

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of March 6, 2018

**SUBJECT: 2793 Plymouth Special Exception Use and Site Plan (2793 Plymouth Road)
File No. SEU18-005**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission, after hearing all interested persons and reviewing all relevant information, including an accompanying site plan, finds the petition substantially meet the standards in Chapter 55 (Zoning Ordinance), Section 5:104 (Special Exceptions) and Section 5:50.1 (Regulations Concerning Medical Use of Marijuana), and therefore approves the 2793 Plymouth Special Exception Use for a medical marijuana Provisioning Center. This approval is based on the following findings:

1. The proposed use will be consistent with the C3 Fringe Commercial District, which provides for commercial activities including retail establishments, offices, and personal services.
2. The proposed use will not adversely impact traffic, pedestrians, bicyclists, circulation, or road intersections based on the location. Plymouth Road provides access to the site, and the proposed use is consistent with other surrounding uses' traffic impact.
3. There is an existing site plan approved by City Council in 2013, on file in Planning Services.
4. Through documentation submitted by the petitioner regarding waste disposal, inventory tracking, security, and other methods of operation of the facility, the provisioning center will be operated in a manner that will not have an adverse impact on the neighboring properties or area, and will not have a detrimental impact on natural features.

This Special Exception Use approval is based on the following conditions:

1. The petitioner obtaining and maintaining both a State of Michigan Medical Marijuana License and a City of Ann Arbor Medical Marijuana Permit, and providing documentation to Planning Services within three years of the City Planning Commission approval date of this petition.
2. The petitioner operating a medical marijuana business at this address within three years of the City Planning Commission approval date of this petition.
3. The special exception use may occupy no more than 500 square feet of the entire building.

4. The petitioner will plant one tree as specified on the December 3, 2012 landscape plan sheet S-3, but missing from the site. The tree must be planted by May 30, 2018.
5. The petitioner will install two bicycle parking lockers that accommodate four Class A bicycle parking spaces on the south side of the building as specified on the approved site plan. The lockers must be installed by May 30, 2018.

And that the Ann Arbor Planning Commission approves the attached Site Plan which demonstrates compliance with the applicable Special Exception Use standards as no physical development of the property is proposed.

STAFF RECOMMENDATION

Staff recommends that the special exception use be **approved with conditions** subject to Planning Commission consideration because the proposed special exception use is of such location, size and character as to be compatible with the zoning district in which the site is situated; and the location and size of the proposed use, its nature and intensity, the site layout and access, and effect of the proposed use on public services would not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood.

LOCATION

The site is located on the north side of Plymouth Road, east of Nixon Road and west of Huron Parkway. It is in the Millers Creek subwatershed, and Ward 2.

DESCRIPTION OF PETITION

The petitioner seeks special exception use approval to operate a medical marijuana provisioning center in an existing building zoned C3 Fringe Commercial. Per the Zoning Ordinance, Chapter 55, C3 zoning allows medical marijuana provisioning centers with special exception use approval.

The 1.0 acre site contains a 21,732 square foot, two-story retail building constructed in 2012/2013. The provisioning center occupies Suite K on the second floor, and is approximately 325 square feet, not including the shared elevator lobby. No changes to the site are proposed by the petitioner.

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Retail (Plymouth Road Mall)	C3
EAST	Retail (Speedway Gas Station)	C3
SOUTH	Research (University)	PUD
WEST	Retail/Service (TCF Bank)	C3

HISTORY

A 1966 aerial photo shows a single farm on the triangle between Plymouth, Nixon, and Huron Parkway. By 1978 the triangle was completely developed with all of the current buildings except this one (Plymouth Road Plaza).

The Plymouth Road Plaza Site Plan was approved by City Council in 2009, administratively amended in 2012, and the landscaping was administratively amended in March, 2013. The project was constructed in 2012/2013 on top of what had been a parking lot for Plymouth Road Mall.

PLANNING BACKGROUND

The C3 Business Service District encourages a variety of uses. Medical Marijuana Provisioning Centers are a Special Exception Use in the District. The site is more than 600 feet from any other provisioning center, and more than 1000 feet from any K-12 school.

The *Master Plan Land Use Element* recommends a future land use of *commercial* for this site and for surrounding parcels in the triangle between Plymouth Rd, Huron Parkway, and Nixon Road.

SPECIAL EXCEPTION USE STANDARDS

The Planning Commission, in arriving at its decision relative to any application for a special exception, shall apply the standards shown on the attached petition.

In addition, the following information is required to be submitted for provisioning centers per 5:50.1(8) Special exception use regulations for medical marijuana facilities:

- 1) an operations statement that describes the life cycle of marijuana on site, and general business operations;
- 2) a safety and security plan that addresses marijuana, customers, employees, and the neighborhood;
- 3) a description of methods to be used to contain all odors within the building;
- 4) a waste disposal plan for marijuana; and
- 5) hours of operation.

This required information is attached, and additional information may be found in the complete project application package in Trakit at www.a2gov.org/permits.

PLANNING STAFF COMMENTS

Medical marijuana provisioning is a land use akin to general retail. Goods are located on site, and consumers, in this case state medical marijuana card-holders, purchase those goods and leave the store with them.

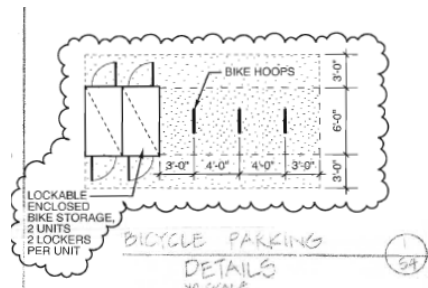
The special exception use requirements as they are applied to this petition are broken down into general categories below.

Northeast Area Plan: The master plan recommends commercial uses for this location, with which the proposed use is consistent.

Compatibility with the general vicinity: The use is not unlike the retail businesses surrounding it. In this retail center, these include a fitness center, salon, coffeeshop, restaurant, and credit union. The parcel is across a parking lot from the Plymouth Road Mall. The proposed location, Suite K, is approximately 325 square feet in size. Staff proposes a limit of 500 square feet for this special exception use, which could be located anywhere in the building.

Consistent with the neighborhood and not detrimental: The intensity and character of the business are compatible with this commercial development. No complaints have been received by Planning and Building about this business.

Parking: The development has 74 parking spaces, 17 of which are off-site shared spaces on the east side of the Starbucks drive through lane. The site plan specifies four class A and six class C bicycle parking spaces. Two bike storage units that each contain two spaces had been installed, but are now missing from the site. These must be reinstated as specified on the site plan by May 30, 2018 as a condition of the SEU approval.



Pedestrian Safety: Public sidewalks, in good condition, are present along Plymouth Road. Interior sidewalk connect to the public sidewalk, and also connect this development to the Plymouth Road Mall immediately to the north across the parking lot.

Vehicular movement and traffic: The vehicle trips generated by a provisioning center are consistent with general retail uses found in C3 district, and surrounding land uses. This retail center has good access to and from Plymouth Road and Nixon Road.

Natural Features: The December 3, 2012 Landscape Plan sheet S-3 specifies an American Basswood tree in a landscape island off the northwest corner of the site. That tree is missing from the site. To bring the site plan into compliance, the specified species and size of tree must be replanted. The motion is conditioned upon the planting of that tree by May 30, 2018.

Additional required Medical Marijuana SEU information:

Operations Plan: The attached operations plan is generalized, brief, and doesn't contain details.

Staff is not overly concerned about this since the State of Michigan will be dictating many of the daily operating procedures through the Medical Marijuana Facilities Licensing Act.

Safety & Security: A thorough safety and security plan is attached. It should be noted that the state licensing process requires an extremely detailed and comprehensive security system. Staff does not ask for the particulars of provisioning centers' security plan since our documents are all public, unlike the state license permit application which is not.

Odor Control: Lack of odor control is the most frequent complaint heard by staff about provisioning centers. This petition includes a Ventilation Plan/Air Filtration System description and proposes carbon filters and ventilation fans to control odors. Per the medical marijuana zoning ordinance, no facility may create noise, dust, vibration, glare, fumes, odors or electrical interference detectable to the normal senses beyond the property boundary.

Waste Disposal: All parts of a marijuana plant that are to be discarded will first be rendered unusable by grinding and mixing with neutral materials. The business will send this material to an approved disposal facility.

Hours of Operations: As stated on the Cover Sheet attachment, hours will be Monday-Friday, 8am-8pm, Saturday 10am-9pm, and Sundays from 10am-5pm.

DEPARTMENT COMMENTS

Fire Marshal: Landscaping shall not obstruct access or view of the hydrant. A cleared area 3' in circumference is required around the hydrant.

Prepared by Brett Lenart/Jill Thacher

Attachments: Zoning/Parcel Maps
 Aerial Photo
 SEU Petition Application
 SEU Application Attachments
 Site Plans
 Landscape Plan
 Landscape Details
 Floor Plan

c: Petitioner: MMM of A2, Inc.
 2793 Plymouth Rd, Ste K
 Ann Arbor, Mi 48105

 Petitioner's Agent: Cannabis Attorneys of Michigan
 Denise Pollicella
 4312 East Grand River Avenue
 Howell, MI 48843

City Attorney's Office
Systems Planning
File No. SEU18-005

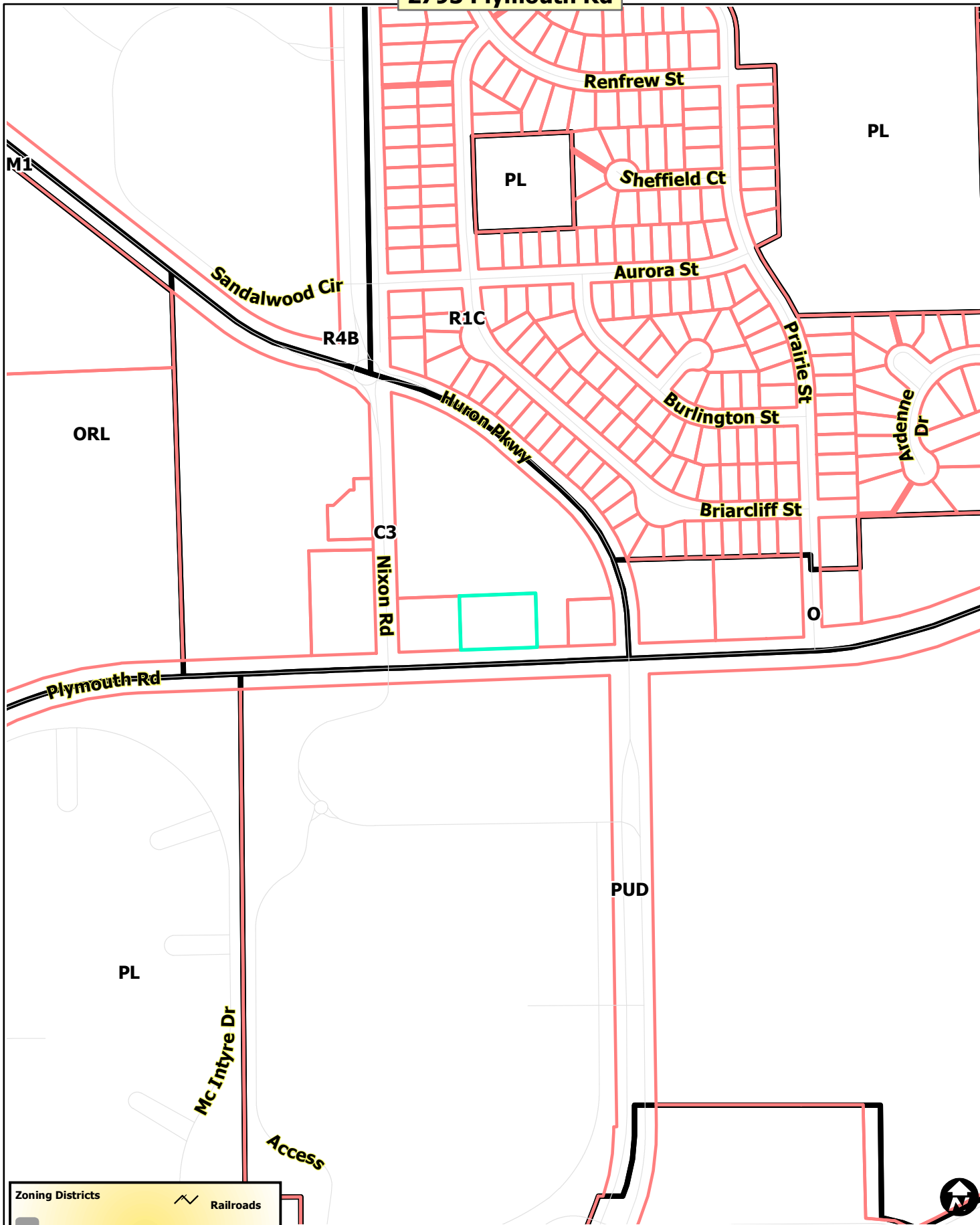
Front of 2793 Plymouth, August 2017 (google)



Rear of 2793 Plymouth, July 2015 (google)



2793 Plymouth Rd



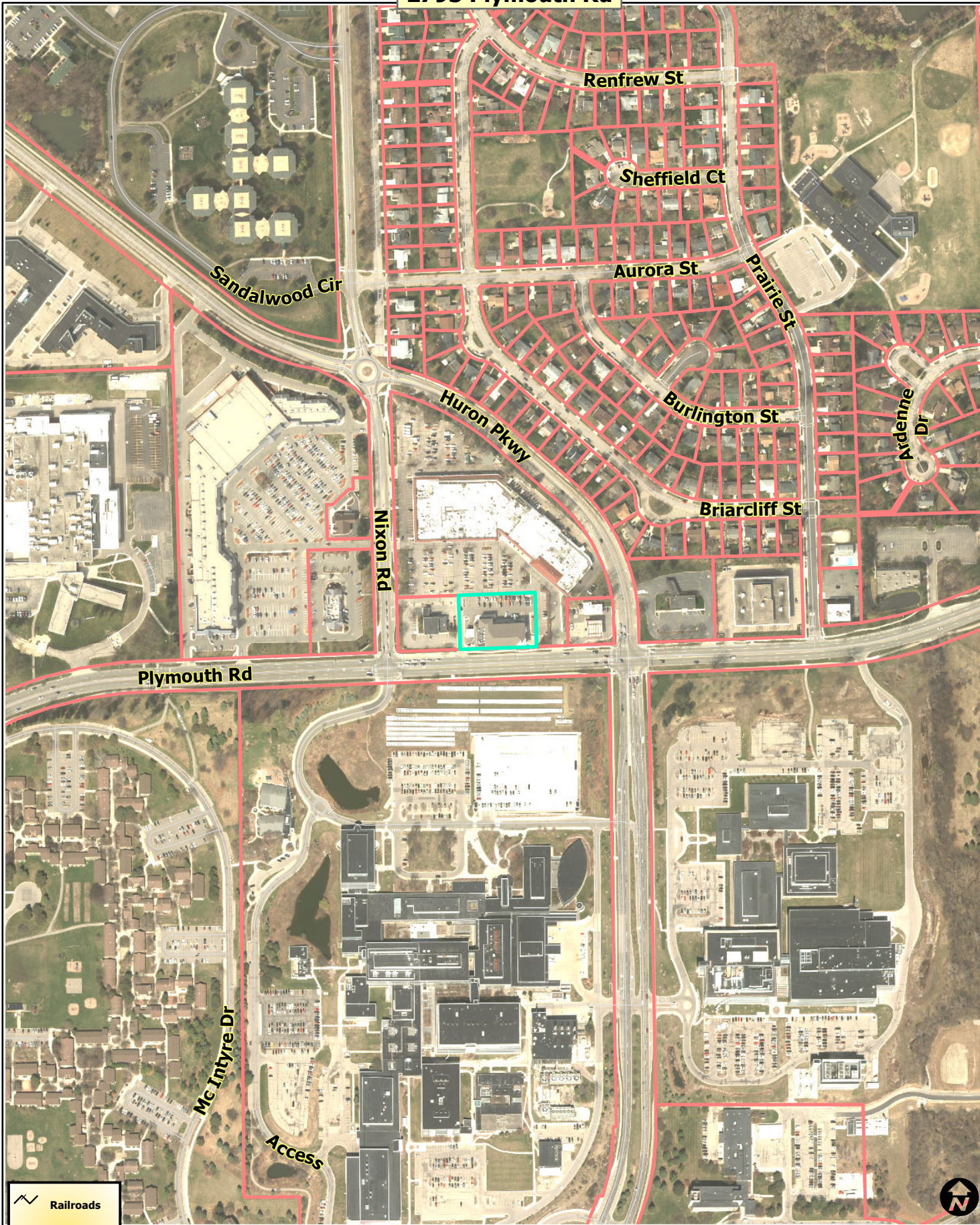
Zoning Districts	Railroads
Township Islands	Huron River
City Zoning Districts	Tax Parcels



Map date 1/22/2018
 Any aerial imagery is circa 2015
 unless otherwise noted
 Terms of use: www.a2gov.org/terms



2793 Plymouth Rd

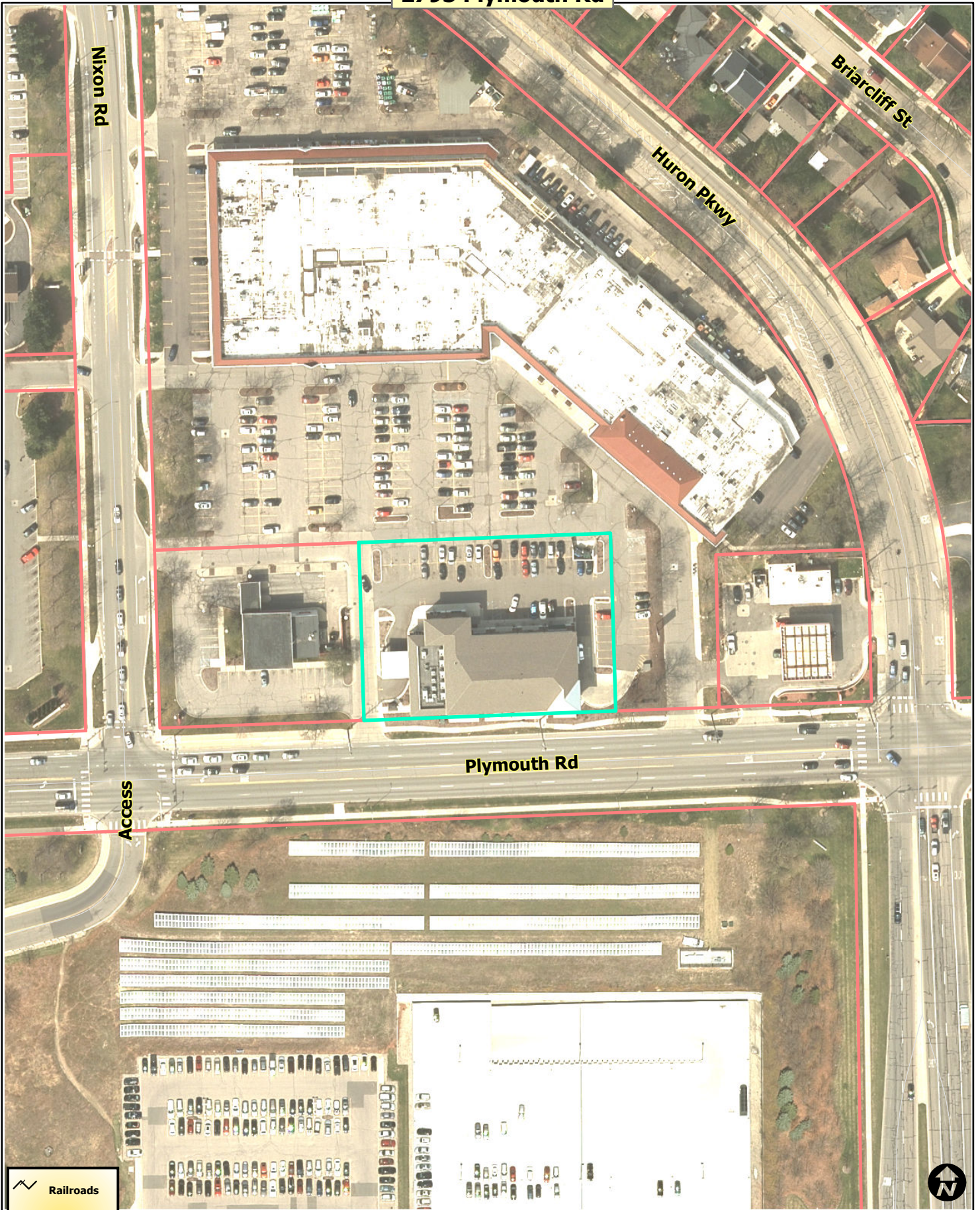





- Railroads
- Huron River
- Tax Parcels



Map date 1/22/2018
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2793 Plymouth Rd



-  Railroads
-  Huron River
-  Tax Parcels



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City of Ann Arbor

PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES

100 North Fifth Avenue | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647

p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

APPLICATION FOR SPECIAL EXCEPTION USE

See www.a2gov.org/planning/petitions for submittal requirements.

TO: Ann Arbor City Planning Commission

We, the undersigned, respectfully petition the City Planning Commission to approve this special exception use request as it relates to the property hereinafter described.

A. Legal Description

(Give or attach legal description and include address of property)

PRT OF OUTLOT F, NORTH CAMPUS HEIGHTS NO 2, DESCRIBED AS BEG AT NE COR OUTLOT E, NORTH CAMPUS HEIGHTS NO 2 TH N 88 DEG 04' 30" E 247.72 FT; TH S 01 DEG 57' 43" E 174.99 FT; TH S 88 DEG 04' 30" W 250.05 FT; TH N 01 DEG 12' 00" W 175 FT TO THE POB, CONTAINING 1.00 ACRES MORE OR LESS AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY. Split on 10/25/2006 from 09-09-15-400-007;

City of Ann Arbor, County of Washtenaw, State of Michigan, to wit:

More Commonly Known as: 2793 Plymouth Rd. Ste K

Tax Item Number: 09-09-15-400-010

B. Petitioner Information

The petitioner(s) requesting the special exception use are: *(List petitioners' name; address; telephone number; and interest in the land; i.e., owner, land contract, option to purchase, etc.)*

MMM of A2, Inc. d.b.a Medicine Man of Ann Arbor, Aaron Bryant, Member-Manager

c/o Pollicella & Associates, PLLC 4312 E Grand River Avenue, Howell, MI 48843 PH: 517-546-1181

Applicant's interest in the land is as a Lessee

Also interested in the petition are: *(List others with legal or equitable interest)*

C. Use Request

The applicant requests special exception use approval to permit the following use(s): *(state intended use)*

A Medical Marihuana Provisioning Center in a C3 zoned district as allowed for by the Ann Arbor Code of Ordinances Chapter 55, 5:10.19(2)(a) and 96.

D. Specific Standards

The proposed use is allowed in accordance with the Schedule of Use Regulations, Chapter 55 (Zoning Ordinance), Section 5:10.9, Paragraph 2(a). Specify how the project meets all standards cited. Add attachment if necessary.

The site and building are existing. No new exterior work is being proposed at this time. The Proposed use is allowable within the district subject to Chapter 55 section 5:50.1 and a special exception per 5:104

E. General Standards

The proposed use or uses shall be of such location, size and character as to be compatible with the appropriate and orderly development of the zoning district and adjacent zoning districts in which the site is situated. Please explain how and to what extent the following standards are met by the proposal:

- 1. Will be consistent with the general objectives of the City MasterPlan.

Operating in the Northeast Area of Ann Arbor will be consistent with Goal G of the City Master Plan’s Land Use Goals, Objectives and Action Statements. To encourage non-residential areas to promote a range of employment opportunities and business creation and expansion.

- 2. Will be designed, constructed, operated and maintained in a manner that is compatible with the existing and planned character of the general vicinity.

There will not be any proposed construction for this project. Our operations are compatible within the retail center in our general vicinity. Our location is buffered by parcels of the same retail use. Our days and hours are consistent with neighboring businesses, as we’re neither the first opened nor the last closed in our building.

- 3. Will be consistent with the general character of the neighborhood considering population density, design, scale and bulk; and the intensity and character of activity.

The neighboring parcels are also in the Northeast’s Retail Centers and the use is consistent with those permitted uses. We present no increase in parking demand . The bus stop in front of the building promotes mass transit which is compatible with the City Master Plan.

- 4. Will not be detrimental to the use, peaceful enjoyment, economic value or development of neighboring property, or the neighborhood area in general.

The use is consistent with the neighboring properties as they are also retail establishments, will not damage the general character of the neighborhood, and there will be no additional population density added to the area, as it is not a residential project. We are separated from the closest residential areas by retail to the north of our location.

- 5. Will not have a detrimental effect on the natural environment.

It will not have a detrimental effect on the natural environment as the site and building are already in existence.

The location and size of the proposed use or uses, the nature and intensity of the principal use and all accessory uses, the site layout and its relation to streets giving access to it, shall be such that traffic to and from the use or uses, the assembly of persons in connection therewith, and the effect of the proposed use on public services and facilities, will not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood. Please explain how and to what extent the following standards are met by the proposal:

6. The location of and access to off-street parking and the safe provision for pedestrian traffic.

The site is located in the Commercial District and does not exceed the maximum permitted usable floor area as outlined in Chapter 59:5.169. The site does include ample parking with 57 on site, 17 off site spaces.

The location has an approved site plan as of 3/8/13.

7. The relationship of the proposed use to main traffic thoroughfares and to streets and road intersections.

The relationship will not change. Traffic Patterns will remain consistent with the current use.

8. Vehicular turning movements in relationship to traffic flow routes.

There will be no changes to vehicular turning movements and no change to traffic flow routes.

9. The intensity and character of traffic and parking conditions on the site and in the general area.

Normal traffic flow will not be changed.

The site is located in a Commercial District and has 57 approved on-site parking and 17 off-site parking.

10. The requirements for additional public services and facilities which will be created by the proposed use will not be detrimental to the social and economic welfare of the community.

No need for additional public services.

F. Variance Information

In addition to the granting of the special exception use, the following variances from City regulations will be requested:

There is no need for additional variances.

Attached is a site plan of the property proposed for special exception use approval, showing the

boundaries of the property, the buildings, vehicular use areas, and all requirements set forth in Chapter 57 (Subdivision and Land Use Controls).

The undersigned states he/she is interested in the property as aforesaid and that the foregoing statements are true and correct to the best of his/her knowledge and belief.

Dated: January 24, 2018

Signature: *Aaron Bryant*

Aaron Bryant, Member-Manager of MMM of AZ, Inc.
2793 Plymouth Rd. Ste K, Ann Arbor, MI

(Print name and address of petitioner)

STATE OF MICHIGAN

COUNTY OF WASHTENAW (*Oakland*)

On this 24 day of January, 2018, before me personally appeared the above named petitioner(s), who being duly sworn, say that they have read the foregoing petition and by them signed, and know the contents thereof, and that the same is true of their knowledge, except as to the matter therein stated to be upon their information and belief, and as to those matters they believe it to be true.

Signature: *Maegen Fox*

MAEGEN FOX
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WAYNE
My Commission Expires Aug. 04, 2021
Acting in the County of Oakland

My Commission Expires: 08/04/2021

OPERATIONS STATEMENT

Applicant proposes one (1) state-licensed medical marijuana provisioning center for the commercial retail sale of tested and tracked medical marijuana products to registered patients pursuant to the requirements and restrictions of the Medical Marijuana Facilities Licensing Act, PA 281 of 2016, and all future derivations thereof. This facility will be located in a commercial retail building that is inviting yet secure, and in the style of a professional medical center.

SAFETY AND SECURITY

- i. Applicant will ensure the security of the licensed premises and property, employees and customers on the property, and neighbors, with a system of security cameras, alarms on access and entry points, and an alarm monitoring company. All security equipment will be maintained in good working order. Applicant's security plan will meet or exceed state and local regulatory requirements.
- ii. Applicant will maintain policies and procedures to include:
 - a. Adequate lighting on the premises and entrance points;
 - b. Regular drills of the security protocols and emergency plans;
 - c. Restricted access to the areas in the facility that contain stored medical or marijuana or currency to authorized agents;
 - d. Readily identifiable employees and agents, both through identification badges and uniforms;
 - e. Controlled access and prevention of loitering both inside and outside the facility;
 - f. Internal and external cameras with 24-hour monitoring and off-site recording and;
 - g. Installed panic buttons.
 - h. Limitations on the amount of currency and marijuana stored on-site.
 - i. Alternative payment practices for regular patients to cut down on the amount of cash brought into, or kept at, the facility.
 - j. State-of-the-art safe(s) bolted to the floor and inaccessible to all unauthorized personnel.
 - k. Cooperation and coordination with local law enforcement.
 - l. Restricted Access Areas identified and accessed through a combination of security locks and access codes.
 - m. The ability to remain operational during a power outage with battery back-up
- iii. Security Surveillance Cameras
 - a. A system of security surveillance cameras will be installed to monitor the entire premises and all entrances, along with the interior and exterior of the premises. The cameras will capture all areas of the property unless otherwise prohibited by law.
 - b. The security surveillance system consists of a series of cameras with recording and playback capability, as well as the ability to be monitored from smart phone, desk tops, etc
- iv. Security Recordings and Documentation

All security recordings and documentation will be preserved for at least 72 hours and made available upon request by any law enforcement.
- v. Robbery and Burglary Alarm System

Applicant will employ a professionally monitored alarm system that meets state requirements. Specifically,

 - a. Applicant will employ a centrally alarmed and monitored security system that will be monitored 24 hours a day, 7 days a week for the Permitted Premises.

- b. There will be a perimeter alarm on all entry points and perimeter windows of the premises
 - c. A failure notification system will provide an audible, text, or visual notification of any failure in the surveillance system. A panic button and alarm will directly notify the local law enforcement agency having primary jurisdiction.
- vi. Storage of Marihuana and Currency
- a. All marihuana in whatever form stored at the premises will be kept in a secure manner and shall not be visible from outside the facility, nor shall it be exchanged, displayed or dispensed outside of the facility.
 - b. During hours of operation, Applicant will store all cannabis in a secured, restricted access area accessible only to specifically authorized agents.
 - c. When the provisioning center is closed, Applicant will store all marihuana, marihuana products, and currency in a in a secured locked safe that is permanently affixed to the premises.

The secured, locked safe described in “c” above will be contained in a storage room that has only one door for entry and no other potential means of entry such as a crawl space or window. The door will be equipped with a unique locking mechanism that is separate and distinct from other locks on any other door in the facility.

Ventilation Plan/Air Filtration System

- i. Because this is a retail facility and no growing, trimming or processing of medical marihuana will take place in the facility, it is anticipated that the opportunity for any odor to be detected outside the facility will be negligible.
- ii. Nevertheless, Applicant ’s facility operation and design will provide sufficient measures and means to minimize any impact to adjacent uses, including the control of odor by maintaining and operating an air filtration system so that no odor is detectable outside the permitted premises.
- iii. Applicant’s Equipment and Methods to Control Odor: a comprehensive air filtration system, consisting of the following, as needed to control any odor incidental to a provisioning center:
 - Activated Carbon Filters
 - Ventilation Fans
- iv. Applicant will use an advanced filtration system rated appropriately for the area. The air filtration system will be maintained in working order at all times and will be in use at all times. Filters will be changed a minimum of once every 365 days.

Waste Product Disposal

Because Applicant is proposing a retail provisioning center, no waste products are likely or anticipated. Moreover, any inventory that is received and deemed unsafe or unfit for sale will be returned to the manufacturer. Notwithstanding the foregoing, Applicant will dispose of unusable or waste marihuana in accordance with the MMFLA and applicable local ordinance guidelines to prevent the waste marihuana from being possessed or ingested by any person and animal.

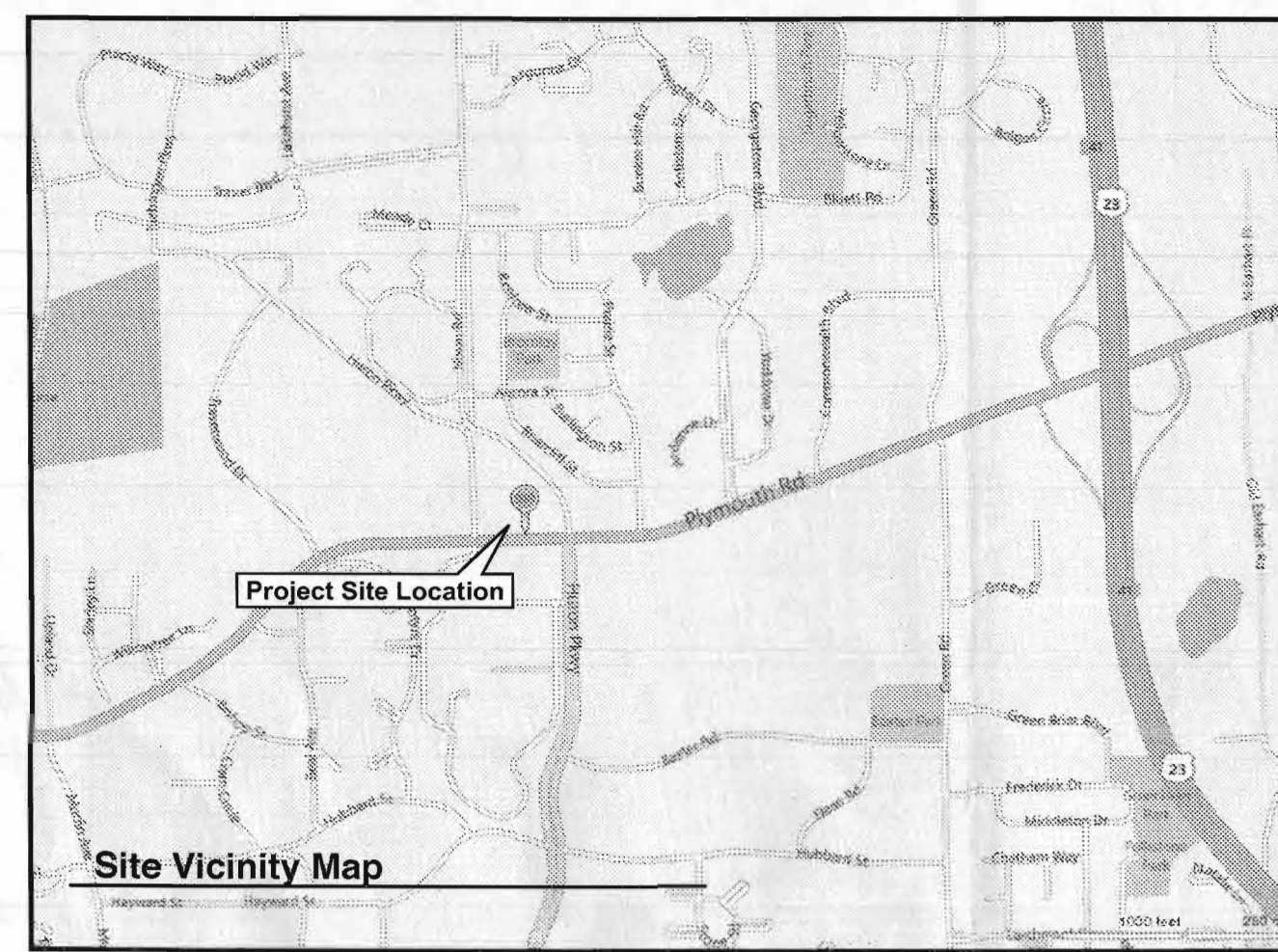
- i. All waste marihuana will be entered into the Statewide Tracking and Monitoring System.
- ii. All marihuana waste will be rendered unrecognizable and unusable by mixing with one of several lawful over-the-counter products, such as sawdust or cat litter.

- iii. After being rendered unusable, all marihuana waste will be placed in a secured receptacle and disposed of at a manned and permitted solid waste landfill, compostable material operations facility, or an in-vessel digester, in compliance with all state and local laws and regulations.

Any hazardous waste will be disposed of pursuant to state law, specifically, part 111 of 1994 PA 451, MCL 324.11101 to 324.90106

Hours of Operation/Entry to Facility

- i. Hours of Operation:
 - a The facility will be open to the public as follows:
 - Monday – Friday 8:00 am – 8:00 pm
 - Saturday 10:00 am – 8:00 pm
 - Sunday 10:00 am – 5:00 pm
 - b The facility will be closed for all business and operations from 9:00 pm to 7:00 am.
- ii. Entry: Applicant will not allow entry to the facility to anyone under the age of 18 unless they are in possession of a valid Medical Marihuana Registry Card and are accompanied by a parent or legal guardian.



General Information
 This building project consists of a mixed-use structure on two levels. The first level has 12,338 sq ft of available retail space. The second level is located above a portion of the first level and shall contain 9,432 sq ft of office space. The building has two drive-thru window lanes which will be located along the East elevation (coffee shop) and along the West elevation (credit union). To create a more pedestrian oriented and community friendly building arrangement, there will be two open plazas adjoining the building. The Front Plaza (south elevation) is located along Plymouth Road and connects directly to the existing sidewalk. The Rear Plaza (north elevation) is located within the Plymouth Mall environment. These plazas can be considered as a welcoming extension of the building to the community. Visitors to the Mall and vehicles along Plymouth Road will both see inviting architectural elements, such as large storefront windows, canopies, outdoor furniture, and low-scale landscaping. The building itself will be constructed of durable brick masonry veneer over energy-efficient wall panels. We believe this proposed infill development will set a new standard in the community for pedestrian friendly design and quality aesthetics.

Development Program
 The lot is 1 acre in size and is zoned C3. The new building will have 21,732 sq ft. of floor space between two levels. There will be 57 parking spaces provided on the site and 17 spaces shared with the adjoining Plymouth Road Mall, for a total of 74 parking spaces. It is anticipated that the project will begin in the Spring of 2012 and be completed by the end of Fall 2012. The cost of the project is approximately three million dollars.

Community Analysis
 The proposed Plymouth Road Plaza building is located at the Northeast corner of Plymouth Road and Nixon Road. Plymouth Road is one of the city's busiest traffic corridors and is flanked along both sides by a mixture of uses, including: retail, office, light industrial / research, and residential apartments. A combination of retail (including restaurants) and office / bank will complement the existing uses on nearby properties and offer additional opportunities for the many office workers and residents in the area.

Natural Features Analysis
 The site has approximately 2 feet of grade change within the lot and 3 feet along two sides as a continuous berm. The proposed development will maintain the general flat grade across the site and direct storm water flows to an underground detention vault. Landscape islands shall be constructed in the parking areas to beautify the site and provide additional storm water infiltration into the soil. One landmark tree is within the construction area and will be kept tree protection fencing for the duration of the construction activity. All utility connections are designed to clear CRZ of this tree (LM 29).

Soil Type
 Mmb, Miami Loam <5% slope

Sidewalk Statement
 Per Chapter 49, Section 4-58 of the City Code: All sidewalks are to be kept and maintained in good repair by the owner of the land adjacent to and abutting the same. Prior to issuance of Certificate of Occupancy for this site, all existing sidewalks in need of repair must be repaired according to City standards.

Project Information

Owner:
 PRP Partners, LLC
 4111 Timber Ridge Drive
 Ann Arbor, Michigan 48108
 Contact Person:
 Jack Edelstein
 Phone (734) 355-3764

Site Date:
 Address: (To Be Determined) Plymouth Road, Ann Arbor
 Zoning: C3, Fringe Commercial District

Zoning: C3 - Existing
 Lot Area: 1 Acre

Site Limitations	Required	Proposed
Lot Size:	6,000 sf (max)	43,549 sq ft
Minimum Lot Width:	60' (min)	250'

Building Setbacks		
Front:	10' (min)	18'
Rear:	None	63'-8"
Sides:	None	46'-8" & 40'-6"

Building Floor Area
 First Floor: 12,298 sq ft
 Second Floor: 9,433 sq ft
 Total Building Area: 21,732 sq ft

Building Use
 Mixed-Use w/ Retail at First Floor & Office at Second Floor

Building Limitations		
FAR	200% (max)	49.90%
Height	55'	34'-4"
Stories	4	2

Parking
 First Floor Retail: 1/310 SF @ 12,298 sq ft = 40 spaces
 Second Floor Office: 1/333 SF @ 9,433 sq ft = 28 spaces

Total Parking Required = 68 spaces
 Total Spaces Provided = 74 spaces (including shared)

Barrier Free Parking
 Required at 1/25 spaces 3
 (1 B.F. space to accommodate a van)

Compact Car Parking
 Allowable at 30% of required parking = 21 spaces
 Provided on site = 21 spaces

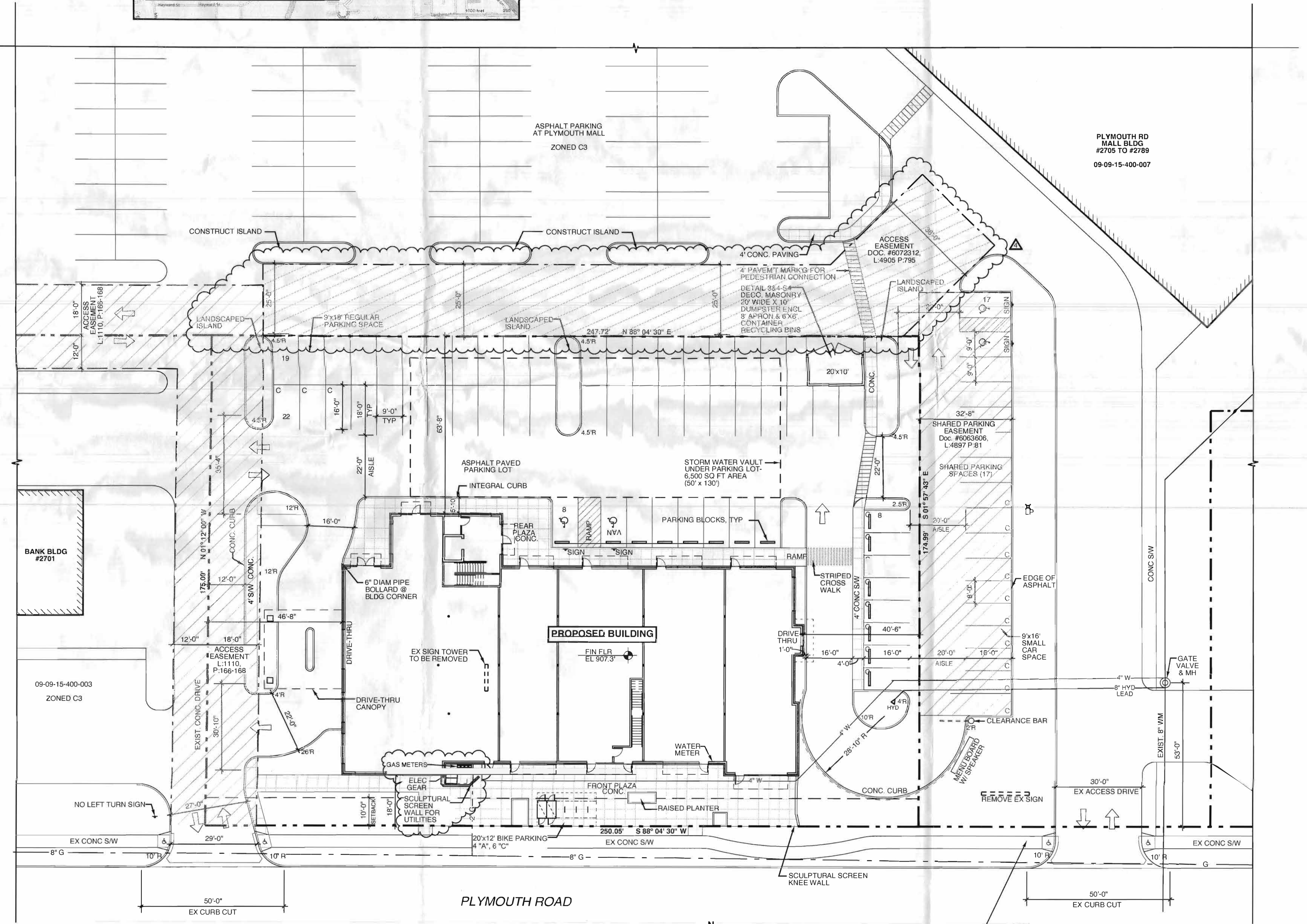
Bicycle Parking
 1/3,000 SF = 9 spaces required
 1- type "A" Enclosed, 4 provided
 3- type "B" Covered, Requirement met w/ type "A"
 5- type "C" Fixed, 6 provided

Landscaping
 Vehicular Use Area (VUA) = 27,845 sq ft

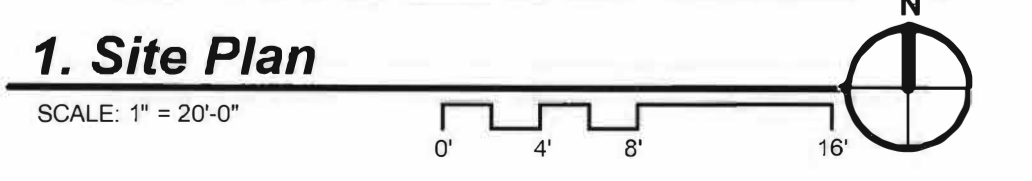
Interior Landscaping VUA/20 = 1,718 sq ft

Symbols Legend

EXISTING	DESCRIPTION	PROPOSED
(Symbol)	SANITARY SERVICE	(Symbol)
(Symbol)	STORM OVERFLOW SERVICE	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	DRAINAGE DIRECTION	(Symbol)
(Symbol)	SMALL APPOINTMENT	(Symbol)
(Symbol)	MANHOLE	(Symbol)
(Symbol)	WATERMAIN/SERVICE	(Symbol)
(Symbol)	HYDRANT	(Symbol)
(Symbol)	UNDERGROUND ELECTRIC LINE	(Symbol)
(Symbol)	OVERHEAD ELEC.	(Symbol)
(Symbol)	UTILITY POLE	(Symbol)
(Symbol)	LIGHT POLE	(Symbol)
(Symbol)	LIGHT FIXTURE WALL MOUNT	(Symbol)
(Symbol)	LIGHT & EXIST TOWER	(Symbol)
(Symbol)	CONTOUR LINES	(Symbol)
(Symbol)	SPOT ELEVATION	(Symbol)
(Symbol)	HIGH WATER ELEV.	(Symbol)
(Symbol)	HIGH POINT ELEV.	(Symbol)
(Symbol)	LOW POINT ELEV.	(Symbol)
(Symbol)	FINISH FLOOR ELEVATION	(Symbol)
(Symbol)	BEARER MARK ELEVATION	(Symbol)
(Symbol)	DECADUOUS & CONIFEROUS TREES	(Symbol)



Ingress/Egress Easements:
 All existing and not yet recorded ingress/egress easements shall be provided to the City prior to the issuance of the first permit.



NOTE: COMPLETELY REPLACE ALL DAMAGED SIDEWALKS, DRIVEWAYS CURB & GUTTERS, CONCRETE & ASPHALT SURFACES, AND ANY OTHER ELEMENT AFFECTED BY THIS PROJECT. BRING TO ORIGINAL CONDITION & ADD B.F. RAMP PER CITY ORDINANCE.

Property Description:
 Part of Outlet F of North Campus Heights No. 2 a Subdivision of part of the Southeast 1/4 of Section 15, Town 2 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan, described as follows:
 Beginning at the Northeast corner of Out lot E of the North Campus Heights No. 2, thence N 88°04'30" E 247.72 feet; thence S 01°57'43" E 174.99 feet to the South line of Out lot F; thence along said line S 88°04'30" W 250.05 feet to the Southeast corner of Out lot E; thence N 01°12'00" W 175 feet along the East line of Out lot E to the Point of Beginning; Containing 1.00 acres more or less and subject to easements and restrictions of record, if any.

PRP Partners, LLC
 4111 Timber Ridge Drive
 Ann Arbor, MI 48108
 p. (734) 355-3764

Plymouth Road Plaza
 2755 Plymouth Road
 Ann Arbor, Michigan 48105
 Proposed Site Plan

Revisions:
 Rev 1 2/21/12
 SPR Rev 2 3/8/12
 SPR Rev 3 4/9/12
 SPR Rev 4 5/11/12

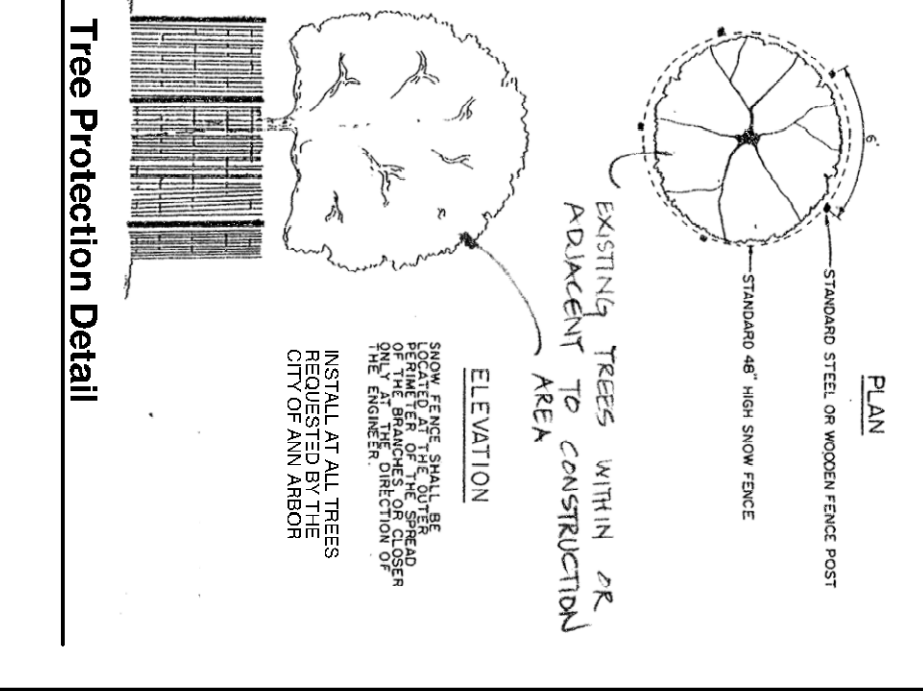
Project No: 209066
 Issue Date: 2/6/12
 Reviewer: KCD
 Drawn By: KCD

S-1

Landscaping General Notes

1. All planting material shall meet current American Association of Nurserymen standards.
2. All trees shall be staked, wrapped, girdled and mulched per Nurserymen standards and as shown on plans.
3. Mulch one foot past the outside diameter of planting ball and as shown on plans.
4. All planting material shall receive planting mix containing four parts topsoil and one part peat unless otherwise noted.
5. All perennials and shrubs installed in stormwater garden areas shall be maintained for at least one season in order to establish their root system.
6. All trees and other plantings shall be guaranteed to live for at least one year from the date of planting.
7. All landscaped stands and stormwater gardens shall be mulched. Rocks, boulders and decorative grasses shall be used to stabilize the ground in these areas. All shrubs to be 12" diameter or larger.
8. All existing trees shown on this plan shall be protected as shown and saved.
9. See Site Detail sheet for specifications and requirements for items installed or shown on plans.
10. All damaged, diseased or dead trees shown on plans shall be replaced by the following growing season.
11. The Street Tree Escrow for this project is \$325.00. The Street Tree Escrow must be paid in full prior to issuing building permits.
12. Applications of fertilizer beyond the initial topsoil and seeding shall be a fertilizer with no phosphorus.
13. Stone or aggregate cannot be used as mulch per Chapter 62, 566(4) Code of Ordinance City of Ann Arbor.
14. Before topsoil is placed in landscaping areas, the subsoil shall be in a loose, friable condition to a depth of 20" below final topsoil grade. Compacted soils shall be reconditioned in accordance to USDA article 1005.15. The soil shall be tested for pH and nutrients. Examples for Landscape Codes and Specifications available at: <http://www.annarbor.org/development/development-services/development-services/landscape-specifications>

Tree Protection Detail



Planting Material Legend

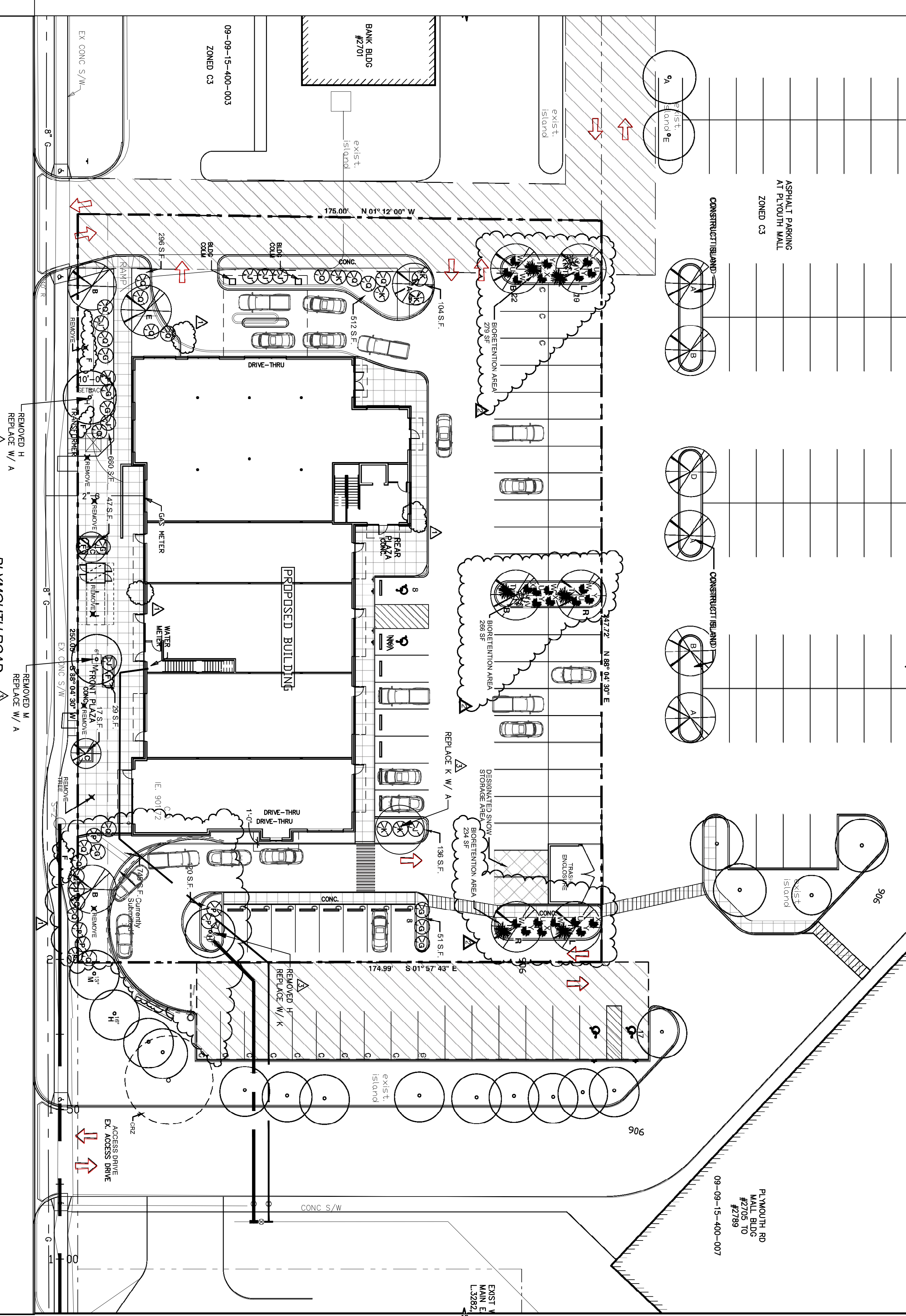
Mark	Botanical Name	Common Name	Caliper	Height	Qty	Appropriate to	Comments
A	Ginkgo biloba	Ginkgo "Walden Hill" Tree	2-1/2"	9'	66	Δ	No
B	Thuja americana	American Redwood "American Under"	2-1/2"	9'	4	Δ	Yes
C	Acer japonicum	Japanese Maple "Fern Leaf Maple"	1-1/2"	8'	2	No	No
D	Ulmus americana	Yellow Poplar "Tulip Tree"	2-1/2"	9'	1	Yes	Yes
E	Liquidambar styraciflua	Sweet Gum "Red Gum"	2-1/2"	9'	2	No	No
F	4-Combined	4-Combined Carpet Rose Per Set	24"	24"	14	No	1/2 Red, 1/2 White
G	Juniperus horizontalis	Trailing Juniper	24"	36"	3	No	10 Barman
H	Gleditsia triacanthos	(Existing) Honey Locust	24"	24"	19	No	Evergreen
J	Hypericum prolificum	Shrubby St. Johnswort	24"	36"	8	No	5' Max Height
K	Valeriana callicarpa	Korean Spice Valerianum	24"	36"	2	No	5' Max Height
L	Nyssa sylvatica	Black Gum	2-1/2"	9'	2	No	No
M	Syrphocarpus	(Existing) Norway Maple	24"	24"	2	No	10 Barman
P	Symphoricarpos	Oldfield Hydrangea	24"	24"	7	No	4' Max Height
Q	Quercus bicolor	Swamp White Oak	2-1/2"	9'	2	Yes	Install Protective Fence at GRZ
T	Shipa Sparae	(Existing) Landmark Tree	-	-	1	Yes	Install Protective Fence at GRZ
U	Aspidistra tuberosa	Butterflyweed (Grouping)	18"	24"	2	Yes	Yes
V	Ilex verticillata	Winterberry	18"	24"	2	Yes	Yes
W	Aster ochroleucus	Spike Aster (Grouping)	18"	24"	2	Yes	Yes
X	Larix laricina	Rough Baring Star (Grouping)	18"	24"	2	Yes	Yes
Y	Rubus coccineus	Black Elder (Susan Grouping)	18"	24"	2	Yes	Yes

Landscaping Chart

LOCATION	REQUIRED	PROPOSED	COMMENTS
PLYMOUTH RD ROW BUFFER	10' BUFFER 4 TREES 30' HEDGE	10' BUFFER 4 TREES (2 EXISTING) 16' BERM	PARTS OF EXISTING BERMS REMOVED TO ALLOW FOR FRONT PLAZA & PARTS ENHANCED TO SCREEN VIA 16' BERM
INTERIOR LANDSCAPING TREES	VIA 20' = 1,392 sq ft 1,250 SF = 6	1,718 sq ft 8 (1 EXISTING)	VIA CALCULATION INCLUDES ALL DRIVES AND APRONS

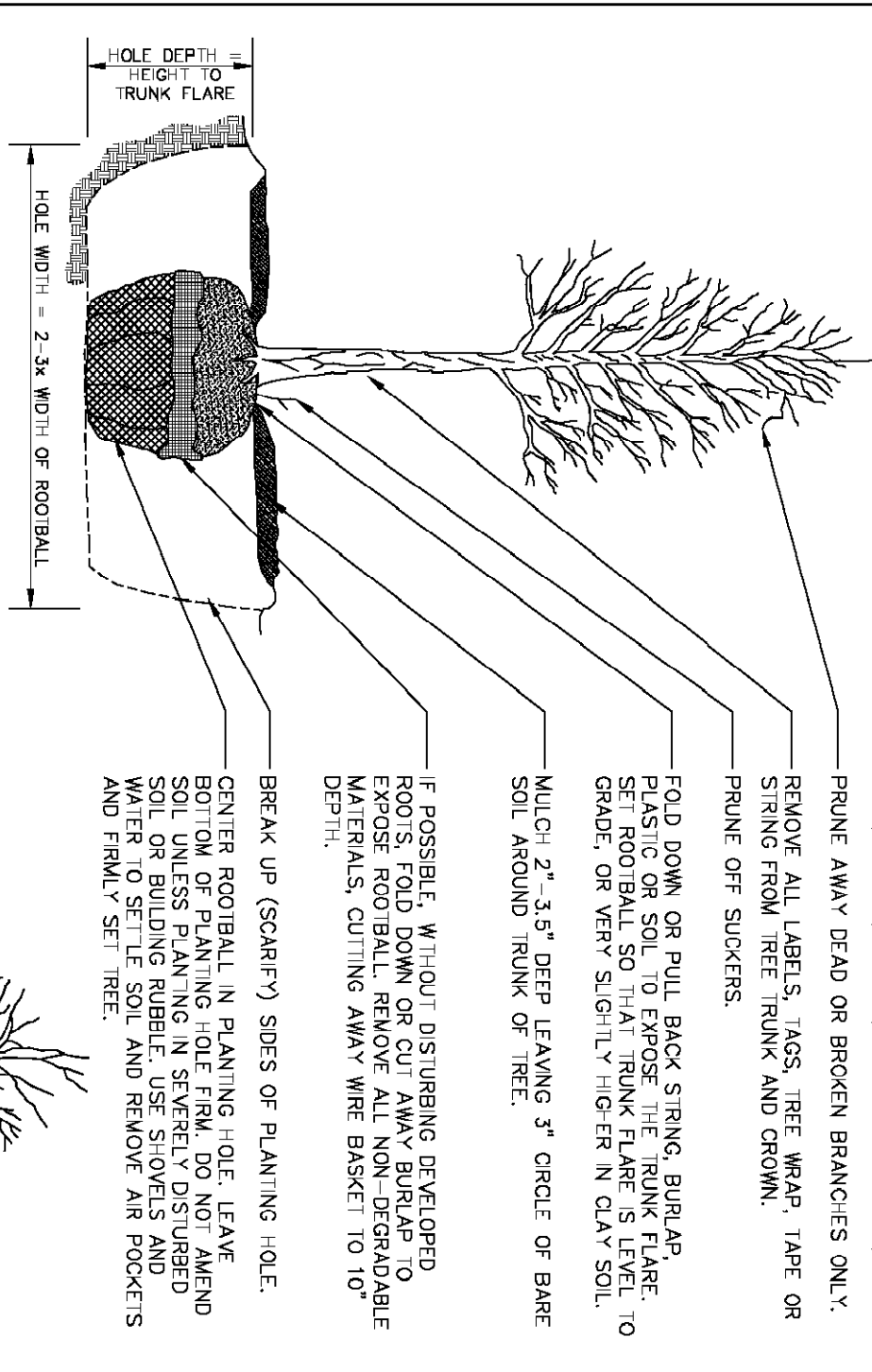
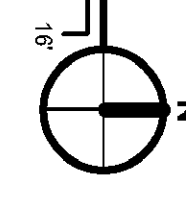
Snow Storage General Note

1. Since the site plan contains more parking than what is required by code, snow storage shall occur in the two parking details south of the trash enclosure.



1. Landscape Plan

SCALE: 1" = 20'-0"



- DO NOT STAKE UNLESS IN HEAVY CLAY SOIL, WINDY LOCATIONS, OR WHERE THE TREE IS PLANTED IN UNDESIRABLE CONDITIONS.
- STAKE WITH 2 x 2 1/2 HARDWOOD SKEWS OR APPROVED EQUAL, DRIVEN 6\"/>

REVISIONS

REV. NO.	DATE	BY	CHK. BY	DESCRIPTION
1	2/21/12	SPR	REV 2	3/8/12
2	4/9/12	SPR	REV 3	4/9/12
3	12/3/12	TREE	REVISION	12/3/12

PROPERTY DESCRIPTION:
Part of C-1011 F of North Campus Heights No. 2 a Subdivision of part of the Southeast 1/4 of Section 15, Town 2 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan, described as follows:
Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Plymouth Road Plaza
2755 Plymouth Road
Ann Arbor, Michigan 48105
Proposed Landscape Plan

PRP Partners, LLC
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dxon ARCHITECTURE
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Ann Arbor, MI 48106
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www.dxonarch.com

STATE OF MICHIGAN
KENNETH J. ROY
REGISTERED ARCHITECT
50251

Revisions:
Rev 1 2/21/12
SPR Rev 2 3/8/12
SPR Rev 3 4/9/12
TREE REVISION 12/3/12

Project No: 209066
Issue Date: 2/6/12
Reviewer: KCD
Drawn By: KCD

S-3



dixon
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Plymouth Road Plaza
 2755 Plymouth Road
 Ann Arbor, Michigan 48105
 Site Details

Revisions:
 Rev 1 4/9/12

Project No.: 2009066
 Issue Date: 2/6/12
 Reviewer: KCD
 Drawn By: KCD

S-4

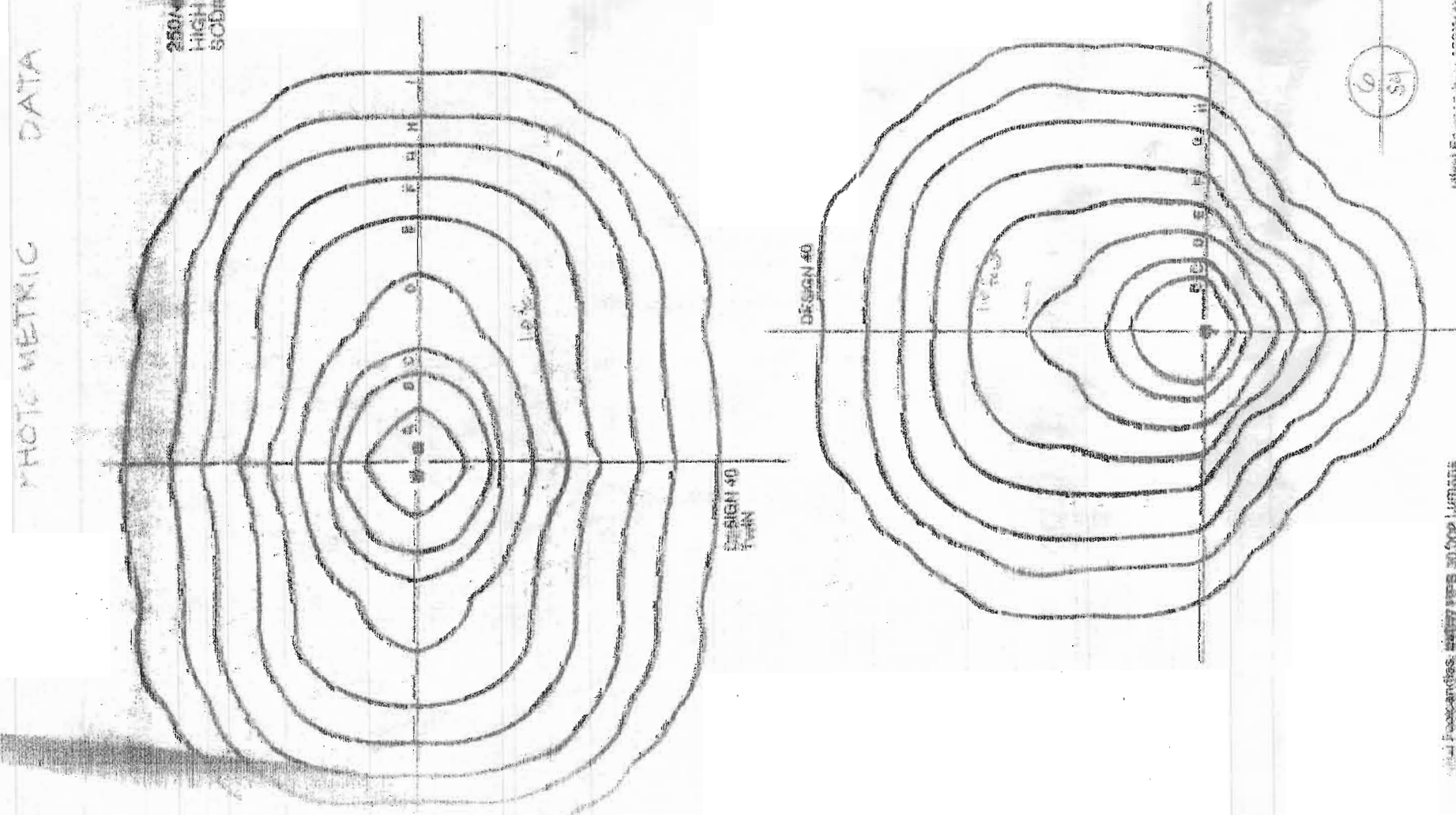


PHOTO METRIC DATA
 250mm WATT
 HIGH PRESSURE
 SCULIN

WALL HEIGHT
 10' 0" 11' 0" 12' 0" 13' 0" 14' 0" 15' 0" 16' 0" 17' 0" 18' 0" 19' 0" 20' 0"

WIND VELOCITY
 10 mph 15 mph 20 mph 25 mph 30 mph 35 mph 40 mph 45 mph 50 mph 55 mph 60 mph 65 mph 70 mph 75 mph 80 mph 85 mph 90 mph 95 mph 100 mph

WIND DIRECTION
 0° 45° 90° 135° 180° 225° 270° 315° 360°

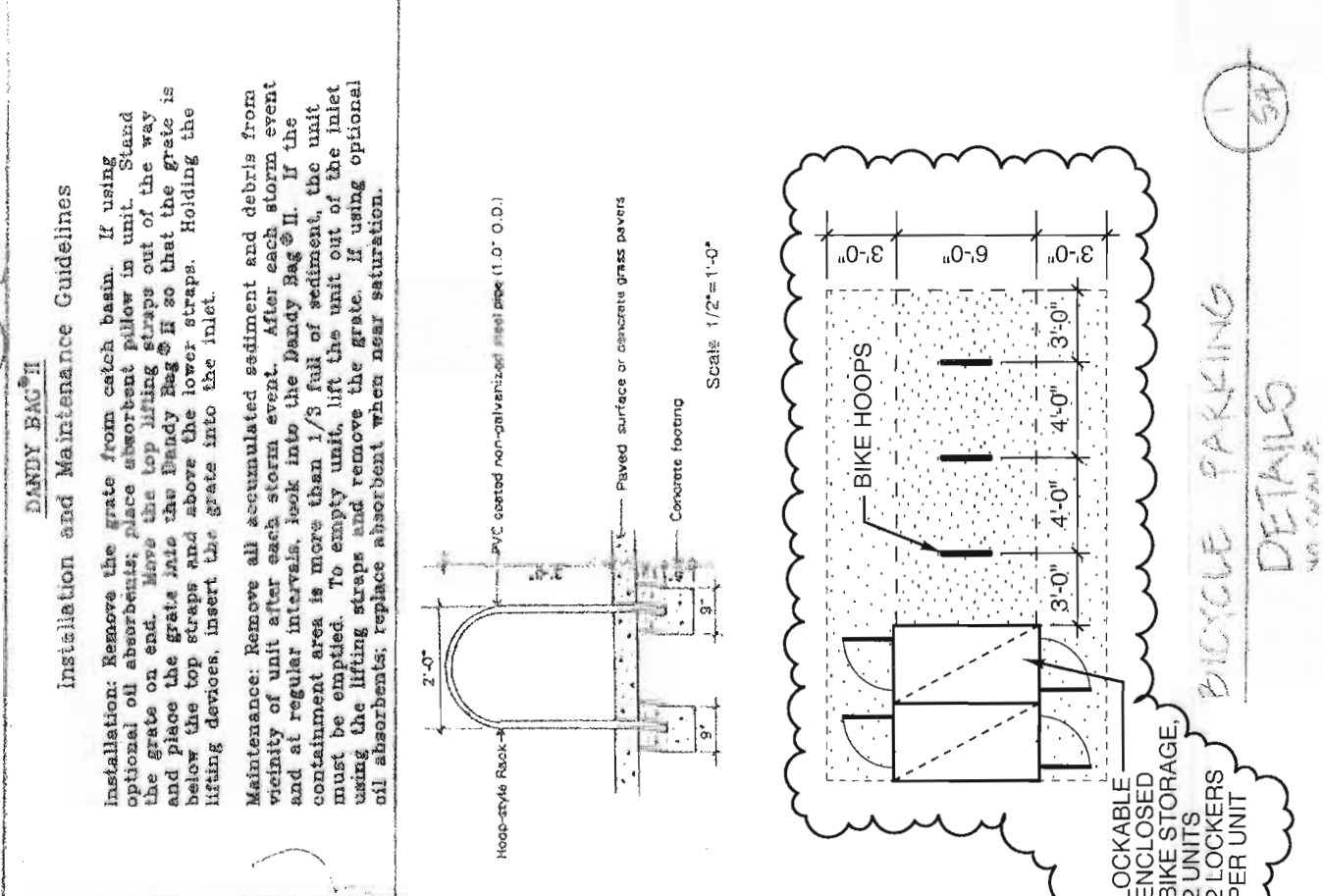
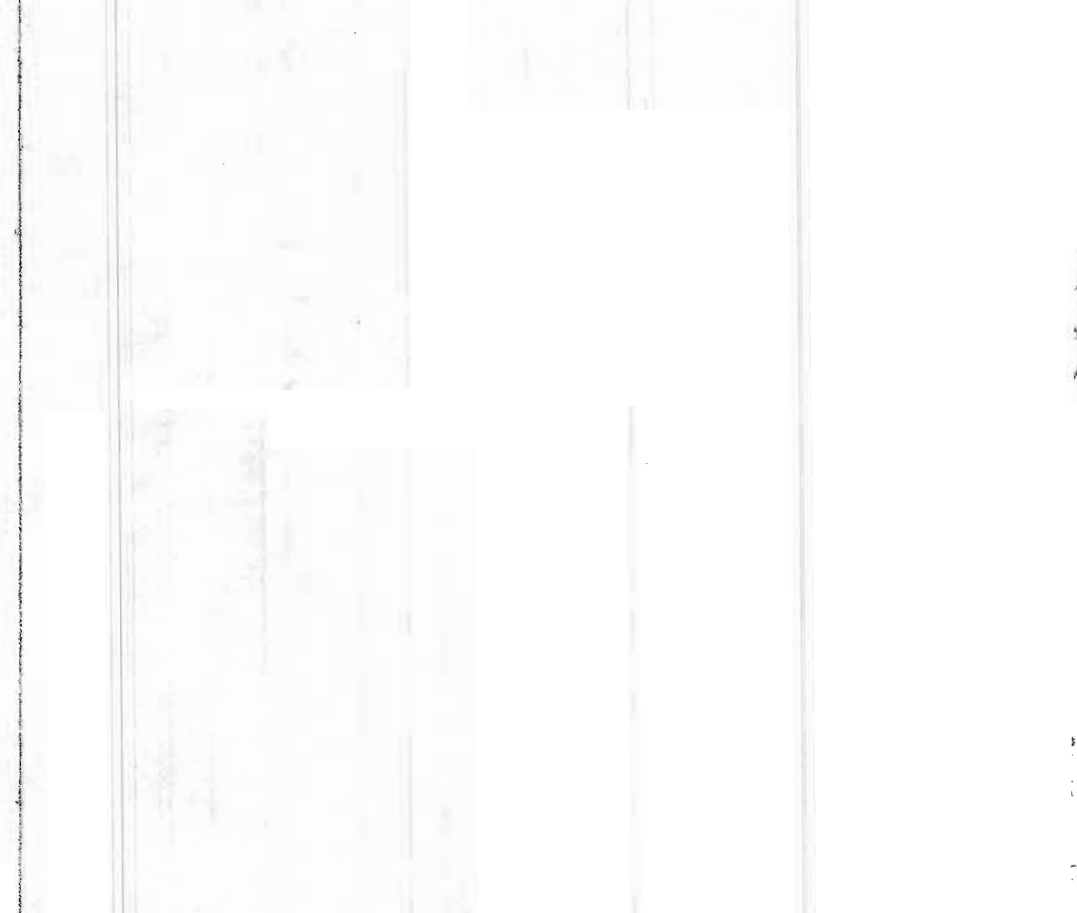
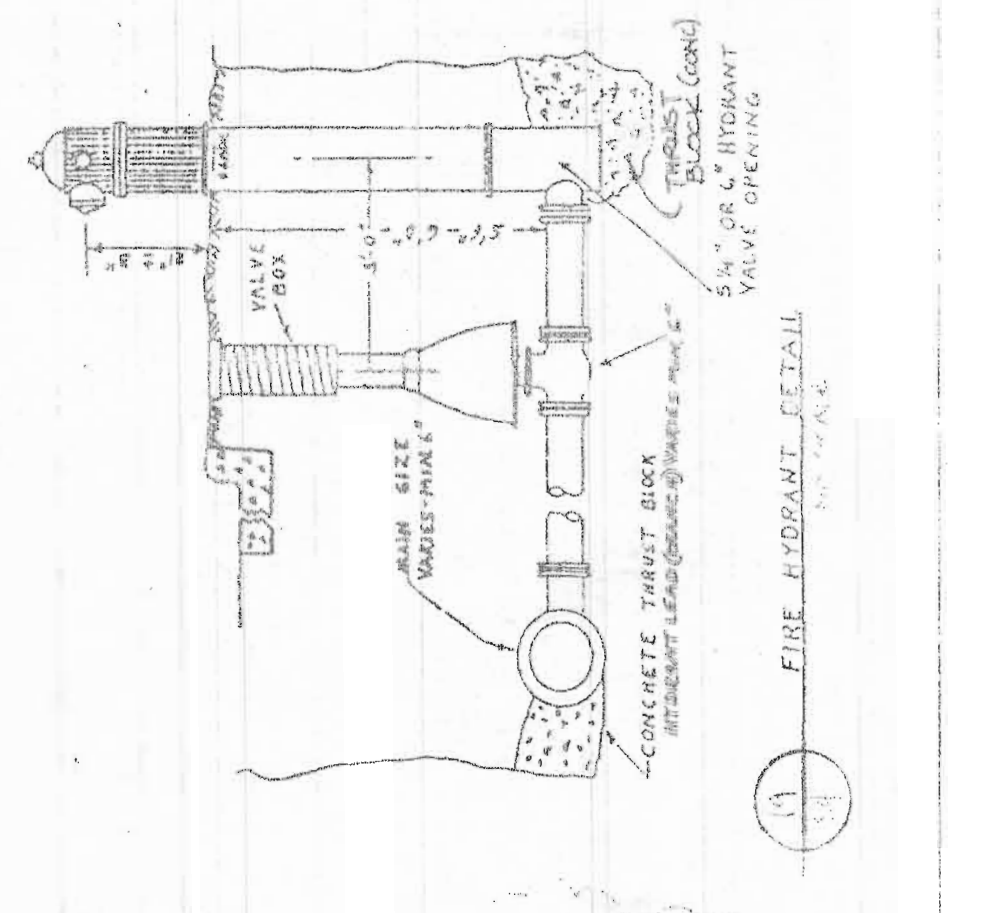
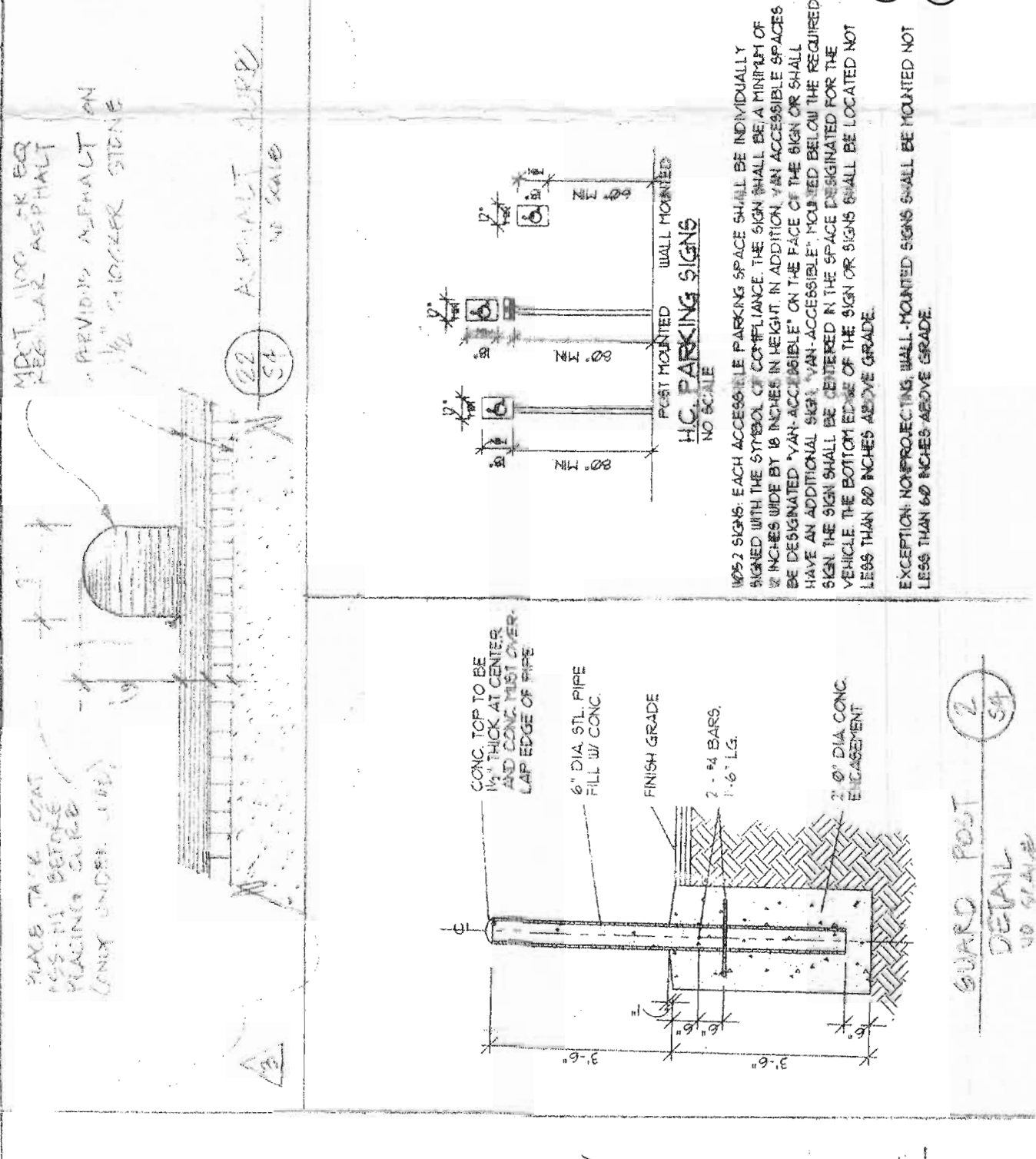
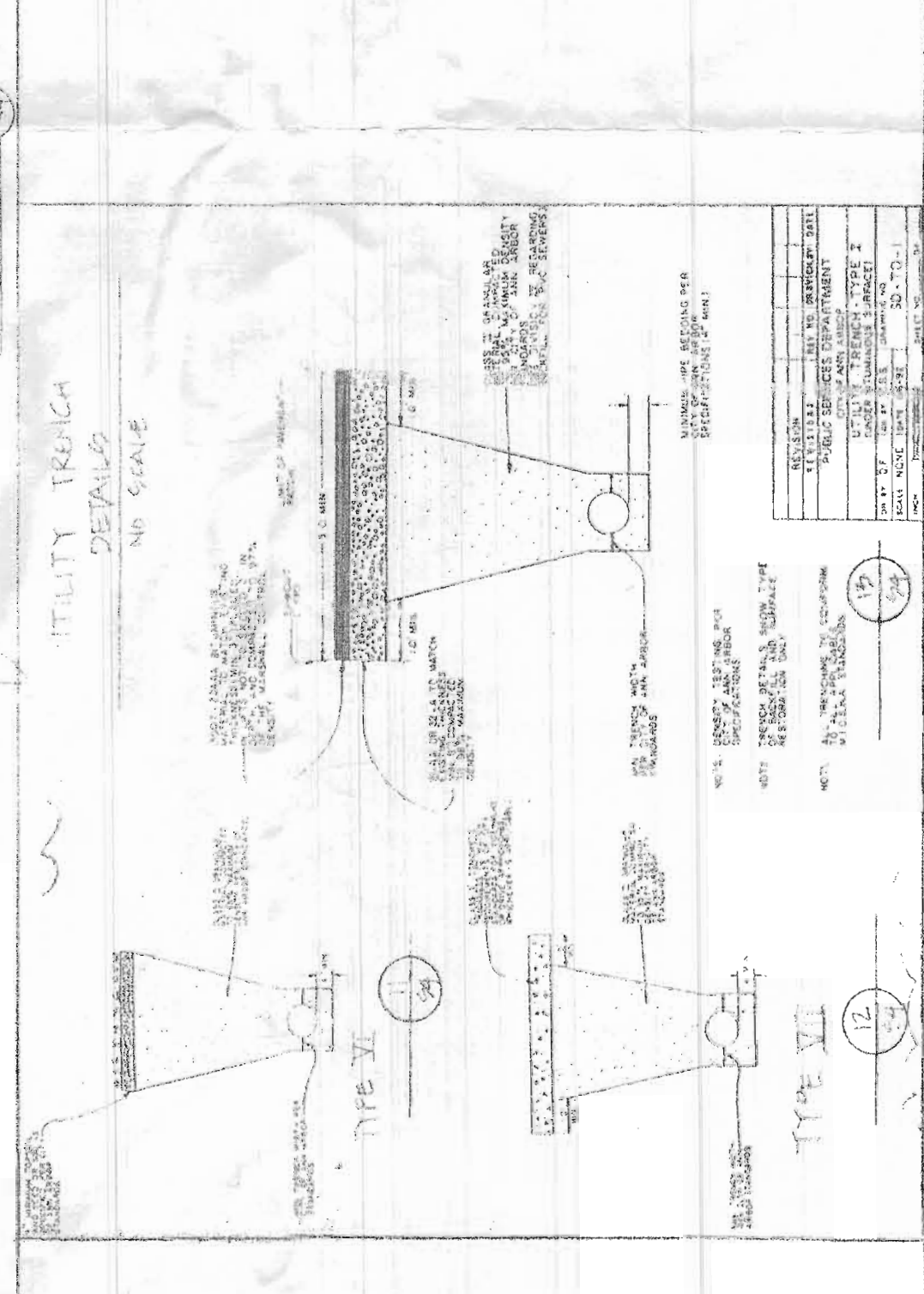
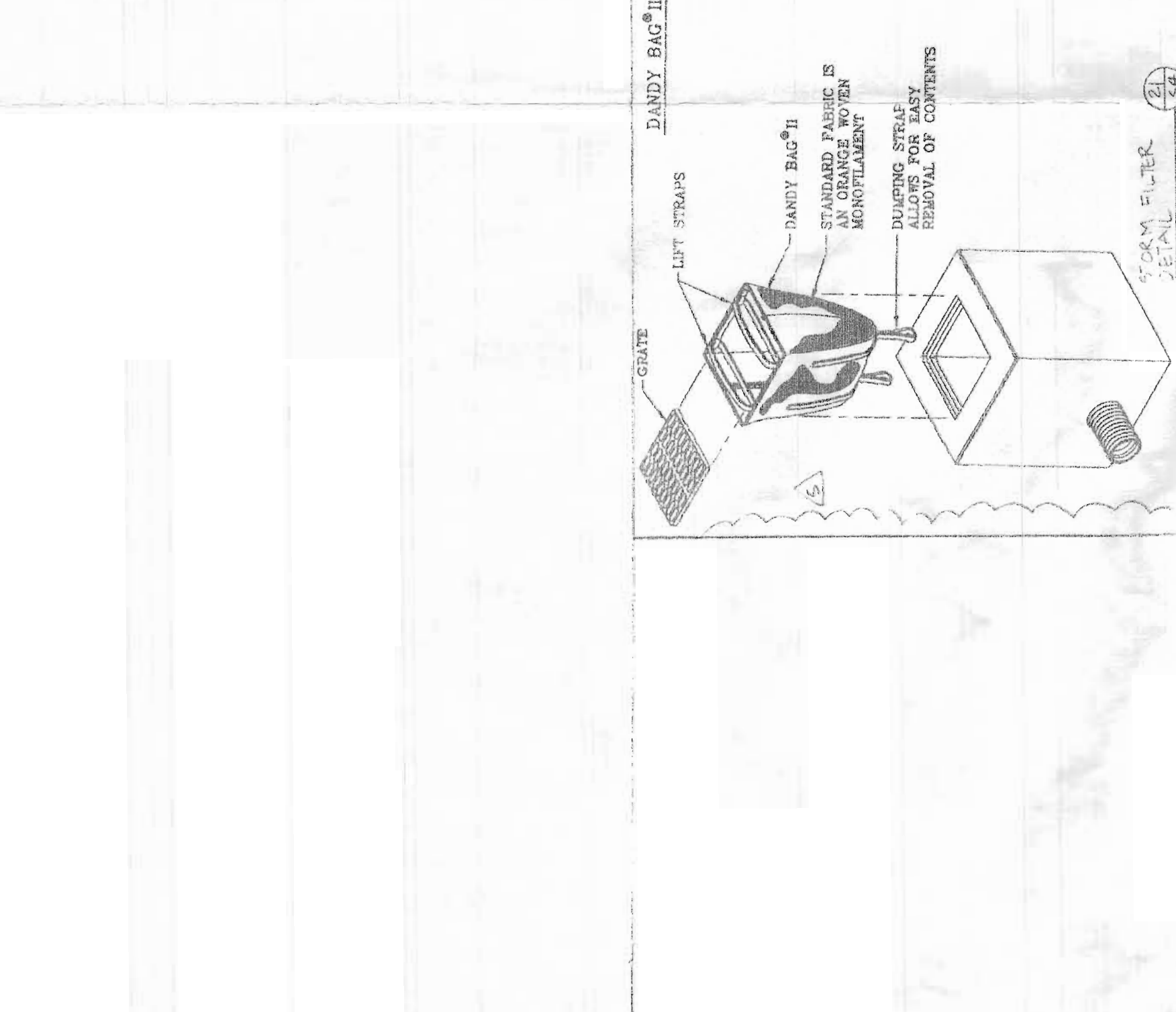
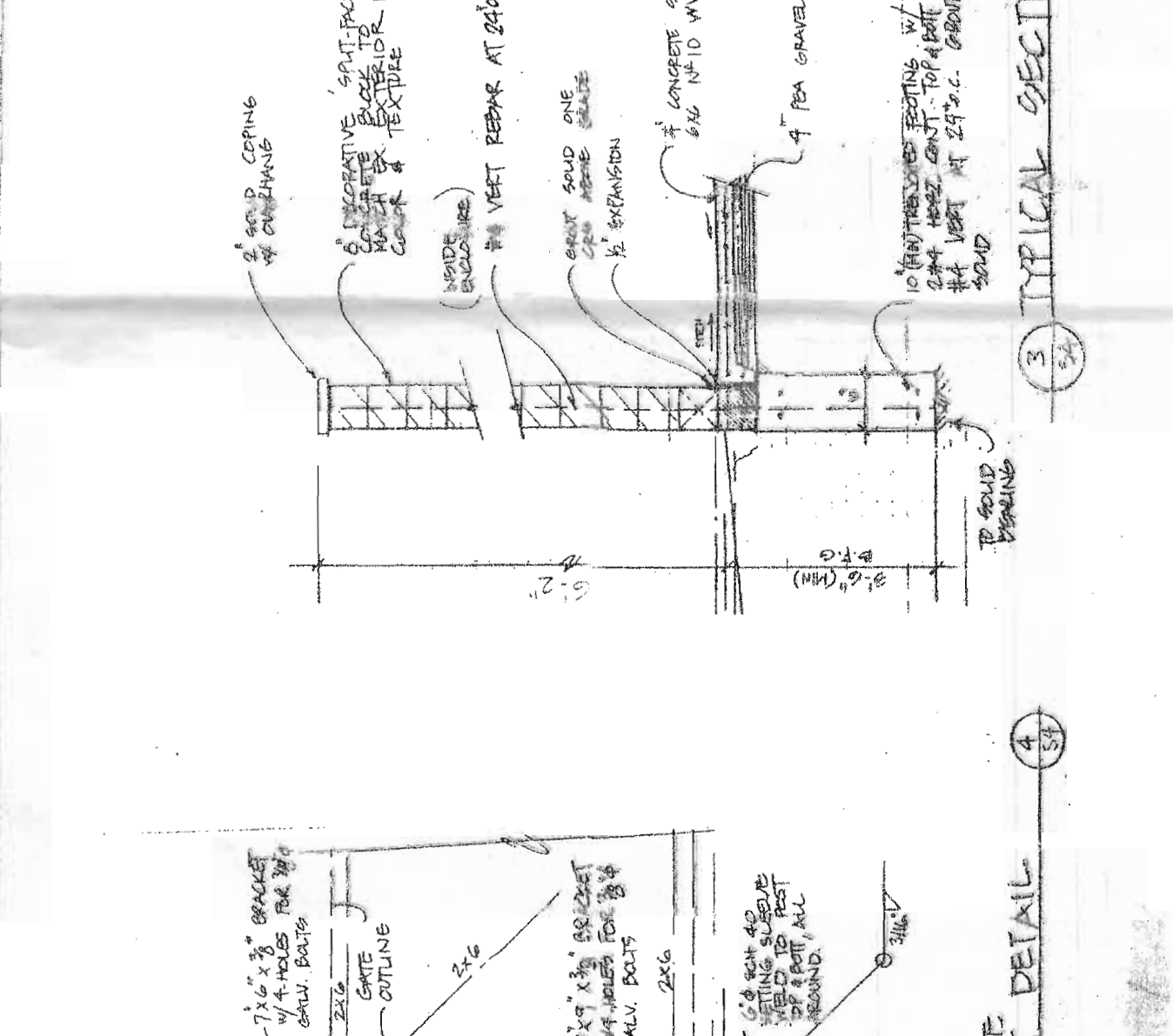
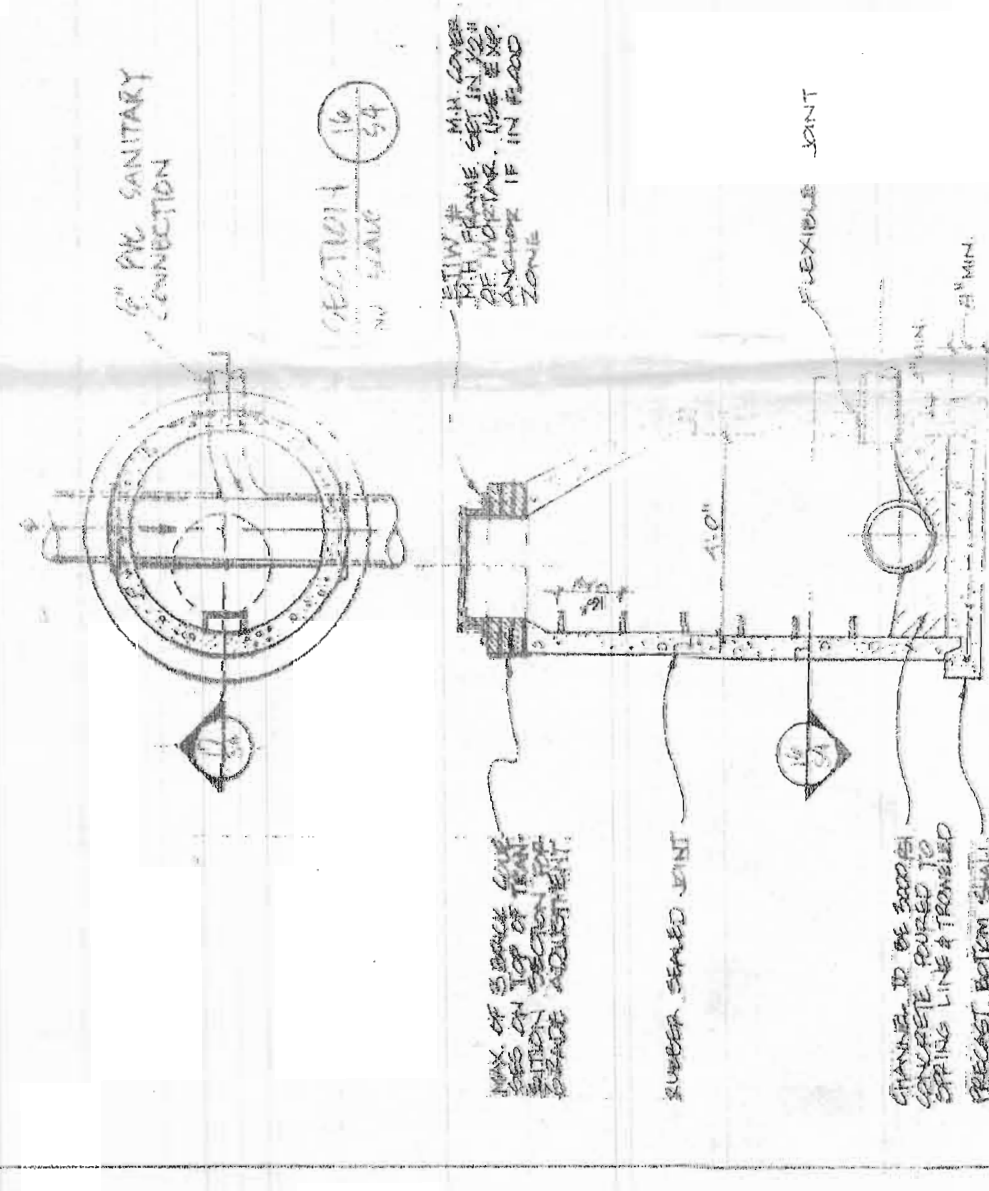
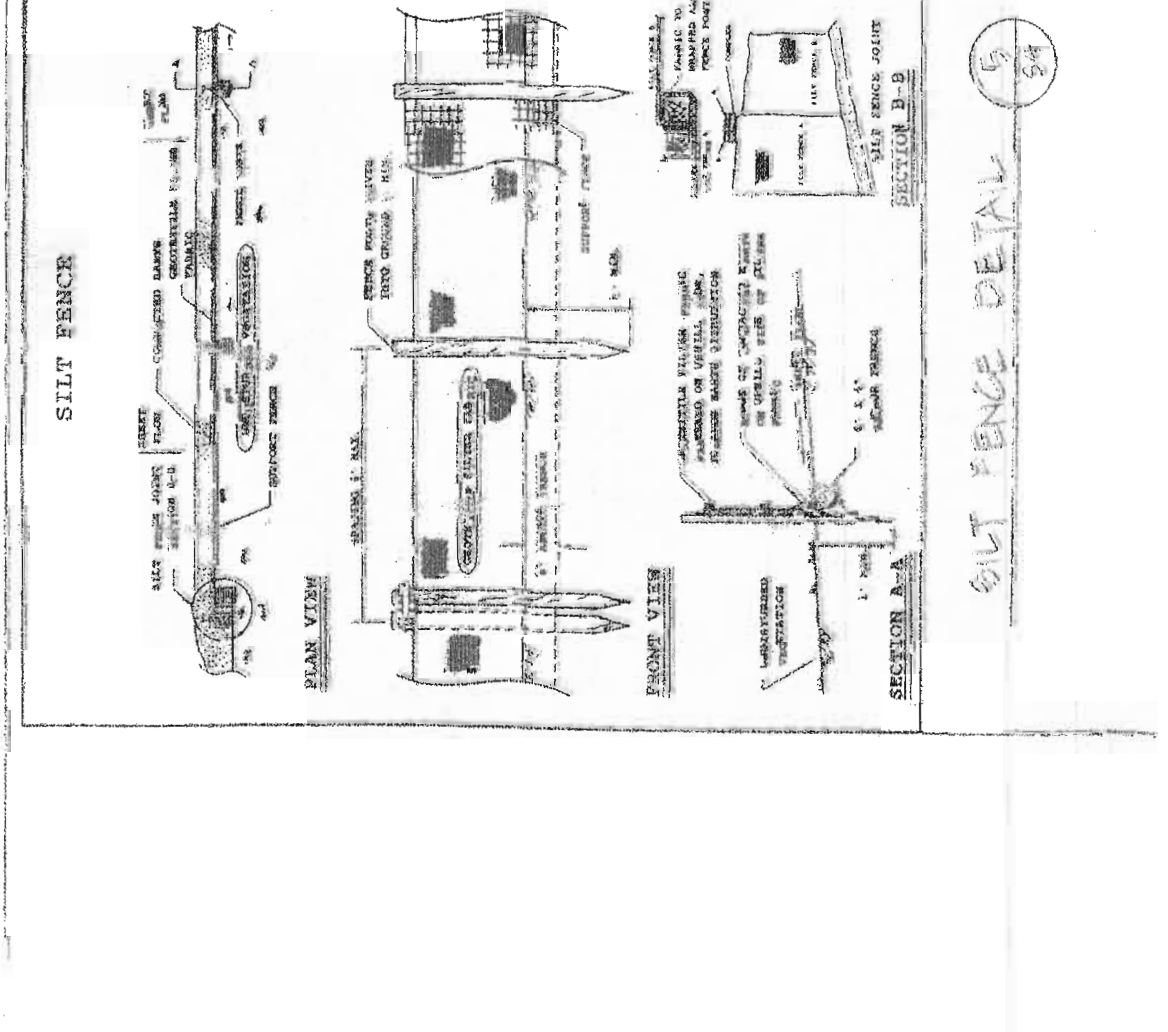
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 10 min 15 min 20 min 25 min 30 min 35 min 40 min 45 min 50 min 55 min 60 min 65 min 70 min 75 min 80 min 85 min 90 min 95 min 100 min

WIND PRESSURE
 0.00 0.01 0.02 0.03 0.04 0.05 0.06 0.07 0.08 0.09 0.10 0.11 0.12 0.13 0.14 0.15 0.16 0.17 0.18 0.19 0.20 0.21 0.22 0.23 0.24 0.25 0.26 0.27 0.28 0.29 0.30 0.31 0.32 0.33 0.34 0.35 0.36 0.37 0.38 0.39 0.40 0.41 0.42 0.43 0.44 0.45 0.46 0.47 0.48 0.49 0.50 0.51 0.52 0.53 0.54 0.55 0.56 0.57 0.58 0.59 0.60 0.61 0.62 0.63 0.64 0.65 0.66 0.67 0.68 0.69 0.70 0.71 0.72 0.73 0.74 0.75 0.76 0.77 0.78 0.79 0.80 0.81 0.82 0.83 0.84 0.85 0.86 0.87 0.88 0.89 0.90 0.91 0.92 0.93 0.94 0.95 0.96 0.97 0.98 0.99 1.00

WIND FORCE
 0.00 0.01 0.02 0.03 0.04 0.05 0.06 0.07 0.08 0.09 0.10 0.11 0.12 0.13 0.14 0.15 0.16 0.17 0.18 0.19 0.20 0.21 0.22 0.23 0.24 0.25 0.26 0.27 0.28 0.29 0.30 0.31 0.32 0.33 0.34 0.35 0.36 0.37 0.38 0.39 0.40 0.41 0.42 0.43 0.44 0.45 0.46 0.47 0.48 0.49 0.50 0.51 0.52 0.53 0.54 0.55 0.56 0.57 0.58 0.59 0.60 0.61 0.62 0.63 0.64 0.65 0.66 0.67 0.68 0.69 0.70 0.71 0.72 0.73 0.74 0.75 0.76 0.77 0.78 0.79 0.80 0.81 0.82 0.83 0.84 0.85 0.86 0.87 0.88 0.89 0.90 0.91 0.92 0.93 0.94 0.95 0.96 0.97 0.98 0.99 1.00

WIND MOMENT
 0.00 0.01 0.02 0.03 0.04 0.05 0.06 0.07 0.08 0.09 0.10 0.11 0.12 0.13 0.14 0.15 0.16 0.17 0.18 0.19 0.20 0.21 0.22 0.23 0.24 0.25 0.26 0.27 0.28 0.29 0.30 0.31 0.32 0.33 0.34 0.35 0.36 0.37 0.38 0.39 0.40 0.41 0.42 0.43 0.44 0.45 0.46 0.47 0.48 0.49 0.50 0.51 0.52 0.53 0.54 0.55 0.56 0.57 0.58 0.59 0.60 0.61 0.62 0.63 0.64 0.65 0.66 0.67 0.68 0.69 0.70 0.71 0.72 0.73 0.74 0.75 0.76 0.77 0.78 0.79 0.80 0.81 0.82 0.83 0.84 0.85 0.86 0.87 0.88 0.89 0.90 0.91 0.92 0.93 0.94 0.95 0.96 0.97 0.98 0.99 1.00

WIND TORQUE
 0.00 0.01 0.02 0.03 0.04 0.05 0.06 0.07 0.08 0.09 0.10 0.11 0.12 0.13 0.14 0.15 0.16 0.17 0.18 0.19 0.20 0.21 0.22 0.23 0.24 0.25 0.26 0.27 0.28 0.29 0.30 0.31 0.32 0.33 0.34 0.35 0.36 0.37 0.38 0.39 0.40 0.41 0.42 0.43 0.44 0.45 0.46 0.47 0.48 0.49 0.50 0.51 0.52 0.53 0.54 0.55 0.56 0.57 0.58 0.59 0.60 0.61 0.62 0.63 0.64 0.65 0.66 0.67 0.68 0.69 0.70 0.71 0.72 0.73 0.74 0.75 0.76 0.77 0.78 0.79 0.80 0.81 0.82 0.83 0.84 0.85 0.86 0.87 0.88 0.89 0.90 0.91 0.92 0.93 0.94 0.95 0.96 0.97 0.98 0.99 1.00



Plymouth Road Plaza – MMM of A2, Inc. Suite K Floor Plan

