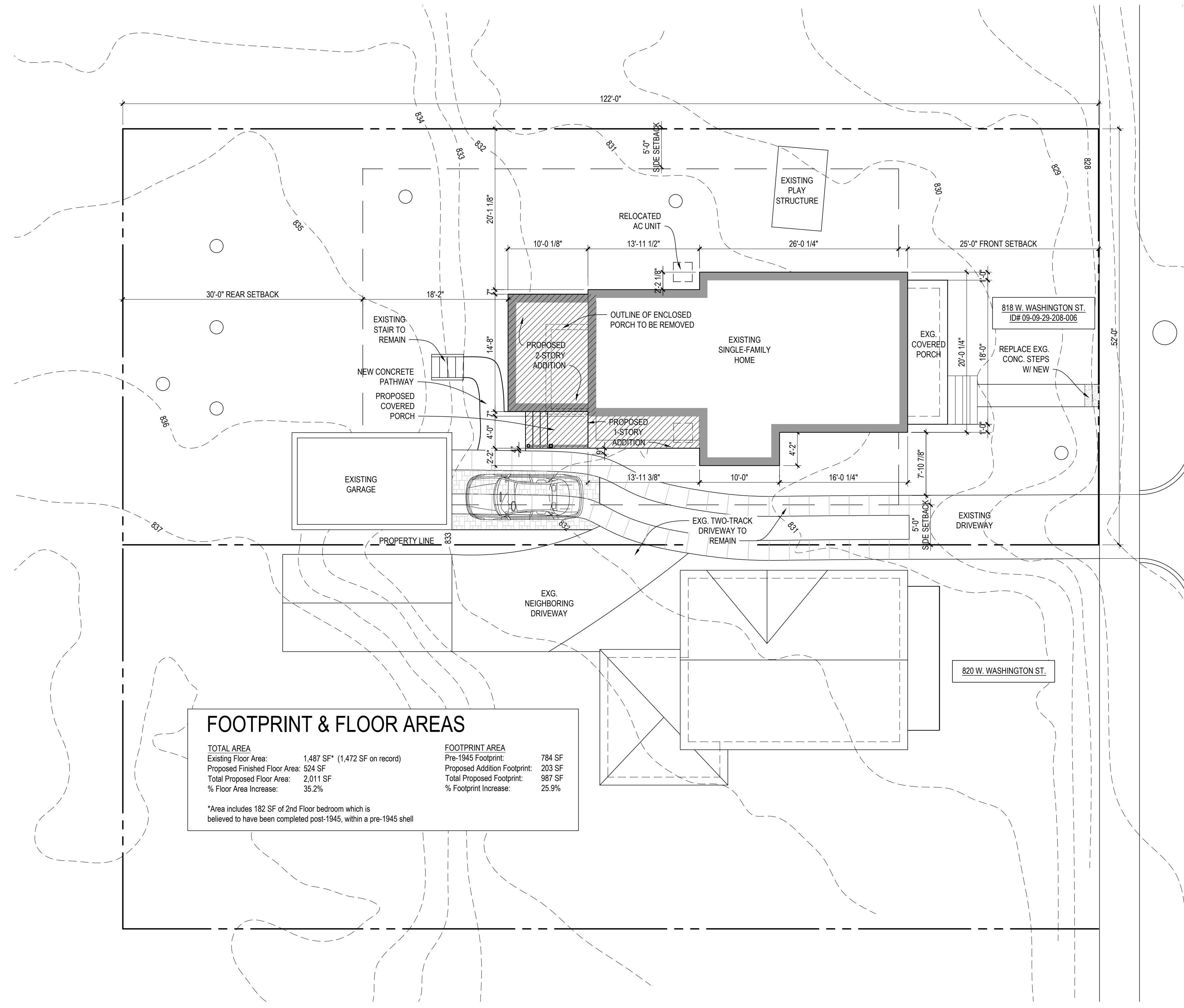


# Meyer Baleisis Addition - HDC Application

818 W. Washington St. • Ann Arbor, MI 48103



FOOTPRINT & FLOOR AREAS	
<b>TOTAL AREA</b>	
Existing Floor Area: 1,487 SF* (1,472 SF on record)	FOOTPRINT AREA: 784 SF
Proposed Finished Floor Area: 524 SF	Pre-1945 Footprint: 203 SF
Total Proposed Floor Area: 2,011 SF	Total Proposed Footprint: 987 SF
% Floor Area Increase: 35.2%	% Footprint Increase: 25.9%

\*Area includes 182 SF of 2nd Floor bedroom which is believed to have been completed post-1945, within a pre-1945 shell

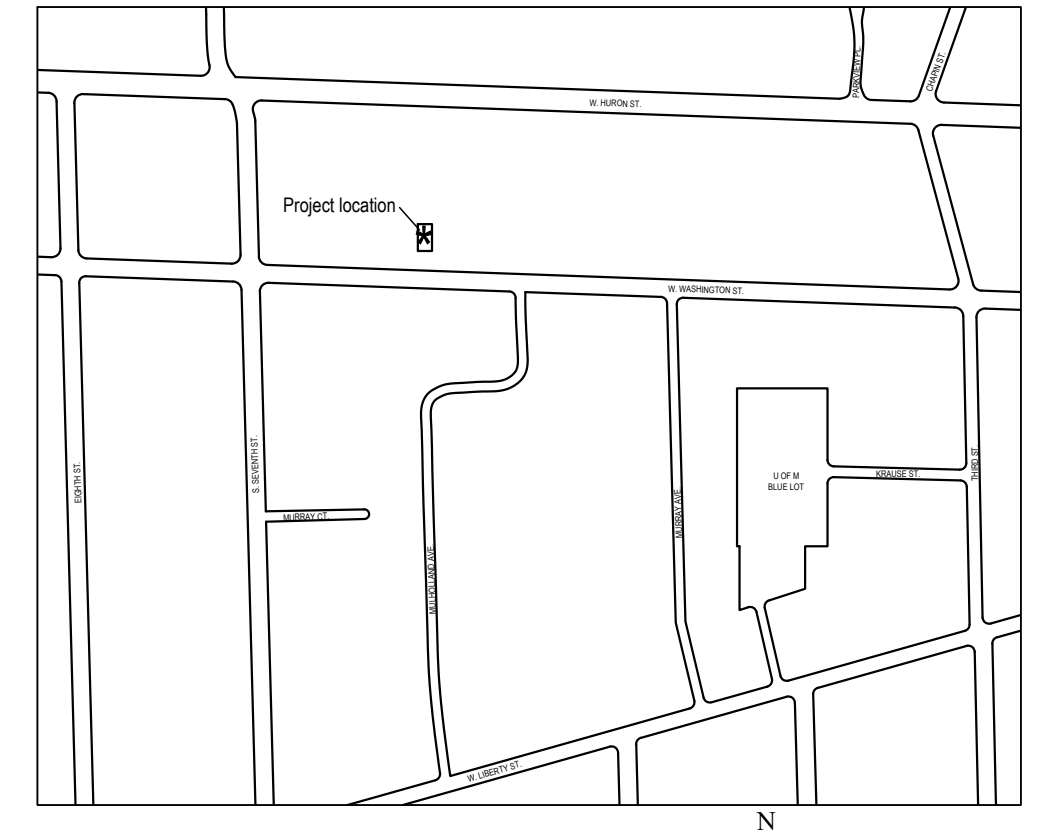
### ARCHITECTURAL SYMBOLS

DISCIPLINE: A-1.1  
CATEGORY: i.e. PLAN, SECTION, ELEVATION, ETC.  
DETAIL NUMBER: A-200/A-100  
CURRENT SHEET: SHEET DETAIL IS REFERENCED FROM

	COLUMN GRID LINE
	ELEVATION MARK
	BUILDING SECTION
	WALL SECTION
	DETAIL (SECTION)
	DETAIL (ENLARGEMENT)
	ELEVATION TARGET
	ROOM NAME / NUMBER
	WINDOW MARK
	DOOR MARK
	FINISH MARK
	ALIGN
	FLOOR MATERIAL ADJACENCY
	INTERIOR ELEVATION

### ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	M.O.	MASONRY OPENING
B.O.	BOTTOM OF	O.C.	ON CENTER
BSMT	BASEMENT	REQD.	REQUIRED
CLG	CEILING	R.O.	ROUGH OPENING
CMU	CONCRETE MASONRY UNIT	SF	SQUARE FEET
CONC	CONCRETE	TBD	TO BE DETERMINED
ELEV	ELEVATION	T.M.E.	TO MATCH EXISTING
EXG.	EXISTING	TYP.	TYPICAL
F.O.	FACE OF	T.O.	TOP OF
FLR	FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
GYP. BD.	GYPSUM BOARD	VIF	VERIFY IN FIELD
MANUF.	MANUFACTURER	W/	WITH
MIN	MINIMUM	WD	WOOD



- ### GENERAL NOTES
- Drawings are intended for a sheet size of 24" x 36". Do not scale drawings. Use written dimensions.
  - See specifications for more information pertaining to the work.
  - Horizontal dimensions shown indicate centerline of column gridline, face of (F.O.) concrete, F.O. masonry, and F.O. stud - unless otherwise noted. Vertical dimensions shown indicate top of (T.O.) concrete and T.O. wall or bottom of (B.O.) beam - unless otherwise noted.
  - Dimensions on Interior Elevations are to finishes, except for plumbing fixtures, which are to rough framing.
  - The contractor shall visit the site and be knowledgeable of conditions thereon. Contractor to field verify all existing conditions and all dimensions pertaining to the work prior to commencing construction. Provide written notification to the architect of any discrepancies with the documents. The architect will issue a written directive if further clarification is required.
  - Details shown are intended to describe scope and profile. Where details have not been provided, the work is intended to be similar in character to those areas detailed. Where specific dimensions, details, or design intent cannot be determined, consult architect prior to proceeding with the work.
  - All work shall comply with all applicable codes and governing authorities, federal and local standards, and shall meet or exceed industry standard for each trade.
  - The contractor shall coordinate all slab & wall openings required by plumbing, mechanical & electrical trades before any such work begins.
  - All pipes, ducts, risers, and other elements that penetrate floor structures shall be installed in a manner that will preserve fire resistive and structural integrity of the building.
  - Contractor shall not proceed with detailing, fabrication or construction of any work connected with or dependent on equipment furnished by "owner" or "other contractors" until he has received certified or approved equipment drawings.
  - Should there be any conflict(s) between or within drawings and/or specifications which are not resolved in writing by the architect prior to receipt of bids, that which requires the highest degree of performance quality, quantity, strength, finish, completion, complexity, sophistication, cost, etc., will be required and shall be provided at no increase in contract amount. All such conflicts must be referred to architect immediately upon discovery.
  - Contractor is responsible to see that those performing the work (including, but not limited to, his subcontractors) have access to the entire set of drawings and specifications for bidding and construction purposes.

### SITE INFORMATION

**PARCEL NUMBER:**  
09-09-29-208-006

**LEGAL INFORMATION:**  
W 52.14 FT OF EAST 76.56 FT OF SOUTH 122.34 FT LOT 54 JEWETTS ADDITION

**CURRENT ZONING:**  
R-2A, Single Family Residential

**REQUIRED SETBACKS:** Front: 25 feet, Side: 5 feet minimum Rear: 30 feet minimum

**IMPERVIOUS AREA:** Existing: \_\_\_\_\_ Additional Proposed: \_\_\_\_\_ Proposed Total: \_\_\_\_\_

### PROJECT TEAM

**HOMEOWNERS**  
Michael Meyer and Audra Baleisis  
818 Washington St.  
Ann Arbor, MI 48103

**ARCHITECT**  
Angelini & Associates Architects  
200 Huronview Blvd  
Ann Arbor, Michigan 48103  
(734) 998-0735

Theresa Angelini - Project Architect    tangelini@angeliniarchitects.com  
Rob Davis - Project Designer        rdavis@angeliniarchitects.com

### SHEET INDEX

G-001	Title Sheet & Site Plan
A-001	Basement & First Floor Demolition Plans
A-002	Second Floor & Attic Demolition Plans
A-100	Basement & First Floor Plans
A-101	Second Floor & Attic Plans
A-200	Exterior Elevations
A-201	Exterior Elevations

02 Proposed Site Plan - Original SCALE: 1/8"=1'-0"

01 Site Location Plan SCALE: NTS

11.17.22	HDC Application	PREPARED FOR	Michael Meyer and Audra Baleisis	PROJECT #	22005-01
12.08.22	HDC Proposal- Revised	PROJECT NAME	Meyer-Baleisis Addition	PROJECT ADDRESS	818 Washington St., Ann Arbor, MI 48103
		CONSULTANT	Angelini & Associates Architects	ARCHITECT / ENGINEER SEAL	
		200 Huronview Blvd Ann Arbor, MI 48103 (734) 998-0735		SHEET TITLE	
				Title Sheet & Site Plan	
				SHEET #	
				G-001	