

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 618 South Ashley Street, Application Number HDC18-277

DISTRICT: Old West Side Historic District

REPORT DATE: January 10, 2019

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, January 7, 2019

	OWNER	APPLICANT
Name:	Amy Kuras and Andrew Stumpff	Same
Address:	618 S. Ashley St Ann Arbor, MI 48103	
Phone:	(734) 845-0643	

BACKGROUND: Per Polk City Directories, this two-story gable fronter was first occupied in 1906 by laborer George Wilson, who rented the home. The house may have been divided into a duplex as early as 1915, when Pauline Aprill and Frank Hewitt were the occupants. Mrs. Pauline Schneider joined them in 1920, and stayed until at least 1940. It features a steeply-pitched roof, full-width front porch, and most of the original one-over-one and two-over-one windows.

An HDC application from 1979 approves a switch from asphalt shingles over clapboard to aluminum siding. Whether the asphalt and/or clapboard are still under the aluminum is unknown.

LOCATION: The site is located on the west side of South Ashley Street, north of West Mosley and south of West Madison.

APPLICATION: The applicant seeks HDC approval to: construct a gabled wall dormer on the south roof face; install two skylights on the north roof; construct a second-floor deck off the back of the house; replace the rear elevation attic window with a larger one from the second floor; and install a full-lite wood door in place of the second floor window, leading to the new deck.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Roofs

Recommended: Designing additions to roofs such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Not Recommended: Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Windows

Not Recommended: Installing new windows, including frames, sash, and muntin configuration that are incompatible with the building's historic appearance or obscure, damage, or destroy character-defining features.

Entrances/Porches

Recommended: Designing and installing additional entrances or porches when required for the new use in a manner that preserves the historic character of the buildings, i.e., limiting such alteration to non-character-defining elevations.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

From the Ann Arbor Historic District Design Guidelines (other guidelines may apply):

Residential Decks and Patios

Appropriate: Installing a deck in the rear of the property that is subordinate in proportion to the building.

Installing a deck that is free standing (self supporting) so that it does not damage historic materials.

Installing railings made of wood. Custom railing designs will be reviewed on a case-by-case basis

Installing flooring made of wood or composite wood.

Roofs

Not Appropriate: Adding chimneys, cupolas, or dormers where not appropriate.

Windows

Not Appropriate: Removing or radically changing a window that is important in defining the overall historic character of the property.

Not Appropriate: changing the number, location, and size or glazing pattern of window by cutting new openings, blocking in, and installing replacement sash that does not fit the historic opening.

STAFF FINDINGS:

1. The house is an owner-occupied duplex, with a unit on the ground floor and another on the second floor. In order to finish the attic into habitable space, a dormer is necessary to gain adequate headroom for the attic stair. The design of the gable wall dormer is appropriate for this tall two-story house and is compatible with its historic character. A casement double-hung egress window, with compatible proportions to other windows on the house, is located in the dormer. Dormer cladding is 4" exposure cement board lap siding. Two skylights are proposed on the north side of the roof.
2. On the rear elevation (west), a second floor kitchen window is proposed to be enlarged into a full-lite door that maintains the window's original 36" width. The double-hung window would be moved to the attic gable to replace a small fixed window and provide light and ventilation. The door would lead to a 12'6" wide by 8'4" deep composite deck off the second floor. The deck features a simple steel rod railing. Electrical and communications wires to the house would be buried.
3. The work is inconspicuous from the right of way and doesn't impact character-defining features of the house. The work is visually compatible with the house and surrounding historic buildings.
4. Staff finds the work generally compatible in exterior design, arrangement, material, and relationship to the rest of the building and the surrounding area, and finds that it meets the Secretary of the Interior's Standards and Guidelines for Rehabilitation, and the Ann Arbor Historic District Design Guidelines.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 618 S Ashley Street, a contributing property in the Old West Side Historic District, to construct a gable dormer on the south roof of the house, install two skylights on the north roof; construct a second-floor deck off the back of the house; replace the rear elevation attic window with a larger one from the second floor; and install a full-lite wood door in place of the second floor window, leading to the new deck. The work as proposed is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets the *Ann Arbor Historic District Design Guidelines*, in particular the guidelines for roofs and windows, and the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 9 and 10 and the guidelines for roofs, windows, porches, and neighborhood.

MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 618 S Ashley Street in the Old West Side Historic District

___ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, photos, drawings

2008 Survey Photo, 618 South Ashley Street





HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647
 Phone: 734.794.6265 ext. 42608 jthacher@a2gov.org
 Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# <u>18-277</u>
	BLDG# _____
DATE STAMP	
<u>12-20-2018 - KVL</u>	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER <u>AMY KURAS + ANDREW STUMPF</u>		HISTORIC DISTRICT <u>OLD WEST SIDE</u>	
PROPERTY ADDRESS <u>618 S. ASHLEY ST, #</u>			CITY <u>ANN ARBOR</u>
ZIP CODE <u>48103</u>	DAYTIME PHONE NUMBER <u>(734)845-0643</u>	EMAIL ADDRESS <u>amy.b.kuras@gmail.com</u>	
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE)		CITY	STATE, ZIP

PROPERTY OWNER'S SIGNATURE

SIGN HERE	PRINT NAME <u>AMY KURAS</u>	DATE <u>12/20/18</u>
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APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE)			
ADDRESS OF APPLICANT			CITY
STATE	ZIP CODE	PHONE / CELL # ()	FAX No ()
EMAIL ADDRESS			

APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE	PRINT NAME <u>X AMY KURAS</u>	DATE
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BUILDING USE - CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input checked="" type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

Addition of second story deck, replace window with door, to deck, replace third story rear window with larger window, add dormer to south side, add 2 skylights to north side of roof.

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

Door required to access deck, renovations to attic to make it into living space required dormer for headroom for access stairs, skylights + larger window to allow additional light

For Further Assistance With Required Attachments, please visit www.a2gov.org/hdc

KURAS - STUMPPFF ADDITION

618 Ashley Street, Ann Arbor, Michigan 48103

RAA : 17-022

ANN ARBOR HISTORIC DISTRICT COMMISSION

APPLICATION FOR DETERMINATION OF APPROPRIATENESS

FOR THE

KURAS / STUMPPFF RENOVATIONS 618 SOUTH ASHLEY STREET, ANN ARBOR, 48103



LIST OF DRAWINGS

- T1.0 TITLE SHEET
- C2.0 SITE PLANS
- A1.1 FIRST FLOOR PLANS
- A1.2 SECOND FLOOR PLANS
- A1.3 THIRD FLOOR PLANS
- A2.0 NORTH & WEST ELEVATIONS
- A2.1 SOUTH & EAST ELEVATIONS
- A5.1 EXTERIOR PERSPECTIVES



1 SITE PLAN

Scale: 1" = 10'-0" on 24" x 36"
1" = 20'-0" on 12" x 18"

HDC SUBMISSION : 12 20 18

SHEET TITLE:
REVIEW SET:
BID & PERMIT SET:

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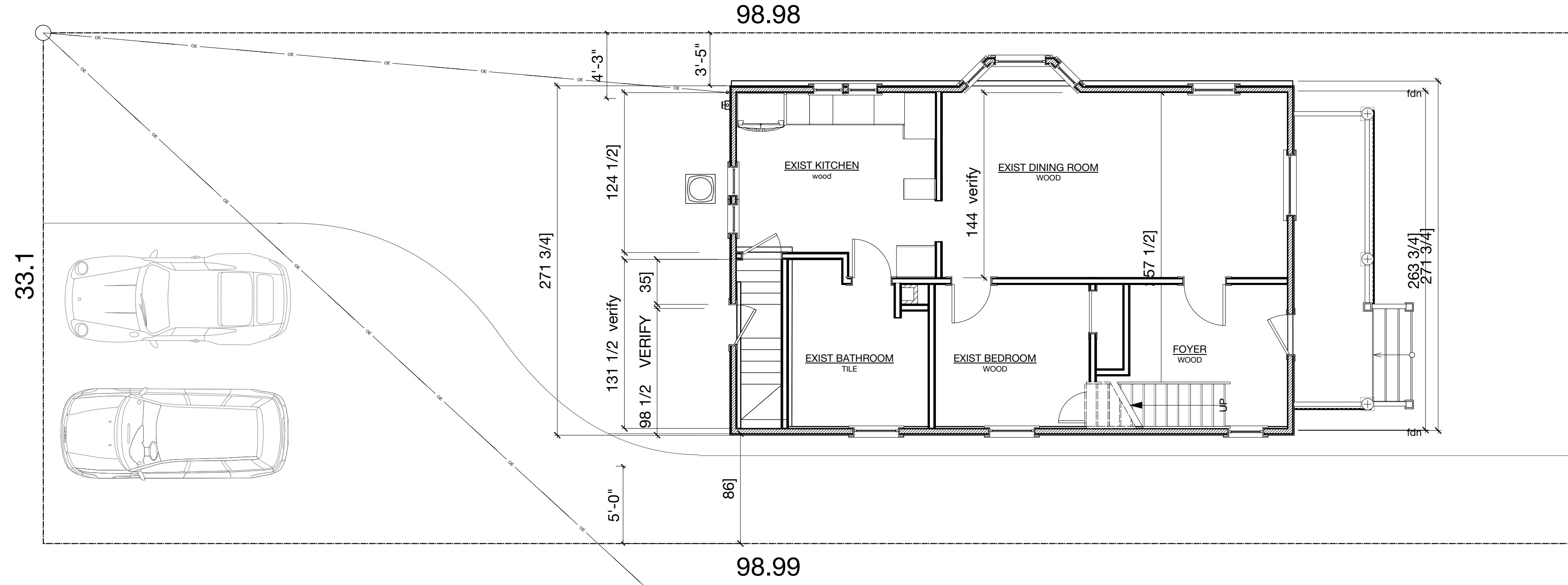
Amy Kuras & Andrew Stumpff
618 S. Ashley Street, Ann Arbor, Michigan 48103

RAA : 17-022

RUETER ASSOCIATES

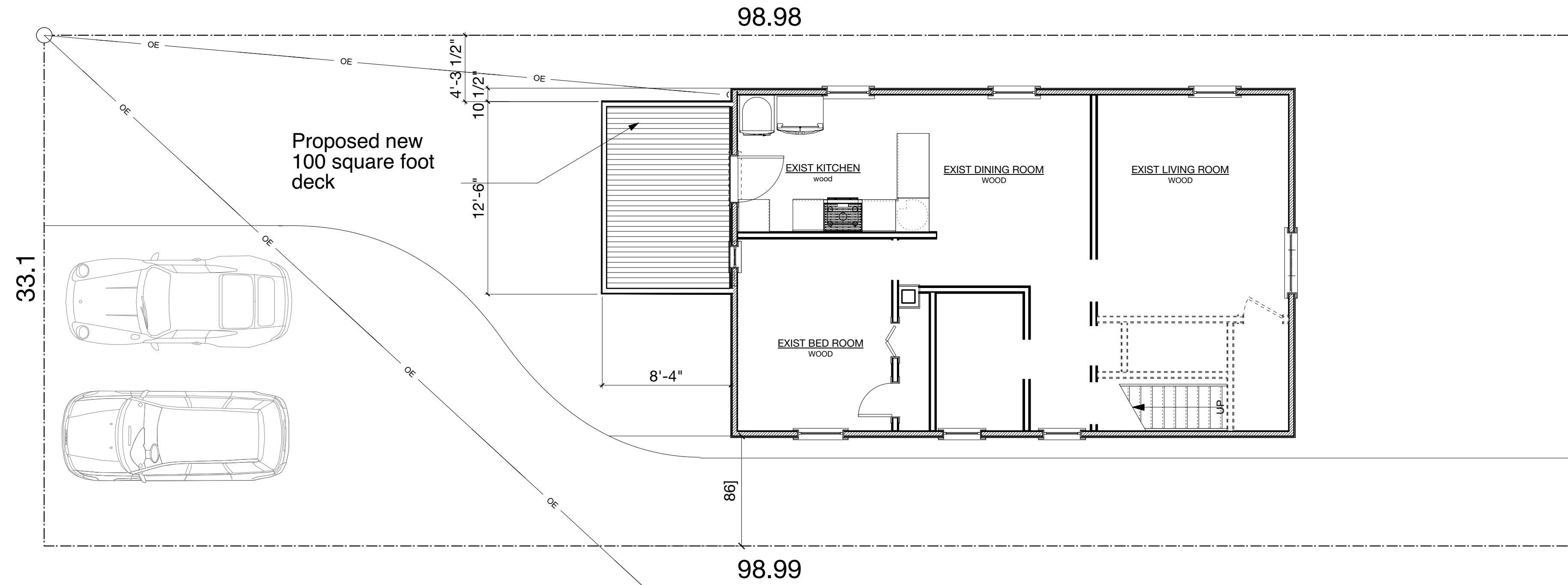
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1 SITE PLAN-EXISTING FOR EXISTING FIRST FLOOR

Scale: 3/16" = 1'-0" on 24" x 36"
3/32" = 1'-0" on 12" x 18"



1 SITE PLAN FOR NEW SECOND FLOOR

Scale: 3/16" = 1'-0" on 24" x 36"
3/32" = 1'-0" on 12" x 18"

WEST ASHLEY STREET 66

WEST ASHLEY STREET 66

HDC SUBMISSION : 12 20 18

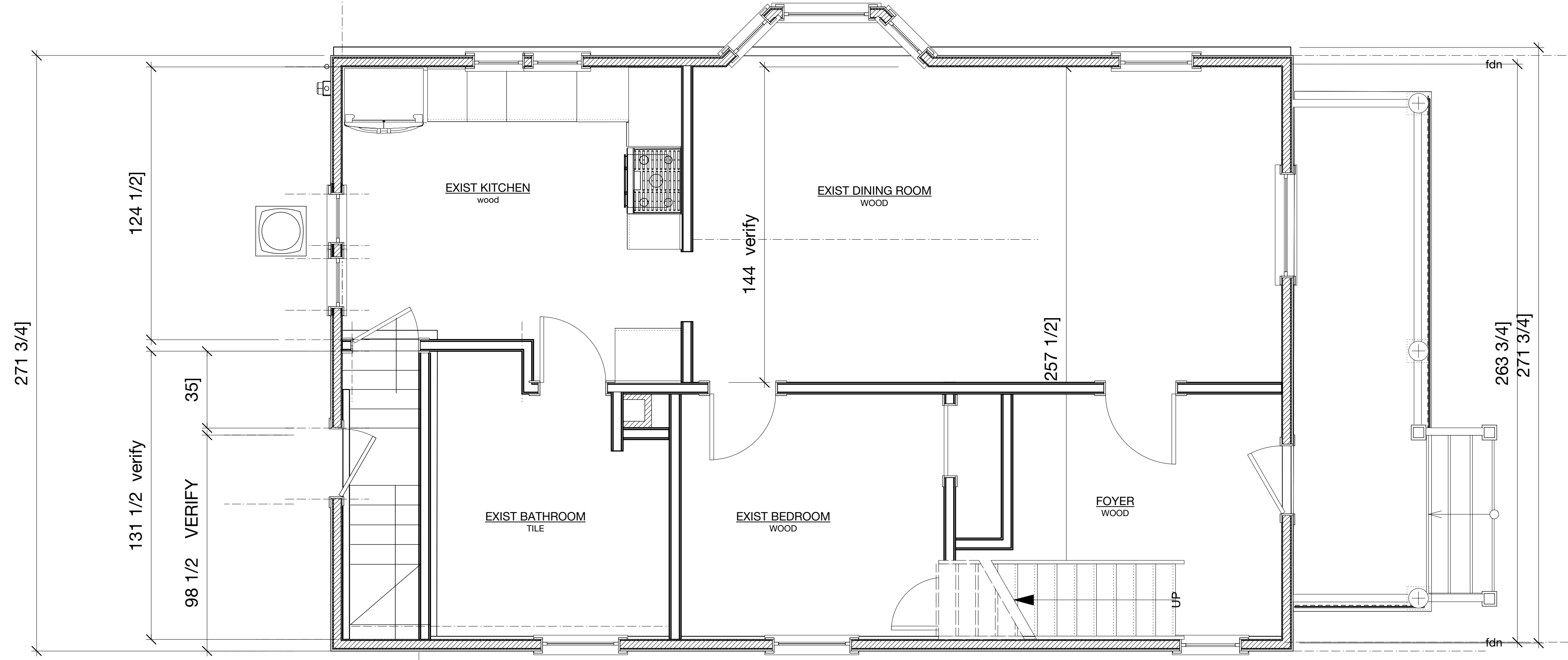
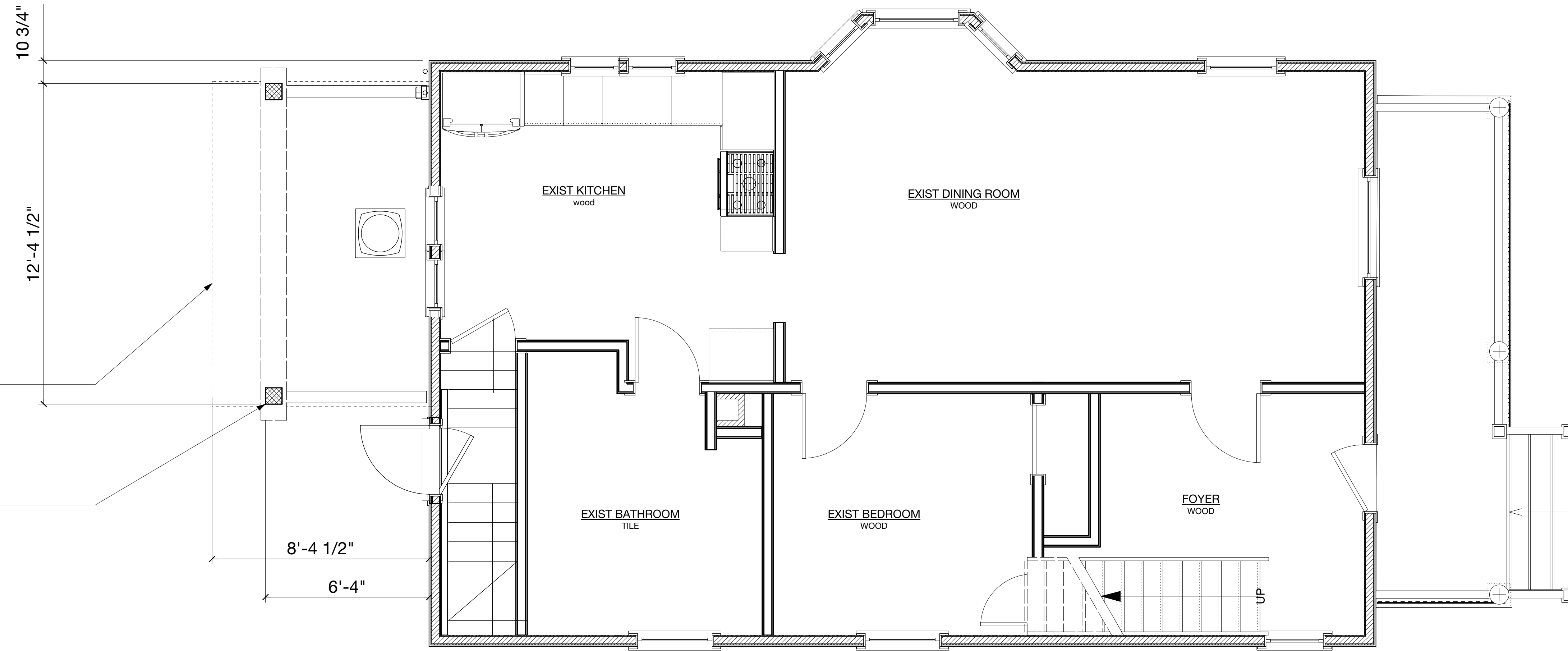
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Outline of balcony above

New clad wood columns on 10" diam piers on 12" wide continuous strip ftg



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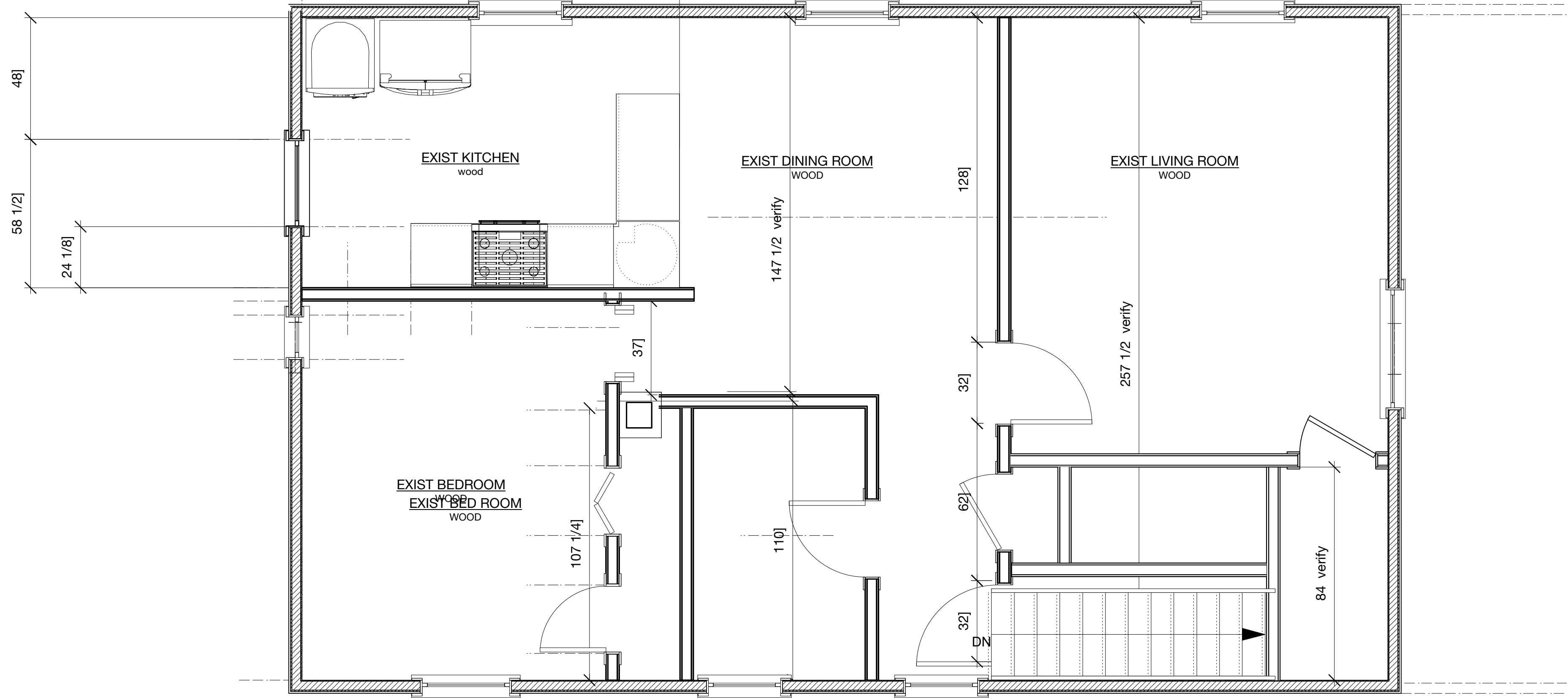
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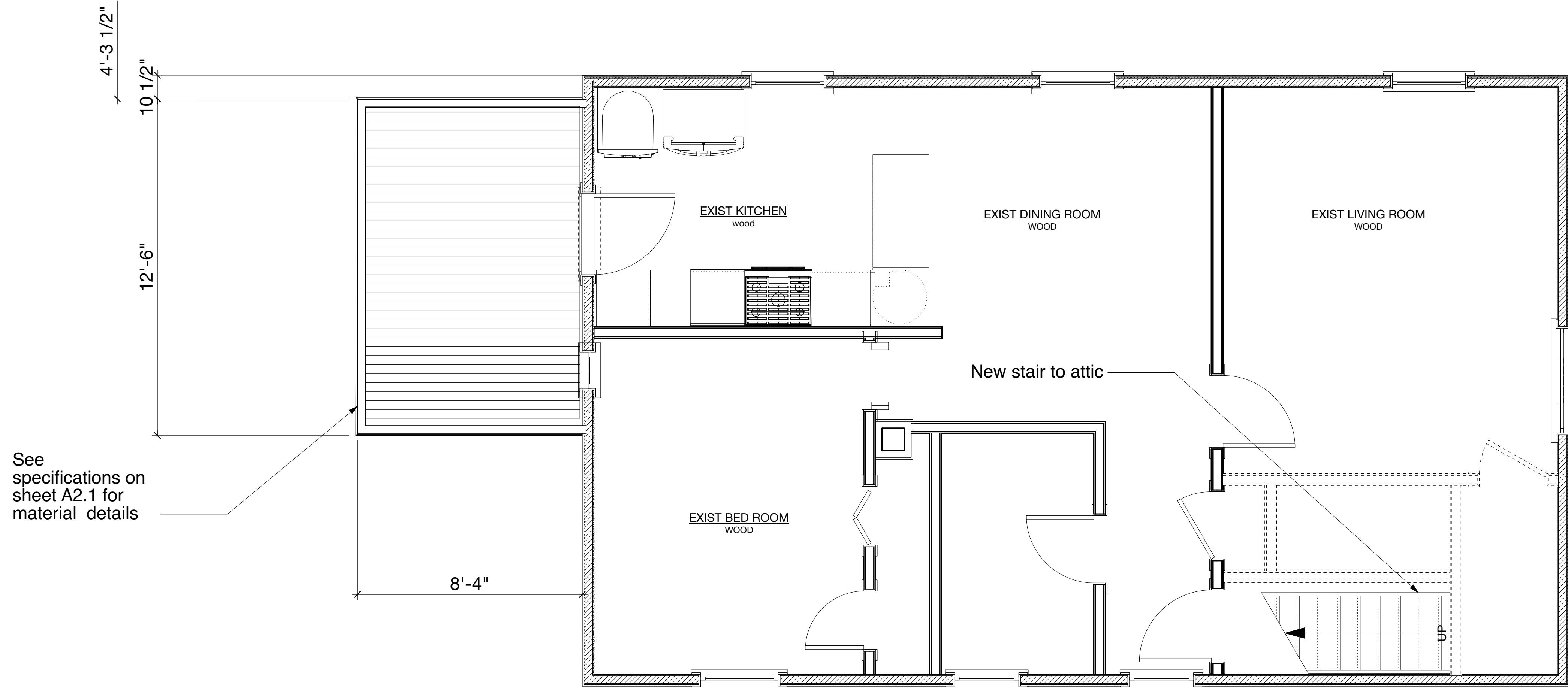
1 SECOND FLOOR PLAN-EXISTING

Scale: 3/8" = 1'-0" on 24" x 36"
3/16" = 1'-0" on 12" x 18"



1 SECOND FLOOR PLAN-PROPOSED

Scale: 3/8" = 1'-0" on 24" x 36"
3/16" = 1'-0" on 12" x 18"

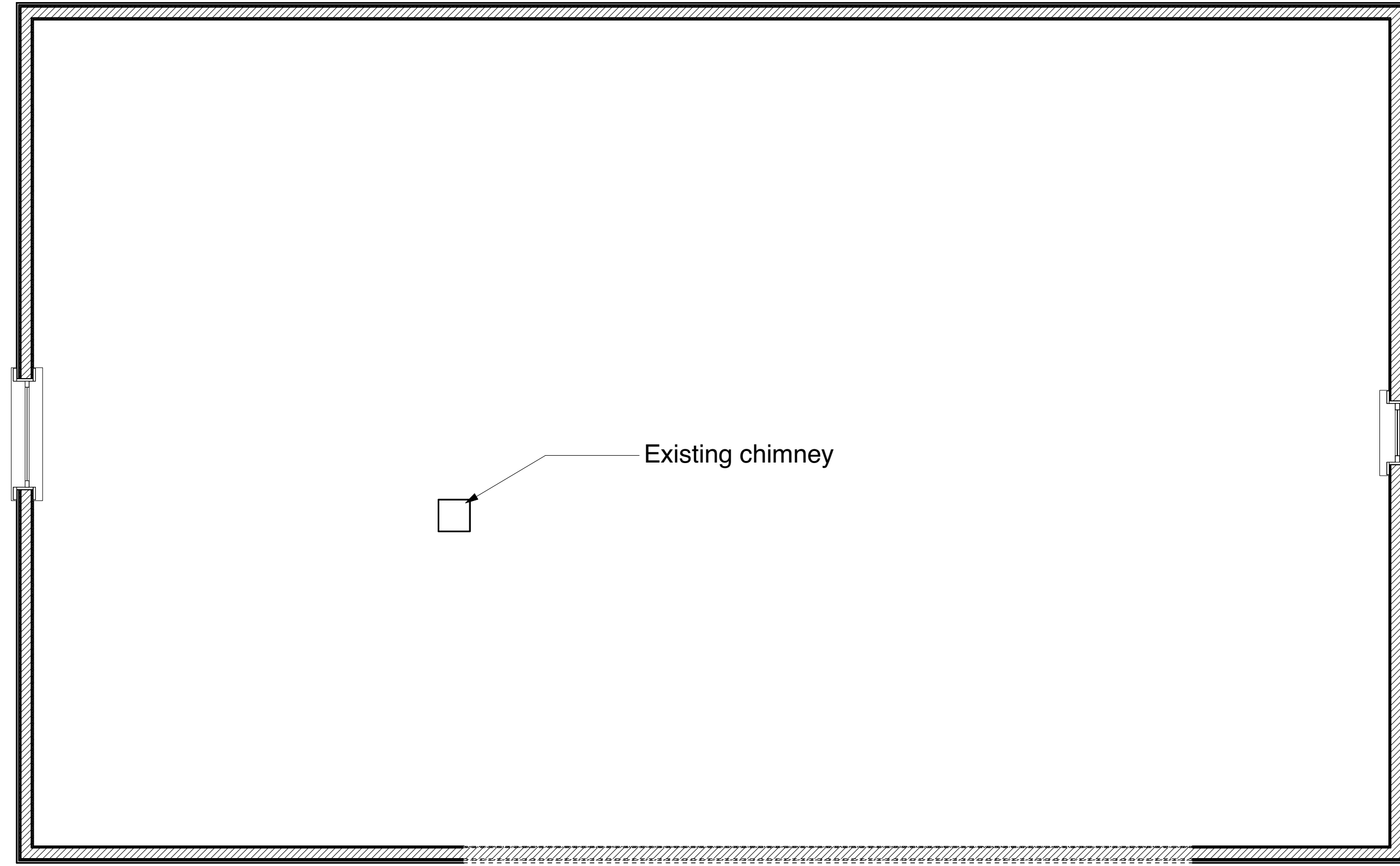


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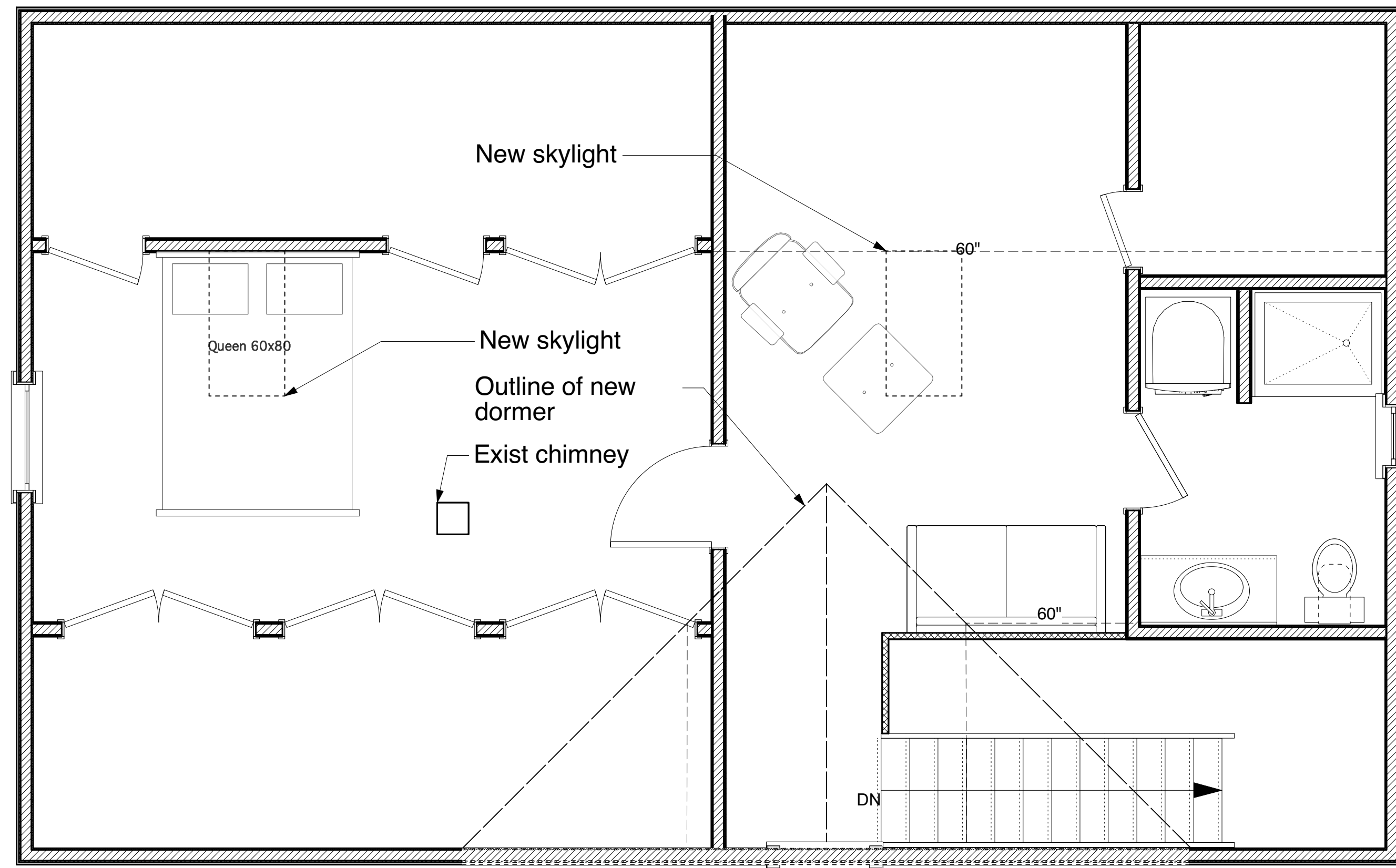
1 THIRD FLOOR PLAN-EXISTING

Scale: 3/16" = 1'-0" on 24" x 36"
 3/32" = 1'-0" on 24" x 36"



1 THIRD FLOOR PLAN - PROPOSED

Scale: 3/16" = 1'-0" on 24" x 36"
 3/32" = 1'-0" on 24" x 36"



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4 NORTH ELEVATION-EXISTING

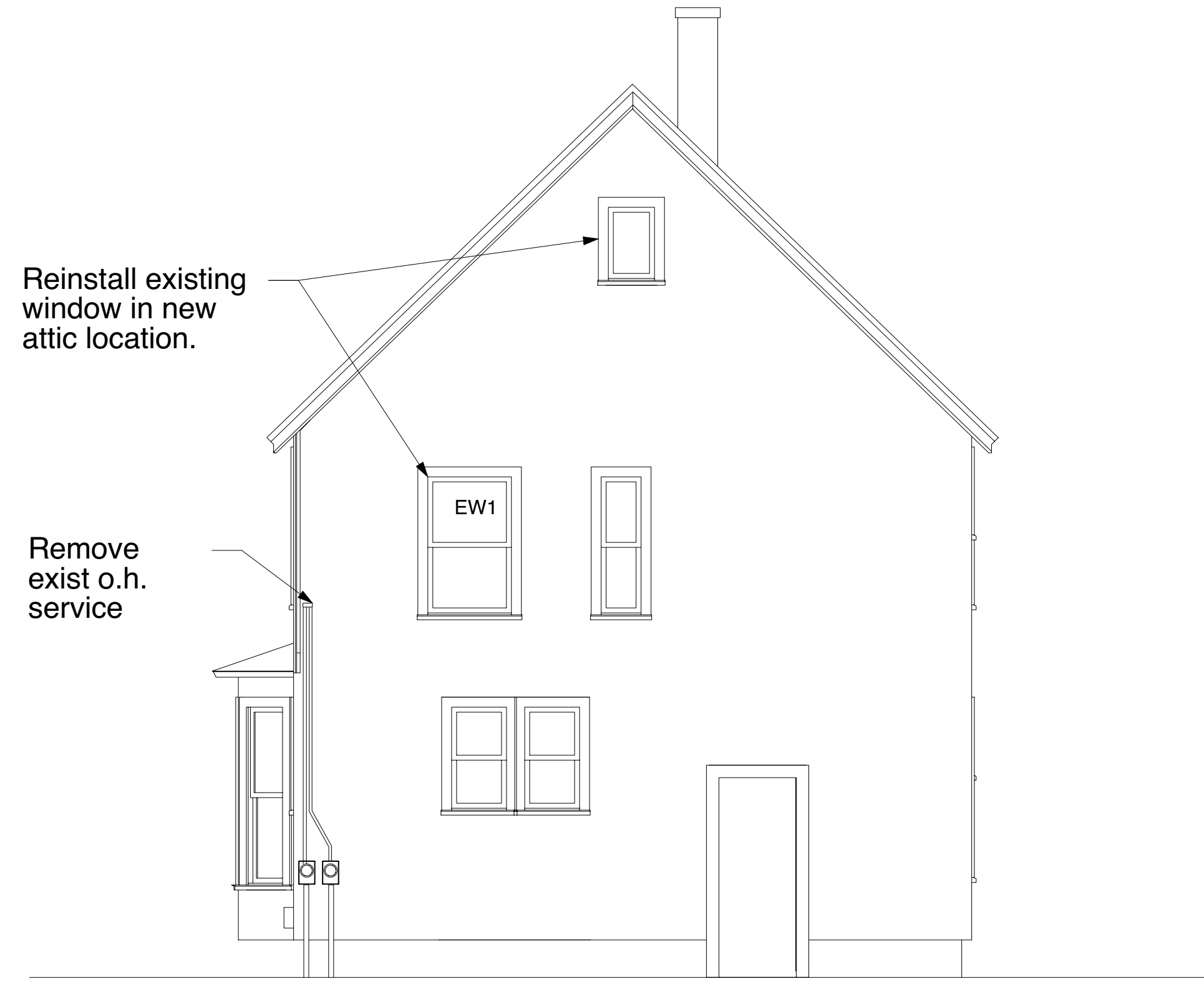
Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"

WINDOW SCHEDULE

Mark	Type	Unit Size*	Notes
(W1)	casement double hung egress	30 x 60	Simulated
(E1)	existing window	36 x 56	Reinstall
(RW1)	new west attic gable roof window	30 X 54	VS MO4

WINDOW NOTES:
Windows shall be wood with alum or vinyl cladding. Glazing shall be double glazed low e. Cladding shall be white. Screens shall be supplied with all operable windows.

+ window size may vary (+/-2")



3 WEST ELEVATION-EXISTING

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"

DOOR SCHEDULE

Mark	Type	Unit Size	Notes
(D1)	door-balcony	36 x 80	1 3/4" wood full lite glass

DOOR NOTES:
Door shall be provided with wood combination full-lite / screen door



4 NORTH ELEVATION-PROPOSED

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"



3 WEST ELEVATION-PROPOSED

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"

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2 SOUTH ELEVATION-EXISTING

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"

NEW MATERIAL DESCRIPTION:

NEW DORMER

ROOF:
Laminated dark grey asphalt shingles to match existing

FASCIA:
Painted 3/4" x 8" wd bd. w/ crown moulding to match existing.

SOFFIT
5/16" perforated cement bd

DOOR AND WINDOW CASING:
5/4" X 4" wd

FREIZE BOARD
5/4" X 8" Azek

SIDING :
5/16" cement bd siding with 4" exposure

RAISED DECK:

RAILING:
1" x 3" painted steel

GUARD:
3/13" steel rod spaced 4" o.c. vert thru 1" x 3' steel standards 40" h.

DECK:
5/4" x 4" t & g composit decking on 2 x 8 pt jsts 16" o.c.

BEAMS AND HEADER:
3/4" Azak cased 2 x 10 pt beams with under deck drainage system

CEILING:
1 x 4 Azak spaced 1/2"

COLUMNS:
8 x 8 Azak clad pt 6 x 6 wd columns

FOUNDATION:
8" diam fdn 8" abv grade to 12" wide continuous strip ftg 42" below grade.



2 SOUTH ELEVATION-PROPOSED

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"



1 EAST ELEVATION-EXISTING

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"



1 EAST ELEVATION-PROPOSED

Scale: 1/4" = 1'-0" on 24" x 36"
1/8" = 1'-0" on 24" x 36"

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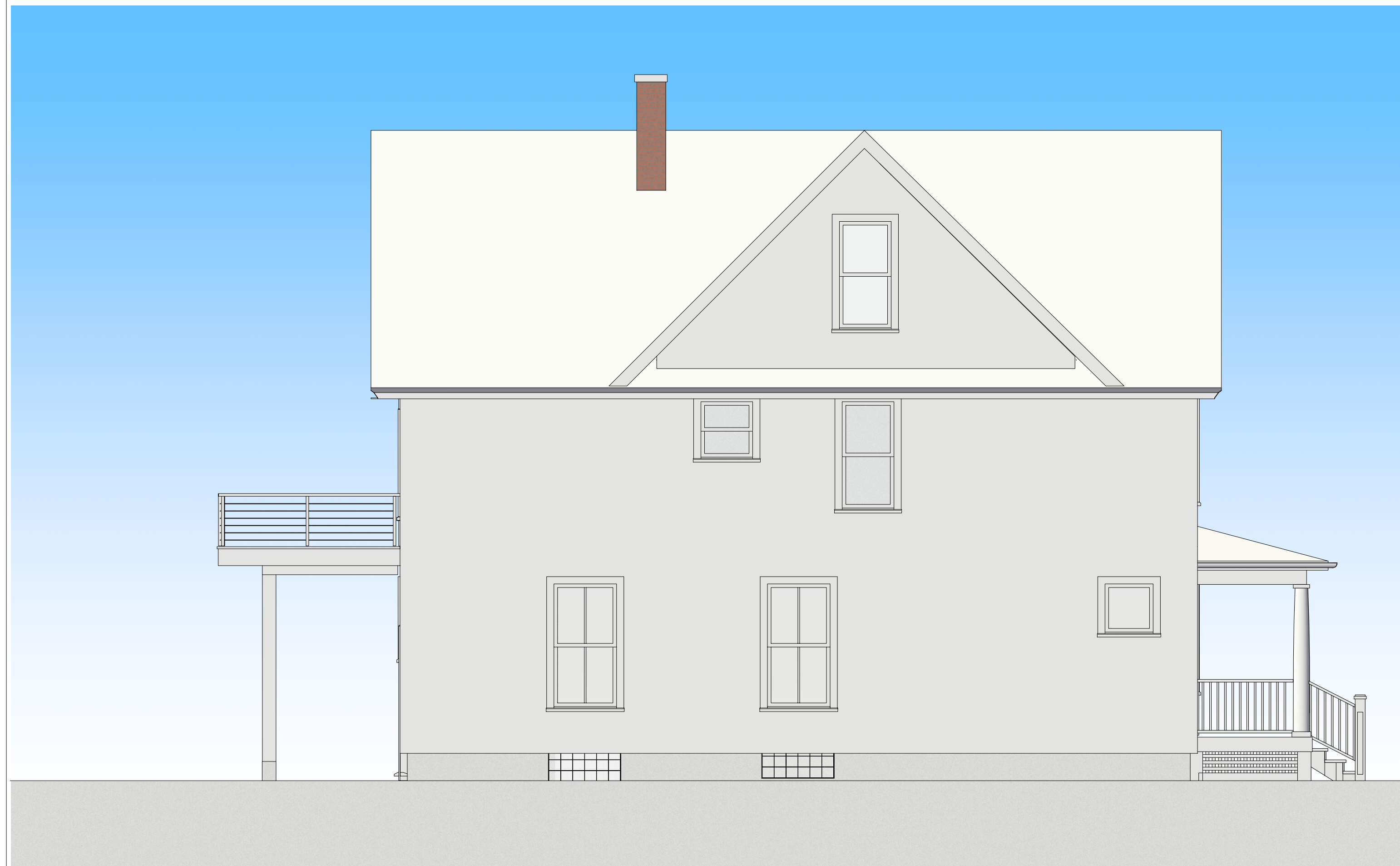
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9 Perspective from Southwest
Scale: 1/4" = 1'-0"



4 Perspective from Street
Scale: 3/8" = 1'-0"



3 South Elevation
Scale: 1/4" = 1'-0"



4 West Elevation
Scale: 1/4" = 1'-0"

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