

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 300 S State Street, Application Number HDC19-237

DISTRICT: State Street Historic District

REPORT DATE: January 9, 2020

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: January 6, 2020

	OWNER	APPLICANT
Name:	312 S. State, LLC	Oxford Companies, Melissa Gumenick
Address:	300 S. State St. Ann Arbor, MI 48104	777 E. Eisenhower Pkwy, Suite 850 Ann Arbor, MI 48108
Phone:		

BACKGROUND: 300 South State is a two-story brick building built in 1901 as the Reinhardt Block in the commercial vernacular style. Its notable features include tapestry brick and a name stone. When the State Street Historic District was established, the first floor tenant space was Discount Records. It is currently occupied by a Potbelly’s sandwich shop.

LOCATION: The site is on the southwest corner of South State Street and East Liberty Street.

APPLICATION: The applicant seeks HDC approval to install a mural painted on aluminum composite panels on the rear wall of the building facing the private alley. It is anchored by a treated lumber frame attached with masonry screws into the mortar joints between the original bricks. The proposed mural panels will cover almost the entire rear wall, 25’ tall and 16’ wide, with openings for all windows. An existing ventilation duct will not be covered by mural panels but will be painted and made a part of the mural. The mural is designed to create a 3-dimensional illusion.

APPLICABLE REGULATIONS:

From the Secretary of the Interior’s Standards for Rehabilitation:

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.



(10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings:

Building Site

Recommended: Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Masonry

Recommended: Identifying, retaining, and preserving masonry features that are important in defining the overall historic character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and details such as tooling and bonding patterns, coatings, and color.

Not Recommended: Removing or radically changing masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

From the Ann Arbor Historic District Design Guidelines:

Signs

Appropriate: Attaching signage through masonry joints, not masonry units, or through materials that can be easily repaired, such as wood, when the signage is removed.

STAFF FINDINGS:

1. The applicant is proposing to attach a wood frame to support aluminum panels on which a mural is painted to the rear wall of an unpainted brick building facing a private alley. This is a secondary façade, but visible from East Liberty Street. The applicant states that the attachments will be done through mortar joints only, not through the brick. Attaching through the brick would do permanent damage; mortar joints, however, can be repointed once the mural is removed and cause no lasting harm. The panels will be installed around two existing windows.
2. The mural will be easily removable and leave the integrity of the building unimpaired. If the lettering is taller than 4", it counts as signage and will require a City of Ann Arbor sign permit. In general, the addition of the mural should not negatively impact the neighborhood or historic district and should contribute positively to the multi-purpose

alley. (There is another mural directly across the alley, but it is on a building that is not within a local historic district.)

3. The proposed mural is generally compatible in exterior design, massing, arrangement, texture, material and relationship to the site and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation*, particularly standards 2 and 9, and the *Guidelines* for building site and masonry, and the *Ann Arbor Historic District Design Guidelines* for signs.

POSSIBLE MOTION: (Note that the motion supports staff findings and is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 200 South State Street, a contributing property in the State Street Historic District, to install a removable mural on the west façade of the building through mortar joints, not masonry units. As proposed, the work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area, and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2 and 10, and the guidelines for building sites and masonry, and the *Ann Arbor Historic District Design Guidelines* for signs.

ATTACHMENTS: application, drawing, panel information

Front of 300 S. State, July 2018 (courtesy Google Streetview)



Rear of 300 S. State, July 2018 (courtesy Google Streetview)





HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120

Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647

Phone: 734.794.6265 ext. 42608

jthacher@a2gov.org

Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER 312 S State, LLC		HISTORIC DISTRICT State Street
PROPERTY ADDRESS 300 S. State Street		CITY ANN ARBOR
ZIP CODE 48104	DAYTIME PHONE NUMBER (734) 548-6945	EMAIL ADDRESS mgumenick@oxfordcompanies.com
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE) 777 E. Eisenhower Pkwy, Suite 850		CITY Ann Arbor
		STATE, ZIP MI 48108

PROPERTY OWNER'S SIGNATURE

SIGN HERE	PRINT NAME → Jeff Hauptman	DATE → 12.19.19
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APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE) Melissa Gumenick of Oxford Companies			
ADDRESS OF APPLICANT 777 E. Eisenhower Parkway, Suite 850			CITY Ann Arbor
STATE MI	ZIP CODE 48108	PHONE / CELL # (734) 548-6945	FAX No ()
EMAIL ADDRESS mgumenick@oxfordcompanies.com			

APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE	PRINT NAME → *Melissa Gumenick	DATE → 12.19.19
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BUILDING USE - CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input checked="" type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

To be mounted on building wall facing the alley behind the building indicated above, public art applied to a panel covering a portion of the wall (not including windows). Materials & methods described in the following documents.

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

The owner would like to contribute to the idea that public art ~~adds value~~ adds value & pride to the surrounding community while respecting ~~the~~ & preserving the historic nature of the structure.

For Further Assistance With Required Attachments, please visit www.a2gov.org/hdc



HISTORIC DISTRICT COMMISSION APPLICATION

FEE CHART	
DESCRIPTION	
STAFF REVIEW FEES	FEE
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to building@a2gov.org.

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to "City of Ann Arbor"

HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

APPLICATION EXPIRATION

HDC applications expire three (3) years after the date of approval.

OFFICE USE ONLY

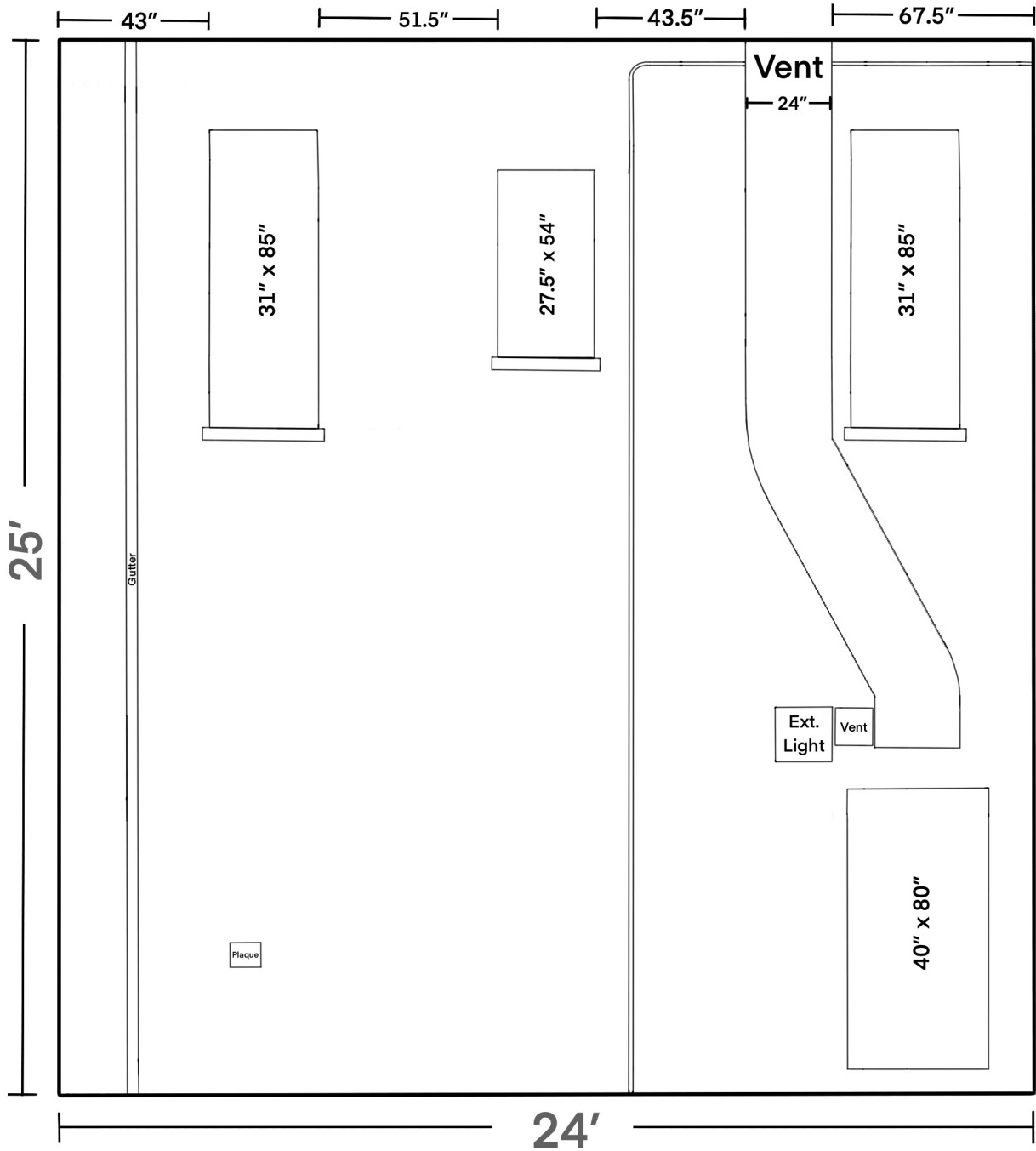
Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	



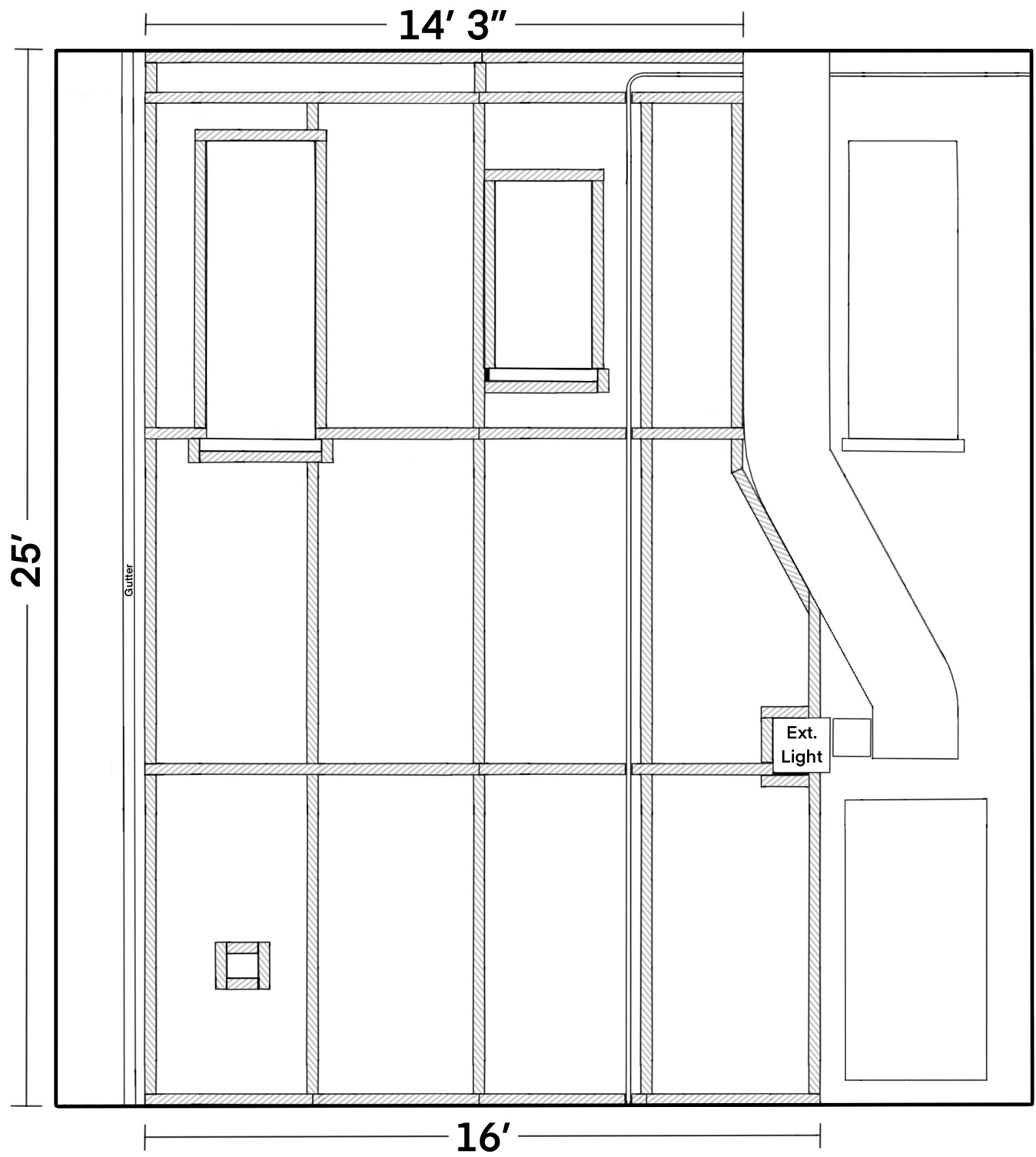
Mural to create a 3-dimensional illusion. All paint will be applied to either panels or ductwork. Possible changes to the image would only be (1) the colors of the football player's uniform and the gender of one of the athletes on the bottom right corner.



MAS Murals, LLC.
300 S. State St.
Wall Dimensions



MAS Murals, LLC.
300 S. State St.
Frame Layout
Weather Treated 2 x 4's

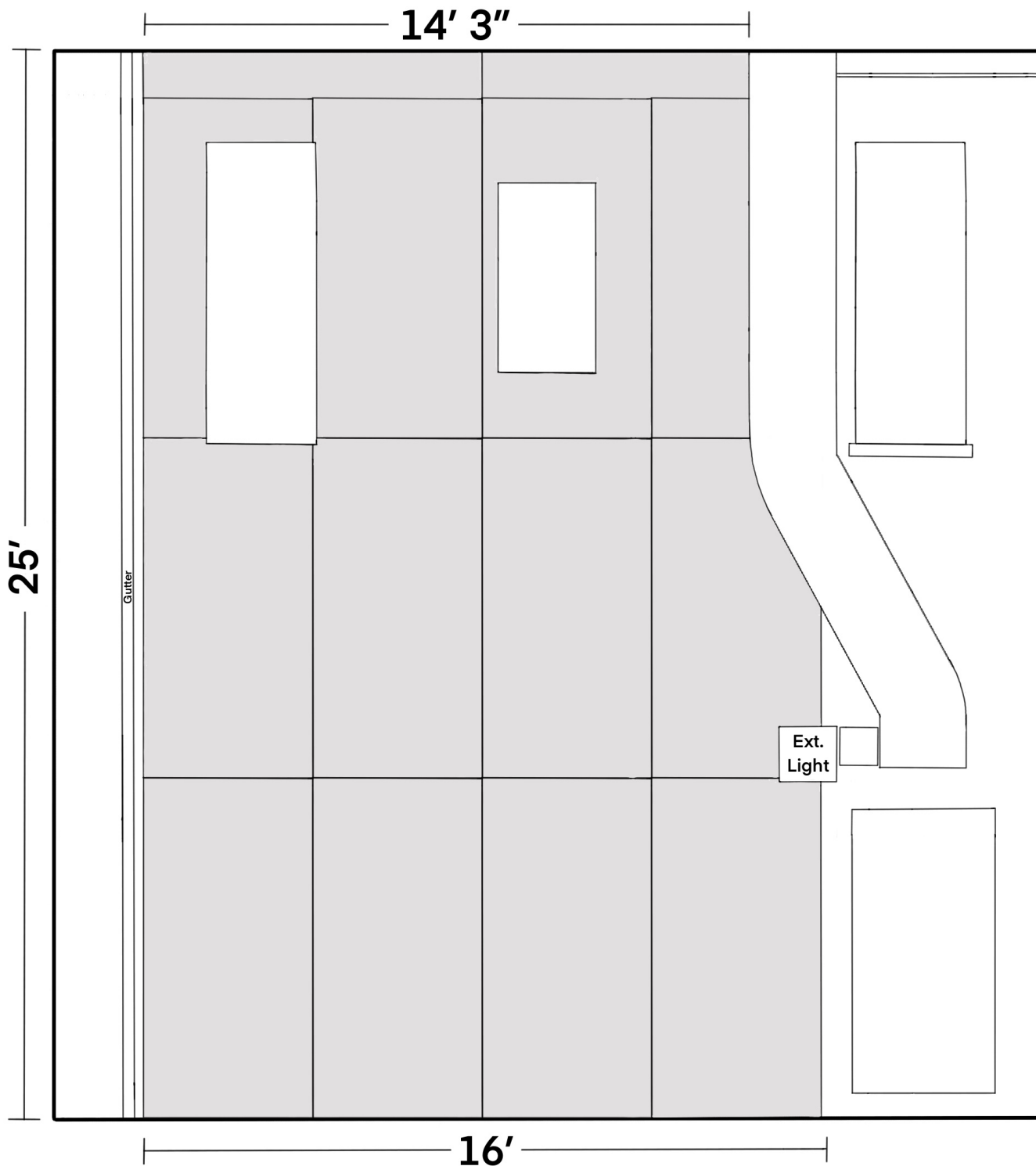


MAS Murals, LLC.

300 S. State St.

4'x 8' ACM Panels

1/8th inch thick



Materials

Frame made from...

Home / Lumber & Composites / Pressure Treated Lumber

Internet #206967811 Model # 253920 Store SKU #1001753743



WeatherShield >

2 in. x 4 in. x 8 ft. #2 Prime Ground Contact Pressure-Treated Lumber

★★★★★ (326) Write a Review Questions & Answers (23)

- 2X the protection compared to Above Ground treatment
- Treated for protection against fungal decay, rot and termites
- Use for decks, walkways, landscaping and other outdoor projects

\$4⁶⁷

Save up to \$100 on your qualifying purchase. Apply for a Home Depot Consumer Card

Nominal Product Length (ft.): 8

6	8	10	12	14	16
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... attached to masonry in between bricks with 3" Blue Tapcon masonry screws. Liquid Nails can be used on the lumber for added adhesion.

Blue Tapcon® Flat Head

Each Blue Flat Head Tapcon® is coated with a blue Climaseal® coating that provides rust resistance. The flat head creates a perfect head style when countersinking is required.

Blue Flat Head Tapcon® is countersunk for easy penetration of wood, and is driven using a phillips drive.

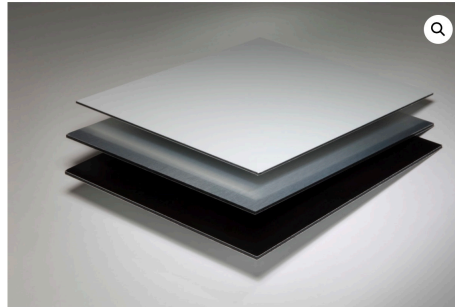
Applications - the Blue Flat Head Tapcon® is used for fastening items to masonry that require the head of the fastener to sit flush with the surface of the item being attached, such as a furring strip that drywall will be attached.

Additional Information

- Diameters available:
 - 3/16" diameter uses a #2 phillips bit tip
 - 1/4" diameter uses a #3 bit tip
- Length - the Blue Flat Head Tapcon® is measured as an overall length including the head included
- Wide variety of lengths from which to select:
 - The 3/16" and 1/4" are available in lengths up to 4"
 - The 1/4" is available in lengths of 5" and 6"
- Product List - when the part number or size is known, go to the product list and scroll down until the item is located. Click on the blue link, and go to the product page, which will have all pertinent information about an item, including product specs, installation, videos and application photos.
- Technical Specification - click on this link to locate holding values or other technical information about the Blue Flat Head Tapcon®
- Installation - Read written instructions as well as view a short video to learn how to easily install the Blue Flat Head Tapcon®
- [Hide Additional Information](#)



**Painted on
4'x 8' ACM
Panels.
1/8 th inch
thick.**



Aluminum Composite Material (ACM)

Aluminum Composite Material (ACM) is a rigid sheet made of two sheets of pre-finished aluminum, bonded to a polyethylene core. Light-weight, without sacrificing durability, ACM sheets are often used for outdoor signage, and channel letter backings.

Application: Automotive, Building & Construction, Electric and Non-Printed Sign, Movie Studio/Sound Stage, POP/Display, Printing/Graphics, Wall Coverings

Description	Features & Benefits	Applications	Product Options	Standard Sizes	Suppliers / Brands
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Description

Aluminum Composite Material – widely referred to as ACM – is a rigid sheet made of two sheets of pre-finished aluminum, bonded to a polyethylene core. Light in weight, yet highly durable, ACM sheets are often used for outdoor and indoor signage and channel letter backings, as well as wall liners and insulation.

**Attached to
frame with...**



#8 x 1-1/4 in. Wafer Head T-STAR+ High Corrosion Resistant (HCR-X) Exterior Screw (1 lb.- Box)

★★★★★ (11) [Write a Review](#) [Questions & Answers \(1\)](#)

\$10⁸⁵

Save up to \$100 on your qualifying purchase. Apply for a Home Depot Consumer Card

Overview

Discover the SPAX Advantage. This German engineered SPAX #8 x 1-1/4 wafer head T-Star+ exterior cabinet screw offers a premium quality fastening solution to help ensure professional results in less time. This high perform... [See Full Description](#)

Painted with Behr Premium Plus Exterior Latex Paint and finished with Clear Shield Liquid Laminate.

