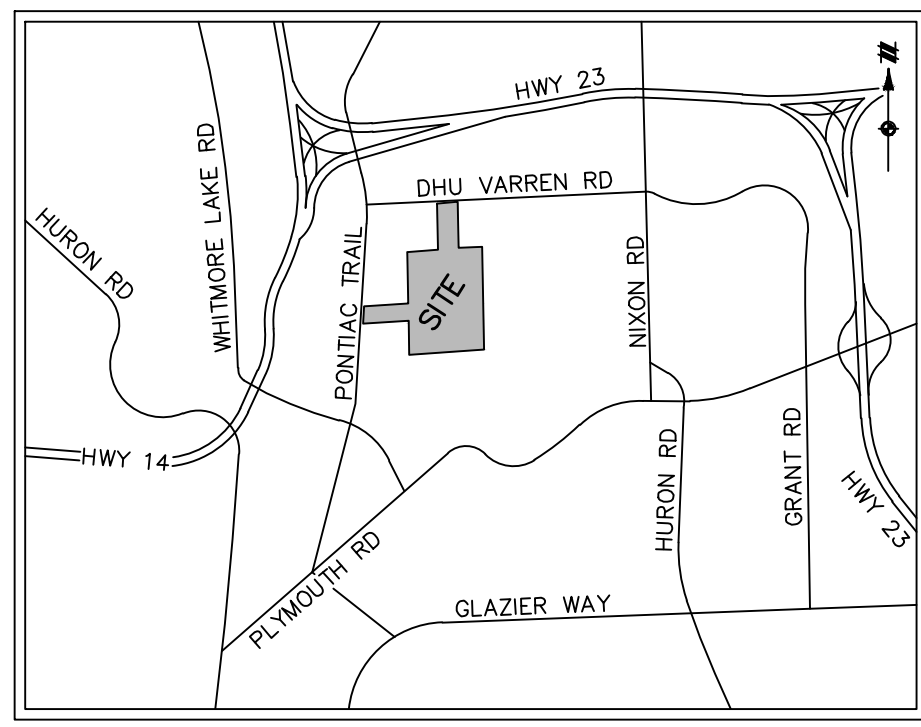


BOUNDARY & TOPOGRAPHIC SURVEY



DESCRIPTION OF A 5.744 ACRE PARCEL (PARCEL 1-09-16-201-009) OF LAND BEING A PART OF THE NORTHWEST 1/4 OF SECTION 16, T2S, R6E, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN (AS SURVEYED BY ATWELL):

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE S01°28'39"E 2,040.95 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 16 FOR A PLACE OF BEGINNING; THENCE S01°28'39"E 304.33 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 16; THENCE S85°41'31"W 832.72 FEET; THENCE N02°35'32"E 307.19 FEET ALONG THE CENTERLINE OF PONTIAC TRAIL (66 FEET WIDE); THENCE N85°45'46"E 810.84 FEET (RECORDED AS 810.78 FEET) TO THE PLACE OF BEGINNING, BEING A PART OF THE NORTHWEST 1/4 OF SAID SECTION 16, CONTAINING 5.744 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE WESTERLY 33 FEET THEREOF, AS OCCUPIED BY SAID PONTIAC TRAIL, AND ALSO BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

SCHEDULE C DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 956088, COMMITMENT DATE: JANUARY 21, 2022.

LAND IN THE TOWNSHIP OF ANN ARBOR, WASHTENAW COUNTY, MI, DESCRIBED AS FOLLOWS:

THE NORTH HALF OF THE FOLLOWING DESCRIBED LAND: ALL THAT PART OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, WHICH LIES EAST OF PONTIAC ROAD, EXCEPT THEREFROM LAND SOLD TO WILLIAM B. MC MILLAN AND WIFE BY DEED DATED APRIL 9, 1940 AND RECORDED ON APRIL 26, 1940 IN LIBER 343 OF DEEDS ON PAGE 256, DESCRIBED AS: BEGINNING AT THE INTERSECTION OF THE CENTER OF PONTIAC ROAD AND THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST; THENCE S01°28'39"E 806.93 FEET WEST OF THE NORTH AND SOUTH 1/4 LINE OF SECTION; THENCE EAST 806.93 FEET TO THE NORTHEAST CORNER OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4; THENCE DEFLECTING 92 DEGREES 47 MINUTES TO THE RIGHT 54 FEET IN THE NORTH AND SOUTH 1/4 LINE; THENCE DEFLECTING 87 DEGREES 13 MINUTES TO THE RIGHT 810.78 FEET TO THE CENTER OF THE PONTIAC ROAD; THENCE NORTHERLY 54.32 FEET IN THE CENTER OF THE PONTIAC ROAD TO THE PLACE OF BEGINNING, BEING PART OF THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, TOWNSHIP OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 956088, COMMITMENT DATE: JANUARY 21, 2022:

7. INTEREST OF JOHN HENRY FORSHEE; AND GERALD C. CRANE AND ANN E. FORSHEE CRANE, OR THEIR SUCCESSORS, AS TRUSTEES OF THE GERALD C. CRANE AND ANN E. FORSHEE CRANE JOINT REVOCABLE TRUST DATED MAY 9, 2008, AS DISCLOSED BY WARRANTY DEED RECORDED IN LIBER 5209, PAGE 446, DEATH CERTIFICATE RECORDED IN LIBER 5362, PAGE 650, AND WARRANTY DEED RECORDED IN LIBER 5372, PAGE 383. RESPONSE: L.5260, PG.446 EXHIBIT A COVERS SUBJECT PROPERTY AND LAND TO SOUTH. L.5362, PG.650 NOT A SURVEY MATTER. L.5372, PG.383 EXHIBIT A COVERS SUBJECT PROPERTY AND LAND TO SOUTH.

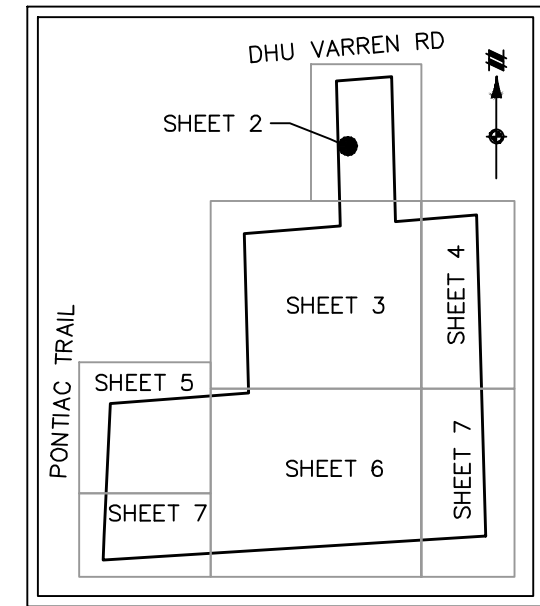
NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83). SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM RECORD TITLE BEARINGS VERTICAL DATUM IS BASED ON NAVD88.
- THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBER 26125C0656F OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE SEPTEMBER 29, 2006.
- WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY UTILITIES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DETERMINED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

4. SNOW AND ICE CONDITIONS EXISTED IN THE FIELD THAT MAY RESULT IN SOME PHYSICAL IMPROVEMENTS NOT BEING VISIBLE AND THEREFORE MAY NOT BE LOCATED AS PART OF THIS SURVEY.



VARIABLE WIDTH SANITARY SEWER EASEMENT PER L.4218, PG.480
VARIABLE WIDTH WATERMAIN EASEMENT PER L.4218, PG.480

NORFOLK HOMES OF BRISTOL RIDGE LLC PIN: 09-09-16-200-173

NORTH-SOUTH 1/4 LINE OF SECTION 16

APPROXIMATE LOCATION OF TEMPORARY CONSTRUCTION EASEMENT PER L.4194 PG.488
APPROXIMATE LOCATION OF STORM SEWER EASEMENT PER L.4194 PG.488

APPROXIMATE LOCATION OF TEMPORARY CONSTRUCTION EASEMENT PER L.4001 PG.845

APPROXIMATE LOCATION OF TEMPORARY CONSTRUCTION EASEMENT PER L.4001 PG.845

NOTES:

SCHEDULE C DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 926451, COMMITMENT DATE: APRIL 9, 2021:
LAND IN THE CITY OF ANN ARBOR, WASHTENAW COUNTY, MI, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE EASTERLY 713.14 FEET ALONG THE NORTH LINE OF SAID SECTION IN THE CENTERLINE OF THE DHU VARREN ROAD FOR A PLACE OF BEGINNING; THENCE CONTINUING EASTERLY ALONG THE NORTH LINE OF SAID SECTION IN THE CENTERLINE OF DHU VARREN ROAD 165.0 FEET; THENCE SOUTHERLY DEFLECTING 93 DEGREES 08 MINUTES TO THE RIGHT 825.05 FEET; THENCE WESTERLY DEFLECTING 86 DEGREES 52 MINUTES TO THE RIGHT 165 FEET; THENCE NORTHERLY DEFLECTING 93 DEGREES 08 MINUTES TO THE RIGHT 825.05 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 16.

SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 926451, COMMITMENT DATE: APRIL 9, 2021:

7. TERMS AND CONDITIONS CONTAINED IN RESOLUTION R-347-8-01 AUTHORIZING WATER MAIN IMPROVEMENT CHARGES AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4049, PAGE 909 AND LIBER 4673, PAGE 762.

RESOLUTION TO AMEND PREVIOUSLY APPROVED RESOLUTION R-347-8-01 AUTHORIZING WATER MAIN IMPROVEMENT CHARGES RECORDED IN LIBER 4673, PAGE 761.
RESPONSE: L.4049, PG.909 & L.4673, PG.762 COVERS SUBJECT PROPERTY, L.4673, PG.761 NOT A SURVEY MATTER.

SCHEDULE C DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 965012, COMMITMENT DATE: MAY 3, 2022:

LAND IN THE TOWNSHIP OF ANN ARBOR, WASHTENAW COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL 1:
COMMENCING AT THE CENTER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, THENCE ALONG THE EAST AND WEST QUARTER LINE OF SAID SECTION, SOUTH 86 DEGREES 01 MINUTE 30 SECONDS WEST 373.88 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID QUARTER LINE OF SOUTH 86 DEGREES 01 MINUTE 30 SECONDS WEST 477.07 FEET; THENCE ALONG THE CENTERLINE OF PONTIAC ROAD NORTH 03 DEGREES 01 MINUTE EAST 171.27 FEET; THENCE NORTH 86 DEGREES 01 MINUTE 30 SECONDS EAST 460.00 FEET; THENCE SOUTH 03 DEGREES 58 MINUTES 30 SECONDS EAST 170.00 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 16, ANN ARBOR TOWNSHIP, MICHIGAN.

PARCEL 2:
COMMENCING AT THE CENTER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, THENCE ALONG THE EAST AND WEST QUARTER LINE OF SAID SECTION, SOUTH 86 DEGREES 01 MINUTE 30 SECONDS WEST 373.88 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID QUARTER LINE OF SOUTH 86 DEGREES 01 MINUTE 30 SECONDS WEST 477.07 FEET; THENCE ALONG THE CENTERLINE OF PONTIAC ROAD NORTH 03 DEGREES 01 MINUTE EAST 171.27 FEET; THENCE NORTH 86 DEGREES 01 MINUTE 30 SECONDS EAST 460.00 FEET; THENCE SOUTH 03 DEGREES 58 MINUTES 30 SECONDS EAST 170.00 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 16, ANN ARBOR TOWNSHIP, MICHIGAN.

SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 965012, COMMITMENT DATE: MAY 3, 2022:

7. EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, AKA AMERTECH MICHIGAN AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 4260, PAGE 859.
RESPONSE: AS SHOWN HEREON.

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND ABOVE PLATTED AND/OR DESCRIBED ON MAY 6, 2022, AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS NO GREATER THAN 1/5000.

MICHAEL D. EMBREE
PROFESSIONAL SURVEYOR NO. 4001056860
MEMBER@ATWELL-GROUP.COM
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
248.447.2000

SCHEDULE C DESCRIPTION PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 819133, REVISION C, COMMITMENT DATE: SEPTEMBER 24, 2018

THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF WASHTENAW, TOWNSHIP OF ANN ARBOR, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PARCEL 1:
COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE EASTERLY ALONG THE NORTH LINE OF SAID SECTION AND THE CENTERLINE OF DHU VARREN ROAD 548.14 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING EASTERLY ALONG THE NORTH LINE OF SAID SECTION AND THE CENTERLINE OF DHU VARREN ROAD 165.0 FEET; THENCE SOUTHERLY DEFLECTING 93 DEGREES 08 MINUTES TO THE RIGHT 825.05 FEET; THENCE WESTERLY DEFLECTING 86 DEGREES 52 MINUTES TO THE RIGHT 165.0 FEET; THENCE NORTHERLY DEFLECTING 93 DEGREES 08 MINUTES TO THE RIGHT 825.05 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE NORTHEAST QUARTER OF SAID SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL 2:
THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, EXCEPTING THE NORTH 825.5 FEET THEREOF.

SCHEDULE BII EXCEPTIONS PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 819133, REVISION C, COMMITMENT DATE: SEPTEMBER 24, 2018

- RIGHTS OF OTHERS AND THE TERMS AND CONDITIONS CONTAINED IN WARRANTY DEED AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1878, PAGE 187.
RESPONSE: COVERS PARCEL 1, RIGHT OF WAY AS SHOWN HEREON
- RIGHT OF WAY IN FAVOR OF THE DETROIT EDISON COMPANY AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 1278, PAGE 283.
RESPONSE: AS SHOWN HEREON
- JOINT RIGHT OF WAY IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 1278, PAGE 293.
RESPONSE: AS SHOWN HEREON
- TERMS AND CONDITIONS CONTAINED IN GRANT OF TEMPORARY CONSTRUCTION EASEMENT AND AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4001, PAGE 845.
RESPONSE: APPROXIMATE AS SHOWN HEREON, EASEMENT MISCLOSES BY 5 FEET
- GRANT OF EASEMENT IN FAVOR OF THE CITY OF ANN ARBOR AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 4003, PAGE 413.
RESPONSE: AS SHOWN HEREON
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF EASEMENT FOR STORM WATER DRAINAGE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4117, PAGE 291, AMENDMENT TO DECLARATION OF EASEMENT FOR STORM WATER DRAINAGE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4194, PAGE 488, AND SECOND AMENDMENT TO DECLARATION OF EASEMENT FOR STORM WATER DRAINAGE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4273, PAGE 447.
RESPONSE: L.4117, PG.291 AS SHOWN HEREON. L.4194, PG.488 APPROXIMATE AS SHOWN HEREON, EASEMENT MISCLOSES BY 1.7 FEET. L.4273, PG.447 COVERS SUBJECT PROPERTY

SCHEDULE C DESCRIPTION PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 819138, COMMITMENT DATE: JUNE 27, 2018

THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF WASHTENAW, TOWNSHIP OF ANN ARBOR, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PARCEL A:
A PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST; THENCE SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST ALONG THE NORTH-SOUTH 1/4 LINE 1734.85 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 306.10 FEET; THENCE SOUTH 87 DEGREES 57 MINUTES 09 SECONDS WEST 178.00 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 178.00 FEET; THENCE NORTH 87 DEGREES 56 MINUTES 54 SECONDS EAST 178.00 FEET TO THE POINT OF BEGINNING.

PARCEL B:
A PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST; THENCE SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST ALONG THE NORTH-SOUTH 1/4 LINE 1734.85 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 306.07 FEET; THENCE SOUTH 87 DEGREES 57 MINUTES 09 SECONDS WEST 179.00 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 179.00 FEET; THENCE NORTH 87 DEGREES 56 MINUTES 54 SECONDS EAST 179.00 FEET TO THE POINT OF BEGINNING.

PARCEL C:
A PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST; THENCE SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST ALONG THE NORTH-SOUTH 1/4 LINE 1734.85 FEET; THENCE SOUTH 87 DEGREES 56 MINUTES 54 SECONDS WEST 356.00 FEET TO THE POINT OF BEGINNING OF SAID PARCEL; THENCE SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 306.07 FEET; THENCE SOUTH 87 DEGREES 57 MINUTES 09 SECONDS WEST 179.00 FEET; THENCE NORTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 179.00 FEET; THENCE NORTH 87 DEGREES 56 MINUTES 54 SECONDS EAST 179.00 FEET TO THE POINT OF BEGINNING.

EASEMENT PARCEL:
TOGETHER WITH NON-EXCLUSIVE EASEMENT(S) AS CREATED, LIMITED, AND DEFINED IN THAT CERTAIN INSTRUMENT RECORDED IN LIBER 3238, PAGE 735, WASHTENAW COUNTY RECORDS.

PARCEL D:
A PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 16, TOWN 2 SOUTH, RANGE 6 EAST; THENCE SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST ALONG THE NORTH-SOUTH 1/4 LINE 1734.85 FEET; THENCE SOUTH 87 DEGREES 56 MINUTES 54 SECONDS WEST 353.00 FEET TO THE POINT OF BEGINNING OF SAID PARCEL; THENCE SOUTH 00 DEGREES 42 MINUTES 44 SECONDS WEST 306.06 FEET; THENCE SOUTH 87 DEGREES 57 MINUTES 09 SECONDS WEST 275.85 FEET TO A POINT ON THE CENTERLINE OF PONTIAC TRAIL; THENCE NORTH 04 DEGREES 46 MINUTES 55 SECONDS EAST ALONG SAID CENTERLINE 307.87 FEET; THENCE NORTH 87 DEGREES 56 MINUTES 54 SECONDS EAST 253.99 FEET TO THE POINT OF BEGINNING.

SCHEDULE BII EXCEPTIONS PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 819138, COMMITMENT DATE: JUNE 27, 2018

- MORTGAGE IN THE ORIGINAL AMOUNT OF \$25,000.00 EXECUTED BY SUSAN H. MANN AND THOMAS F. MANN TO MAUREEN FERRELL, DATED NOVEMBER 15, 1996, RECORDED NOVEMBER 20, 1996, IN LIBER 3348, PAGE 934, AS TO PARCEL A.
RESPONSE: EASEMENTS AS SHOWN HEREON
- MORTGAGE IN THE ORIGINAL AMOUNT OF \$150,700.00 EXECUTED BY TOM MANN AND SUSAN MANN, AKA: THOMAS F. MANN AND SUSAN H. MANN, HUSBAND AND WIFE TO MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. AS NOMINEE FOR NATIONSTAR MORTGAGE LLC, DATED MAY 22, 2017, RECORDED JUNE 7, 2017, IN LIBER 5209, PAGE 450, AS TO PARCEL A.
RESPONSE: EASEMENTS AS SHOWN HEREON
- NOTICE OF JUDGMENT LIEN IN THE AMOUNT OF \$85,495.28, PLUS COSTS AND INTEREST, AGAINST TOM MANN, IN FAVOR OF ATWELL-HICKS, LLC AS EVIDENCED BY NOTICE OF JUDGMENT LIEN RECORDED JANUARY 8, 2008 IN LIBER 4260, PAGE 887, OFFICE OF THE WASHTENAW COUNTY REGISTER OF DEEDS.
RESPONSE: NOT A SURVEY MATTER
- TERMS AND CONDITIONS CONTAINED IN DECLARATION OF EASEMENT FOR STORM WATER DRAINAGE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4117, PAGE 291, AMENDMENT TO DECLARATION OF EASEMENT FOR STORM WATER DRAINAGE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4194, PAGE 488, AND SECOND AMENDMENT TO DECLARATION OF EASEMENT FOR STORM WATER DRAINAGE AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4273, PAGE 447.
RESPONSE: L.4117, PG.291 AS SHOWN HEREON. L.4194, PG.488 APPROXIMATE AS SHOWN HEREON, EASEMENT MISCLOSES BY 1.7 FEET. L.4273, PG.447 COVERS PROPERTY TO THE EAST
- GRANT OF EASEMENT FOR STORM WATER DRAINAGE IN FAVOR OF THE CITY OF ANN ARBOR AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 5222, PAGE 220, AS TO PARCEL C.
RESPONSE: AS SHOWN HEREON
- GRANT OF EASEMENT FOR STORM SEWER AND STORM WATER DRAINAGE IN FAVOR OF THE CITY OF ANN ARBOR AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 5222, PAGE 219, AS TO PARCEL D.
RESPONSE: AS SHOWN HEREON



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. INDIVIDUALS WHO HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR ASSURING THE SAFETY OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
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SOUTHFIELD, MI 48076
248.447.2000

SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

ROBERTSON BROTHERS COMPANY
BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN

DATE: 07/21/2020

DATE	REVISIONS
07/21/2020	SURVEY EVIDENCE
04/14/2021	ADDITIONAL TOPG
05/03/2021	REV. PER NEW TITLE
12/17/2021	REV. PER CLIENT QUITS
02/01/2022	ADDITIONAL TOPG
06/15/2022	ADDITIONAL TOPG

SCALE 0 100 200
1" = 200 FEET
DR. JR | CH. ME
P.M. M. EMBREE
BOOK NA
JOB 18002264
SHEET NO.
1 OF 7

BOUNDARY & TOPOGRAPHIC SURVEY



Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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TWO SOUTHFIELD, MI 48076
248.447.2000

SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS COMPANY
BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN

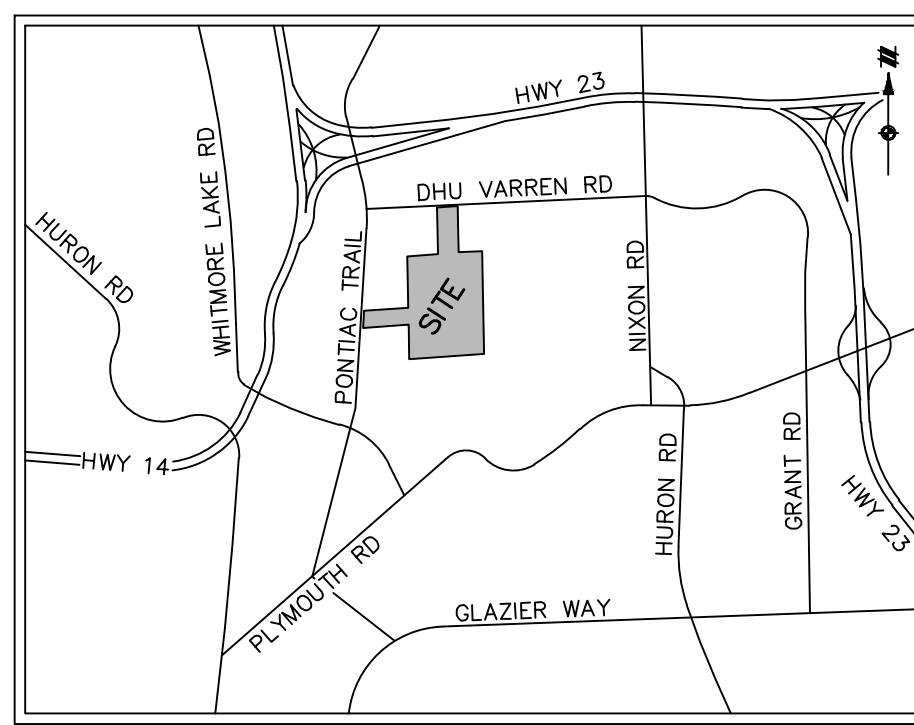
DATE: 07/21/2020

07/21/2020 SURVEY EDITS
04/14/2021 ADDITIONAL TOPO
05/03/2021 REV. PER NEW TITLE
12/17/2021 REV. PER CLIENT COMMENTS
03/07/2022 REV. PER NEW PARCEL
05/31/2022 ADDITIONAL TOPO
06/15/2022 ADDITIONAL TOPO

NO.	DATE	DESCRIPTION

REVISIONS
SCALE: 0 25 50
1" = 50 FEET
DR. JR GH. ME
P.M. M. EMBREE
BOOK NA
JOB 18002264
SHEET NO. 2 OF 7

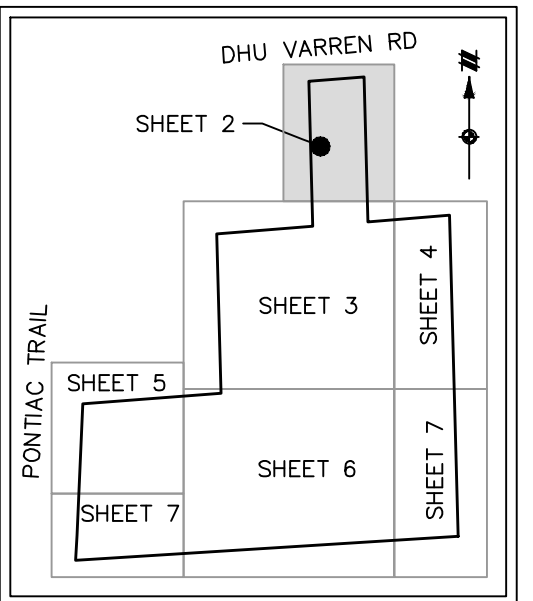
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VICINITY MAP
NOT TO SCALE

LEGEND

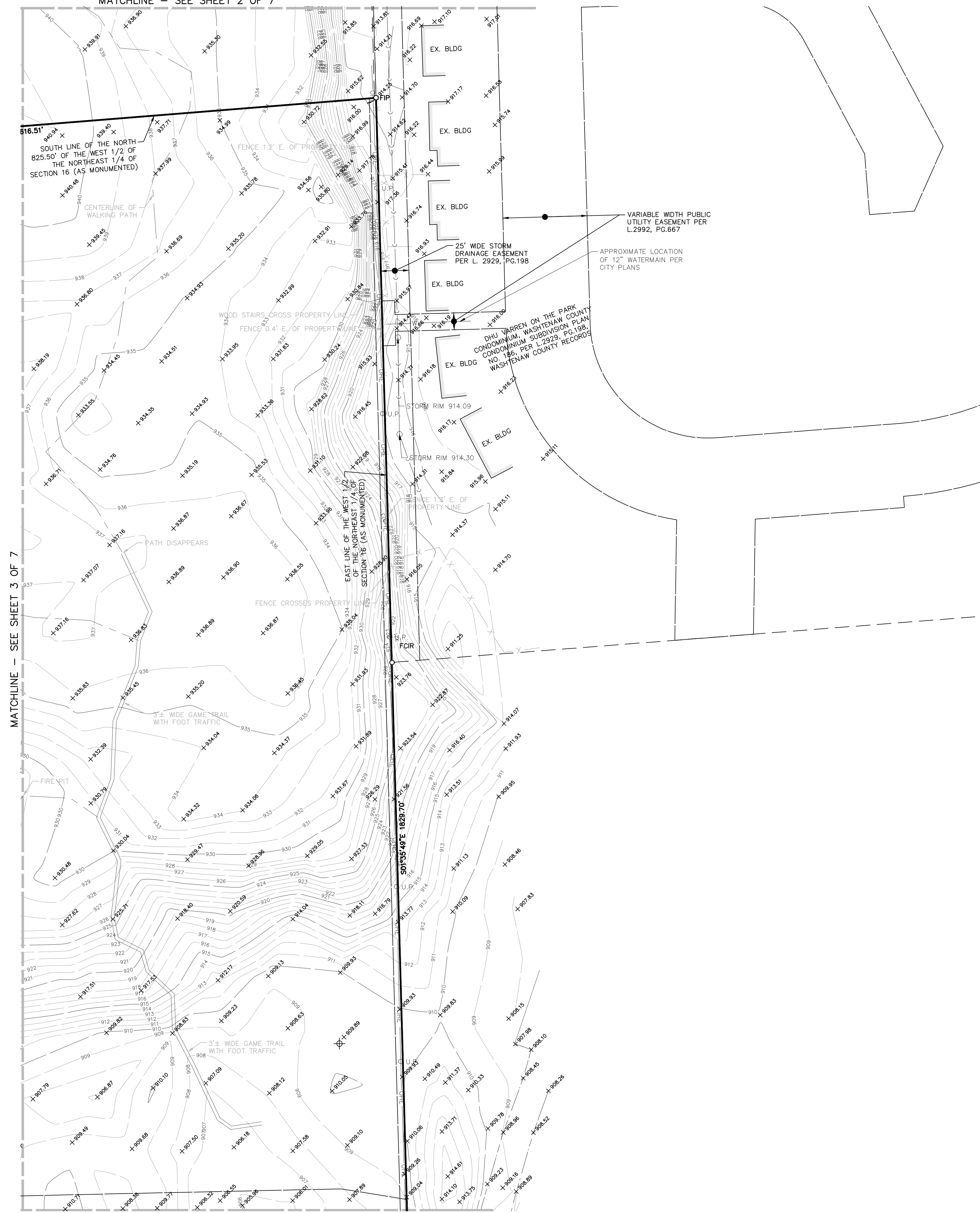
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- FOUND MONUMENT
- FOUND IRON PIPE
- FOUND IRON ROD
- FOUND CAPPED IRON ROD
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING TREE
- EXISTING LIGHTPOLE
- EXISTING WELL
- EXISTING TELEPHONE RISER
- EXISTING GUY ANCHOR WITH WIRE
- EXISTING UTILITY POLE
- EXISTING WATER BOX
- EXISTING HYDRANT WITH SHUTOFF
- EXISTING GAS VALVE
- EXISTING MANHOLE/CATCH BASIN
- EXISTING ELECTRIC TRANSFORMER
- EXISTING CULVERT
- EXISTING SANITARY CLEANOUT
- EXISTING UTILITY HANDHOLE
- EXISTING MONITORING WELL
- UNDERGROUND CABLE MARKER
- UNDERGROUND ELECTRIC MARKER
- UNDERGROUND FIBER MARKER
- UNDERGROUND GAS MARKER
- UNDERGROUND TELEPHONE MARKER
- UNDERGROUND WATER MARKER
- EXISTING GROUND ELEVATION
- EXISTING CURB ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING PAVEMENT ELEVATION
- RECORD
- MEASURED
- PLACE OF COMMENCEMENT
- POINT OF BEGINNING
- BOUNDARY ADJACENT LINE
- EASEMENT LINE
- SECTION LINE
- OVERHEAD UTILITY LINE
- APPROXIMATE UNDERGROUND FIBER LINE
- APPROXIMATE UNDERGROUND ELECTRIC LINE
- APPROXIMATE UNDERGROUND GAS LINE
- UNDERGROUND STORM LINE
- UNDERGROUND SANITARY LINE
- APPROXIMATE UNDERGROUND WATER LINE
- EXISTING FENCE
- EXISTING EDGE OF WATER
- EXISTING CENTERLINE OF DITCH
- EXISTING LIMITS OF VEGETATION
- EXISTING CURB AND GUTTER
- EXISTING GROUND CONTOUR
- EXISTING BUILDING
- SCHEDULE BII EXCEPTION



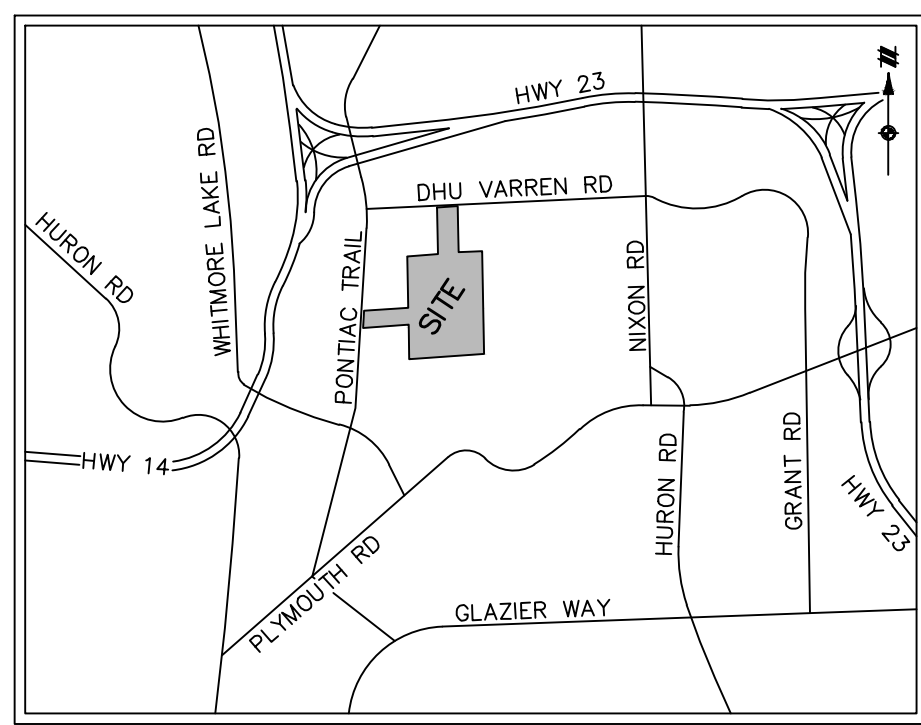
KEY MAP
NOT TO SCALE

BOUNDARY & TOPOGRAPHIC SURVEY

MATCHLINE - SEE SHEET 2 OF 7



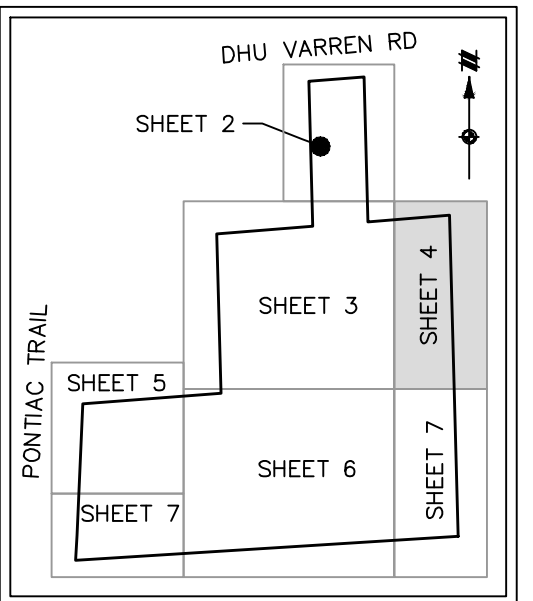
MATCHLINE - SEE SHEET 7 OF 7



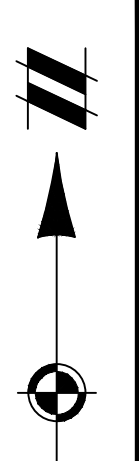
VICINITY MAP
NOT TO SCALE

LEGEND

	SECTION CORNER
	FOUND MONUMENT
	FOUND IRON PIPE
	FOUND IRON ROD
	FOUND CAPPED IRON ROD
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
	EXISTING LIGHTPOLE
	EXISTING WELL
	EXISTING TELEPHONE RISER
	EXISTING GUY ANCHOR WITH WRE
	EXISTING UTILITY POLE
	EXISTING WATER EBOX
	EXISTING HYDRANT WITH SHUTOFF
	EXISTING GAS VALVE
	EXISTING MANHOLE/CATCH BASIN
	EXISTING ELECTRIC TRANSFORMER
	EXISTING CULVERT
	EXISTING SANITARY CLEANOUT
	EXISTING UTILITY HANDHOLE
	EXISTING MONITORING WELL
	UNDERGROUND CABLE MARKER
	UNDERGROUND ELECTRIC MARKER
	UNDERGROUND FIBER MARKER
	UNDERGROUND GAS MARKER
	UNDERGROUND TELEPHONE MARKER
	UNDERGROUND WATER MARKER
	EXISTING GROUND ELEVATION
	EXISTING CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING PAVEMENT ELEVATION
	RECORD
	MEASURED
	PLACE OF COMMENCEMENT
	POINT OF BEGINNING
	BOUNDARY ADJACENT LINE
	EASEMENT LINE
	SECTION LINE
	OVERHEAD UTILITY LINE
	APPROXIMATE UNDERGROUND FIBER LINE
	APPROXIMATE UNDERGROUND ELECTRIC LINE
	APPROXIMATE UNDERGROUND GAS LINE
	UNDERGROUND STORM LINE
	UNDERGROUND SANITARY LINE
	APPROXIMATE UNDERGROUND WATER LINE
	EXISTING FENCE
	EXISTING EDGE OF WATER
	EXISTING CENTERLINE OF DITCH
	EXISTING LIMITS OF VEGETATION
	EXISTING CURB AND GUTTER
	EXISTING GROUND CONTOUR
	EXISTING BUILDING
	SCHEDULE BII EXCEPTION



KEY MAP
NOT TO SCALE



811
Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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248.447.2000

SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT	ROBERTSON BROTHERS COMPANY
PROJECT	BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN	

DATE	07/21/2020
REVISIONS	

07/21/2020	SURVEY EDITS
04/14/2021	ADDITIONAL TOPO
05/03/2021	REV. PER NEW TITLE
12/17/2021	REV. PER CLIENT COMMENTS
03/07/2022	REV. PER NEW PARCEL
05/31/2022	ADDITIONAL TOPO
06/15/2022	ADDITIONAL TOPO

SCALE	0 25 50
1" =	50 FEET
DR.	JR GH ME
P.M.	M. EMBREE
BOOK	NA
JOB	18002264
SHEET NO.	4 OF 7

K:\ARJIB\TOWN\18002264 - ANN ARBOR\TOWNSHIP\18002264-TP-01.DWG 6/17/2022 3:31 PM JAMIE BRENNE

CAD FILE: 18002264-TP-01.DWG

BOUNDARY & TOPOGRAPHIC SURVEY



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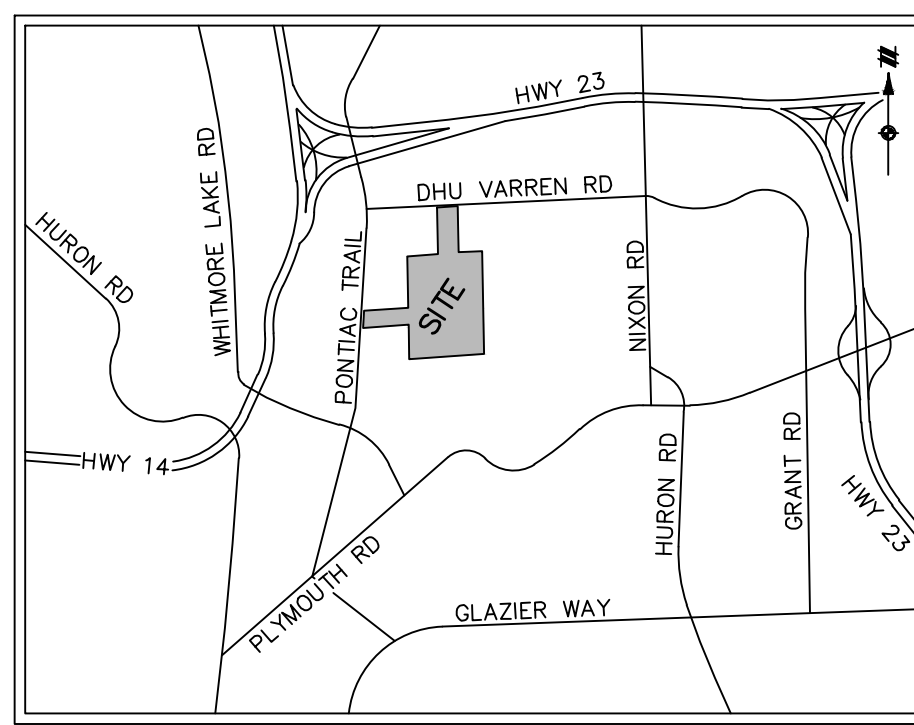
SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS COMPANY
BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN

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03/07/2022	REV. PER NEW PARCEL
05/31/2022	ADDITIONAL TOPO
06/15/2022	ADDITIONAL TOPO

SCALE: 0 25 50
1" = 50 FEET
DR. JR GH. ME
P.M. M. EMBREE
BOOK NA
JOB 18002264
SHEET NO. 5 OF 7



VICINITY MAP
NOT TO SCALE

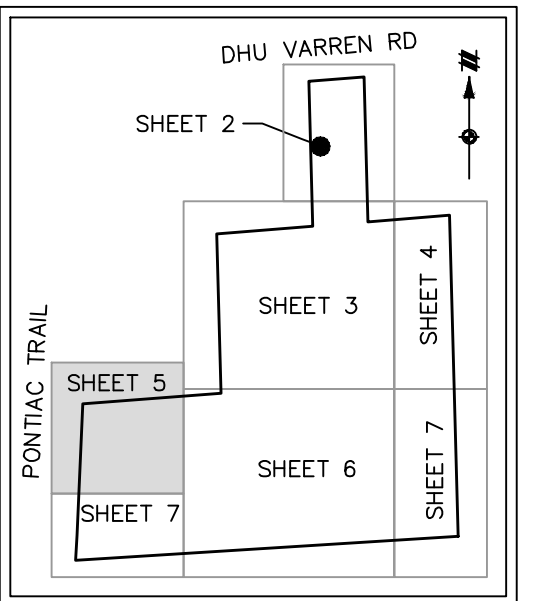
LEGEND

	SECTION CORNER
	FOUND MONUMENT
	FOUND IRON PIPE
	FOUND IRON ROD
	FOUND CAPPED IRON ROD
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
	EXISTING LIGHTPOLE
	EXISTING WELL
	EXISTING TELEPHONE RISER
	EXISTING GUY ANCHOR WITH WRE
	EXISTING UTILITY POLE
	EXISTING WATER EBOX
	EXISTING HYDRANT WITH SHUTOFF
	EXISTING GAS VALVE
	EXISTING MANHOLE/CATCH BASIN
	EXISTING ELECTRIC TRANSFORMER
	EXISTING CULVERT
	EXISTING SANITARY CLEANOUT
	EXISTING UTILITY HANDHOLE
	EXISTING MONITORING WELL
	UNDERGROUND CABLE MARKER
	UNDERGROUND ELECTRIC MARKER
	UNDERGROUND FIBER MARKER
	UNDERGROUND GAS MARKER
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	UNDERGROUND WATER MARKER
	EXISTING GROUND ELEVATION
	EXISTING CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING PAVEMENT ELEVATION
	RECORD
	MEASURED
	PLACE OF COMMENCEMENT
	POINT OF BEGINNING
	BOUNDARY LINE
	BOUNDARY ADJOINT LINE
	EASEMENT LINE
	SECTION LINE
	OVERHEAD UTILITY LINE
	APPROXIMATE UNDERGROUND FIBER LINE
	APPROXIMATE UNDERGROUND ELECTRIC LINE
	APPROXIMATE UNDERGROUND GAS LINE
	UNDERGROUND STORM LINE
	UNDERGROUND SANITARY LINE
	APPROXIMATE UNDERGROUND WATER LINE
	EXISTING FENCE
	EXISTING EDGE OF WATER
	EXISTING CENTERLINE OF DITCH
	EXISTING LIMITS OF VEGETATION
	EXISTING CURB AND GUTTER
	EXISTING GROUND CONTOUR
	EXISTING BUILDING
	SCHEDULE Bii EXCEPTION



MATCHLINE - SEE SHEETS 3 & 6 OF 7

MATCHLINE - SEE SHEET 7 OF 7



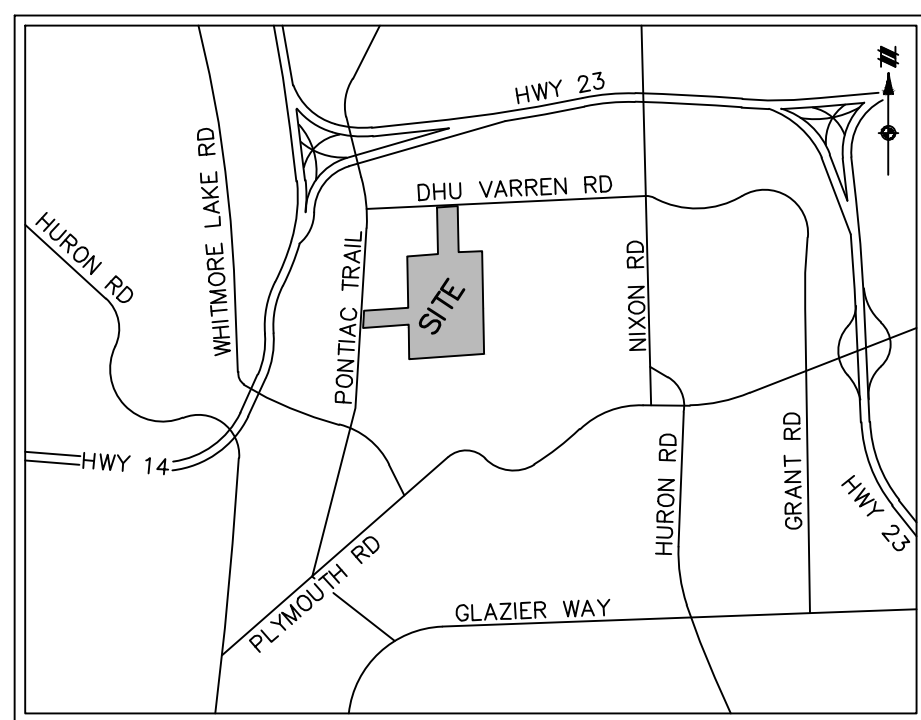
KEY MAP
NOT TO SCALE

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CAD FILE: 18002264-TP-01.DWG

BOUNDARY & TOPOGRAPHIC SURVEY

MATCHLINE - SEE SHEET 3 OF 7

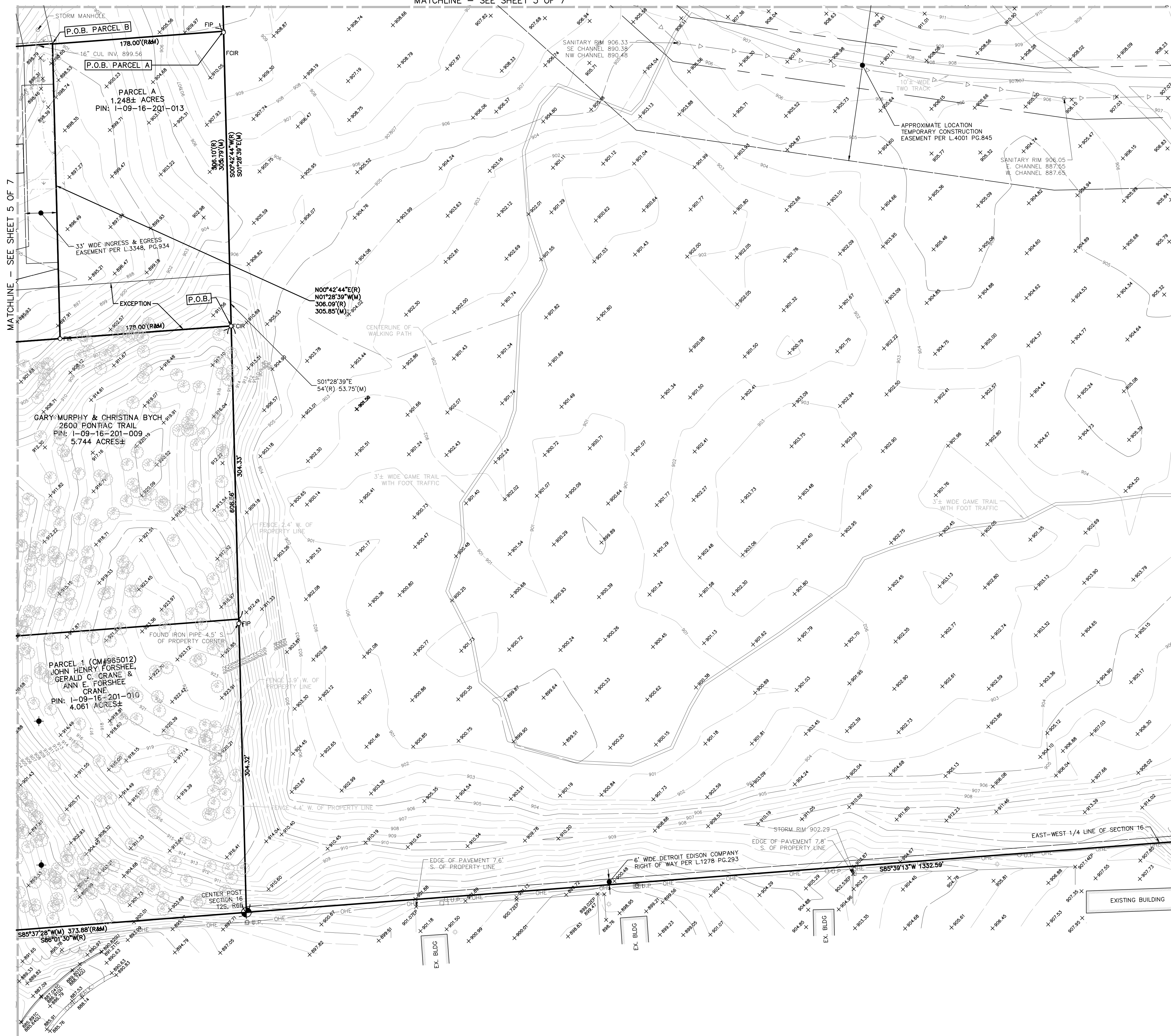


VICINITY MAP
NOT TO SCALE

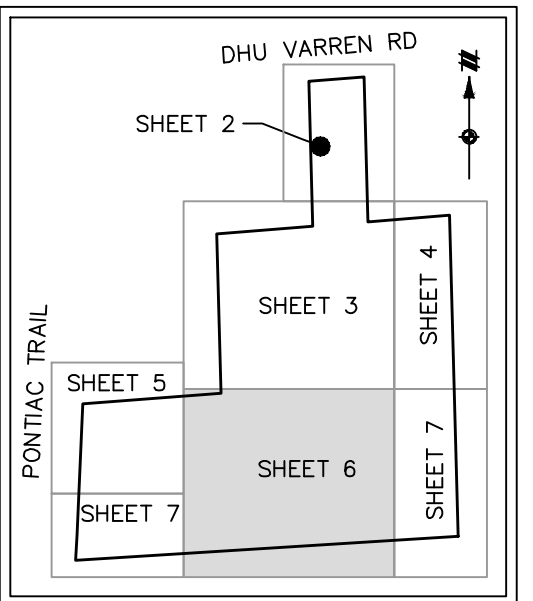
LEGEND

- SECTION CORNER
- FOUND MONUMENT
- FOUND IRON PIPE
- FOUND IRON ROD
- FOUND CAPPED IRON ROD
- EXISTING MAILBOX
- EXISTING SIGN
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- UNDERGROUND WATER MARKER
- EXISTING GROUND ELEVATION
- EXISTING CURB ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING PAVEMENT ELEVATION
- RECORD
- MEASURED
- P.O.C.
- P.O.B.

MATCHLINE - SEE SHEET 5 OF 7



MATCHLINE - SEE SHEET 7 OF 7



KEY MAP
NOT TO SCALE

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SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
ANN ARBOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS COMPANY
BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN

DATE: 07/21/2020

DATE	REVISIONS
07/21/2020	SURVEY EDITION
04/14/2021	ADDITIONAL TOPO
05/03/2021	REV. PER NEW TITLE
12/17/2021	REV. PER CLIENT COMMENTS
03/07/2022	REV. PER NEW PARCEL
05/31/2022	ADDITIONAL TOPO
06/15/2022	ADDITIONAL TOPO

SCALE: 0 25 50
1" = 50 FEET
DR. JR GH. ME
P.M. M. EMBREE
BOOK NA
JOB 18002264
SHEET NO. 6 OF 7

BOUNDARY & TOPOGRAPHIC SURVEY



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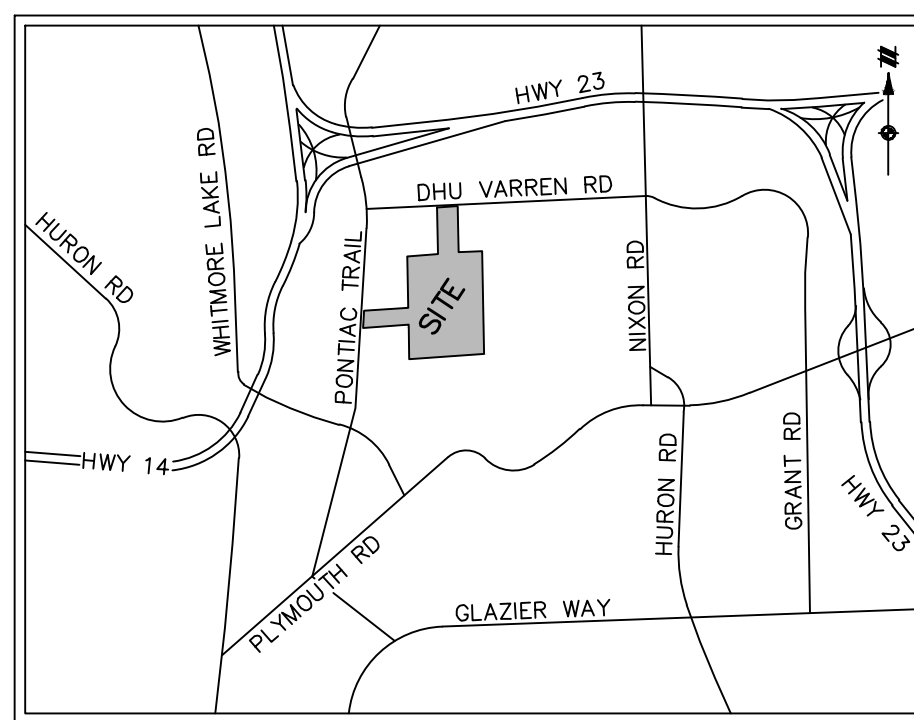
SECTION 16
TOWN 2 SOUTH, RANGE 6 EAST
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WASHTENAW COUNTY, MICHIGAN

CLIENT: ROBERTSON BROTHERS COMPANY
BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN

DATE: 07/21/2020

07/21/2020 SURVEY EDITS
04/14/2021 ADDITIONAL TOPO
03/03/2022 REV. PER NEW TITLE
12/17/2021 REV. PER CLIENT COMMENTS
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05/31/2022 ADDITIONAL TOPO
06/15/2022 ADDITIONAL TOPO

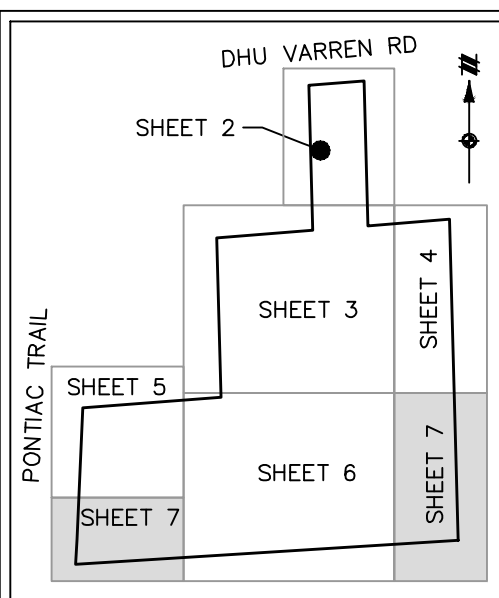
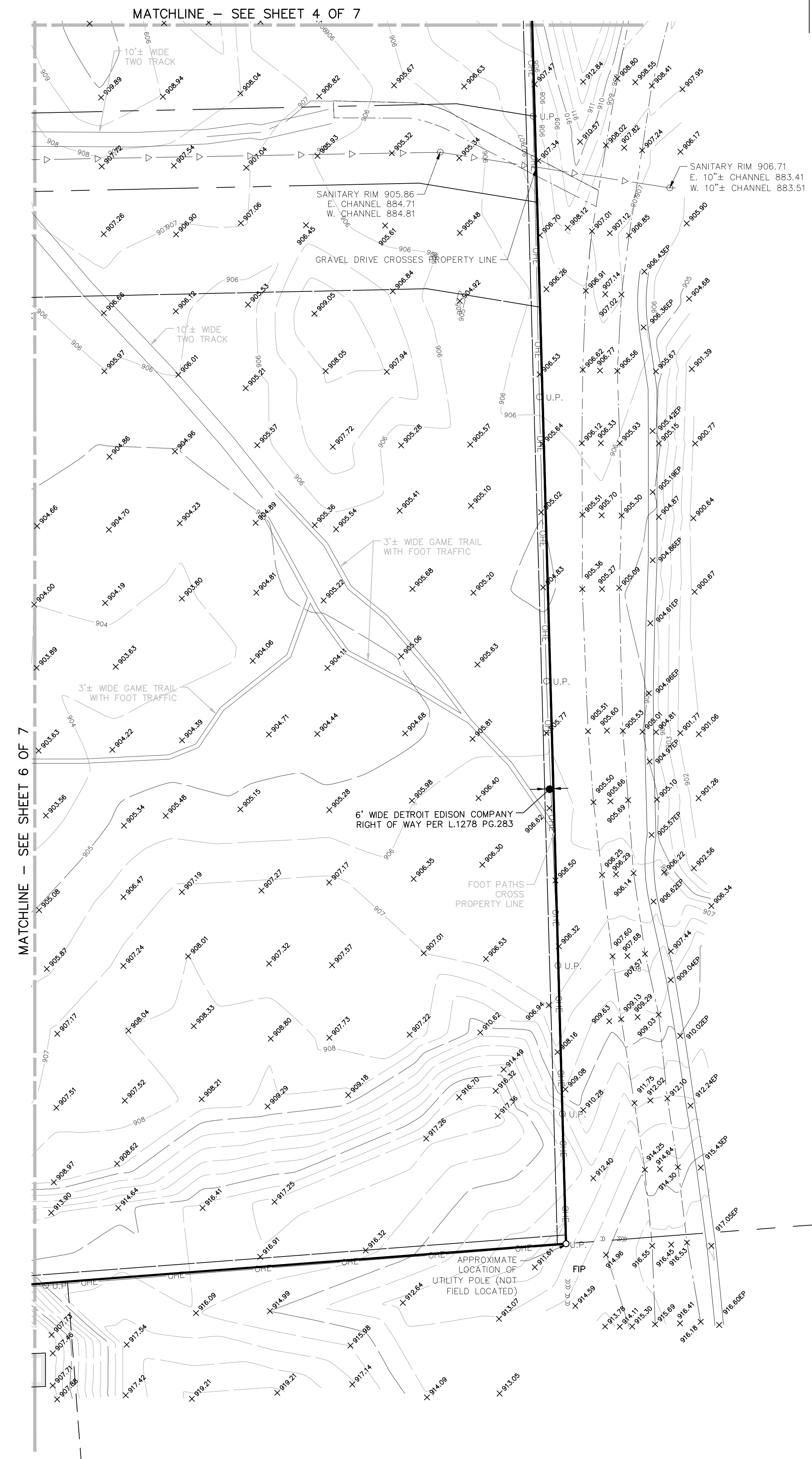
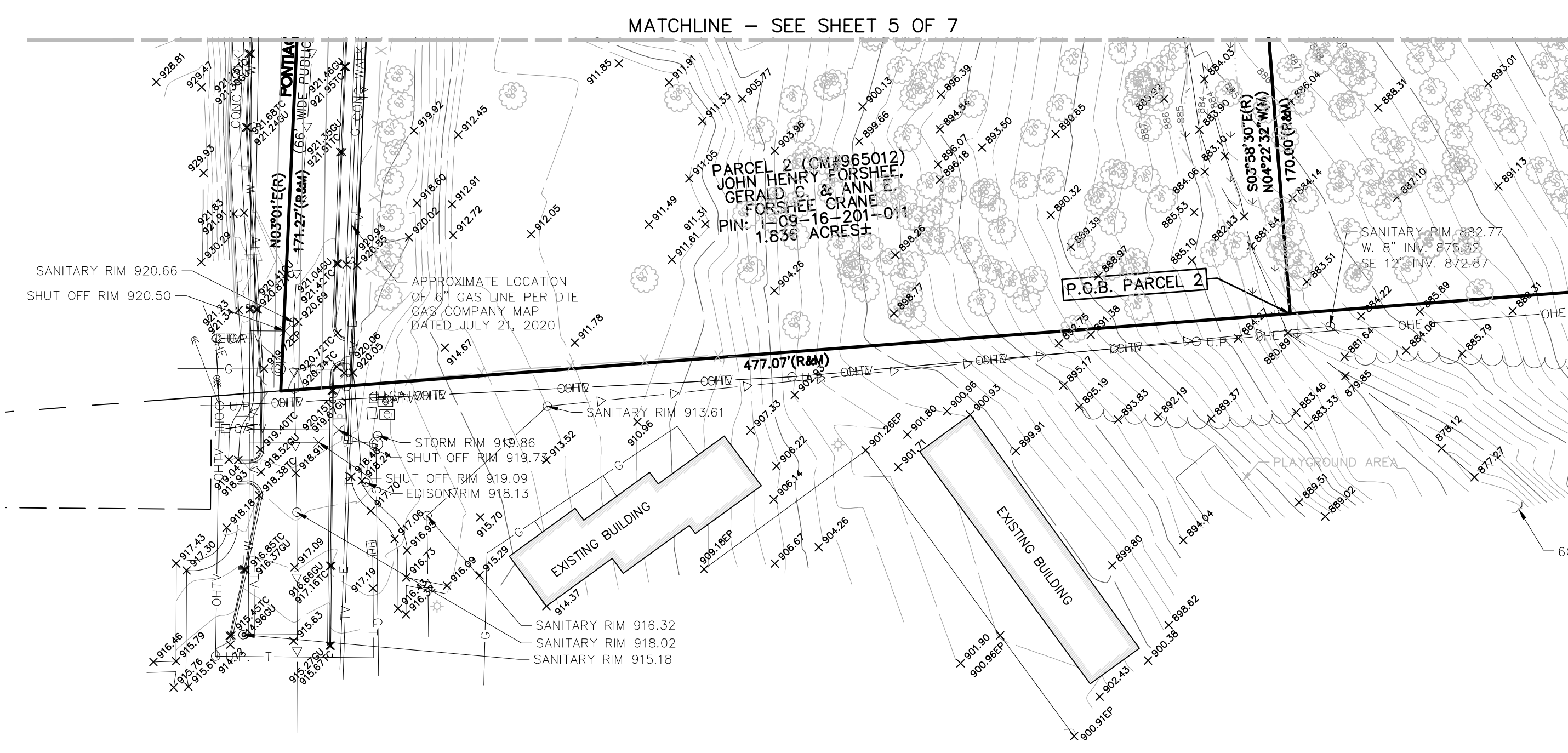
REVISIONS
SCALE 0 25 50
1" = 50 FEET
DR. JR GH. ME
P.M. M. EMBREE
BOOK NA
JOB 18002264
SHEET NO. 7 OF 7



VICINITY MAP
NOT TO SCALE

LEGEND

- SECTION CORNER
- FOUND MONUMENT
- FOUND IRON PIPE
- FOUND IRON ROD
- FOUND CAPPED IRON ROD
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING TREE
- EXISTING LIGHTPOLE
- EXISTING WELL
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- SCHEDULE BII EXCEPTION



KEY MAP
NOT TO SCALE