



**APPLICABLE REGULATIONS:****From the Secretary of the Interior's Standards for Rehabilitation**

(other SOI Standards may also apply):

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings**

(other SOI Guidelines may also apply):

**Building Site**

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

**Additions**

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended: Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

## Windows

Recommended: Designing and installing additional windows on rear or other non-character defining elevations if required by new use.

Designing and installing new windows when the historic windows (frames, sash and glazing) are completely missing. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the window openings and the historic character of the building.

Not Recommended: Introducing a new design that is incompatible with the historic character of the building.

***From the Ann Arbor Historic District Design Guidelines*** (other Guidelines may also apply):

### All Additions

Appropriate: Locating a required addition on the least character-defining elevation and keeping it subordinate in volume to the historic building.

Designing the addition so it is compatible in terms of massing, materials, relationship of solids to voids, and proportion of openings.

Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition's footprint should not exceed half of the original building's footprint, or half of the original building's total floor area.

Not Appropriate: Designing an addition that requires the removal of significant building elements or site features.

Constructing an addition that significantly changes the proportion of built mass to open space on the individual site.

### Additions to Historic Residential Structures

Appropriate: Placing new walls in a different plane from the historic structure in a subordinate position to the historic fabric.

Not Appropriate: Designing an addition that overpowers or dramatically alters the original building through size or height.

## STAFF FINDINGS:

1. Addition. A small 9'9" x 4'6" addition on a new crawl space is proposed on the south elevation, which reads visually as the side of the house (though by zoning definition is in the rear yard). The addition is inset 4" from the rear corner. This small inset dimension works because the addition is a single story and the second story building corner is not

obscured or affected. The addition has a hip roof that ties in below a second-floor window. There are three eight-lite casement windows facing south and no windows on the east or west elevations.

Size. The house's footprint is currently 861 square feet, all built before 1945. The proposed addition adds 45 square feet to the footprint. This constitutes a total post-1945 footprint increase of 5%. The floor area is not listed, but this addition should be around a 3% increase.

Materials. The addition will be clad in fiber cement lap siding with a 4" reveal. This is compatible with the 4" reveal aluminum siding. The original underlying siding is unknown, but likely wood lap siding. Corner boards and window casings are 5/4" x 4" Boral.

2. **Patio/Slider.** A clad wood sliding patio door with divided lights, a transom, and new outdoor lights are proposed on the south elevation next to the addition. The slider would have a landing and three steps down with sidewalls and risers built of limestone-colored blocks. The slider will lead to a rebuilt 12' x 12' patio built using Fendt Harbor Stone pavers.
3. **Basement Window Infill.** Two basement windows are proposed to be infilled on the south elevation. One is a typical wood hopper, the other same but modified for a dryer vent. These windows would be obscured by the addition and the new patio door stoop.
4. **Office.** The office, which was formerly a roofed but open porch, has two slider windows on the north elevation. These windows are disproportionate to the rest of the house and are proposed to be replaced with two single 9-over-one Andersen 400 series vinyl clad double-hungs. The office walls and foundation will be repaired or rebuilt as necessary and the current roof structure will be maintained.
5. **Egress Window.** On the west elevation is an existing basement egress window over a toilet. This egress window is proposed to move farther north on the same wall to put it in open basement space instead of the bathroom. The current egress window would be shortened and a basement-style window installed. The new egress window would have a round Bilco polyethylene well. The current pair of hopper windows would be made slightly narrower and deeper with a 4' x 4' Andersen 100 Series fibrex glider window that meets egress size requirements.
6. The proposed addition is discreet, small, and as inconspicuous as possible. The window changes to the office, kitchen, and basement are compatible with the house and meet the *Design Guidelines*. Staff recommends approval.

**POSSIBLE MOTIONS:** (Note that the motion supports staff findings and is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 102 Crest Avenue, a contributing property in the Old West Side Historic District, to add a 45-square foot addition on the south elevation; install a new patio door and rebuilt a patio; remove a basement egress window well and install a new, smaller window; modify a basement window and add a well to make it egress compliant; infill two basement windows on the south elevation; relocate the air conditioning unit; infill a small kitchen window and replace it with a narrow horizontal window; and rebuild the office walls and foundation and install four new windows. As proposed, the work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 5, 9, and 10 and the guidelines for building site, additions and windows, as well as the *Ann Arbor Historic District Design Guidelines* for all additions and residential additions.

**ATTACHMENTS:** drawings, photos, materials information

102 Crest Avenue (2008 OWS Survey Photo)



INDEX OF DRAWINGS	
1	INDEX OF DRAWINGS
2	PHOTOS- ELEVATIONS
3	PHOTOS- ADDITION LOCATION
4	PHOTOS- NORTH WINDOWS
5	PHOTOS- A/C UNIT RELOCATION
6	PHOTOS- SITE CONDITIONS
7	SITE PLAN
8	BASEMENT PLAN- EXISTING
9	BASEMENT PLAN- PROPOSED
10	FIRST FLOOR PLAN- EXISTING
11	FIRST FLOOR PLAN- PROPOSED
12	SOUTH ELEVATION- EXISTING
13	SOUTH ELEVATION- PROPOSED
14	WEST ELEVATION- EXISTING
15	WEST ELEVATION- PROPOSED
16	NORTH ELEVATION- EXISTING
17	NORTH ELEVATION- PROPOSED
18	EAST ELEVATION- EXISTING
19	EAST ELEVATION- PROPOSED
20	MATERIALS, TRIMS, & WINDOWS
21	CASEMENTS- WINDOW DETAILS
22	CASEMENTS- WINDOW PROFILE
23	DOUBLE HUNGS- WINDOW DETAILS
24	DOUBLE HUNGS- WINDOW PROFILE
25	GLIDING DOOR- DETAILS
26	GLIDING DOOR- PROFILE
27	BASEMENT EGRESS- LOCATION PHOTOS
28	BASEMENT EGRESS- WINDOW DETAILS
29	BASEMENT EGRESS- WELL DETAILS
30	PATIO, STAIRS, & LANDING DETAILS



RENDERINGS SHOWN ARE FOR  
REFERENCE ONLY. SPECIFICATIONS  
GOVERN FIRST, THEN  
CONSTRUCTION DRAWINGS



2204 PACKARD STREET  
ANN ARBOR, MI 48104  
(734) 761-6936

POLAND-KENNEDY RESIDENCE  
102 CREST AVE.  
ANN ARBOR, MI 48103

JOB NUMBER:  
**2401**

11/18/2024 HDC PRELIM REVIEW  
11/19/2024 HDC SUBMITTAL

DRAWING:  
**INDEX OF DRAWINGS**

DRAWN BY: NL

SHEET NUMBER:  
**1**



SOUTH ELEVATION




WEST ELEVATION



NORTH ELEVATION (FACES HURON)



EAST ELEVATION (FACES CREST AVE.)

	
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POLAND-KENNEDY RESIDENCE 102 CREST AVE. ANN ARBOR, MI 48103	
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11/18/2024	HDC PRELIM REVIEW
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DRAWING: <b>PHOTOS- ELEVATIONS</b>	
DRAWN BY: NL	
SHEET NUMBER: <b>2</b>	



WINDOW & BASEMENT WINDOW TO BE REMOVED



WINDOW & BASEMENT WINDOW TO BE REMOVED



DOUBLE WINDOW ARRANGEMENT TO BE REMOVED FOR NEW DOOR WITH NEW LANDING AND STAIRS DOWN TO PATIO




BASEMENT WINDOW TO BE INFILLED FOR STAIR LANDING



SOUTHWEST CORNER OF EXISTING HOME TO REMAIN



ADDITION WILL IMPACT A/C UNIT LOCATION. FENCING WILL BE ADJUSTED AS NECESSARY

	
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JOB NUMBER:	<b>2401</b>
11/18/2024	HDC PRELIM REVIEW
11/19/2024	HDC SUBMITTAL
DRAWING:	
<b>PHOTOS- ADDITION LOCATION</b>	
DRAWN BY: NL	
SHEET NUMBER:	
<b>3</b>	





NEW WINDOW PROPOSED ON EAST ELEVATION NEAR NORTHERN END



WINDOW ON NORTH ELEVATION TO BE ALTERED



NEW WINDOW PROPOSED ON WEST ELEVATION NEAR NORTHERN END



WINDOW ON NORTH ELEVATION TO BE ALTERED



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DRAWING:  
**PHOTOS- NORTH WINDOWS**

DRAWN BY: NL

SHEET NUMBER:

**4**



A/C UNIT TO BE RELOCATED



A/C UNIT TO BE RELOCATED



AREA FOR A/C UNIT TO BE RELOCATED



AREA FOR A/C UNIT TO BE RELOCATED

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DRAWING:  
**PHOTOS- A/C UNIT  
RELOCATION**  
DRAWN BY: NL

SHEET NUMBER:  
**5**



SIDE YARD (SOUTH) PATIO TO BE REPLACED WITH NEW HARDSCAPE SURFACE



EXISTING WINDOW WELL NEAR SOUTHWEST CORNER OF HOME TO BE INFILLED



NORTHERN END OF HOME



FENCED IN SIDE (SOUTH) YARD

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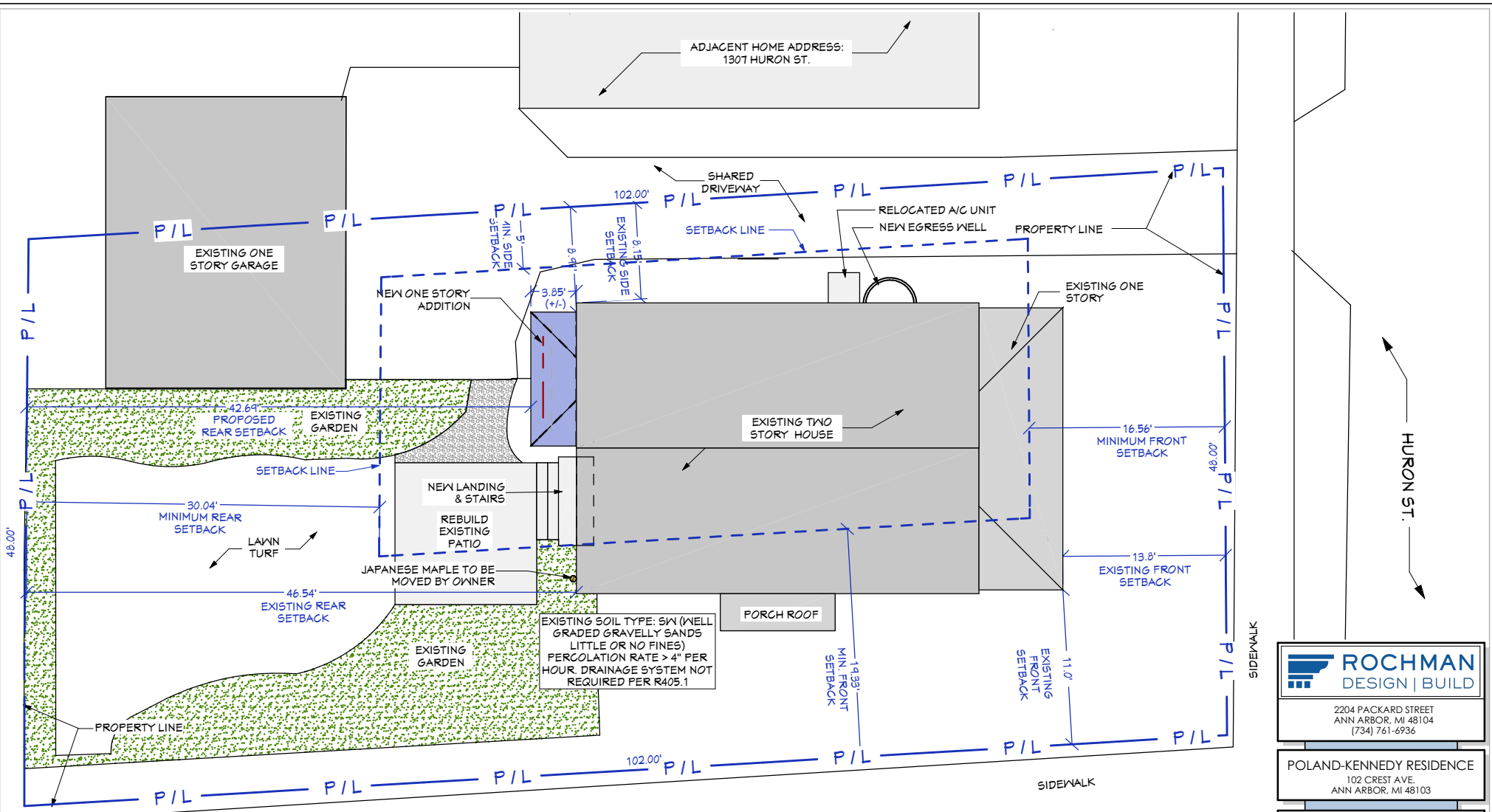
POLAND-KENNEDY RESIDENCE  
102 CREST AVE.  
ANN ARBOR, MI 48103

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DRAWING:  
**PHOTOS- SITE CONDITIONS**  
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SHEET NUMBER:  
**6**



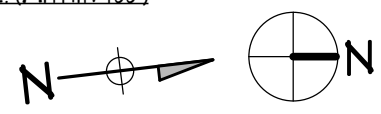
**NEARBY SETBACKS ALONG HURON ST. (WITHIN 100')**

1315 W. HURON	13.33'
1311 W. HURON	12.75'
1307 W. HURON	11.83'
1314 W. HURON	28.33'
AVERAGE: 66.24/4=	16.56'

**NEARBY SETBACKS ALONG CREST AVE. (WITHIN 100')**

110 CREST AVE.	19.25'
114 CREST AVE.	20.00'
116 CREST AVE.	18.75'
AVERAGE: 58/3=	19.33'

**BUILDING AREAS**  
 EXISTING FOOTPRINT (PRE-1945)= 861 SF  
 PROPOSED ADDITION= 45 SF  
 PROPOSED NEW FOOTPRINT= 906 SF  
 PROPOSED INCREASE OF FOOTPRINT= 5.26%



**1. PROPOSED SITE PLAN**  
 1 IN = 12 FT

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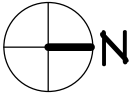
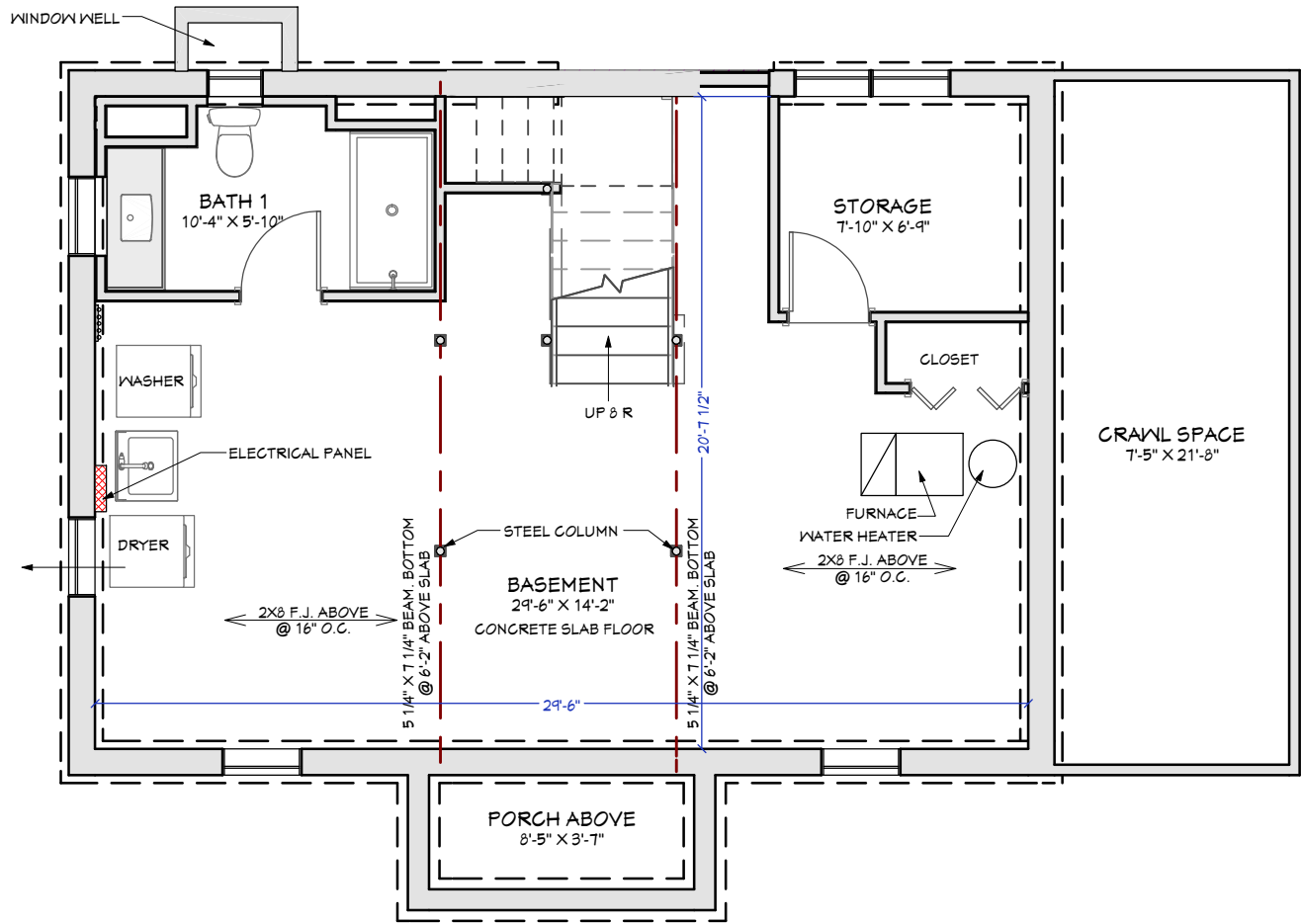
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DRAWING:  
**SITE PLAN**

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**7**



1. BASEMENT PLAN- EXISTING  
1 IN = 6 FT



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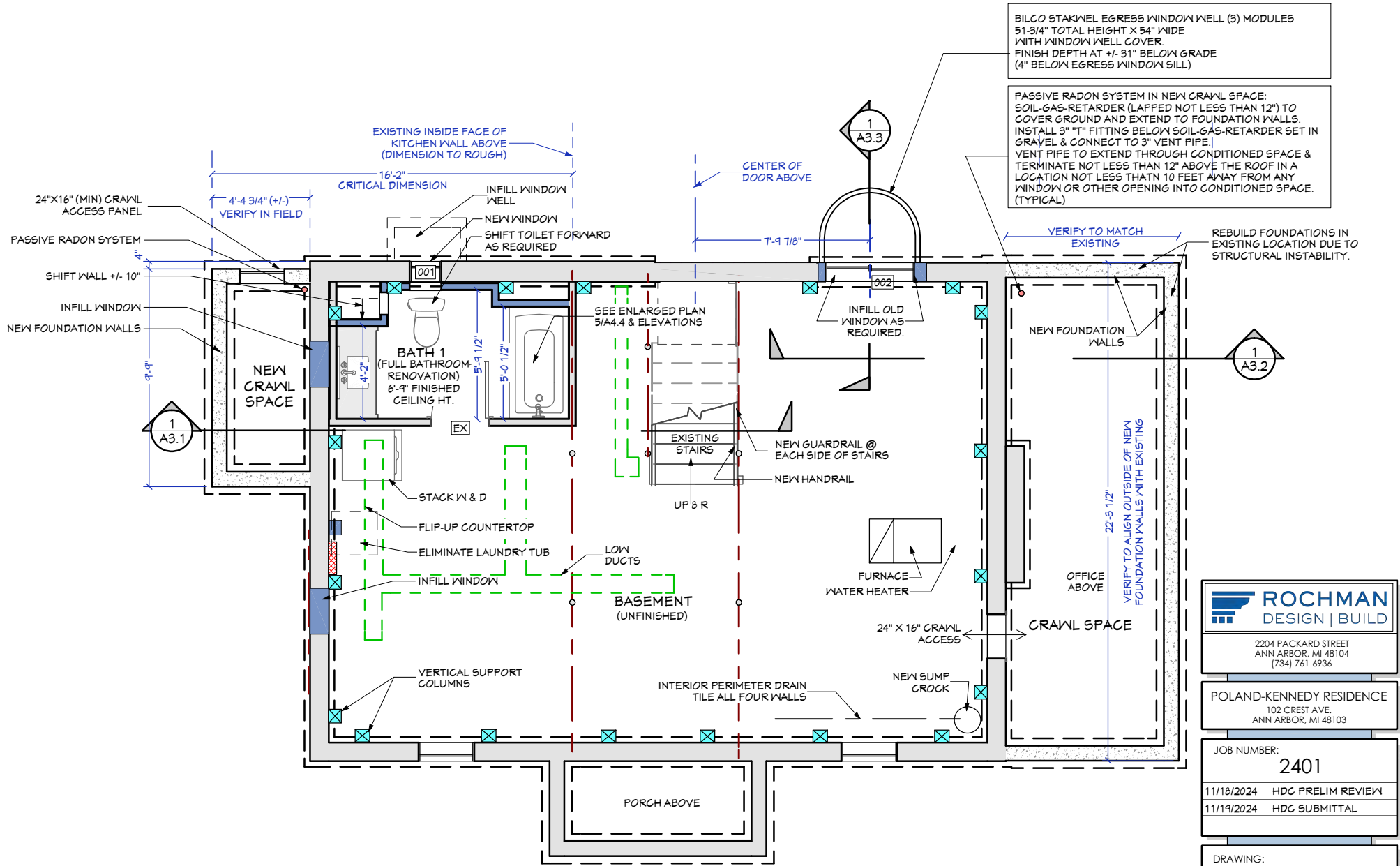
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DRAWING:  
**BASEMENT PLAN- EXISTING**

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**8**



BILCO STAKWEL EGRESS WINDOW WELL (3) MODULES  
 51-3/4" TOTAL HEIGHT X 54" WIDE  
 WITH WINDOW WELL COVER.  
 FINISH DEPTH AT +/- 31" BELOW GRADE  
 (4" BELOW EGRESS WINDOW SILL)

PASSIVE RADON SYSTEM IN NEW CRAWL SPACE:  
 SOIL-GAS-RETARDER (LAPPED NOT LESS THAN 12") TO  
 COVER GROUND AND EXTEND TO FOUNDATION WALLS.  
 INSTALL 3" "T" FITTING BELOW SOIL-GAS-RETARDER SET IN  
 GRAVEL & CONNECT TO 3" VENT PIPE.  
 VENT PIPE TO EXTEND THROUGH CONDITIONED SPACE &  
 TERMINATE NOT LESS THAN 12" ABOVE THE ROOF IN A  
 LOCATION NOT LESS THAN 10 FEET AWAY FROM ANY  
 WINDOW OR OTHER OPENING INTO CONDITIONED SPACE.  
 (TYPICAL)

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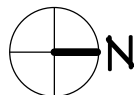
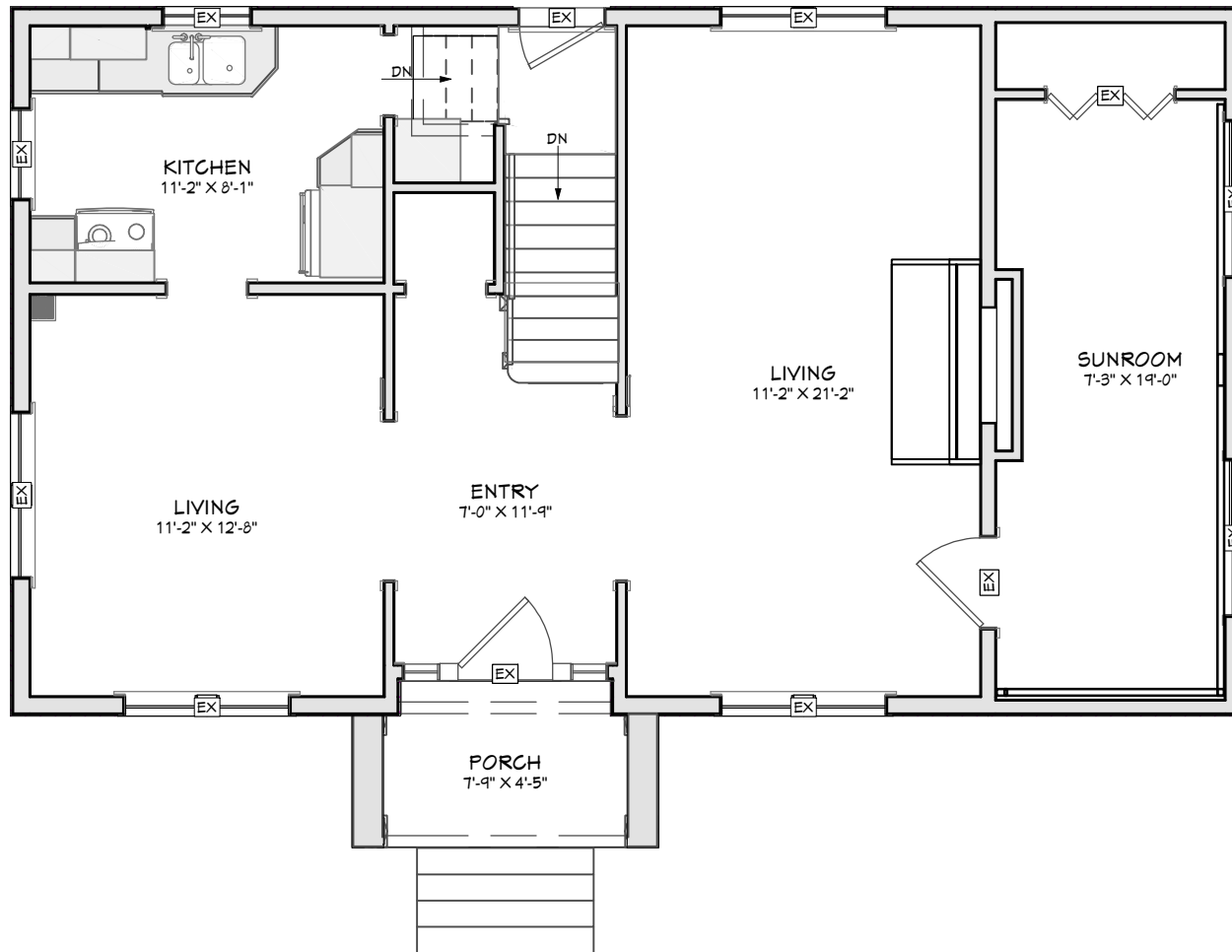
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DRAWING:  
**BASEMENT PLAN-  
 PROPOSED**

DRAWN BY: NL

SHEET NUMBER:  
**9**

 **1. BASEMENT PLAN- PROPOSED**  
 1 IN = 6 FT



1. FIRST FLOOR PLAN- EXISTING  
1 IN = 6 FT

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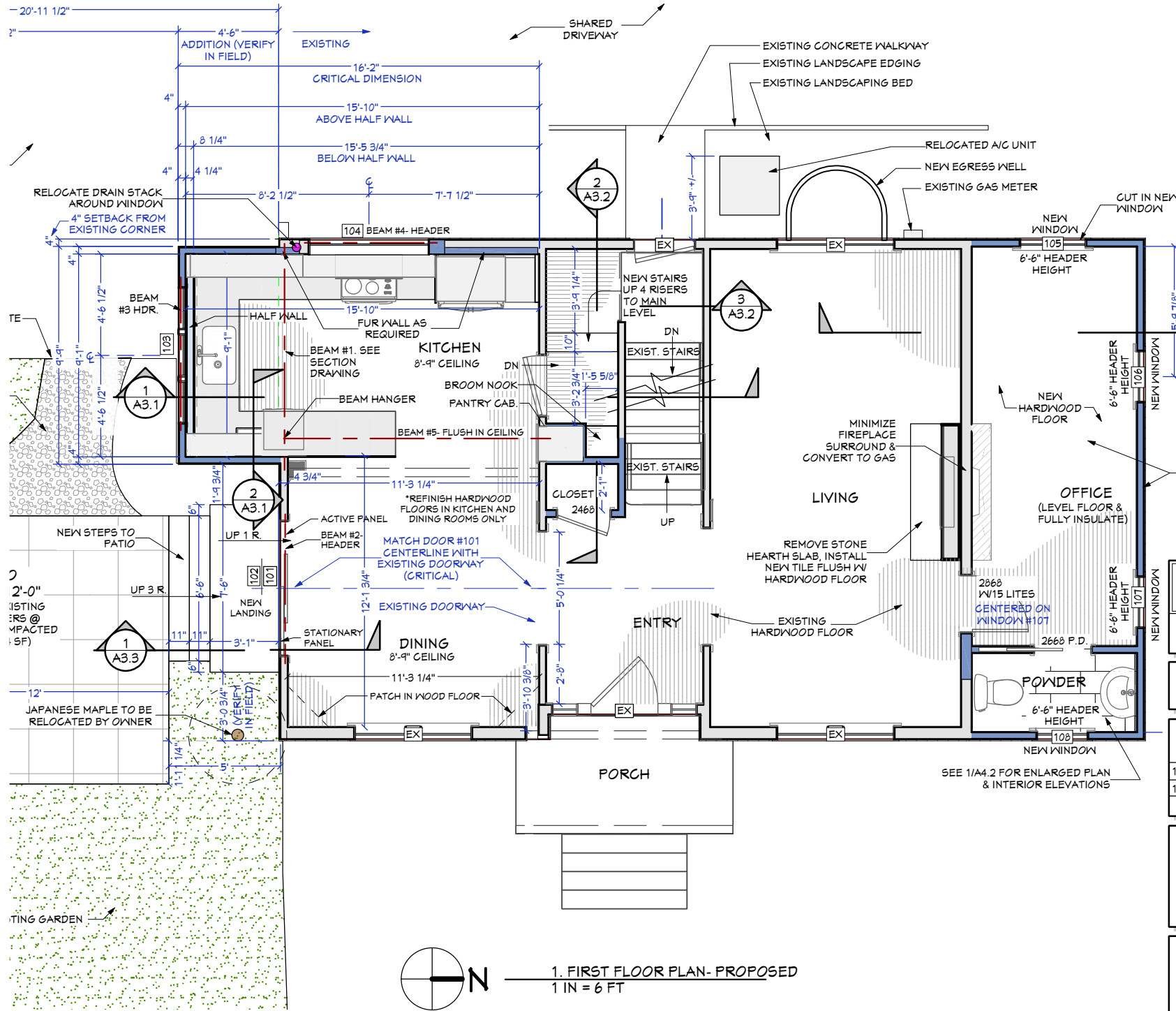
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DRAWING:  
**FIRST FLOOR PLAN-  
EXISTING**

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**10**



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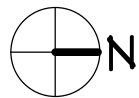
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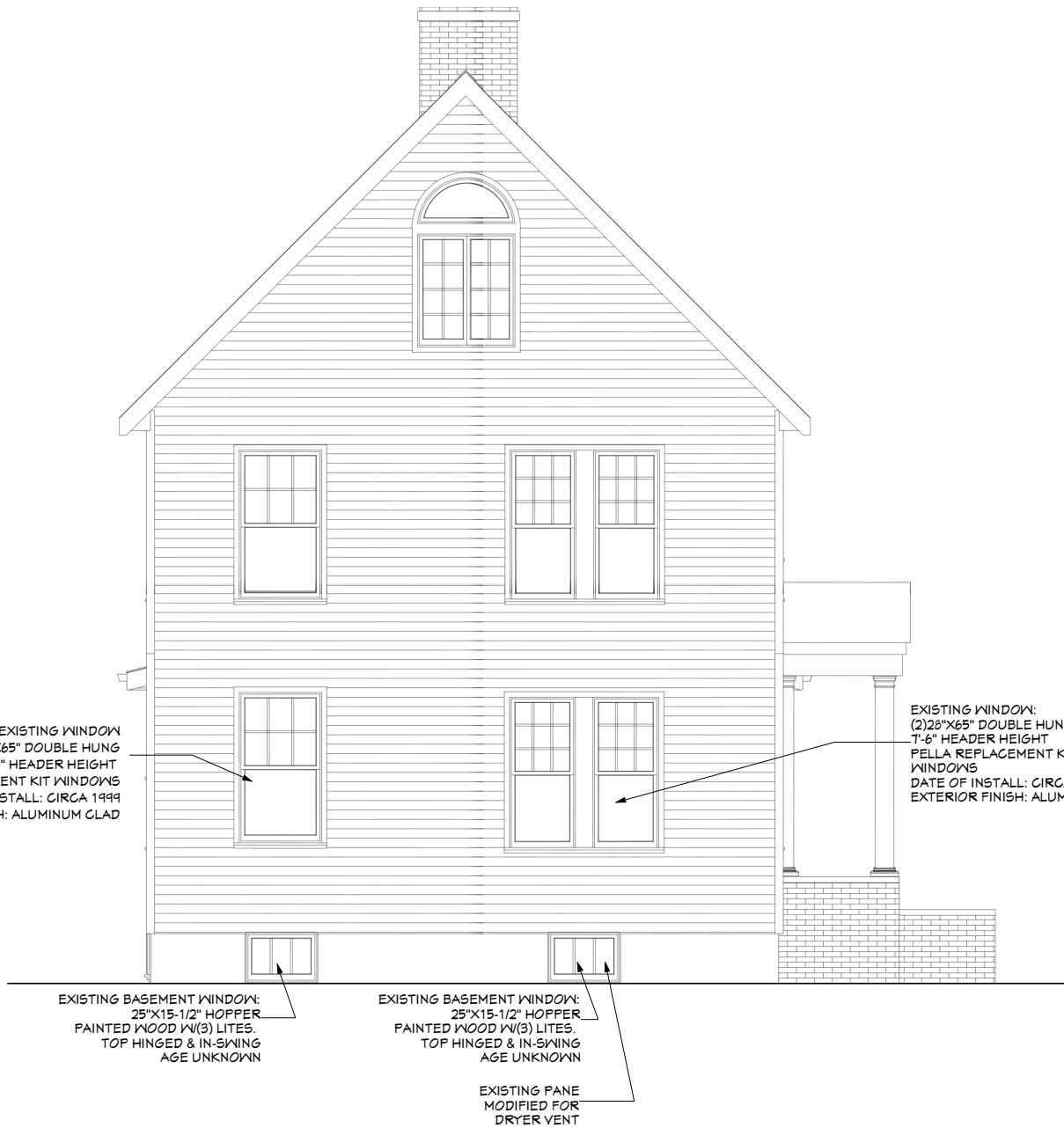
DRAWING:  
**FIRST FLOOR PLAN-  
PROPOSED**

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**11**

 **1. FIRST FLOOR PLAN- PROPOSED**  
1 IN = 6 FT





EXISTING WINDOW  
 36"X65" DOUBLE HUNG  
 T-6" HEADER HEIGHT  
 PELLA REPLACEMENT KIT WINDOWS  
 DATE OF INSTALL: CIRCA 1999  
 EXTERIOR FINISH: ALUMINUM CLAD

EXISTING WINDOW:  
 (2)28"X65" DOUBLE HUNG  
 T-6" HEADER HEIGHT  
 PELLA REPLACEMENT KIT  
 WINDOWS  
 DATE OF INSTALL: CIRCA 1999  
 EXTERIOR FINISH: ALUMINUM CLAD

EXISTING BASEMENT WINDOW:  
 25"X15-1/2" HOPPER  
 PAINTED WOOD W(3) LITES.  
 TOP HINGED & IN-SWING  
 AGE UNKNOWN

EXISTING BASEMENT WINDOW:  
 25"X15-1/2" HOPPER  
 PAINTED WOOD W(3) LITES.  
 TOP HINGED & IN-SWING  
 AGE UNKNOWN

EXISTING PANE  
 MODIFIED FOR  
 DRYER VENT

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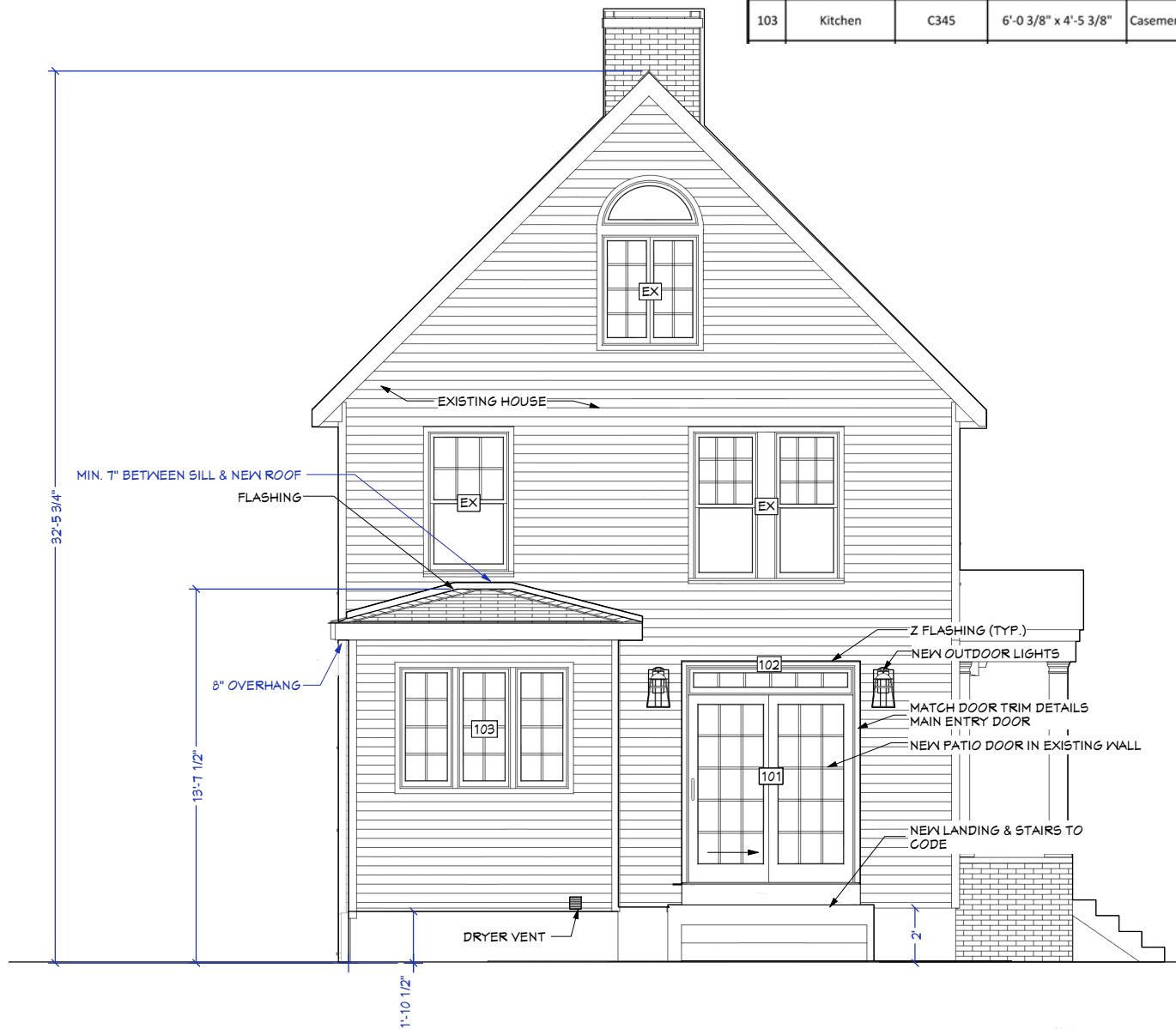
DRAWING:  
**SOUTH ELEVATION-  
 EXISTING**

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SHEET NUMBER:  
**12**

1. EXISTING ELEVATION- SOUTH  
 1 IN = 6 FT

Mark	Room	Unit	R.O.	Type	Oper.	Notes
101	Dining	FWG60611L	6'-0" 3/8 X 8'-0"	Sliding Door	L	6'-0" x 6'-10" Frenchwood Gliding Patio Door (3x5 grid) R.O. includes transom #102
102	Dining	FWT6011	6'-0" 3/8 X 8'-0"	Transom	Fixed	12" Transom (1x6 grid) R.O. includes Door #101
103	Kitchen	C345	6'-0 3/8" x 4'-5 3/8"	Casements & Fixed	L-F-R	3 Mullled unit, 2x4 grid in each unit



**2. PROPOSED ELEVATION- SOUTH**  
1 IN = 6 FT

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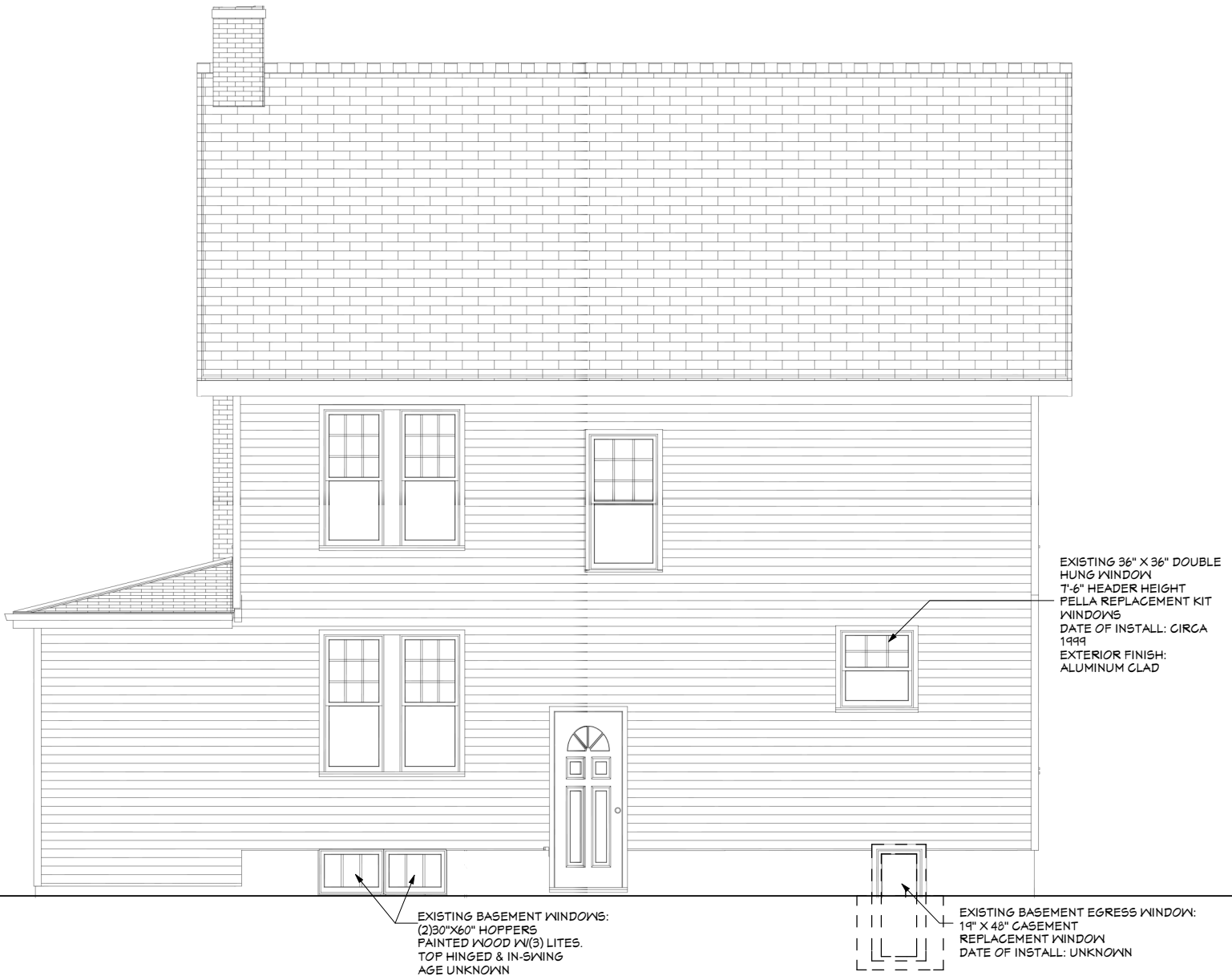
JOB NUMBER:  
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DRAWING:  
**SOUTH ELEVATION-  
PROPOSED**

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SHEET NUMBER:  
**13**



**1. EXISTING ELEVATION- WEST**  
 1 IN = 6 FT

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 102 CREST AVE.  
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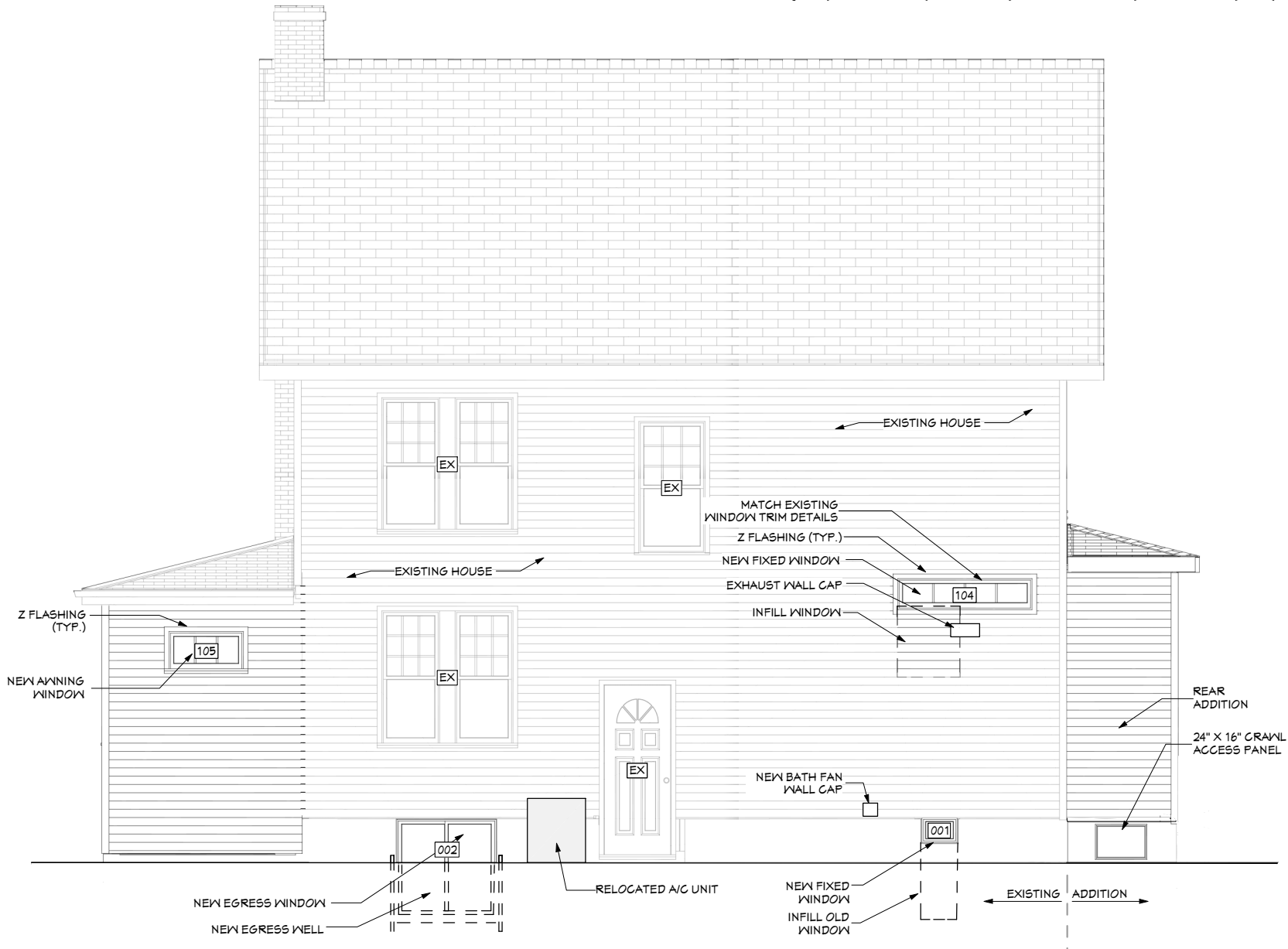
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DRAWING:  
**WEST ELEVATION- EXISTING**

DRAWN BY: NL

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**14**

Mark	Room	Unit	R.O.	Type	Oper.	Notes
OO1	Basement Bath 1	CTR1510	1'-5 1/2" x 1'-0 1/2"	Fixed		Frosted Glass
OO2	Basement	100GX00X4040	4'-0" X 4'-0"	GLIDER	R	Basement Egress window
104	Kitchen	AR551	5'-5 3/8" X 1'-5 1/2"	Fixed		4x1 grid
105	Office	AR31	3'-0 1/2" x 1'-5 1/2"	Fixed		1x3 grid



1. PROPOSED ELEVATION- WEST  
1 IN = 6 FT

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DRAWING:  
**WEST ELEVATION- PROPOSED**

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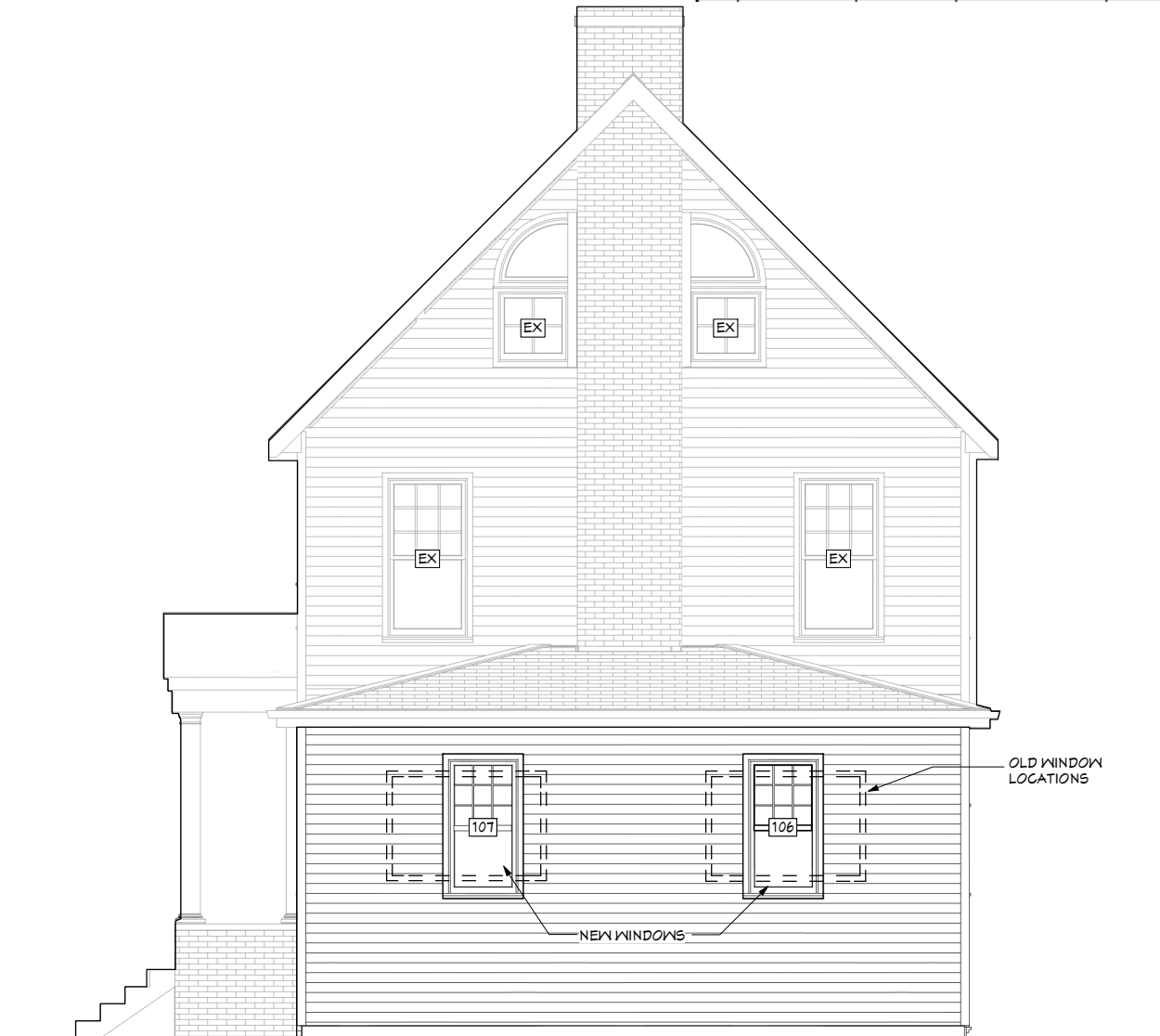
SHEET NUMBER:  
**15**



**1. EXISTING ELEVATION- NORTH**  
 1 IN = 6 FT

	
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<b>POLAND-KENNEDY RESIDENCE</b> 102 CREST AVE. ANN ARBOR, MI 48103	
JOB NUMBER: <div style="text-align: right; font-size: 1.2em;"><b>2401</b></div>	
11/10/2024	HDC PRELIM REVIEW
11/19/2024	HDC SUBMITTAL
DRAWING: <div style="text-align: center; font-size: 1.2em;"><b>NORTH ELEVATION- EXISTING</b></div>	
DRAWN BY: NL	
SHEET NUMBER: <div style="text-align: center; font-size: 2em;"><b>16</b></div>	

Mark	Room	Unit	R.O.	Type	Oper.	Notes
106	Office	CW145	2'-4 3/8" X 4'-5 3/8"	Casement	R	Casement w/grid in upper portion (simulated rail)
107	Office	CW145	2'-4 3/8" X 4'-5 3/8"	Casement	L	Casement w/grid in upper portion (simulated rail)



2. PROPOSED ELEVATION- NORTH  
1 IN = 6 FT

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DRAWING:  
**NORTH ELEVATION-  
PROPOSED**

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SHEET NUMBER:  
**17**



1. EXISTING ELEVATION- EAST  
1 IN = 6 FT

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(734) 761-6936

POLAND-KENNEDY RESIDENCE  
102 CREST AVE.  
ANN ARBOR, MI 48103

JOB NUMBER:  
**2401**

11/18/2024 HDC PRELIM REVIEW  
11/19/2024 HDC SUBMITTAL

DRAWING:  
**EAST ELEVATION-  
EXISTING**

DRAWN BY: NL

SHEET NUMBER:  
**18**

Mark	Room	Unit	R.O.	Type	Oper.	Notes
108	Powder	TW2042	2'-2 1/8" X 4'-4 7/8"	Double Hung	D.H.	3x3 grid in upper sash only



**1. PROPOSED ELEVATION- EAST**  
1 IN = 6 FT

**ROCHMAN**  
DESIGN | BUILD

2204 PACKARD STREET  
ANN ARBOR, MI 48104  
(734) 761-6936

**POLAND-KENNEDY RESIDENCE**  
102 CREST AVE.  
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JOB NUMBER:  
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DRAWING:  
**EAST ELEVATION- PROPOSED**  
DRAWN BY: NL

SHEET NUMBER:  
**19**



EXISTING TRIM MATERIALS & DIMENSIONS

EXISTING SIDING: "DOUBLE 4" ALUMINUM SIDING (8" HEIGHT W/2 4" REVEALS)  
4" CASING WOOD WRAPPED IN ALUMINUM  
ANGLED 1.5" SILL WRAPPED IN ALUMINUM

PROPOSED TRIM MATERIALS FOR ADDITION

FIBER CEMENT: 5-1/4" SIDING W/4" REVEAL  
CORNERS: 5/4" X 4" BORAL  
WINDOW CASING: 5/4" X 4" BORAL  
COLORS TO MATCH EXISTING

EXISTING WINDOWS


MIXTURE OF VINYL & ALUMINUM REPLACEMENT WINDOWS THROUGHOUT HOUSE. SEE BELOW.

SEVERAL WINDOWS ARE PELLA REPLACEMENT KIT WINDOWS  
DATE OF INSTALL: CIRCA 1999  
EXTERIOR FINISH: ALUMINUM CLAD

VINYL REPLACEMENT WINDOW (FIRST FLOOR NORTH ELEVATION AND 3RD FLOOR WINDOWS)  
MANUFACTURER: UNKNOWN  
DATE OF INSTALL: UNKNOWN

PROPOSED NEW WINDOWS INFO:

ANDERSEN 400 SERIES  
EXTERIOR FINISH: RIGID VINYL CLAD (WHITE)  
\*OWNERS PLAN TO REPLACE BALANCE OF EXISTING WINDOWS IN THE FUTURE WITH SAME ANDERSEN 400 SERIES TO MATCH

 2204 PACKARD STREET ANN ARBOR, MI 48104 (734) 761-6936
POLAND-KENNEDY RESIDENCE 102 CREST AVE. ANN ARBOR, MI 48103
JOB NUMBER: <b>2401</b>
11/18/2024 HDC PRELIM REVIEW 11/19/2024 HDC SUBMITTAL
DRAWING: <b>MATERIALS, TRIMS, &amp; WINDOWS</b> DRAWN BY: NL
SHEET NUMBER: <b>20</b>

# CASEMENT & AWNING WINDOWS

<b>ROCHMAN</b> DESIGN   BUILD 2004 PACKARD STREET ANN ARBOR, MI 48104 (734) 761-6936	POLAND-KENNEDY RESIDENCE 102 CREST AVE. ANN ARBOR, MI 48103	JOB NUMBER: <b>2401</b>	11/18/2024 HDC PRELIM REVIEW 11/19/2024 HDC SUBMITTAL	DRAWING: <b>CASEMENTS-                  WINDOW DETAILS</b> DRAWN BY: NL	SHEET NUMBER: <b>21</b>

## FEATURES

### FRAME

- A** A seamless one-piece, rigid vinyl frame cover is secured to the exterior of the frame to protect the wood frame from moisture and maintain an attractive appearance while minimizing maintenance.
- B** The seamless rigid vinyl cover extends 1 3/8" (35) around the perimeter of the unit, creating a flange to help seal the unit to the structure.
- C** Wood frame members are treated with a water-repellent preservative for long-lasting protection and performance.
- D** Interior stops are unfinished pine. Low-maintenance prefinished white, dark bronze and black\*\* interiors are also available.

### SASH

- E** Rigid vinyl encases the entire sash – a vinyl weld protects each sash corner for superior weathertightness. It maintains an attractive appearance and minimizes maintenance.
- F** Wood core members provide excellent structural stability and energy efficiency.
- G** Vinyl closed-cell foam weatherstrip is factory installed on the perimeter of the sash.

### GLASS

- H** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.
- I** A glazing bead and silicone provide superior weathertightness and durability.
- J** High-Performance options include:
  - Low-E4® glass
  - Low-E4 HeatLock® glass
  - Low-E4 SmartSun™ glass
  - Low-E4 SmartSun HeatLock glass
  - Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

### Patterned Glass

Patterned glass options are available. See page 12 for more details.



### HARDWARE

#### Smooth Control Hardware System



The smooth control hardware system employs a worm gear drive for easy operation. Units with a wash mode have hinges that move the sash away from the frame to provide easier glass

cleaning. CXW15, CXW155, CXW16 and CXW25 sizes not available with wash mode. Hardware option and finish must be specified. Operator handle and cover sold separately.

#### Single-Actuation Casement Lock



On casement windows, a single-actuation lock easily releases all locking points on the casement sash while the reach-out action eliminates binding when closing. The lock handle is offered in finishes that coordinate with your specified hardware option.

#### Awning Sash Locks



Awning sash locks provide an added measure of security and weathertightness. Hardware style and finish options are compatible with Andersen® casement windows to ensure consistency in appearance when used in window combination designs.

## StormWATCH PROTECTION

400 Series casement and awning windows are available with Stormwatch® Protection. For more details, visit [andersenwindows.com/coastal](http://andersenwindows.com/coastal).

### Performance Grade (PG) Upgrades

Performance upgrades are available for select sizes of standard, non-impact casement and awning windows,

allowing these units to achieve higher performance ratings. Performance Grade (PG) ratings are more comprehensive than Design Pressure (DP) ratings for measuring product performance. Visit [andersenwindows.com](http://andersenwindows.com) for up-to-date performance information of individual products. Contact your Andersen supplier for availability.

## EXTERIOR & INTERIOR OPTIONS

### EXTERIOR COLORS



### INTERIOR OPTIONS



## HARDWARE OPTIONS Sold Separately



### CONTEMPORARY FOLDING

Black | Bright Brass | Gold Dust  
Oil Rubbed Bronze | **Satin Nickel**  
Stone | White



### TRADITIONAL FOLDING

Antique Brass | Black | Bright Brass  
**Distressed Bronze** | Distressed Nickel  
Gold Dust | Oil Rubbed Bronze  
Satin Nickel | Stone | White

Folding handles avoid interference with window treatments.



### CLASSIC SERIES™

Stone | White



### ESTATE™

**Antique Brass** | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Bronze  
Polished Chrome | Satin Nickel

### HARDWARE FINISHES

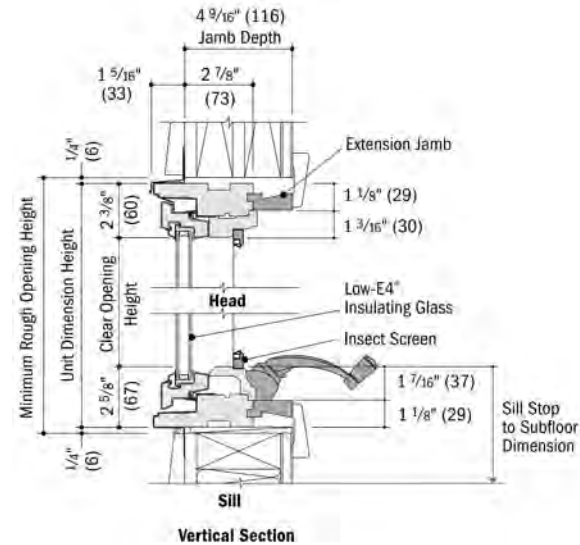
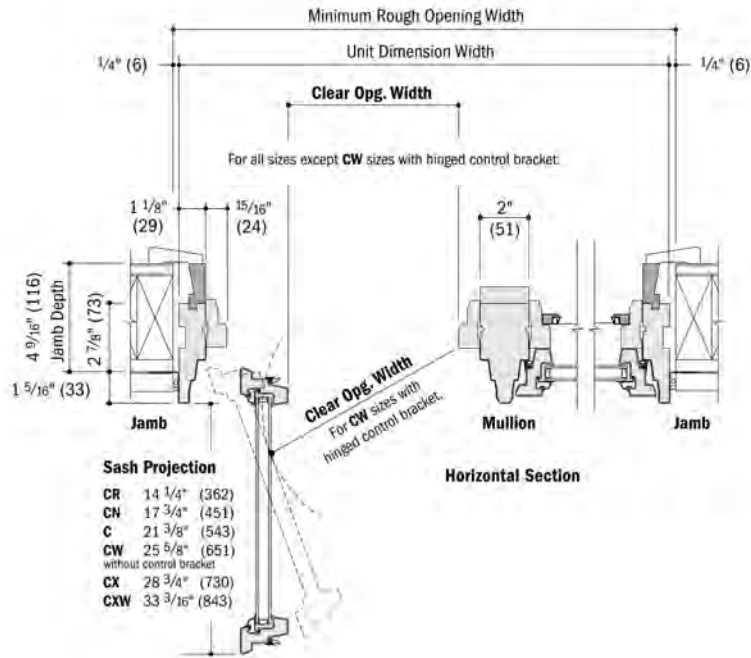


\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\*Products with dark bronze and black interiors have matching exteriors.

### Casement Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



### INSECT SCREENS

TruScene® Insect Screens



Andersen TruScene insect screens let in over 25% more fresh air\*\* and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects. For casement and awning windows, frames are available in white, stone, dark bronze and black, or with pine veneer frame interiors to blend with the wood interior of the window.

#### Conventional Insect Screens

Conventional insect screens have charcoal powder-coated aluminum screen mesh. Available with frames in white, stone, dark bronze and black.



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102 CREST AVE.  
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JOB NUMBER:  
**2401**

11/18/2024 HDC PRELIM REVIEW  
11/19/2024 HDC SUBMITTAL

DRAWING:  
**CASEMENTS-  
WINDOW PROFILE**  
DRAWN BY: NL

SHEET NUMBER:  
**22**

# TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

**ROCHMAN  
DESIGN | BUILD**

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ANN ARBOR, MI 48104  
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POLAND-KENNEDY RESIDENCE  
102 CREST AVE.  
ANN ARBOR, MI 48103

JOB NUMBER: 2401

11/18/2024 HDC PRELIM REVIEW

11/19/2024 HDC SUBMITTAL

DRAWING: DOUBLE HUNG-WINDOW DETAILS  
DRAWN BY: NL

SHEET NUMBER: 23

## FEATURES

### FRAME

**A** Exterior outer frame members are covered with a Perma-Shield® rigid vinyl cladding, minimizing maintenance and providing an attractive appearance.

**B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior. Sill ends are protected and sealed with weather-resistant covers.

**C** Natural wood stops are available in pine, and prefinished white, dark bronze and black.\*\*

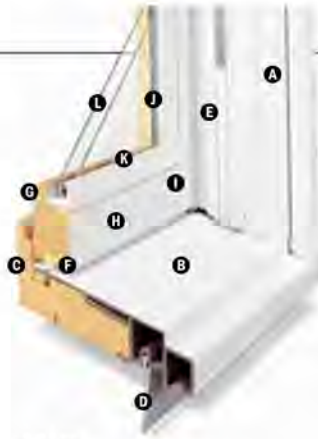
**D** A factory-applied rigid vinyl anchoring flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

**E** An extruded rigid vinyl jamb liner and fin provide a protective seal against the outer frame members. Exclusive slide wash assists make it easy to tilt the sash into wash mode position.



Unique block-and-tackle balancers feature sized-to-the-unit, rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. Sash can be removed, without tools, for drywall pass-through. Jamb liners are available in white or gray, and must be specified when ordering. Contact your Andersen supplier for details.

**F** Weatherstrip throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an encased foam material is used. The head jamb liner and sill have a rigid vinyl rib that the weatherstrip material compresses against. At the meeting rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstrip with foam inserts.



### SASH

Wash assists make it easy to tilt the sash into wash mode.

**G** Wood sash members are treated with a water-repellent preservative for long-lasting protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are also available.

**H** A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

**I** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

### GLASS

**J** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

**K** Silicone bed glazing provides superior weathertightness and durability.

**L** High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

### Patterned Glass

Patterned glass options are available. See page 12 for more details.

## EXTERIOR & INTERIOR OPTIONS

### EXTERIOR COLORS



### INTERIOR OPTIONS



## HARDWARE



Standard Lock & Keeper

Black | Gold Dust | **Stone** | White

Stone is standard with natural interior units. White comes with prefinished white interiors. Other finishes optional.

## OPTIONAL HARDWARE Sold Separately

### ESTATE™



Lock & Keeper

Antique Brass | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Bronze  
Polished Chrome | **Satin Nickel**

Optional Estate lock and keeper reduces the clear opening height by 7/16" (14). Check with local building code officials to determine compliance with egress requirements.

### CONTEMPORARY



Bar Lift

Antique Brass | Black | Bright Brass  
Brushed Chrome | Distressed Bronze  
**Distressed Nickel** | Gold Dust  
Oil Rubbed Bronze | Polished Chrome  
Satin Nickel | Stone | White

### TRADITIONAL



Bar Lift



Hand Lift



Finger Lifts

Antique Brass | Black | Bright Brass | Brushed Chrome  
Distressed Bronze | Distressed Nickel | Gold Dust | **Oil Rubbed Bronze**  
Polished Chrome | Satin Nickel | Stone | White

Bold name denotes finish shown.

## HARDWARE FINISHES



\*Visit andersenwindows.com/warranty for details.

\*\*Products with dark bronze and black interiors have matching exteriors.

†Flexacron® is a registered trademark of PPG Industries, Inc.

Dimensions in parentheses are in millimeters.

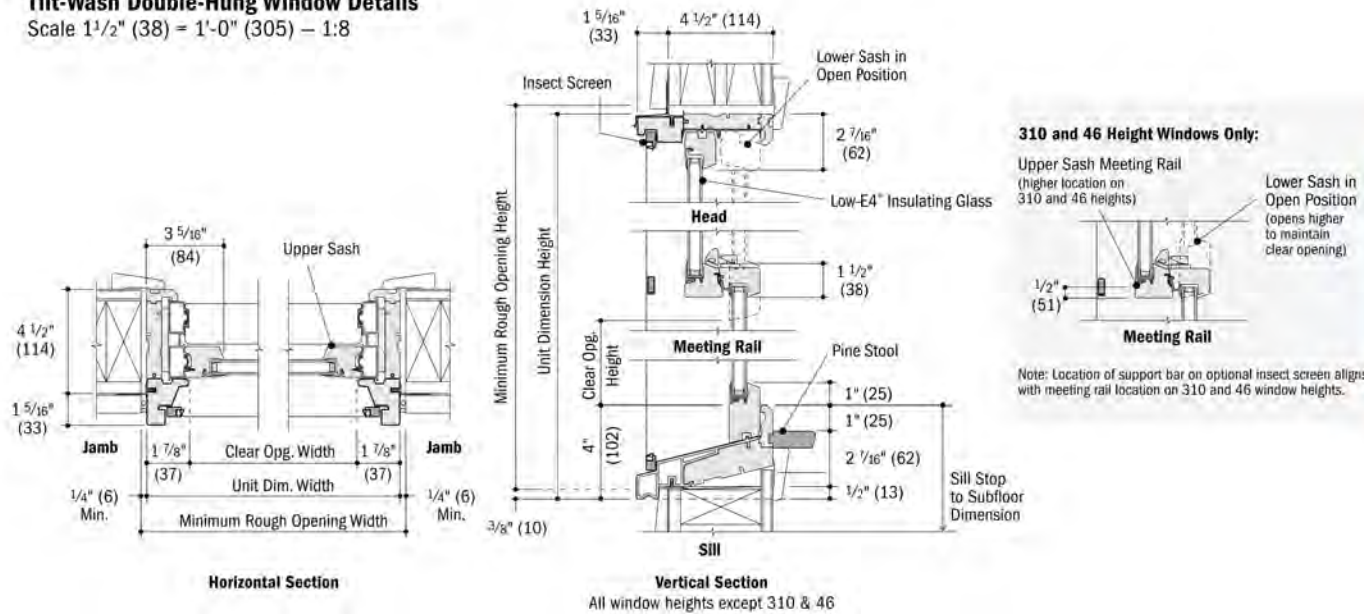
Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

## Tilt-Wash Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



400 Series Tilt-Wash Double-Hung Full-Frame Windows

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Dimensions in parentheses are in millimeters.

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POLAND-KENNEDY RESIDENCE 102 CREST AVE. ANN ARBOR, MI 48103	
JOB NUMBER: <b>2401</b>	
11/10/2024	HDC PRELIM REVIEW
11/19/2024	HDC SUBMITTAL
DRAWING: <b>DOUBLE HUNG-S- WINDOW PROFILE</b>	
DRAWN BY: NL	
SHEET NUMBER: <b>24</b>	

# FRENCHWOOD® GLIDING PATIO DOORS

<b>ROCHMAN DESIGN   BUILD</b> 2204 PACKARD STREET ANN ARBOR, MI 48104 (734) 761-6936	POLAND-KENNEDY RESIDENCE 102 CREST AVE. ANN ARBOR, MI 48103	JOB NUMBER: <b>2401</b>	11/18/2024 HDC PRELIM REVIEW 11/19/2024 HDC SUBMITTAL	DRAWING: <b>GLIDING DOOR- DETAILS</b>	SHEET NUMBER: <b>25</b>
	DRAWN BY: NL				

## FEATURES

### FRAME

**A** The sill has an extruded aluminum track, with a stainless steel cap that resists stains, rust and denting. A thermal barrier reduces conductive heat loss and limits condensation on the inside. The sill has an attractive, wear-resistant, heat-baked finish in neutral gray.

**B** All basic exterior frame members are covered with a rigid vinyl sheath that maintains an attractive appearance while minimizing maintenance.

**C** Wood frame members are treated with a water-repellent preservative for long-lasting protection and performance. Interior frame trim pieces are unfinished pine. Maple and oak veneers, or prefinished white interior options are available.

Factory-assembled two-panel doors are available and arrive at the job site ready to install. Unassembled doors are also available and require job site assembly.

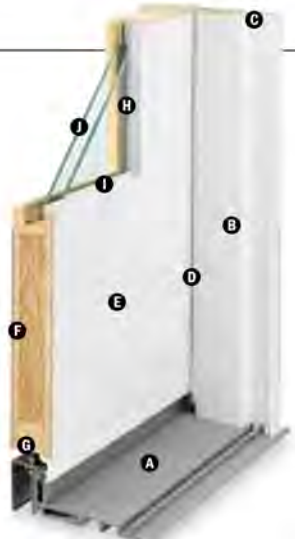
**D** A flexible vinyl weatherstrip at the head and side jamba provides a positive seal between the frame and panels.

### PANEL

**E** The exterior of the wood door panel is protected with a low-maintenance urethane base finish in white, Sandtone, Terratone or forest green.

**F** Panel interior surfaces are unfinished pine veneer. Unfinished maple or oak veneers are available as options. Low-maintenance prefinished white interiors are also available on units with white exteriors.

**G** Dual ball-bearing rollers on door panels provide smooth gliding operation with self-contained leveling adjusters.



### Mortise-and-Tenon Joints



Panel joints are mortise and tenon with patented dowel construction for maximum strength.

### Flexible Seal



A full-length combination weatherstrip/interlock system provides a flexible seal at the meeting stile.

### GLASS

**H** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

**I** Panels are silicone bed glazed and finished with an interior wood stop.

- J** High-Performance options include:
- Low-E4<sup>®</sup> tempered glass
  - Low-E4 HeatLock<sup>®</sup> tempered glass
  - Low-E4 SmartSun<sup>™</sup> tempered glass
  - Low-E4 SmartSun HeatLock tempered glass
  - Low-E4 Sun tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

### Patterned Glass

Patterned glass options are available. See page 12 for more details.

## EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS		INTERIOR OPTIONS	
White	Sandtone	Pine	Maple
Terratone	Forest Green	Oak	White

## HARDWARE OPTIONS Sold Separately

<b>ANVERS<sup>®</sup></b> Bright Brass Oil Rubbed Bronze <b>Satin Nickel</b>	<b>YUMA<sup>®</sup></b> Distressed Bronze <b>Distressed Nickel</b>	<b>NEWBURY<sup>®</sup></b> Antique Brass Bright Brass Brushed Chrome <b>Oil Rubbed Bronze</b> Polished Chrome Satin Nickel	<b>ALBANY</b> Black <b>Gold Dust</b> Stone White
<b>COVINGTON<sup>™</sup></b> Antique Brass <b>Bright Brass</b> Oil Rubbed Bronze	<b>ENCINO<sup>®</sup></b> <b>Distressed Bronze</b> Distressed Nickel	<b>WHITMORE<sup>®</sup></b> <b>Antique Brass</b> Bright Brass Oil Rubbed Bronze Satin Nickel	<b>TRIBECA<sup>®</sup></b> Black Stone <b>White</b>

**HARDWARE FINISHES**

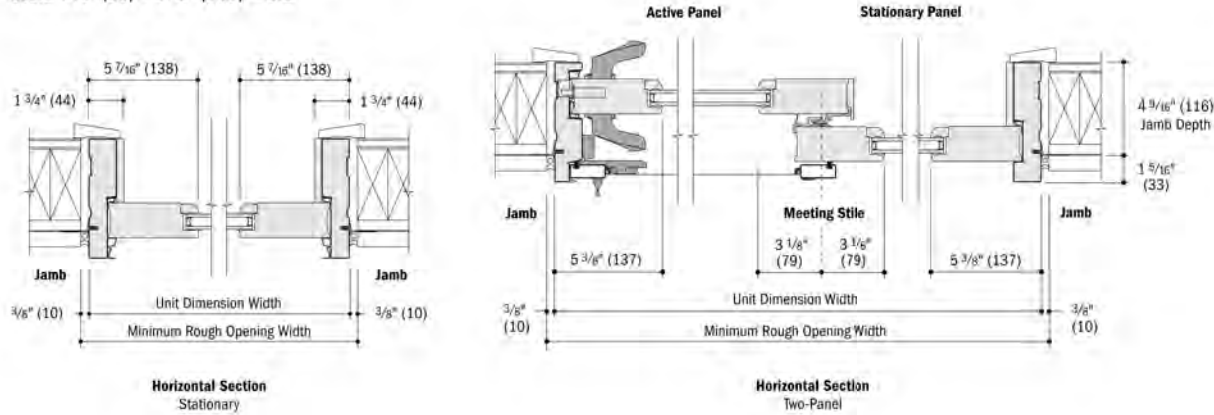
Antique Brass	Black	Bright Brass	Brushed Chrome	Distressed Bronze	Distressed Nickel
Gold Dust	Oil Rubbed Bronze	Polished Chrome	Satin Nickel	Stone	White

Bold name denotes finish shown.

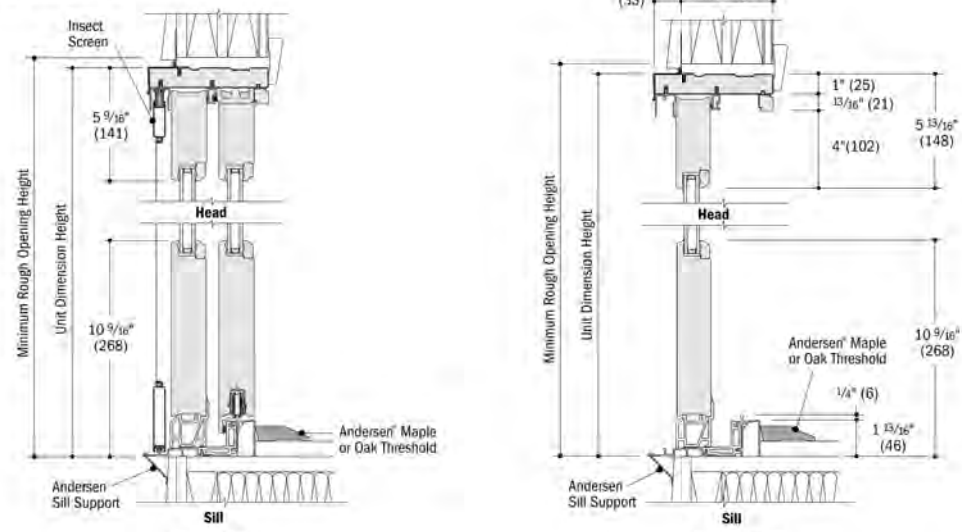
\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.  
Mix-and-match interior and exterior style and finish options are available.  
Bright brass and satin nickel finishes feature a 10-year limited warranty.  
Tribeca and Albany hardware are zinc die cast with powder-coated durable finish. Other hardware is solid forged brass.  
Dimensions in parentheses are in millimeters.  
Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.  
Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.  
Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

**Frenchwood Gliding Patio Door Details**

Scale 1 1/2" (38) = 1'-0" (305) - 1:8

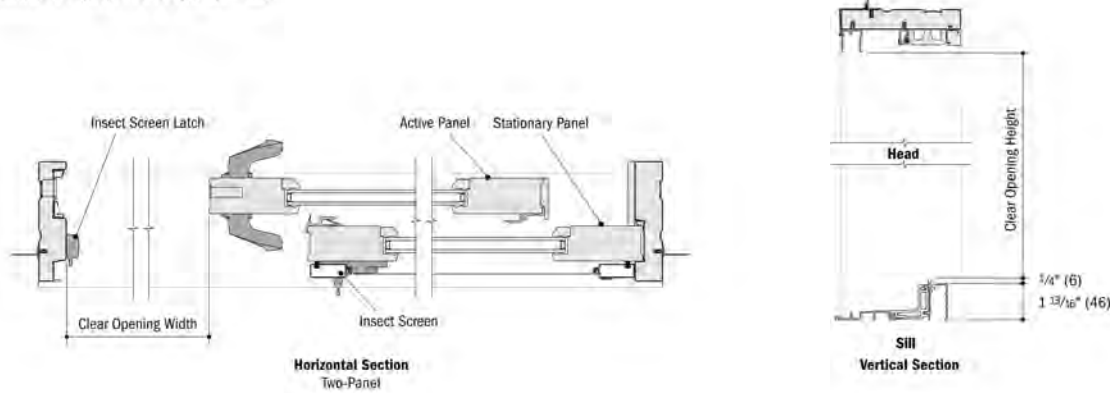


**Frenchwood® Gliding Patio Door Details**  
Scale 1 1/2" (38) = 1'-0" (305) - 1:8



**Clear Opening Details**

Scale 1 1/2" (38) = 1'-0" (305) - 1:8



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JOB NUMBER:	<b>2401</b>
11/18/2024	HDC PRELIM REVIEW
11/19/2024	HDC SUBMITTAL
DRAWING:	
<b>GLIDING DOOR- PROFILE</b>	
DRAWN BY: NL	
SHEET NUMBER:	
<b>26</b>	



EXISTING WINDOW WELL NEAR SOUTHWEST CORNER OF HOME TO BE INFILLED



BASEMENT WINDOW TO BE MODIFIED FOR NEW EGRESS WINDOW & WINDOW WELL.



EXISTING WINDOW WELL NEAR SOUTHWEST CORNER OF HOME TO BE INFILLED



NEW WINDOW WELL ALONG WEST SIDE OF HOME

 DENOTES NEW WINDOW WELL LOCATION



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JOB NUMBER:  
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11/18/2024 HDC PRELIM REVIEW  
11/19/2024 HDC SUBMITTAL

DRAWING:  
**BASEMENT EGRESS-  
LOCATION PHOTOS**

DRAWN BY: NL

SHEET NUMBER:

**27**



**EXISTING EGRESS WINDOW**

DIMENSIONS: 19" X 48"

MATERIAL:

STYLE: CASEMENT

AGE UNKNOWN

**EXISTING WINDOW TO MODIFY FOR NEW EGRESS WINDOW**

OVERALL DIMENSIONS: 60" WIDE X 21" HIGH

MATERIAL: WHITE PAINTED WOOD

STYLE: HOPPER WINDOWS (TOP HINGE, IN-SWING) W/3LITES EACH, 3WIDE X 1 HIGH

AGE: UNKNOWN

**PROPOSED EGRESS WINDOW**

DIMENSION: 4'-0" X 4'-0"

EXTERIOR FINISH: WHITE FIBREX

STYLE: ANDERSEN 100 SERIES- GLIDING EGRESS

**PROPOSED WINDOW WELL**

MODEL: 4862-42 BILCO SCAPEWELEGRESS WINDOW WELL 3 TIER

MATERIAL: HIGH DENSITY POLYETHYLENE W/STRUCTURAL FOAM CORE

WELL INSIDE WIDTH: 42"

PROJECTION FROM FOUNDATION: 49"

SIDE PANEL HEIGHT: 62"

APPROXIMATE FINISH DEPTH: 54"

HEIGHT ABOVE GRADE: 4"

WELL COVER: SCAPEWEL DOME COVER

**ADDITIONAL DETAILS**

DISTANCE FROM FOUNDATION TO LANDSCAPING PAYER: 58"

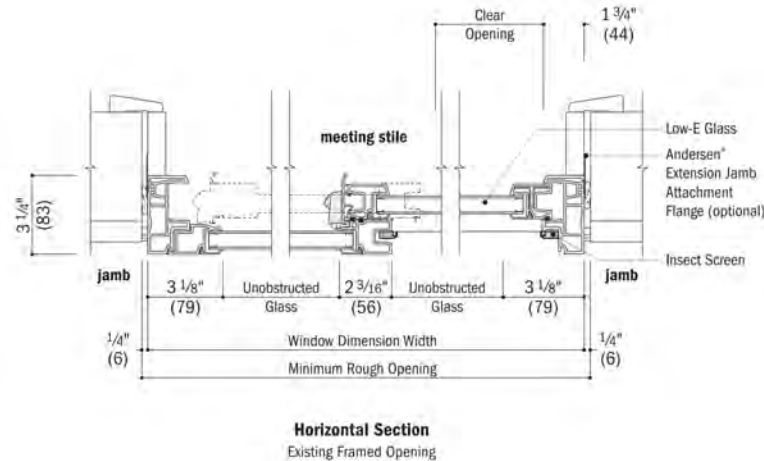
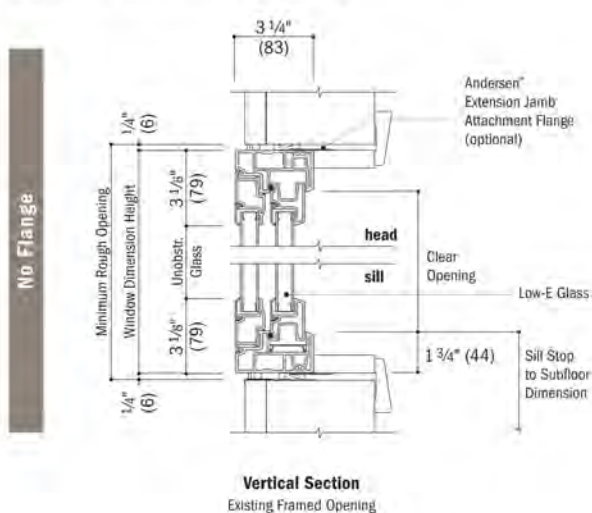
Mark	Room	Unit	R.O.	Type	Oper.	Notes
002	Basement	100GX00X4040	4'-0" X 4'-0"	GLIDER	R	Basement Egress window

**100 SERIES GLIDING WINDOWS**



**Gliding Window Details - Replacement**

Scale 1 1/2" (38) = 1'-0" (305) - 1:8



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JOB NUMBER:  
**2401**

11/10/2024 HDC PRELIM REVIEW  
11/19/2024 HDC SUBMITTAL

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DRAWING:  
**BASEMENT EGRESS-WINDOW DETAILS**

DRAWN BY: NL

---

SHEET NUMBER:  
**28**

# Selecting the Proper Size StakWEL® Egress Window Well

## STEP 1:

Measure and calculate dimension **A** as shown in the detail on the right based on the site's grade conditions and foundation height.

## STEP 2:

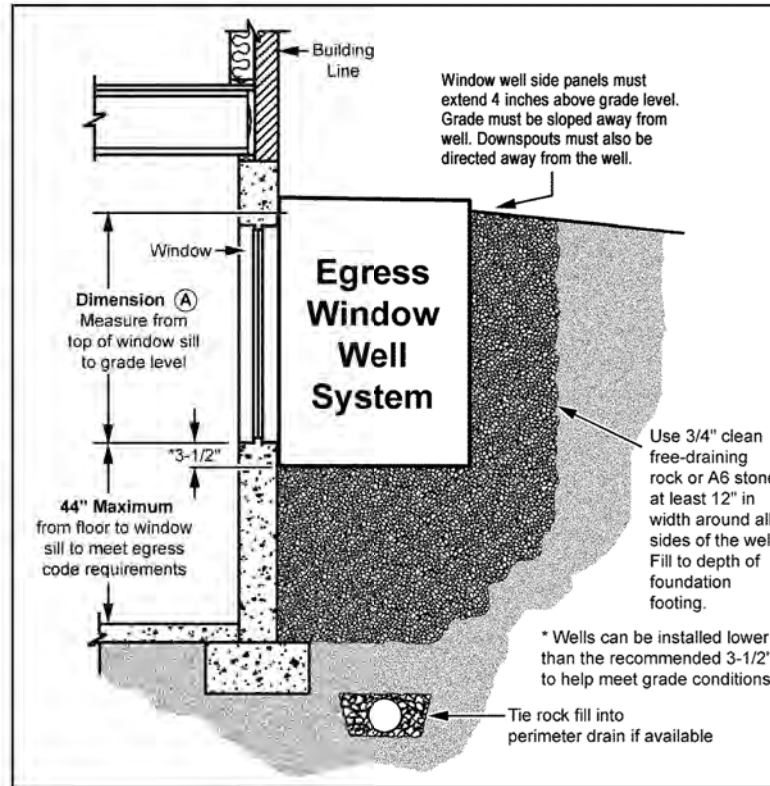
Determine the required window well height by performing this simple calculation:

$$\text{Required Window Well Height} = \text{Dimension A} + 7\text{-}1/2\text{'}$$

From the first column in the table below, select the closest height that will meet the site conditions.

## STEP 3:

Once the height has been determined, read across and select the number of modules required for your site condition.



**ADDITIONAL DETAILS**  
DISTANCE FROM FOUNDATION TO LANDSCAPING PAVER: 58"

## StakWEL® STANDARD SIZES AND MODEL NUMBERS

Modules	Height	Width	Keyhole on Center Dimension	Projection from Foundation	Optional Dome Cover
stkwl	1 module = 21"	54"	58"	40-1/4"	stkwl-C
stkwl	2 modules = 36-3/8"	54"	58"	40-1/4"	stkwl-C
stkwl	3 modules = 51-3/4"	54"	58"	40-1/4"	stkwl-C
stkwl	4 modules = 67-1/8"	54"	58"	40-1/4"	stkwl-C
stkwl	5 modules = 82-1/2"	54"	58"	40-1/4"	stkwl-C
stkwl	6 modules = 97-7/8"	54"	58"	40-1/4"	stkwl-C

**Note: StakWEL Window Wells cannot be used with 60" wide windows**

StakWEL modules are designed for use on 36" and 48" windows only (See ScapeWEL model for 60" window installations).

- **Safety...** Unique "Grip/Step" design features a convenient handle and gusseted step to meet building code requirements for egress in an emergency situation.
- **Inviting...** Allows natural daylight and ventilation into lower-level living areas. Soft earth tone color complements the basement interior.
- **Durable...** Constructed of maintenance-free materials that will never rust, rot, or need replacing.
- **Economical...** Easy to install system features modules that simply slide together to create the required window well height for your foundation.
- **Versatile...** Mounding flanges are designed for attachment directly to the foundation wall.
- **Code-Compliant...** Satisfies IRC 2021 Building code requirements for emergency egress in finished basement areas.

**ROCHMAN**  
DESIGN | BUILD

2204 PACKARD STREET  
ANN ARBOR, MI 48104  
(734) 761-6936

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POLAND-KENNEDY RESIDENCE  
102 CREST AVE.  
ANN ARBOR, MI 48103

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JOB NUMBER:  
**2401**

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11/18/2024 HDC PRELIM REVIEW  
11/19/2024 HDC SUBMITTAL

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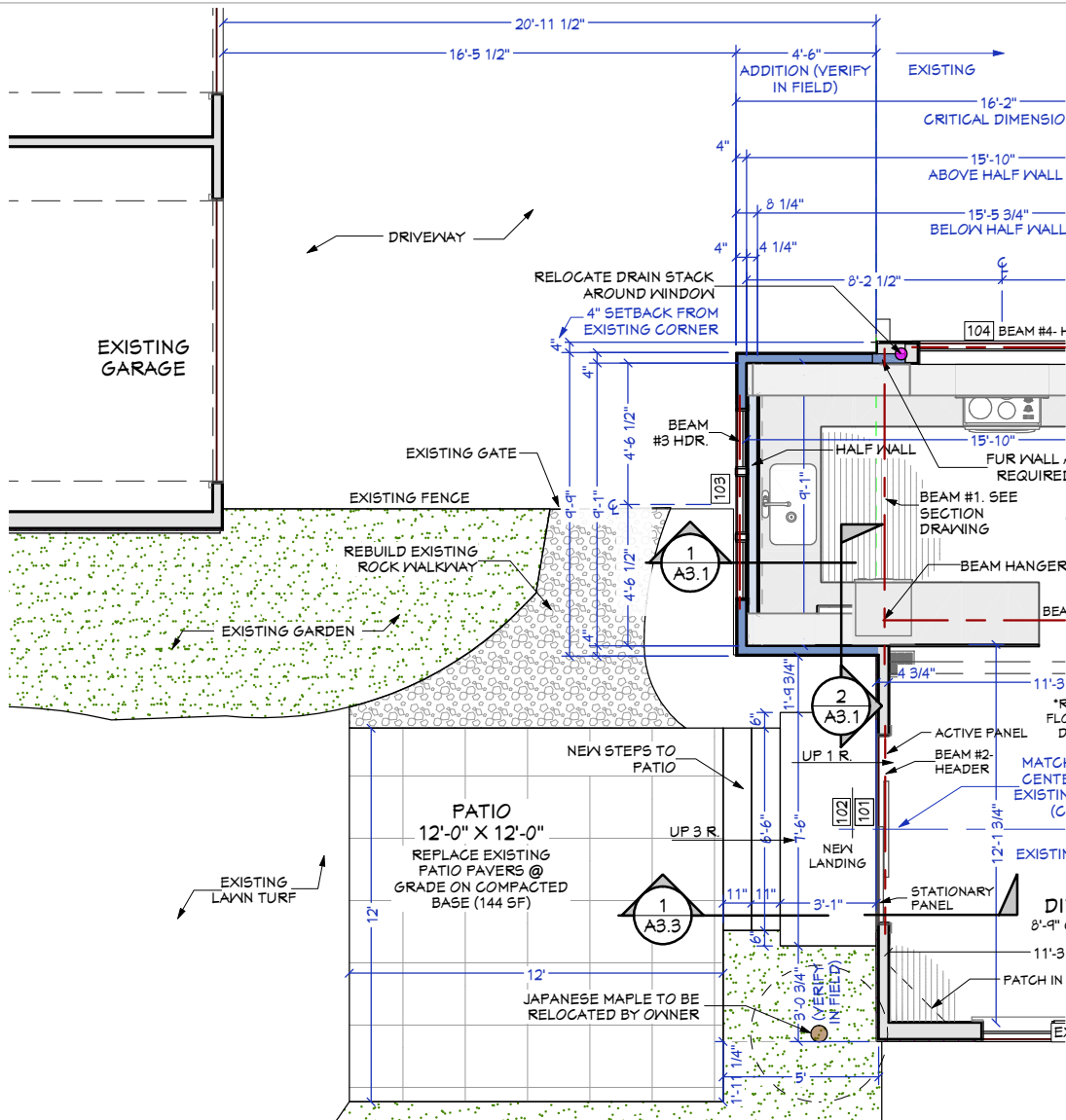
DRAWING:  
**BASEMENT EGRESS-WELL DETAILS**

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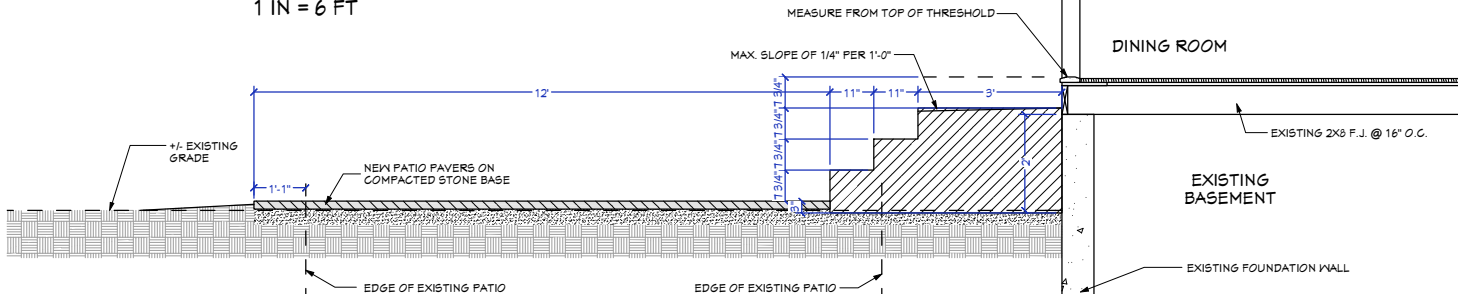
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SHEET NUMBER:  
**29**



**2. PATIO & LANDING PLAN**  
1 IN = 6 FT



**1. STAIR & PATIO SECTION**  
1/4 IN = 1 FT



**LANDING PAVERS & PATIO PAVERS**  
SIZE: 10" X 10" & 10" X 15" COMBINATION  
PAVERS BRAND & MODEL: FENDT HARBOR STONE  
COLOR: STERLING SMOKE

**SIDE WALLS & RISERS SHAPES & SIZES**



**SIDE WALLS & RISERS**  
SIZE: COMBINATION OF UNITS  
BRAND- OLD WORLD STONEGATE WALL  
COLOR: LIMESTONE BLEND

2204 PACKARD STREET ANN ARBOR, MI 48104 (734) 761-6936	
<b>POLAND-KENNEDY RESIDENCE</b> 102 CREST AVE. ANN ARBOR, MI 48103	
JOB NUMBER:	<b>2401</b>
11/18/2024	HDC PRELIM REVIEW
11/19/2024	HDC SUBMITTAL
DRAWING: <b>PATIO, STAIRS, &amp; LANDING DETAILS</b>	
DRAWN BY: NL	
SHEET NUMBER: <b>30</b>	