

M:\CV\13d_Proj\13013000\13013000.dwg, 3/7/2024 4:10 PM, Drawn by T. Swartz, MCLC P07_p03
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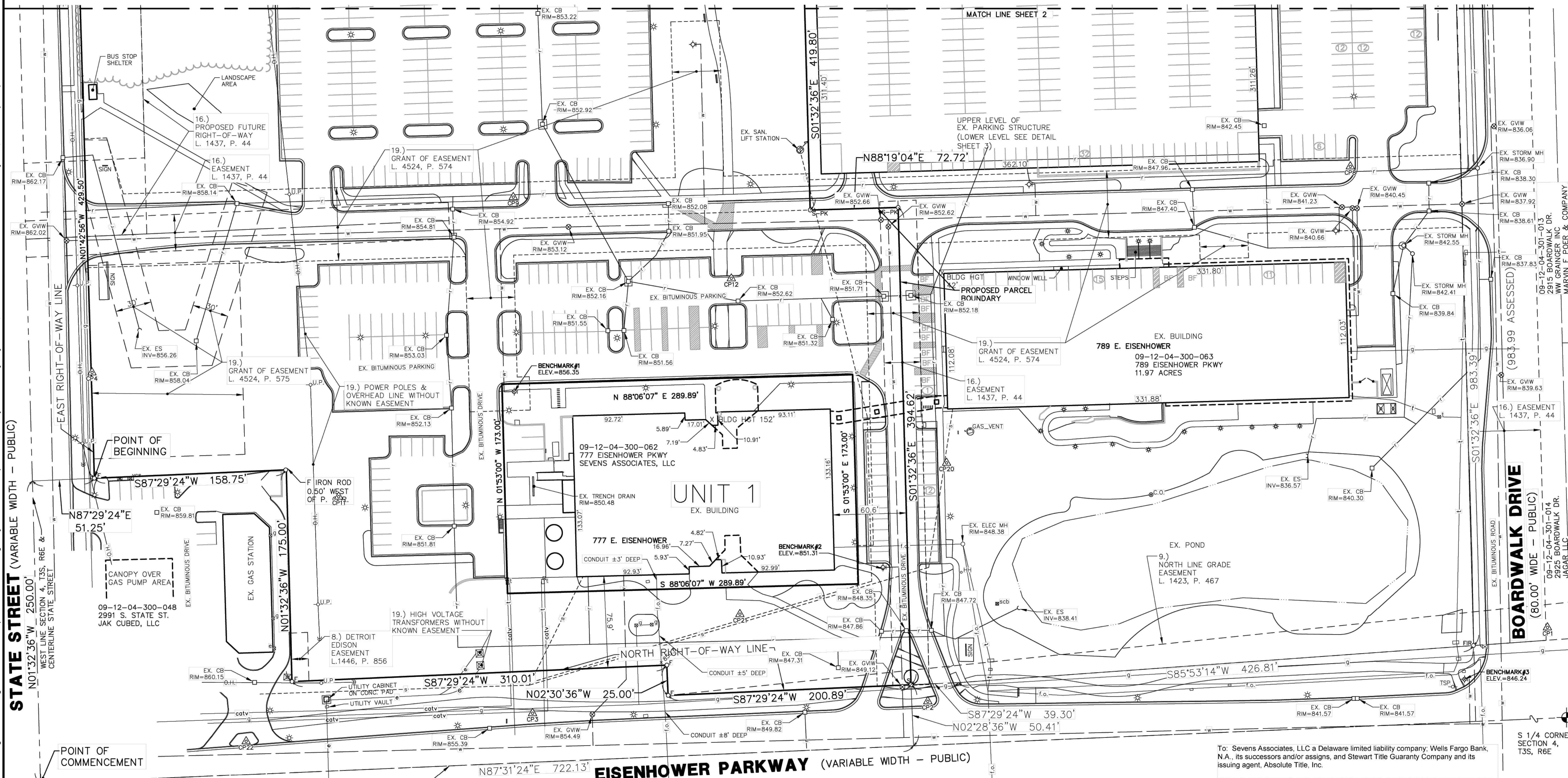
LEGEND

838	EXIST. CONTOUR	☒	TELEPHONE RISER	⊙	SECTION CORNER
x836.2	EXIST. SPOT ELEVATION	☒	CABLE TELEVISION RISER	⊙ F	FOUND IRON PIPE
○-U.P.	EXIST. UTILITY POLE	☒	ELECTRIC METER	⊙ F	FOUND MONUMENT
○-GP	EXIST. GUY POLE	☒	WATER METER	⊙ F IR	FOUND IRON ROD
☒	GUY WIRE	☒	GAS METER	⊙ F IR	CONTROL PT.
☒	ELEC. TRANSFORMER	☒	GAS LINE MARKER	⊙ GFC	EXIST. FLAG POLE
☒	EXIST. OVERHEAD UTILITY LINE	☒	FIBER OPTIC MARKER	☒ VC	EXIST. GAS FILLER CAP
☒	EXIST. LIGHT POLE	☒	PEDESTRIAN CROSSING SIGNAL	☒ ds	EXIST. VEHICLE CHARGING STATION
☒	EXIST. TELEPHONE LINE	☒	TRAFFIC SIGNAL CONTROL BOX	☒ S-PK	EXIST. DOWNSPOUT
☒	EXIST. ELECTRIC LINE	☒	POST	☒ S	SIGN
☒	EXIST. GAS LINE	☒	EXIST. LIGHT BOLLARD	☒ S	SET P.K. NAIL
☒	EXIST. GAS VALVE	☒	TREE OR BRUSH LIMIT	☒ S	SET IRON ROD
☒	EXIST. FIBER OPTIC LINE	☒	EXIST. BOULDER		EXIST. BIKE RACK
☒	EXIST. WATER MAIN	☒	EXIST. SPRINKLER HEAD		
☒	EXIST. GATE VALVE IN BOX				
☒	EXIST. GATE VALVE IN WELL				

NOTES:

- 1.) This survey was prepared using Absolute Title, Inc. title commitment No. 86167 Rev.4 with an effective date of July 10, 2019.
- 2.) The parcel herein described is in Zone X (unshaded); the area determined to be outside the 500-year flood hazard, per Federal Emergency Management Agency flood insurance rate map #26161C0401E, effective date; April 3, 2012.
- 3.) The address is: 777 E. Eisenhower Pkwy., Ann Arbor, Mi.
- 4.) Unit 1 contains 1.15 acres of land.
- 5.) No visible wetland delineation flags were found on site.

SCALE: 1" = 40'

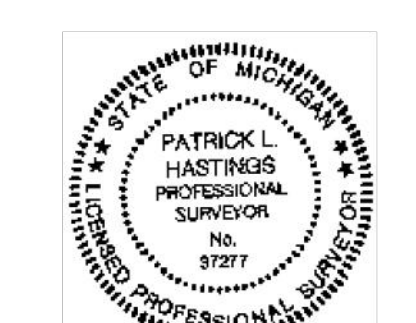


STATE STREET (VARIABLE WIDTH - PUBLIC)
WEST LINE SECTION 4, T3S, R6E & CENTERLINE STATE STREET

EISENHOWER PARKWAY (VARIABLE WIDTH - PUBLIC)
SOUTH LINE SECTION 4, T3S, R6E & CENTERLINE EISENHOWER PARKWAY

BOARDWALK DRIVE (80.00' WIDE - PUBLIC)
EX. BITUMINOUS ROAD

09-12-04-200-016
3001 S. STATE ST.
UNIVERSITY OF MICHIGAN REGENTS FLEMING
ADMINISTRATION BLDG.



To: Sevens Associates, LLC a Delaware limited liability company, Wells Fargo Bank, N.A., its successors and/or assigns, and Stewart Title Guaranty Company and its issuing agent, Absolute Title, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6b, 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 13, 16, 18, 19 and 20 of Table A thereof. The fieldwork was completed on July 23, 2019.

MIDWESTERN CONSULTING, LLC
By: *Patrick L. Hastings*
Patrick L. Hastings, P.S. No. 37277 (plh@midwesternconsulting.com)
Date: August 23, 2019.

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777 EISENHOWER
ALTA/NSPS LAND TITLE SURVEY OF A 10.48 ACRE PARCEL
OF LAND LOCATED IN THE SW 1/4 OF SECTION 4, T3S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

03

JOB No. **23142**
DATE: 7/31/18
SHEET 1 OF 6
REV. DATE: 7/23/19
REVISED PER: ANV COMMENTS
AGUED ZONING REPORT
REVISED PER: NEW TITLE COMMITMENT
REVISED PER: NEW TITLE COMMITMENT
REVISED PER: NEW TITLE COMMITMENT

LEGAL DESCRIPTION

Unit 1, State-Eisenhower Condominium, according to the Master Deed recorded in Liber 5311, Pages 492, Washtenaw County Records, and amended by First Amendment to the Master Deed as recorded in Liber 5316, Page 457, Washtenaw County Records, designated as Washtenaw County Condominium Subdivision Plan No. 688, together with rights in Unit 2 general common elements and limited common elements as set forth in the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended;

Together with the non-exclusive easements granted in Reciprocal Easement Agreement, recorded February 14, 1989, in Liber 2295, Page 913, Washtenaw County Records, as modified by Easement Release and Modification Agreement recorded in Liber 3131, Page 752, Washtenaw County Records;

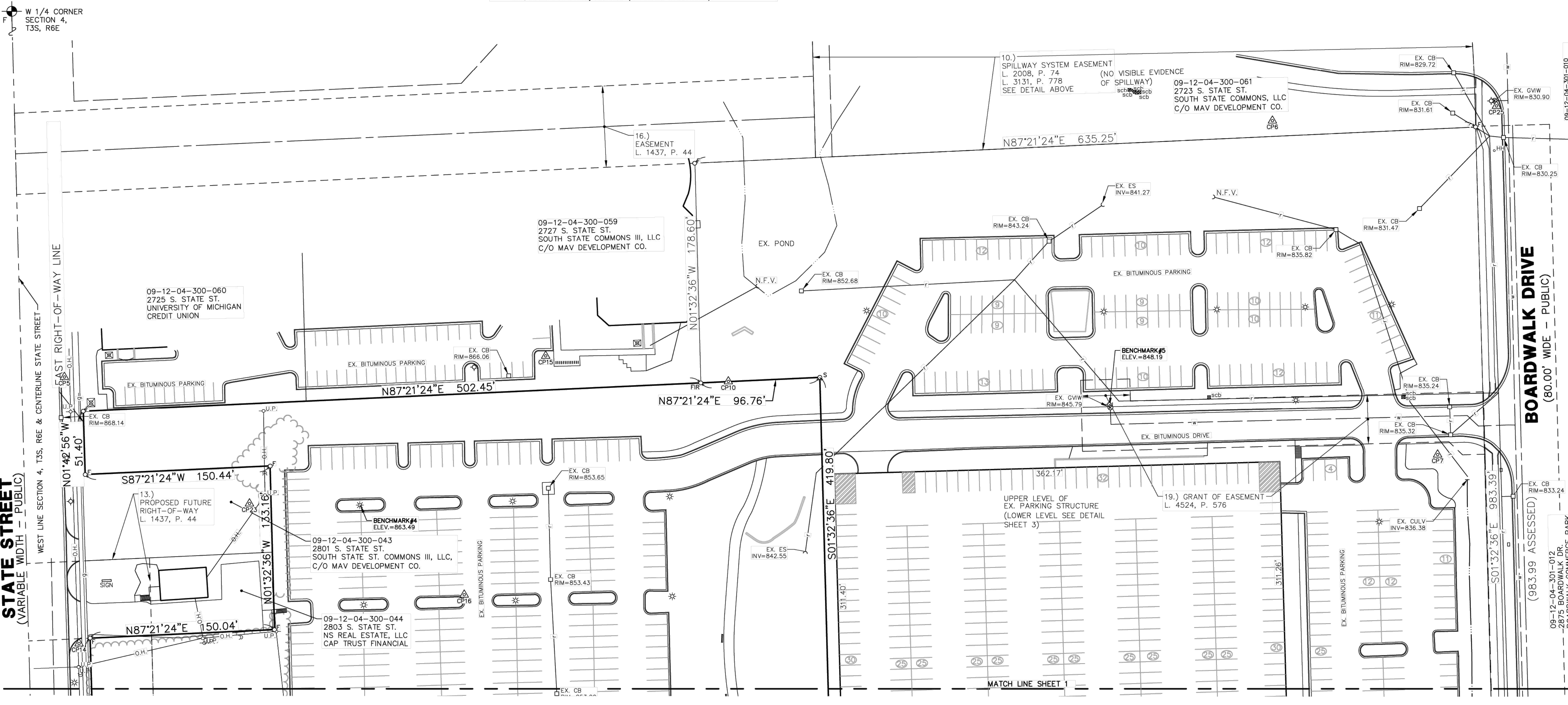
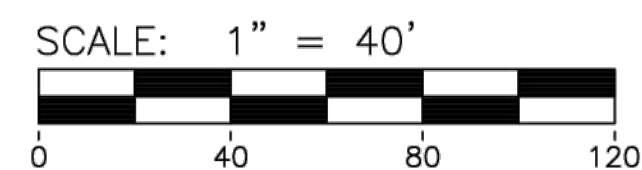
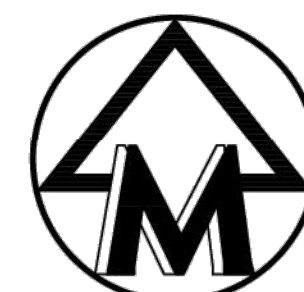
Together with the non-exclusive easement for the use of 567 parking spaces located on adjacent property, and a non-exclusive easement of access to the use of said parking spaces, appurtenant to the above-described property, granted in that Garage Parking Easement, dated as of December 12, 2017, by and between CIG Eisenhower LLC and EQC Operating Trust, recorded December 14, 2017 in Liber 5236, Page 925, Washtenaw County Records;

Together with the non-exclusive easements for shared driveways and walkways and storm drainage installations, appurtenant to the above-described property, granted in that Reciprocal Easement Agreement, dated as of December 12, 2017, by and between EQC Operating Trust and CIG Eisenhower LLC, recorded December 14, 2017 in Liber 5236, Page 926, Washtenaw County Records;

Together with the non-exclusive easement for the use of a portion of an enclosed pedestrian bridge (the "Skywalk"), appurtenant to the above-described property, granted in that Skywalk Easement Agreement, dated as of December 12, 2017, by and between EQC Operating Trust and CIG Eisenhower LLC, recorded December 14, 2017 in Liber 5236, Page 927, Washtenaw County Records.

Being Subject to:

8. Right of Way in favor of The Detroit Edison Company, as recorded in Liber 1446, Page 856, Washtenaw County Records, as generally depicted on ALTA/NSPS Land Title Survey prepared by Patrick L. Hastings, P.S., dated July 31, 2018, and last revised August 5, 2019, Job No. 18244 (the "Survey"). (PLOTTED)
9. Easement in favor of the City of Ann Arbor, as recorded in Liber 1423, Page 467, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
10. Easement Agreement, as recorded in Liber 2008, Page 74, Washtenaw County Records, and modified by instrument recorded in Liber 3131, Page 778, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
11. 777 Office Campus Site Development Agreement, as recorded in Liber 2282, Page 343, Washtenaw County Records, and modified by instrument recorded in Liber 3131, Page 767, Washtenaw County Records. (BLANKET IN NATURE)
12. Reciprocal Easement Agreement, as recorded in Liber 2295, Page 913, Washtenaw County Records, and modified by instrument recorded in Liber 3131, Page 752, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
13. Maintenance Agreement, as recorded in Liber 2295, Page 924, Washtenaw County Records, and modified by instrument recorded in Liber 3131, Page 752, Washtenaw County Records, as generally depicted on the aforesaid Survey. (BLANKET IN NATURE)
14. 777 Eisenhower Parkway Phase II Development Agreement, as recorded in Liber 4175, Page 244, Washtenaw County Records. (BLANKET IN NATURE)
15. Building and use restrictions contained in instrument recorded in Liber 1183, Page 328, Washtenaw County Records, but omitting any such covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin. (NOTHING TO PLOT)
16. Conditions as disclosed by instrument recorded in Liber 1437, Page 44, Washtenaw County Records, and modified by instrument recorded in Liber 5072, Page 806, Washtenaw County Records. (PLOTTED)
17. Covenant Agreement with the City of Ann Arbor, as recorded in Liber 4428, Page 395, Washtenaw County Records. (BLANKET IN NATURE)
18. Perpetual Maintenance Agreement with the City of Ann Arbor, as recorded in Liber 4440, Page 54, Washtenaw County Records. (BLANKET IN NATURE)
19. Grant of Easement to the City of Ann Arbor, as recorded in Liber 4524, Pages 574, 575, and 576, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
20. Garage Parking Easement, as recorded in Liber 5236, Page 925, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
21. Reciprocal Easement Agreement, as recorded in Liber 5236, Page 926, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
22. Skywalk Easement Agreement, as recorded in Liber 5236, Page 927, Washtenaw County Records, as generally depicted on the aforesaid Survey. (PLOTTED)
23. Parking Garage Space Lease Agreement, as recorded in Liber 5236, Page 928, Washtenaw County Records. (PLOTTED)
24. Parking Garage Operation and Maintenance Agreement, as recorded in Liber 5236, Page 929, Washtenaw County Records. (PLOTTED)
25. Terms, conditions, and provisions regarding land division and farming rights contained in the instrument recorded in Liber 5273, Page 12, Washtenaw County Records. (BLANKET IN NATURE)
26. Rights of co-owners of State-Eisenhower Condominium, in general common elements and limited common elements, as set forth in the Master Deed recorded in Liber 5311, Page 492, Washtenaw County Records, as amended by First Amendment to the Master Deed as recorded in Liber 5316, Page 457, Washtenaw County Records, as amended and as described in Act 59 of the Public Acts of 1978, as amended and all of the terms and conditions, regulations, restrictions, easements, and other matters, as set forth in the above described Master Deed and Statute. (BLANKET IN NATURE)
27. Power poles and overhead lines as shown on ALTA/NSPS Land Title Survey prepared by Patrick L. Hastings, P.S., dated July 31, 2018, and last revised August 5, 2019, Job No. 18224. (PLOTTED)



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777 EISENHOWER
ALTA/NSPS LAND TITLE SURVEY OF A 10.48 ACRE PARCEL
OF LAND LOCATED IN THE SW 1/4 OF SECTION 4, T3S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

JOB No.	23142
REVISIONS:	DATE: 7/31/18
Revised per ATN comments	REV. DATE
Agreed Zoning Report	7/23/18
Revised per new title commitment	8/17/18
Revised per new title commitment	8/5/19
Revised per new title commitment	8/29/19
Revised per new title commitment	08/23/19
Revised per new title commitment	10/23/19
DATE:	7/31/18
SHEET	2 OF 6
CADD:	
ENG:	
PLH:	
TECH:	
RFG:	
18224-ALTA-1844	

ZONING:

Zoning information taken from PZR Report dated: 07/25/2019

Zone: "O" Office District

Setbacks: Front - 15 feet
Side/Rear - None Required When Abutting Nonresidential

Maximum Building Height: No Limit When Abutting Nonresidential

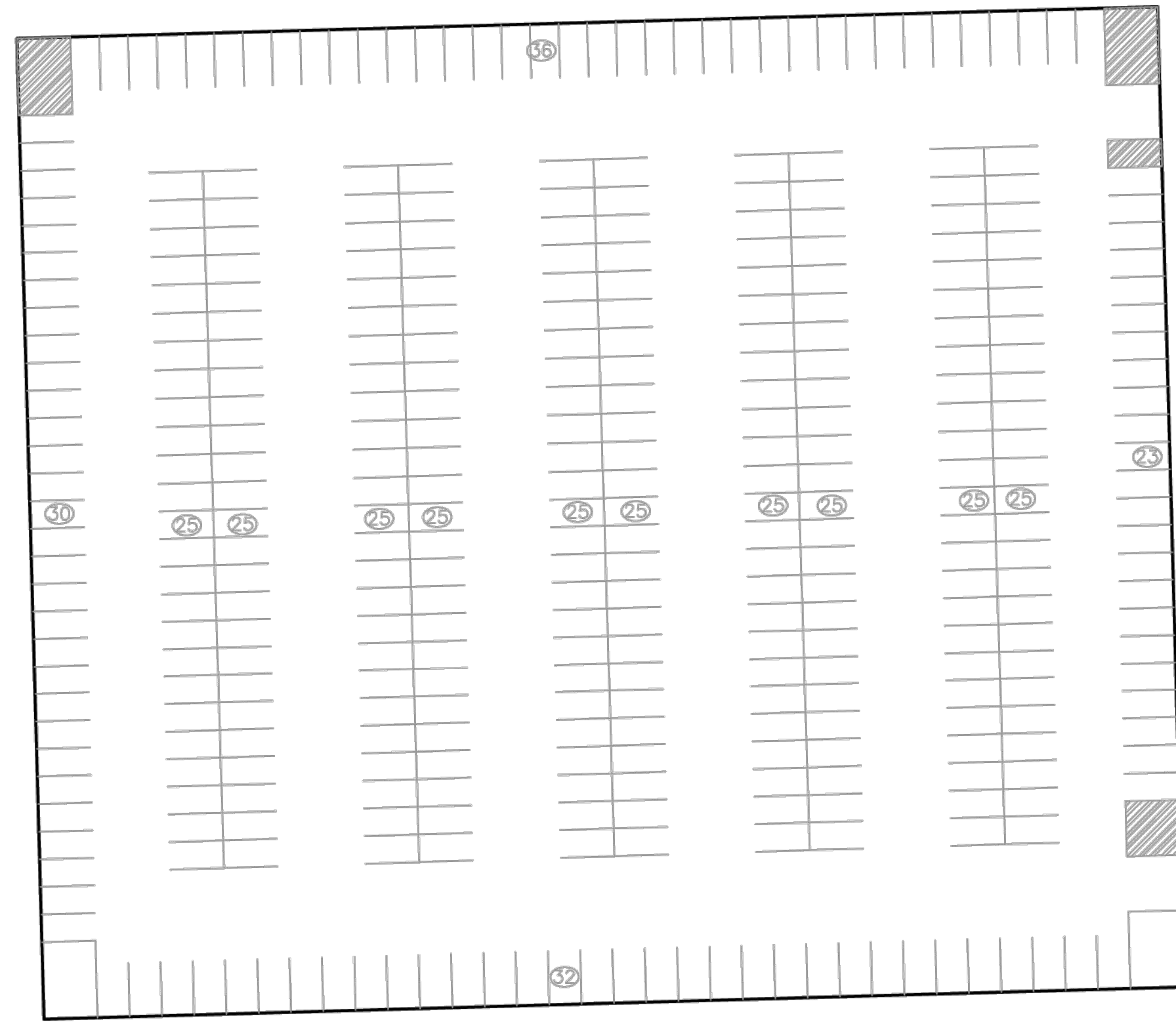
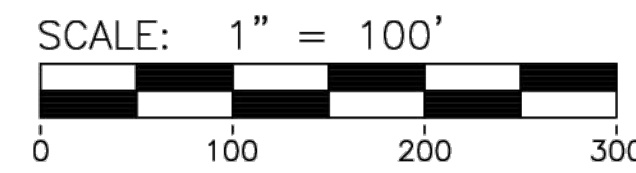
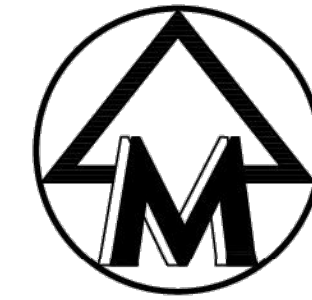
Building Site Area Requirements:
Minimum Lot Area - 6,000 Sq.Ft.
Minimum Lot Width - 50 Feet

Density: Maximum Floor Area 75%

Parking: Minimum 1 Space Per 333 Sq.Ft. - 818 Spaces
Maximum 1 Space Per 250 Sq.Ft. - 1,089 Spaces

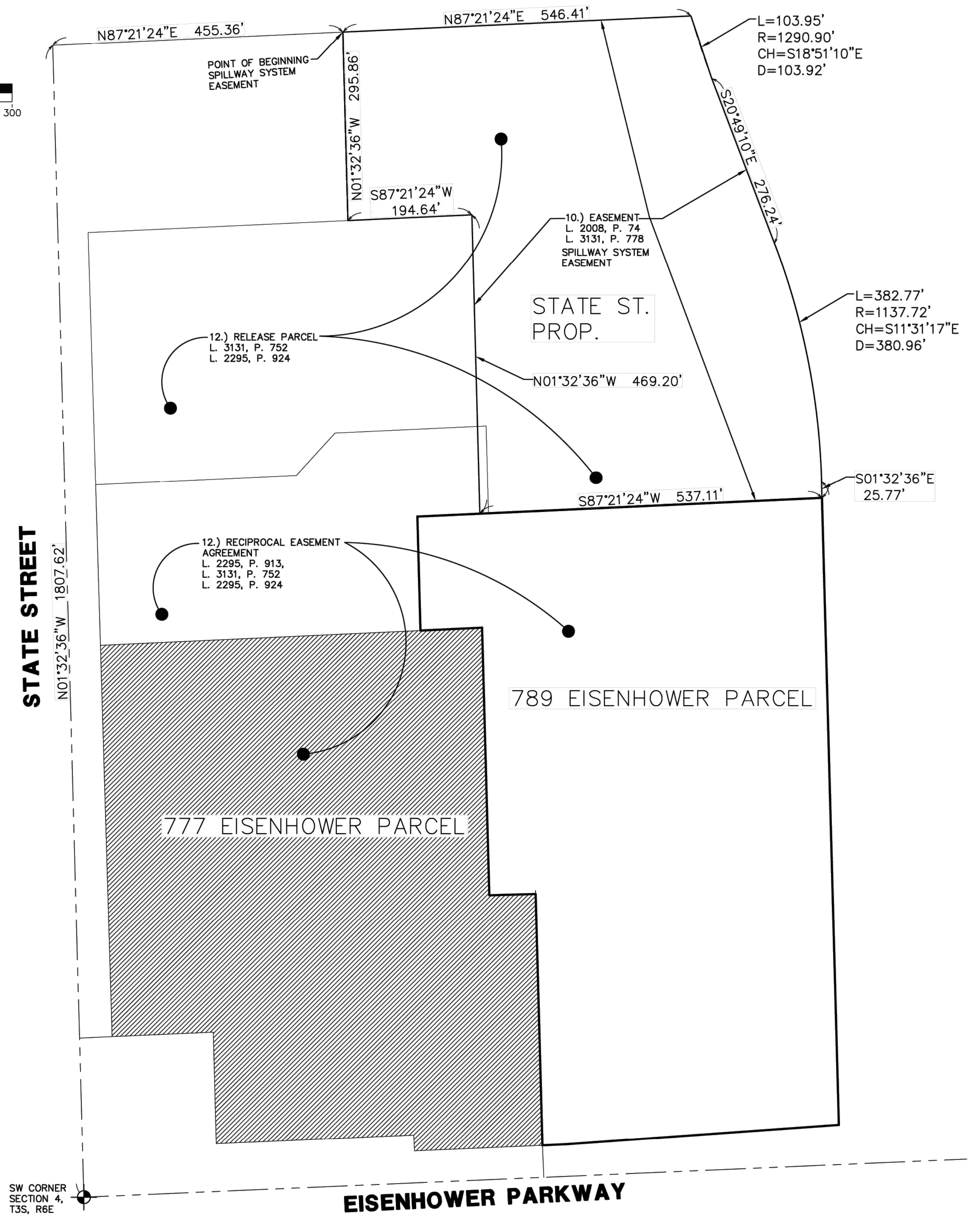
* While there are physically 452 parking spaces on the newly proposed (Unit 1) west parcel and 1046 spaces located on the east parcel a lease, easement and maintenance and use agreement between the two properties will provide for 567 spaces in the parking deck to be assigned to exclusive use of the west parcel. Final parking spaces allocation shall be 1019 spaces to the west parcel and 479 spaces to the east parcel.

Per the Master Deed, dated July 3rd, 2019, "No modifications can be made to existing parking facilities within Unit 2 which are for the benefit of Unit 1 which reduces the number of parking spaces below the number of spaces required by the City of Ann Arbor pursuant to the site plan for unit 1 as previously approved by the City unless the Developer makes available for the benefit of Unit 1 an equivalent number of substitute parking spaces as will satisfy applicable municipal parking ordinances and in reasonably equivalent locations within Unit 2 or its adjoining parking easements appurtenant to Unit 2."



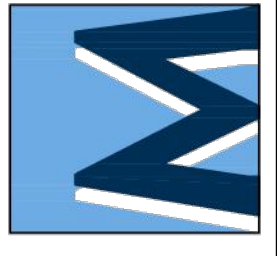
DETAIL - LOWER LEVEL OF PARKING STRUCTURE

EASEMENT DETAIL & VICINITY MAP:



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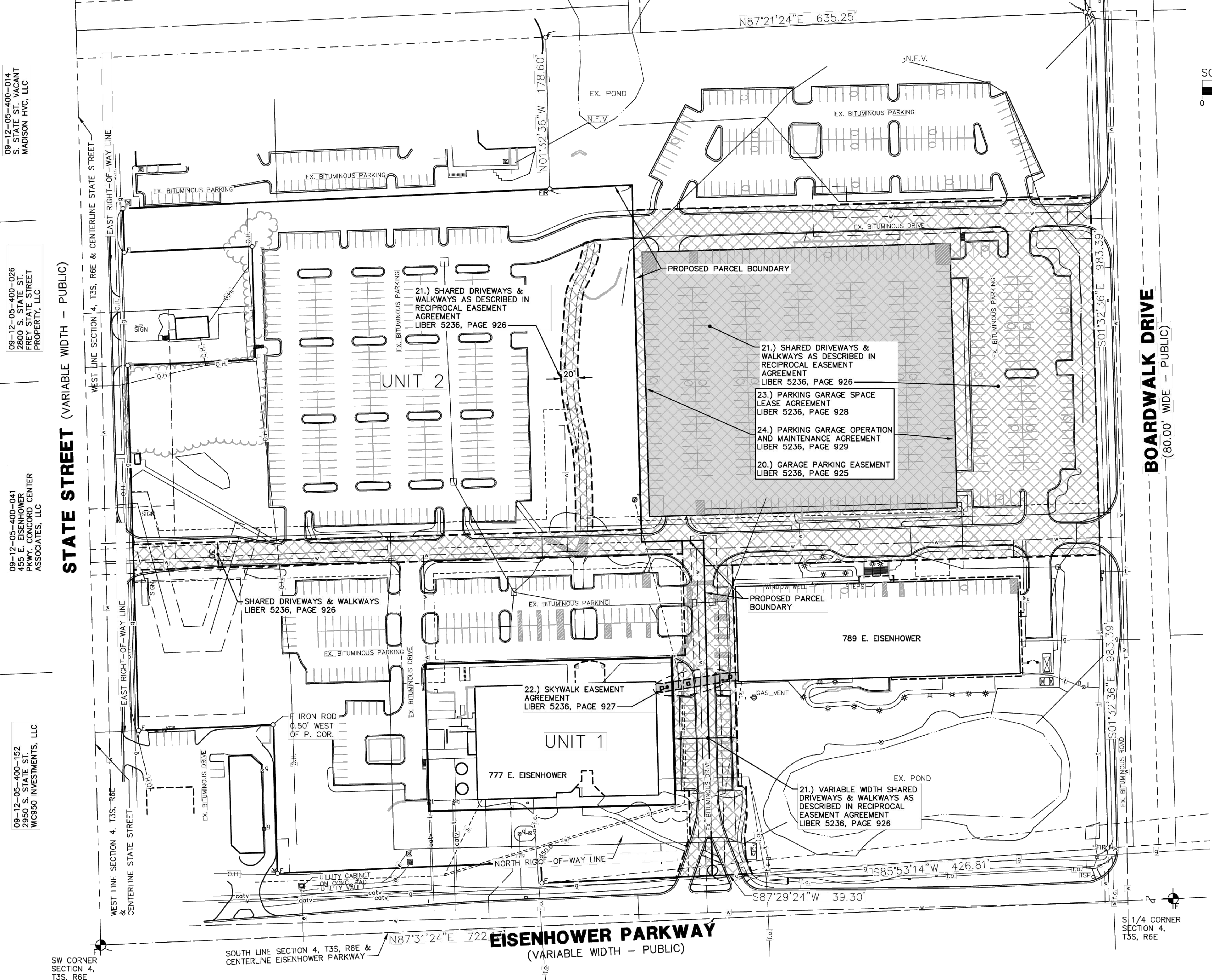
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777 EISENHOWER
ALTA/NSPS LAND TITLE SURVEY OF A 10.48 ACRE PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 4, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

05

JOB No. 23142	DATE: 7/31/18	SHEET 3 OF 6
REVISIONS:	REV. DATE	CADD:
Revised per ATY comments	7/23/19	ENG:
Added Zoning Report	8/17/19	PM:
Revised per new title commitment	8/5/19	TECH:
Revised per new title commitment	8/28/19	RGF
18224-ALT1A-777.dwg		
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09-12-05-400-014
S. STATE ST. VACANT
MADISON HVC, LLC

09-12-05-400-026
2800 S. STATE ST.
REC'D STATE STREET
PROPERTY, LLC

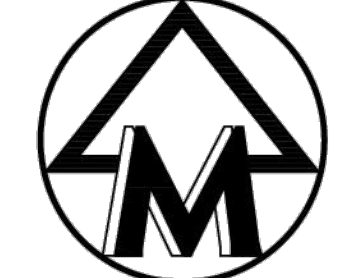
09-12-05-400-041
455 E. EISENHOWER
PKWY, CONCORD CENTER
ASSOCIATES, LLC

09-12-05-400-152
2950 S. STATE ST.
WIC950 INVESTMENTS, LLC

STATE STREET (VARIABLE WIDTH - PUBLIC)

EISENHOWER PARKWAY
(VARIABLE WIDTH - PUBLIC)

BOARDWALK DRIVE
(80.00' WIDE - PUBLIC)



SCALE: 1" = 60'
0 60 120 180



JOB No. 23142

DATE: 7/31/18
SHEET 4 OF 6

REVISIONS:	REV.	DATE	BY	APP.
Revised per ATN comments	1	7/23/18	CADD:	
Agreed Zoning Report	2	8/17/18	ENG:	
Revised per new title commitment	3	8/5/19	PM:	PLH
Revised per new title commitment	4	8/28/19	TECH:	RGF
Revised per new title commitment	5	10/24/19	TECH:	RGF

777 EISENHOWER

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OF LAND LOCATED IN THE SW 1/4 OF SECTION 4, T3S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

06

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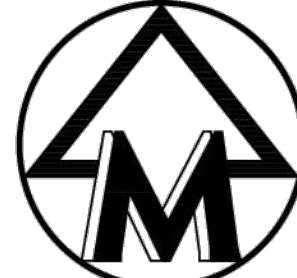
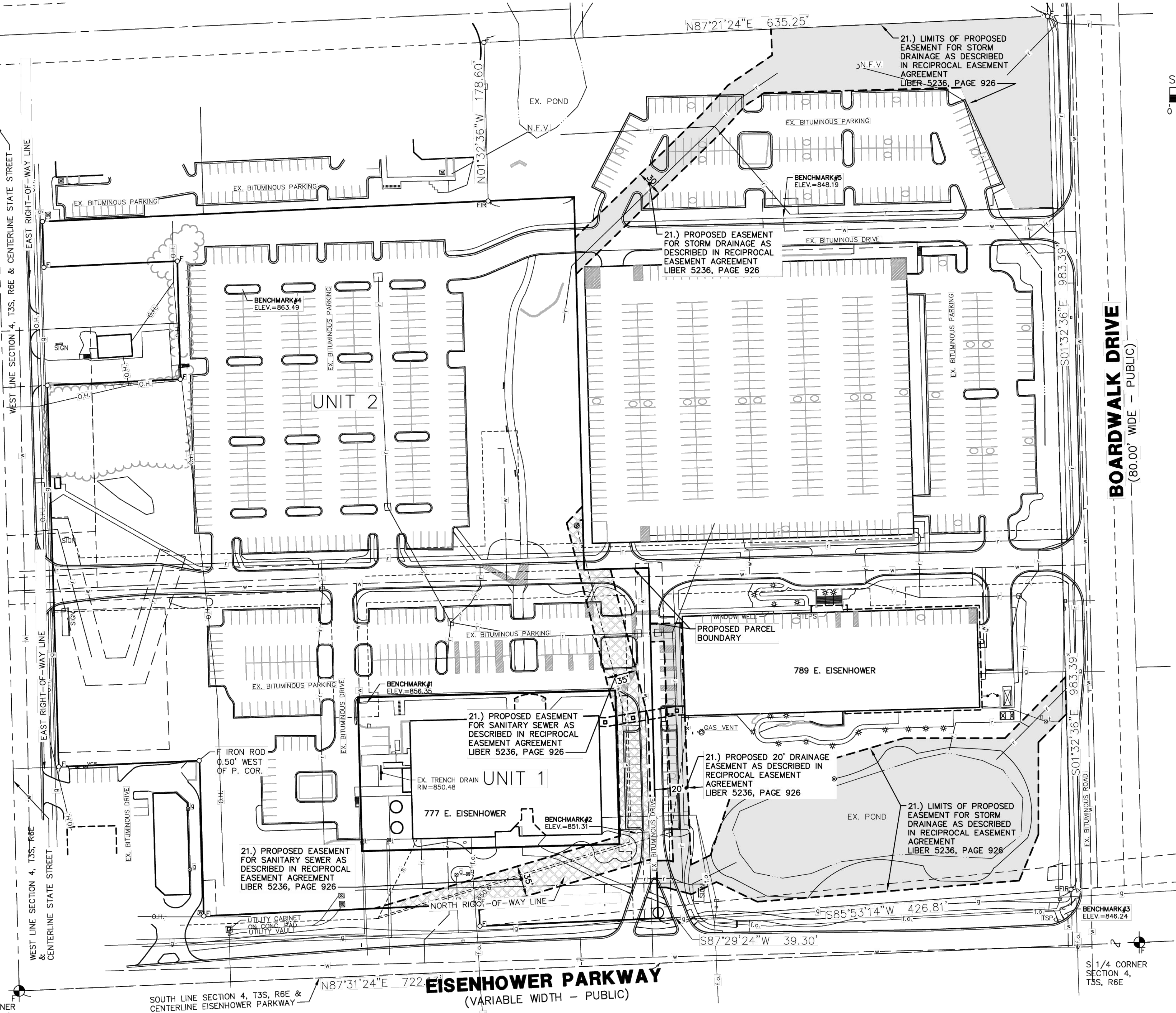
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STATE STREET (VARIABLE WIDTH - PUBLIC)

SW CORNER SECTION 4, T3S, R6E



SCALE: 1" = 60'



JOB No. 23142

DATE: 7/31/18

SHEET 5 OF 6

REV. DATE

7/23/19

ADD:

8/7/19

ENG: PLH

8/5/19

PM: PLH

8/28/19

TECH: RGF

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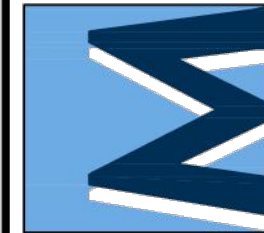
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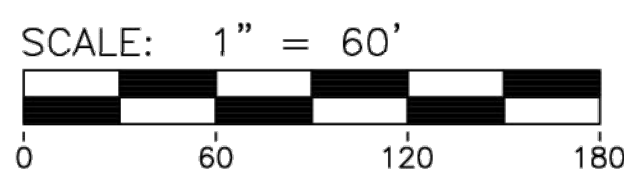
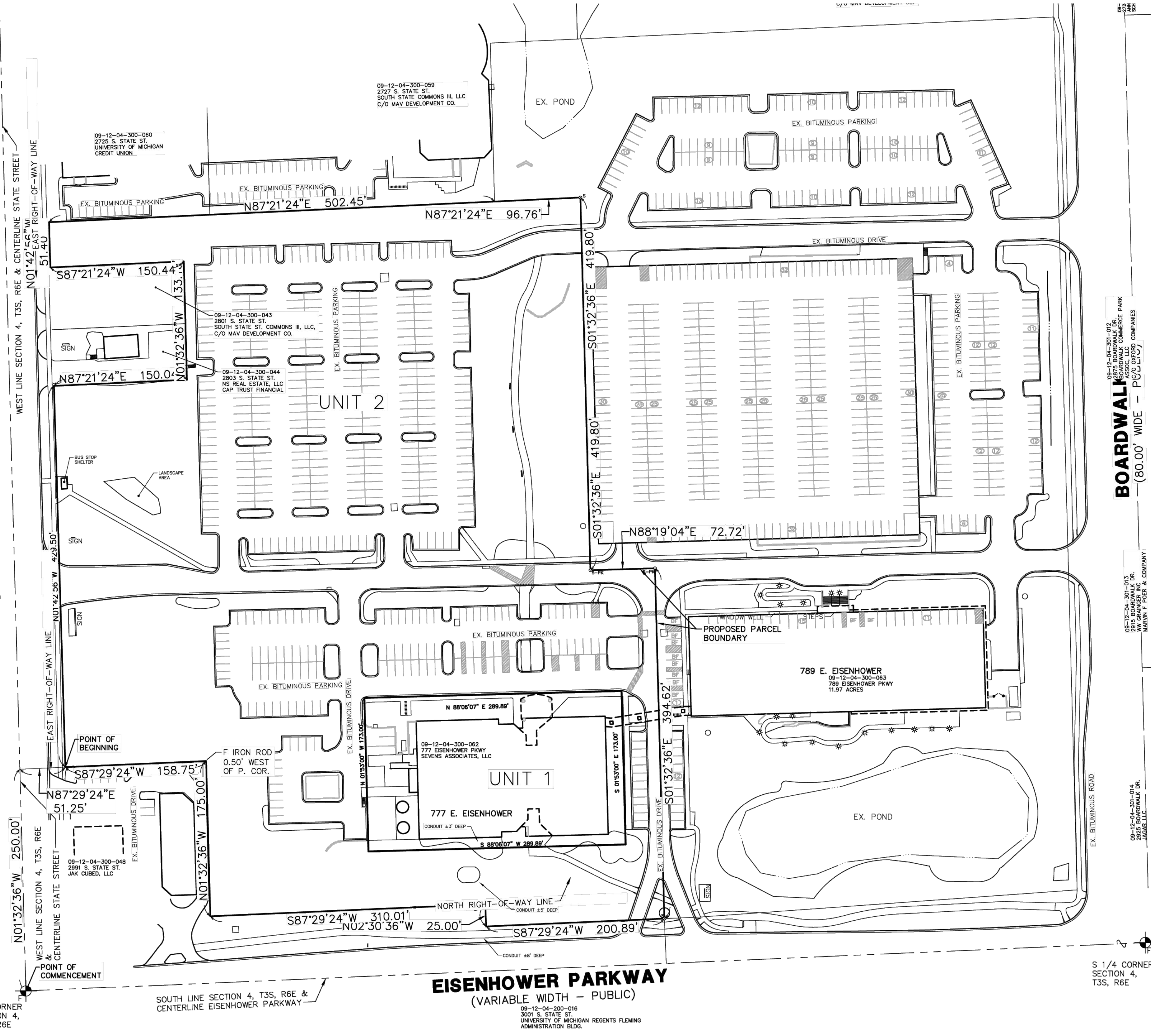
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07

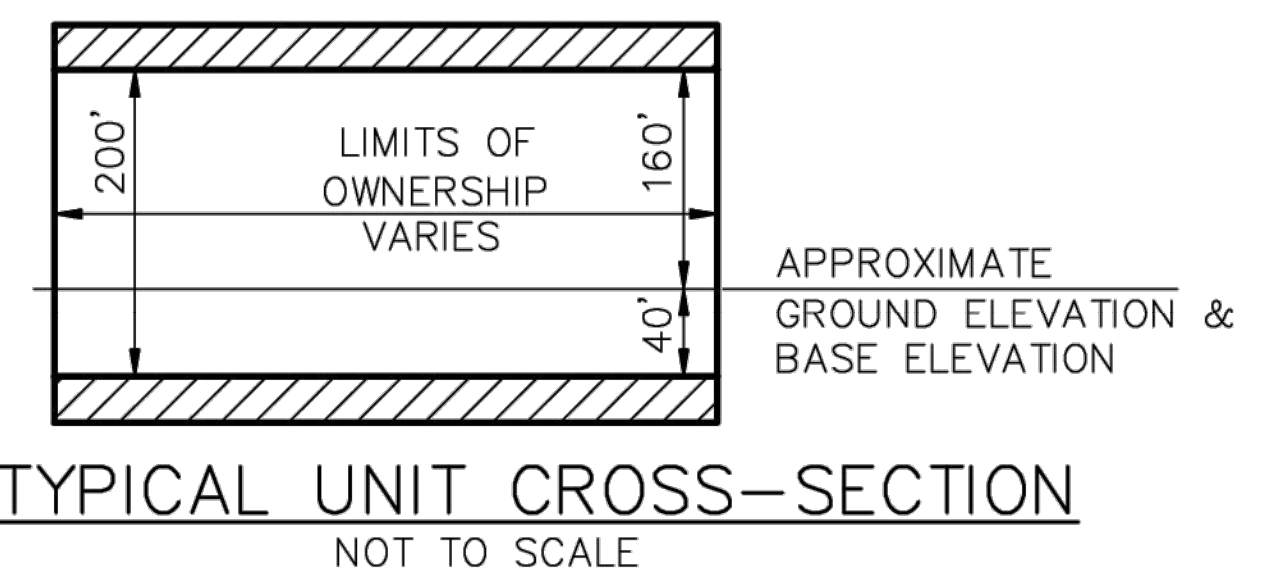
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STATE STREET (VARIABLE WIDTH - PUBLIC)



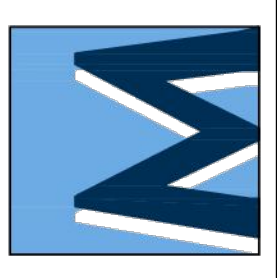
LEGEND

- SET MONUMENT
- SET IRON
- ⊙ SPK. SET SPIKE IN PAVEMENT
- UNIT 1 LIMITS OF OWNERSHIP (UNIT)
- 7 PROPERTY CORNER AND UNIT COORDINATE
- ▨ GENERAL COMMON ELEMENT



BOARDWALK
(80.00' WIDE - PUBLIC)

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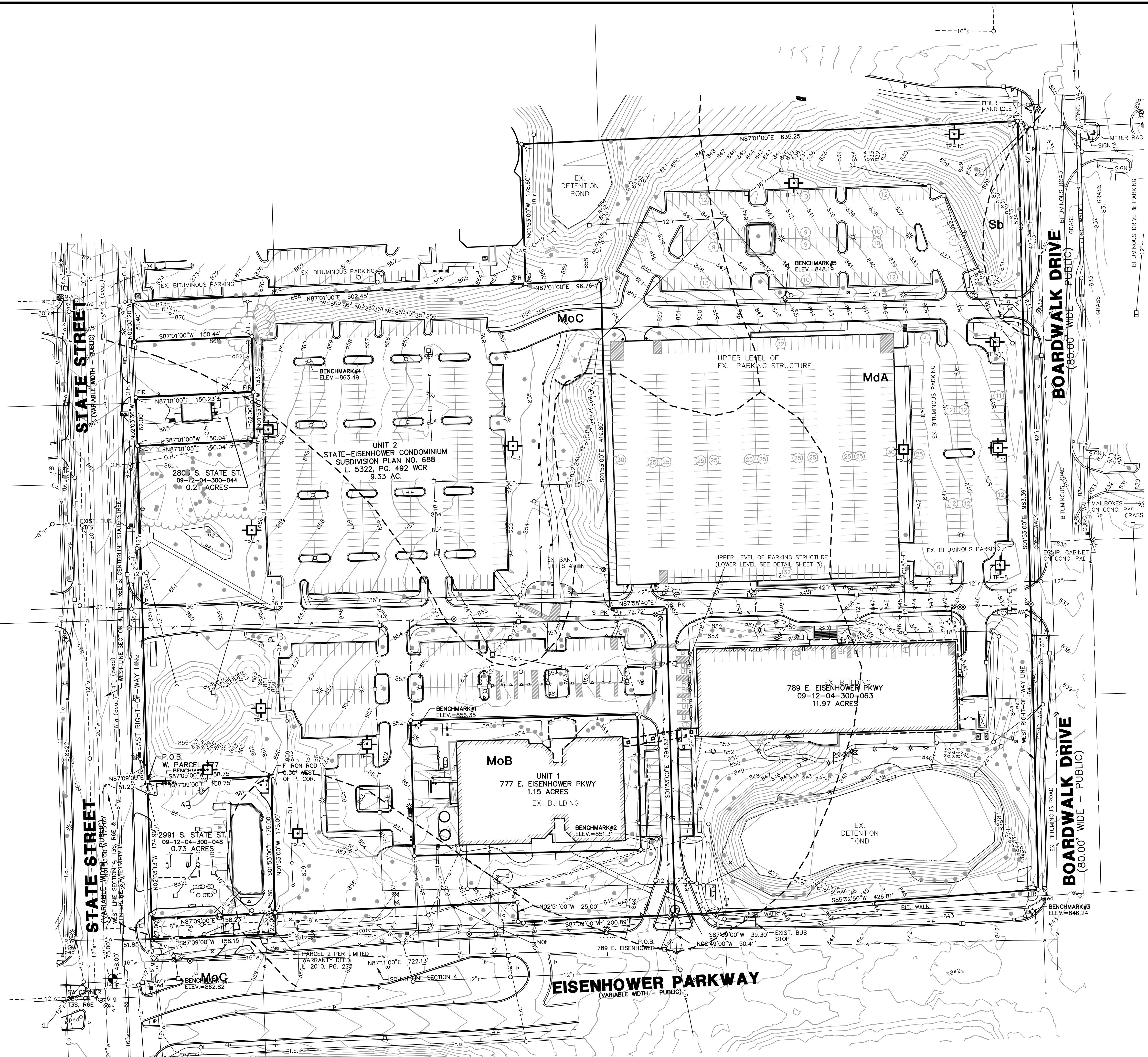


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 OF LAND LOCATED IN THE SW 1/4 OF SECTION 4, T3S, R6E,
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

08

JOB No.	23142
DATE:	7/31/18
REV. DATE	7/31/18
REVISIONS:	SHEET 6 OF 6
Revised per ATN comments	CADD:
Agreed Zoning Report	8/17/19
Revised per new title commitment	ENG:
Revised per new title commitment	8/5/19
	PM:
	8/28/19
	TECH:
	1824_ALA-777.dwg
	EBJ/ptj



811
 Know what's below.
 Call before you dig.

M

SCALE: 1" = 60'

LEGEND

838	EXIST. CONTOUR
x836.2	EXIST. SPOT ELEVATION
U.P.	EXIST. UTILITY POLE
GP	EXIST. GUY POLE
GUY WIRE	GUY WIRE
ELEC. TRANSFORMER	ELEC. TRANSFORMER
OH	EXIST. OVERHEAD UTILITY LINE
L	EXIST. LIGHT POLE
e	EXIST. TELEPHONE LINE
g	EXIST. ELECTRIC LINE
g	EXIST. GAS LINE
f.o.	EXIST. GAS VALVE
w	EXIST. FIBER OPTIC LINE
WATER MAIN	EXIST. WATER MAIN
HYDRANT	EXIST. HYDRANT
GATE VALVE IN BOX	EXIST. GATE VALVE IN BOX
GATE VALVE IN WELL	EXIST. GATE VALVE IN WELL
TELEPHONE RISER	TELEPHONE RISER
CABLE TELEVISION RISER	CABLE TELEVISION RISER
ELECTRIC METER	ELECTRIC METER
WATER METER	WATER METER
GAS METER	GAS METER
GAS LINE MARKER	GAS LINE MARKER
FIBER OPTIC MARKER	FIBER OPTIC MARKER
PEDESTRIAN CROSSING SIGNAL	PEDESTRIAN CROSSING SIGNAL
TRAFFIC SIGNAL CONTROL BOX	TRAFFIC SIGNAL CONTROL BOX
POST	POST
*	EXIST. LIGHT BOLLARD
☁	TREE OR BRUSH LIMIT
⊙	EXIST. BOULDER
☼	EXIST. SPRINKLER HEAD
X	EXIST. CURB STOP & BOX
○	EXIST. BLOW-OFF
○	EXIST. STORM SEWER
○	EXIST. CATCH BASIN OR INLET
○	EXIST. BEEHIVE INLET
○	END SECTION
○	HEAD WALL
○	CULVERT
○	EXIST. SANITARY SEWER
○	EXIST. CLEANOUT
○	C/L OF DITCH
○	SIGN
○	MAILBOX
○	EXIST. BENCH
○	SECTION CORNER
○	FOUND IRON PIPE
○	FOUND MONUMENT
○	FOUND IRON ROD
○	CONTROL PT.
○	EXIST. FLAG POLE
○	EXIST. GAS FILLER CAP
○	EXIST. VEHICLE CHARGING STATION
○	EXIST. DOWNSPOUT
○	SET P.K. NAIL
○	SET IRON ROD
	EXIST. BIKERACK

- NOTES**
- THE BASE SURVEY WAS PREPARED BY MIDWESTERN CONSULTING. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
 - THERE ARE NO WETLANDS ON-SITE.
 - THERE ARE NO FLOODPLAIN PER FIRM MAP NUMBER 26161C0401E DATED APRIL 3, 2012.

SOILS
 BASED ON SOIL SURVEY OF WASHTENAW COUNTY MICHIGAN

MdA - MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES
 MoB - MORLEY LOAM, 2 TO 6 PERCENT SLOPES
 MoC - MORLEY LOAM, 6 TO 12 PERCENT SLOPES
 Sb - SEBEWA LOAM

MIDWESTERN CONSULTING
 3815 Plaza Drive Ann Arbor, Michigan 48108
 (734) 995-0200 • www.midwesternconsulting.com

ARBOR SOUTH
 SITE PLAN
 EXISTING CONDITIONS PLAN

09

DATE: 03/06/24
 SHEET 09 OF 119
 CADD: CTS/STG
 ENG: TPH
 PM: TIC
 SEC: JCB
 PLAN: 3142E30

CLIENT
 CIG EISENHOWER LLC
 6640 RIVERSIDE DR., SUITE 500
 DUBLIN, OHIO 43017
 TODD JOHNSON
 380-232-2567

JOB No. **23142**
 REVISIONS:

NOT FOR CONSTRUCTION

M:\C:\1\134_P\01\2023\33142\Site Plan\23142E30.dwg, 5/16/2024, 12:31 PM, Chr L T. Samers, 10 LEGAL DESCRIPTIONS, None
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LEGAL DESCRIPTION (777 EISENHOWER)

(PER STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. 2130098-A, COMMITMENT DATE: May 16, 2023)

Unit No. 1 and 2, STATE-EISHENHOWER CONDOMINIUM, according to the Master Deed recorded in Liber 5311, Page 492, and First Amendment to Master Deed recorded in Liber 5316, Page 457, as amended, and designated as Washtenaw County Condominium Subdivision Plan No. 688, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

LEGAL DESCRIPTION (789 EISENHOWER)

(PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1158790-LA2, DATED: DECEMBER 8, 2022)

Land in the City of Ann Arbor, Washtenaw County, Michigan, described as follows:

Commencing at the Southwest corner of Section 4, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan, thence North 87 degrees 11 minutes 00 seconds East 722.13 feet along the South line of said Section and the centerline of Eisenhower Parkway, thence North 02 degrees 49 minutes 00 seconds West 50.41 feet to a point on the Northerly right-of-way line of Eisenhower Parkway, said point being the Point of Beginning; thence North 01 degrees 53 minutes 00 seconds West 394.62; thence South 87 degrees 58 minutes 40 seconds West 72.72 feet; thence North 01 degrees 53 minutes 00 seconds West 419.80 feet; thence South 87 degrees 01 minutes 00 seconds West, 96.76; thence North 01 degrees 53 minutes 00 seconds West 178.60 feet; thence North 87 degrees 01 minutes 00 seconds East 635.25 feet; thence South 01 degrees 53 minutes 00 seconds East 983.39 feet; (983.99 feet assessed) along the Westerly right-of-way line of Boardwalk Drive to a point on the Northerly right-of-way line of Eisenhower Parkway; thence along said right-of-way line in the following courses: South 85 degrees 32 minutes 50 seconds West 426.81 feet, South 87 degrees 09 minutes 00 seconds West 39.30 feet to the Point of Beginning, being a part of the Southwest 1/4 of Section 4, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan.

Together with an easement for Spillway System over the following described property: Commencing at the Southwest corner of Section 4, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan, thence North 01 degrees 53 minutes 00 seconds West 1807.62 feet along the West line of said Section and the centerline of State Road, thence North 87 degrees 01 minutes 00 seconds East 455.36 feet to the Point of Beginning; thence continuing North 87 degrees 01 minutes 00 seconds East 546.41 feet; thence along the Westerly right-of-way line of Boardwalk Drive in the following courses: Southerly 103.95 feet along the arc of a 1290.90 foot radius circular curve to the left through a central angle of 04 degrees 36 minutes 49 seconds and having a chord which bears South 18 degrees 51 minutes 10 seconds East 103.95 feet, South 21 degrees 09 minutes 34 seconds East 276.24 feet, Southerly 382.77 feet along the arc of a 1137.72 foot radius circular curve to the right through a central angle of 19 degrees 16 minutes 34 seconds and having a chord which bears South 11 degrees 31 minutes 17 seconds East 380.96 feet and South 01 degrees 53 minutes 00 seconds East 25.77 feet; thence South 87 degrees 01 minutes 00 seconds West 537.11 feet; thence North 01 degrees 53 minutes 00 seconds West 469.20 feet; thence South 87 degrees 01 minutes 00 seconds West 194.64 feet; thence North 01 degrees 53 minutes 00 seconds West 295.86 feet to the Point of Beginning, being a part of the West 1/2 of the Southwest 1/4 of Section 4, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan.

Together with the non-exclusive easements granted in Reciprocal Easement Agreement, recorded February 14, 1989 in Liber 2295, Page 913, Washtenaw County Records, as affected by Easement Release and Modification Agreement recorded in Liber 3131, Page 752.

Together with non-exclusive easement(s) as created, limited and defined in Reciprocal Easement Agreement dated December 12, 2017 and recorded in Liber 5236, page 926.

LEGAL DESCRIPTION (2991 STATE STREET)

(PARCEL 1 - PER ABSOLUTE TITLE AGENCY, COMMITMENT NO. 81-22843397-ANN, COMMITMENT DATE: JULY 1, 2022)

The land referred to in this search is described as follows: City of Ann Arbor, County of Washtenaw, State of Michigan

Part of the Southwest 1/4, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, commencing at the Southwest corner of Section 4; thence North 1°53' West 75 feet for a Point of Beginning; thence continuing North 1°53' West 175 feet; thence North 87°0' East 210 feet; thence South 1°53' East 175 feet; thence South 87°9' West 210 feet to the Point of Beginning. Except that part lying in South State Street, also beginning at a point North 01°53'00" West 48 feet and North 87°9'00" East 51.85 feet from the Southwest corner of Section 4; thence North 2°31'3" West 27 feet; thence North 87°9'00" East 158.23 feet; thence South 01°53'00" East 27 feet; thence South 87°9'00" West 158.15 feet to the Point of Beginning.

(PARCEL 2 - PER LIMITED WARRANT DEED, RECORDED IN LIBER 2010, PAGE 275, WASHTENAW COUNTY RECORDS)

Part of the Southwest 1/4 of Section 4, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan; being more particularly described as: Beginning at a point distant North 01°53'00" West 48.00 feet; along the West line of said Section 4 and North 87°09'00" East 51.85 feet from the Southwest corner of said Section 4; thence North 02°03'13" West 27.00 feet; thence along the North line of Eisenhower Parkway (200 feet wide) North 87°09'00" East 158.23 feet; thence South 01°53'00" East 27.00 feet; thence South 87°09'00" West 158.15 feet to the Point of Beginning.

EXCEPTIONS

(PER ABSOLUTE TITLE AGENCY, COMMITMENT NO. 81-22843397-ANN, COMMITMENT DATE: JULY 1, 2022)

5. Easement Agreement, as recorded in Liber 1183, Page 276 (PLOTTED - TERMINATED AT THE TIME SANITARY SEWER IS MADE AVAILABLE IN STATE ROAD RIGHT-OF-WAY)

6. Easement Agreement vested in the City of Ann Arbor, as recorded in Liber 2010, Page 276 (PLOTTED)

7. Easement Agreement vested in The Detroit Edison a Michigan Bell Telephone Company, as recorded in Liber 2031, Page 647. (PLOTTED)

8. Oil, gas, and mineral rights along with terms, conditions and provisions contained in deed recorded in Liber 3704, Page 408. (AFFECTS SUBJECT PARCEL - NOT PLOTTABLE)

9. Restrictive Covenant, as recorded in Liber 4417, Page 551. (AFFECTS SUBJECT PARCEL - NOT PLOTTABLE)

10. Access Agreement Granting Rights of Entry, as recorded in Liber 4436, Page 77. (AFFECTS SUBJECT PARCEL - NOT PLOTTABLE)

LEGAL DESCRIPTION (2803 STATE STREET)

(PER ATA NATIONAL TITLE GROUP, LLC, COMMITMENT NO. 81-22850438-ANN, COMMITMENT DATE: AUGUST 25, 2022)

The Land is described as follows: Situated in the City of Ann Arbor, County of Washtenaw, State of Michigan:

Part of the Southwest 1/4 Section 4, Town 3 South, Range 6 East, City of Ann Arbor, Washtenaw County, Michigan, described as: Commencing at the West 1/4 post of Section 4, Town 3 South, Range 6 East, Washtenaw County, Michigan; thence along the West line of the Section and the centerline of State Street South 1° 53' 00" East 1916.78 feet for a Place of Beginning; thence North 87° 01' 00" East 200.0 feet; thence South 1° 53' 00" East 62.0 feet; thence South 87° 01' 00" West 200.0 feet to the West line of the Section and the centerline of State Street; thence along the West line of the Section and the centerline of State Street, North 1° 53' 00" West 62.0 feet to the Place of Beginning. Excepting that portion heretofore conveyed to the City of Ann Arbor for the widening of South State Street described as commencing at the Southwest corner of Section 4, Town 3 South, Range 6 East, in the City of Ann Arbor, Washtenaw County, State of Michigan; thence North 01° 53' 00" West along the West line of said Section 4, a distance of 679.40 feet to the Point of Beginning; thence continuing North 01° 53' 00" West along said West line, 62.00 feet; thence North 87° 01' 00" East 49.77 feet; thence South 02° 03' 20" East, 62.00 feet; thence South 87° 01' 00" West, 49.96 feet to the Point of Beginning.

EXCEPTIONS

(PER ATA NATIONAL TITLE GROUP, LLC, COMMITMENT NO. 81-22850438-ANN, COMMITMENT DATE: AUGUST 25, 2022)

NO PLOTTABLE EXCEPTIONS IN TITLE COMMITMENT.

EXCEPTIONS

Together with the non-exclusive easements granted in Reciprocal Easement Agreement, recorded February 14, 1989 in Liber 2295, Page 913, Washtenaw County Records, as affected by Easement Release and Modification Agreement recorded in Liber 3131, Page 752.

Together with a non-exclusive easement as created, limited and defined in Garage Parking Easement recorded in Liber 5236, Page 925.

Together with a non-exclusive easement as created, limited and defined in Reciprocal Easement Agreement recorded in Liber 5236, Page 926.

Together with a non-exclusive easement as created, limited and defined in Skywalk Easement Agreement recorded in Liber 5236, Page 927.

Being Subject to:

6.) Easement granted to The Detroit Edison Company disclosed by instrument recorded in Liber 1446, Page 856, Washtenaw County Records (PLOTTED)

7.) Easement granted to The City of Ann Arbor disclosed by instrument recorded in Liber 1423, Page 467, Washtenaw County Records. (PLOTTED)

8.) Easement Agreement and the terms and conditions thereof between Bechtel Investments, Inc., a Nevada corporation and 777 Eisenhower Parkway Associates Limited Partnership, a Michigan limited partnership, dated September 18, 1985, recorded September 26, 1985 in Liber 2008, Page 74, Washtenaw County Records. Said Agreement was amended by Amendment to Easement Agreement recorded in Liber 3131, Page 778, Washtenaw County Records. (PLOTTED)

9.) 777 Office Campus Site Development Agreement and the terms and conditions thereof between the City of Ann Arbor and State Street Associates Limited Partnership, a Michigan limited partnership and 777 Eisenhower Parkway Associates Limited Partnership, a Michigan limited partnership, dated January 4, 1988, recorded December 12, 1988 in Liber 2282, Page 343, Washtenaw County Records. Said Agreement has been amended by Release Agreement recorded in Liber 3131, Page 767, Washtenaw County Records. (BLANKET IN NATURE)

10.) The terms, provisions and easement(s) contained in the document entitled "Easement Release and Modification Agreement" recorded July 21, 1995 as Liber 3131, Page 752 of Official Records. (PLOTTED)

11.) 777 Eisenhower Parkway Phase II Development and the terms and conditions thereof between the City of Ann Arbor and Great Lakes REIT, the general partners of Great Lakes REIT, L.P., a Delaware limited partnership, dated June 17, 2002, recorded October 23, 2002 in Liber 4175, Page 244, Washtenaw County Records. (BLANKET IN NATURE)

12.) Covenants, conditions and restrictions contained in Deed recorded in Liber 1183, Page 328, Washtenaw County Records. (NOTHING TO PLOT)

13.) Covenants, conditions and restrictions contained in Deed recorded in Liber 1437, Page 44, Washtenaw County Records. (PLOTTED)

14.) Covenants, conditions of Covenant Agreement with the City of Ann Arbor as recorded September 30, 2004 in Liber 4428, Page 395. (BLANKET IN NAT13.) Covenants, conditions and restrictions contained in Deed recorded in Liber 1437, Page 44, Washtenaw County Records. (PLOTTED)

14.) Covenants, conditions of Covenant Agreement with the City of Ann Arbor as recorded September 30, 2004 in Liber 4428, Page 395. (BLANKET IN NATURE)

15.) Terms and conditions of a Perpetual Maintenance Agreement with the City of Ann Arbor as recorded November 19, 2004 in Liber 4440, Page 54. (BLANKET IN NATURE)

16.) Grant of Easement dated September 19, 2005 by Transwestern Great Lakes, L.P., a Delaware limited partnership to the City of Ann Arbor, recorded in Liber 4524, Page 574, Washtenaw County Records. (PLOTTED)

17.) Grant of Easement by Transwestern Great Lakes, L.P., a Delaware limited partnership to the City of Ann Arbor, recorded in Liber 4524, Page 575, Washtenaw County Records. (PLOTTED)

18.) Easement granted to City of Ann Arbor disclosed by instrument recorded in Liber 4524, Page 576, Washtenaw County Records. (PLOTTED)

19.) Survey prepared by Global Land Solutions for Commercial Due Diligence Services, dated September 24, 2015, last revised October 1, 2015, under Job No. 15-09-01394, shows the following:
(A) Two High voltage transformer boxes located near the southerly subject boundary and four power poles located on the westerly side of the subject property are without benefit of known easement. (PLOTTED)

26.) The terms, provisions and easement(s) contained in the document entitled "Garage Parking Easement" recorded December 14, 2017 as Liber 5236, Page 925 of Official Records. (PLOTTED)

27.) The terms, provisions and easement(s) contained in the document entitled "Reciprocal Easement Agreement" recorded December 14, 2017 as Liber 5236, Page 926 of Official Records. (PLOTTED)

28.) The terms, provisions and easement(s) contained in the document entitled "Skywalk Easement Agreement" recorded December 14, 2017 as Liber 5236, Page 927 of Official Records. (PLOTTED)

29.) The terms, provisions and easement(s) contained in the document entitled "Parking Garage Space Lease Agreement" recorded December 14, 2017 as Liber 5236, Page 928 of Official Records. (PLOTTED)

30.) The terms, provisions and easement(s) contained in the document entitled "Parking Garage Operation and Maintenance Agreement" recorded December 14, 2017 as Liber 5236, Page 929 of Official Records. (PLOTTED)

15.) Terms and conditions of a Perpetual Maintenance Agreement with the City of Ann Arbor as recorded November 19, 2004 in Liber 4440, Page 54. (BLANKET IN NATURE)

16.) Grant of Easement dated September 19, 2005 by Transwestern Great Lakes, L.P., a Delaware limited partnership to the City of Ann Arbor, recorded in Liber 4524, Page 574, Washtenaw County Records. (PLOTTED)

17.) Grant of Easement by Transwestern Great Lakes, L.P., a Delaware limited partnership to the City of Ann Arbor, recorded in Liber 4524, Page 575, Washtenaw County Records. (PLOTTED)

18.) Easement granted to City of Ann Arbor disclosed by instrument recorded in Liber 4524, Page 576, Washtenaw County Records. (PLOTTED)

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27.) The terms, provisions and easement(s) contained in the document entitled "Reciprocal Easement Agreement" recorded December 14, 2017 as Liber 5236, Page 926 of Official Records. (PLOTTED)

28.) The terms, provisions and easement(s) contained in the document entitled "Skywalk Easement Agreement" recorded December 14, 2017 as Liber 5236, Page 927 of Official Records. (PLOTTED)

29.) The terms, provisions and easement(s) contained in the document entitled "Parking Garage Space Lease Agreement" recorded December 14, 2017 as Liber 5236, Page 928 of Official Records. (PLOTTED)

30.) The terms, provisions and easement(s) contained in the document entitled "Parking Garage Operation and Maintenance Agreement" recorded December 14, 2017 as Liber 5236, Page 929 of Official Records. (PLOTTED)

OVERALL LEGAL DESCRIPTION

LEGAL DESCRIPTION FOR A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 4, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

Commencing at the SW corner of Section 4, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan; thence N01°53'00"W 48.00 feet along the West line of said Section 4 and the centerline of State Street (variable width); thence N87°09'00"E 51.85 feet to the POINT OF BEGINNING;

thence the following three (3) courses along the East Right-of-Way line of said State Street: 1) N02°03'13"W 201.99 feet, 2)

N02°03'20"W 429.50 feet, 3) N02°03'36"W 62.00 feet;

thence N87°01'00"E 150.23 feet;

thence N01°53'00"W 71.16 feet;

thence S87°01'00"W 150.44 feet;

thence N02°03'20"W 51.40 feet along said East Right-of-Way line of State Street;

thence N87°01'00"E 502.45 feet;

thence N01°53'00"W 178.60 feet;

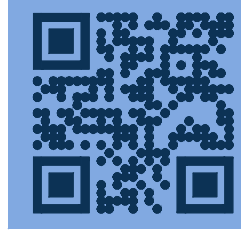
thence N87°01'00"E 635.26 feet;

thence S01°53'00"E 983.39 feet along the West Right-of-Way line of Boardwalk Drive (80.00 feet wide);

thence the following four (4) courses along the Northerly Right-of-Way line of Eisenhower Boulevard (variable width): 1)

S85°32'50"W 426.81 feet, 2) S87°09'00"W 240.19 feet, 3) S86°46'54"W 310.47 feet, 4) S87°09'00"W 158.15 feet to the POINT OF BEGINNING. Being part of SW 1/4 of Section 4, T2S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 23.58 acres of

land, more or less. Being subject to any easements and restrictions of record, if any.



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