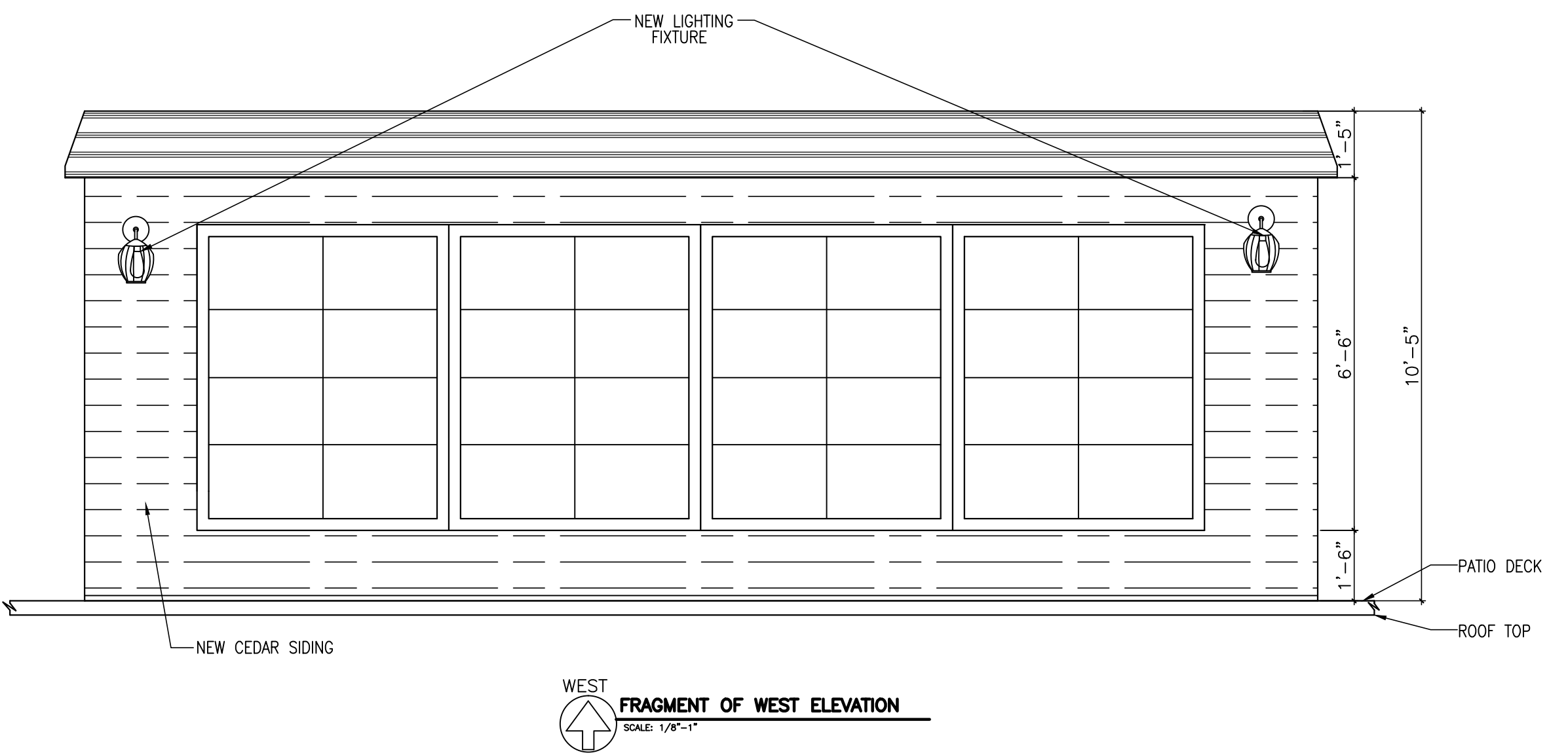
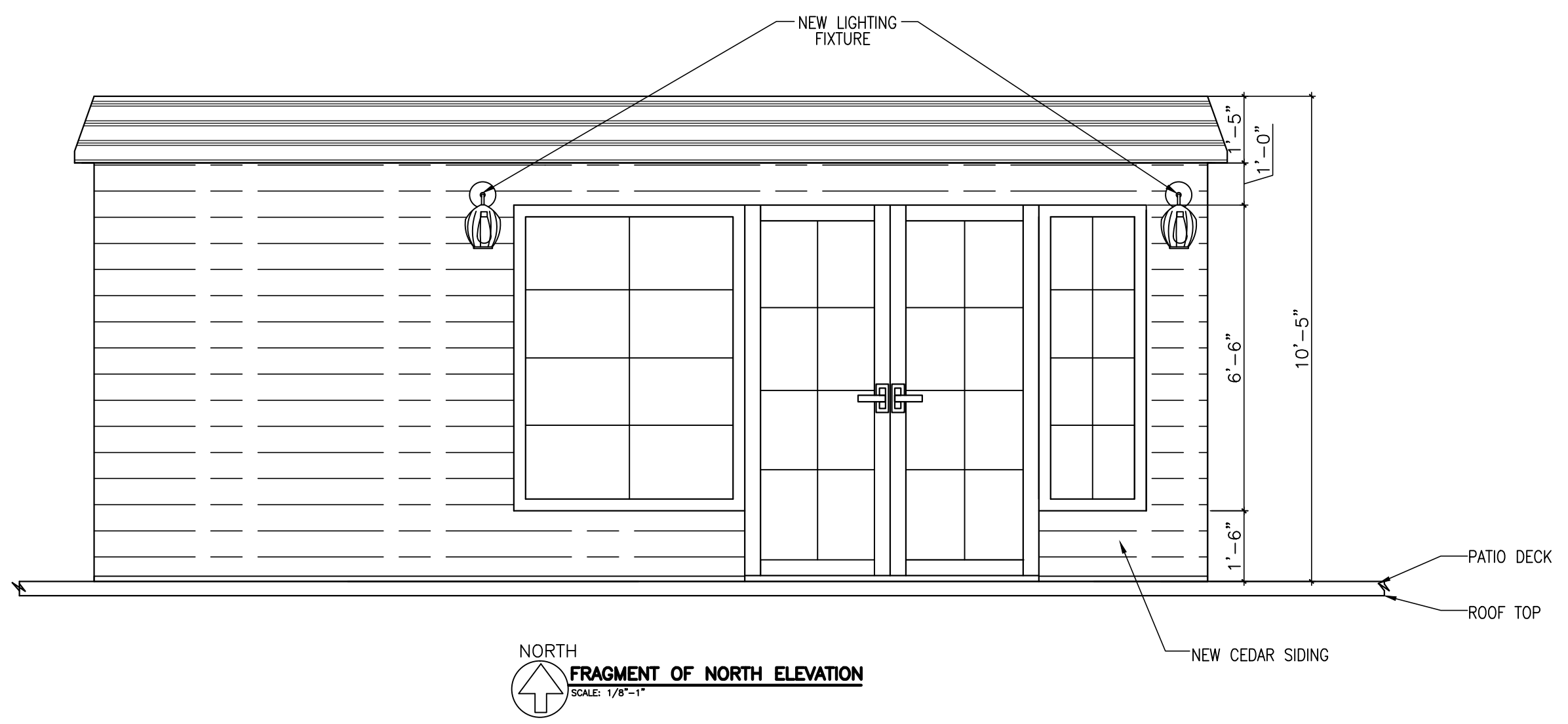
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SHEET TITLE:

FRAGMENT ELEVATIONS

SHEET NO.:

A5



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