

Staff Report



Site Address: 3400 Dexter Road, Ann Arbor, MI.

From: Joshua Shake, Senior Planner and Michelle Bennett, Principal Planner

Date: June 16, 2026.

Review ID: SP25-0021.

Proposed Planning Commission Motion

Motion 1: The Ann Arbor City Planning Commission recommends that the Mayor and City Council approve the 3400 Dexter Road rezoning from TWP (Township) to R4B (Multiple Family Dwelling District).

Motion 2: The Ann Arbor City Planning Commission recommends approval of SP26-0021, 3400 Dexter Road Site Plan version 6 dated April 30, 2026, subject to execution and compliance with the development agreement and the following conditions, which must be satisfied through the submission of revised plans within six months of approval by the City Council:

For Engineering:

1. Sheet C6 – Site Plan: With the current submission, a sidewalk gap will be created between 3400 Dexter Road and Ironwood Drive. Engineering supports the establishment of a connection through this corridor to provide adequate means of conveyance for both future residents of this development and those of the surrounding communities.
2. Sheet C7 - Utility Sheet:
 - a. The proposed storm sewer design in the Dexter-Ann Arbor Road Right-of-Way appears to be working against the existing grades. The City prefers not to introduce storm sewer piping in this area. Consider revising the grading to promote positive drainage toward the street from the front of sidewalk to the road pavement by providing a minimum 3% slope from the front of sidewalk to the edge of pavement to allow stormwater to sheet flow to the roadway. Alternatively, positive drainage toward the east could be achieved by regrading the area with a culvert and swale directing runoff east toward the next drive approach culvert.

- b. The petitioner has noted that the proposed sanitary lift station is assumed to have a maximum depth of 17'. Provide inverts of the proposed sanitary sewer 3-inch force main.
- c. The proposed 3-inch sanitary force main appears to be located in the center of the 30-foot wide easement. All sanitary pipe located within a public utility easement shall be located 5 feet from the center of the easement.
- d. The existing garage located on parcel address, 647 Ironwood Drive, shall not be located within a public utility easement. Consider the demolition or removal of the garage or relocation of the proposed utilities to meet this requirement.
- e. Confirm if the buildings have "fire-rated" walls or true "firewalls".

For Transportation:

- 1. Sidewalk Connectivity: The construction of a north-side sidewalk connection between the site frontage and Ironwood/Rose corresponding with the City's planned Dexter Road Sidewalk Project.

All conditions must be fully satisfied through the submission of compliant plans prior to the City's acceptance and/or review of Civil Engineering Plans, and prior to the issuance of any associated permits for the development.

Staff Recommendations

Site Plan

Staff recommend **conditional approval** of the proposed site plan subject to execution and compliance with the development agreement and conditions provided in the motion above, which must be satisfied through the submission of revised plans, which are determined by the City to satisfy all requirements.

Rezoning

Staff recommend **approval** of the proposed R4B (Multiple-Family Dwelling District) because the proposed location is near major thoroughfares, existing infrastructure, and provides residential uses that align with City housing goals.

Figure 1. Aerial View of the Parcel



Location

The site is located on the western edge of the city. It is bordered by M-14, Dexter Road, and Ironwood Drive. It is currently zoned TWP (Township) and would be in Ward 5.

Summary of Petition

3400 Dexter Road (SP25-0021) is a site plan for City Council with accompanying annexation from Scio Township and proposed rezoning to R4B (Multiple-Family Dwelling District). The site plan for a 4.31-acre parcel proposes the construction of 30 three-story

attached townhome units in seven buildings (one three-unit building, three four-unit buildings, and three five-unit buildings). Each unit will have two garage and two driveway parking spaces. There will also be three guest surface parking spaces. The site plan proposes 2.82 acres of open space and contains some wetland areas.

Summary of Site Plan

Residential and Sustainability

- Each unit is 22 feet wide and 3 stories in height.
- All units have two-car garages; each garage will be installed with one EV-C and one EV-R parking space.
- The project aligns with several sustainability features from A2ZERO Climate Action Plan, including solar ready bylaws, ENERGY STAR appliances, low E-windows, and 2 x 6 wall construction (allows greater insulation space).

Natural Features

- About 66% of the site is open space.
- There are two wetlands onsite, one will be disturbed and requires a wetland use permit.

Circulation

- A sidewalk will be installed along the frontage of the property and connect to Ironwood Drive.
- There will be one curb cut onto Dexter Road for ingress and egress.
- The housing development provides three guest vehicular parking spaces and four Class C bicycle parking spaces.

Zoning

- The applicant is seeking an annexation and rezoning from Scio Township where the parcel is currently zoned A-1, General Agriculture to Ann Arbor's R4B, Multiple Family Dwelling District.
- The surrounding uses are residential. Abutting the property to the east are R1B and R1C zones, Single Family Dwelling District and across the street to the south is a residential development zoned R4A, Multiple Family Dwelling District.

Figure 2. Architectural Rendering of Townhomes



Comprehensive Plan – 2050

The R4B rezoning designation aligns with the housing goals in the Comprehensive Plan - 2050 that calls for an increase of supply and diversity of housing types. This site is well serviced by transportation infrastructure and can be readily accommodated by the city's municipal utility system.

Rezoning Analysis

A petition has been submitted to rezone the 4.3-acre parcel from the Township's zoning designation AG-1 to Ann Arbor's R4B, Multiple Family Dwelling District.

Changes to the text or map of the Unified Development Code (Chapter 55 of the Ann Arbor City Code) may be made pursuant to Section 5.29.9. To assist the Planning Commission and City Council with their decision, applicants provide a rezoning petition (attached) with justifications in support of the request. The petition addresses:

1. The extent to which the rezoning is necessary.
2. How the rezoning will affect the public welfare and property rights of persons located in the vicinity.
3. How the rezoning will be advantageous to the City.
4. How this particular location will meet the convenience and service requirements of potential users and occupants.
5. Any changed or changing conditions in any particular area, or in the City generally, which may have bearing on the request.
6. Other circumstances and factors which further justify the request.

Figure 3. Zoning Map of the Parcel

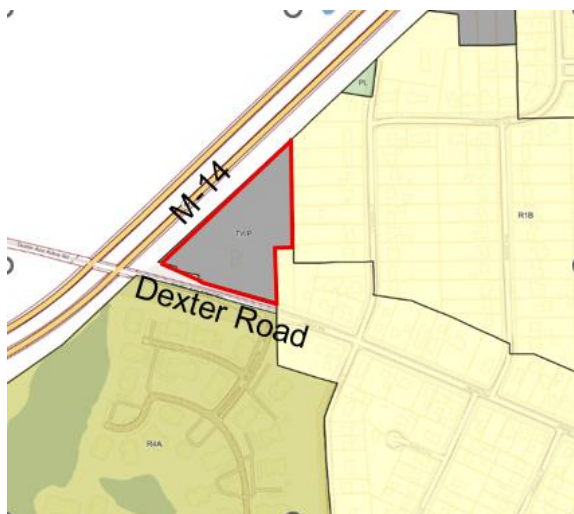


Figure 4. Plan View



The proposed Project was reviewed against the City of Ann Arbor's Unified Development Code (UDC) and the Michigan Zoning Enabling Act.

Housing is identified as a use type in great need across the City in the Comprehensive Plan – 2050 and the Future Land Use Map calls for this site to be “residential.” Staff find this rezoning to be advantageous to the City because it provides housing options in an residential part of the City, thereby mitigating any potential use conflicts. Given some of the site constraints for development, R4B is the most suitable zone because it allows for moderate density while still protecting some of the site’s natural features.

Importantly, the site is well served by infrastructure. As an annexed site, it will join the city’s utility infrastructure, provide sidewalk along its frontage, and is close to an AAATA bus route that will encourage the use of public transit. The R4B zone is in keeping with the general scale of surrounding uses in terms of height and density.

Table 1. Evaluation of Rezoning Consistency with Surroundings

Direction from Site	Existing Land Use	Current Zoning	Future Land Use Classification
Site	Vacant	Township (TWP)	Residential
North	Residential	Township (TWP)	Low Density Residential
South	Residential	R4B	Residential or Transition
East	Residential	R1B and R1C	Residential
West	Residential	Township (A-1)	Low Density Residential

Table 2. Existing and Proposed Zoning Regulations Comparison

District	Existing	Proposed	Required /Permitted
Zoning	TWP	R4B (Multiple-Family Dwelling)	R4B (Multiple-Family Dwelling)
Lot Width	N/A	Over 500 ft	120 ft min.
Lot Area	N/A	187,308 sq ft	14,000 sq ft
Lot Area/Dwelling Unit	N/A	6,243 sq ft	2,900 sq ft

Height	N/A	34 ft 3.75 in	35 ft
Setbacks	N/A	Front – 15 ft Side – 19.5 ft Rear – 210 ft	Front – 15 ft Side – 12 ft Rear – 30 ft
Min. Open Space	N/A	66%	55%
Min. Active Open Space/Dwelling Unit	N/A	3,673 sq ft	300 sq ft
Parking – Vehicle	N/A	2-car garages	No minimum
Parking - EV	N/A	50% EV-C 50% EV-I	50% EV-C 50% EV-I
Parking - Bicycle	N/A	30 Class A spaces 4 Class C spaces	6 spaces 50% Class A 50% Class C

Other Service Area Comments

Approval contingent on Wetlands Use Permit approval, which should include a Wetlands Mitigation Plan. The City regulates all wetlands. A Wetlands Use Permit is required for activities that will impact "Wetland A" (as identified in the Site Plan) even though this wetland is not regulated by EGLE- these requirements are described in the UDC Section 5.29.4. Because the project proposes to fill this wetland, a Wetlands Mitigation Plan is required, at a replacement ratio of 1.5:1. Comments included in Bluebeam session as well.

Community Participation Meeting

The Community Participation Meeting was held on the evening of Monday, October 27th, 2025 at the Veterans Memorial Park meeting room located at 2150 Jackson Ave. Postcards were sent to property owners within 1,000 feet of the site. Several residents raised concerns, particularly regarding environmental issues like dioxane contamination, drainage and flooding problems in the surrounding neighborhoods, and pedestrian safety for children walking to nearby schools and parks. A more detailed meeting summary has been uploaded to the project file in STREAM.

Prepared by: Joshua Shake, Senior Planner.

Reviewed by: Hank Kelley, Deputy Planning Manager and Brett Lenart, Planning Manager.

Attachments:

- Site Plan, dated April 30, 2026, version 6.
- Zoning Map.
- Aerial Map.
- Project Files ([STREAM file SP25-0021](#)).
- Transportation Review Memo #6 May 19, 2026.

Copied:

- Applicant: Jason Iacoangeli, Toll Brothers.
- Applicant: Scott Hansen, Toll Brothers.
- Engineer: Jason Rickard, Sieber Keast Lehner.