

Ann Arbor Historic District Commission Staff Report

Application Information

Address: 448 South First Street.

Application Number: HDC26-0066.

District: Old West Side Historic District.

Status: Non-Contributing.

Report Date: July 9, 2026.

Report Prepared By: Mariana Melin-Corcoran, City Planner.

Review Committee Date: July 6, 2026.

Owner: Tim and Teresa Rhoades.

Owner Address: 448 South First Street, Ann Arbor, MI, 48103.

Owner Phone: (734) 709-9210.

Applicant: Brian Goodnough, Todd's Services.

Applicant Address: 7975 M-36. PO Box 608. Hamburg, MI 48139.

Applicant Phone: (810) 360-7835.

Background

Site History: In March of 2003 the HDC issued a Certificate of Appropriateness to demolish a house at 448 South First Street that was built prior to 1872. On April 10, 2003, the HDC approved the construction of the current house, a two-story single-family residence, which was built that same year. In 2008 and 2011, the HDC approved changes to the design of the front door and porch, the chimney, and the dormer.

Location: The property is located on the west side of South First Street, two lots north of West Jefferson Street.

Figure 1: Location map showing 448 South First Street outlined in blue.



Application: The applicant seeks HDC approval to construct a one-story rear addition.

Applicable Regulations

From the Secretary of the Interior's Standards for Rehabilitation (other SOI Standards may also apply):

- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

District or Neighborhood Setting:

- Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

From the Ann Arbor Historic District Design Guidelines (other Guidelines may also apply):**All New Construction:**

- Appropriate: Designing new features so they are compatible with the historic character of the site, district, and neighborhood.
- Not Appropriate: Introducing any new building that is out of scale or otherwise inappropriate to the setting's historic character.
- Not Appropriate: Introducing a new feature that is visually incompatible with or that destroys the patterns of the site or the district.

Additions to Historic Residential Structures:

- Appropriate: Selecting materials and finishes that are compatible with historic materials and finishes found in surrounding buildings that contribute to their historic character.

Staff Findings

1. This structure is new (2003) and is therefore considered noncontributing in the Old West Side Historic District because it was built outside of the period of significance. As required by state law and local ordinance, work proposed on the exterior of noncontributing structures is reviewed to protect the integrity of the site, neighborhood and district.
2. The application includes an 11ft x 12ft one-story, rectangular, rear addition. It will be 13ft-8in in height with a shed roof. The new roof will be in the same location (and use the same braces) as an existing overhang that covers the rear doors. The addition will be inset from both rear corners of the house to accommodate an existing window well to the north and an existing entrance on the south. There will be an entrance on the north side of the addition with a small landing and stairs.

The siding will be lap siding to match the existing house, and the roof will be a standing seam metal roof. Windows will be one-over-one, fixed, or awning vinyl or vinyl clad wood windows. The door will be a half-light paneled door. Trim will be wood or composite and painted to match the house. The landing and stairs will be Trex with a Trex railing.

As part of construction, one window, a pair of sliding doors, and a small landing will be removed on the west (rear) elevation. Additionally, the existing 248sqft concrete patio at

the rear of the house will be removed. The remaining square footage of the patio (not covered by the addition) will be filled with plantings.

3. The existing egress window and well on the rear of the house will be removed and replaced in the same location to meet current codes. The window will be vinyl, and the well will be metal.
4. The existing stairs and landing on the rear south corner of the house will be refinished with Trex stairs and railings.
5. The proposed addition is in scale with the existing house and the overall district. Its design is simple, it will be minimally visible from the right of way, and no historic materials will be affected as part of its construction. The work will not be detrimental to the surrounding historic resources. Staff recommends approval.

Possible Motions

(Note that the motions support staff findings and are only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 448 South First Street, a non-contributing property in the Old West Side Historic District, to construct a one-story rear addition. As proposed, the work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 9 and 10 and the guidelines for district or neighborhood setting, as well as the *Ann Arbor Historic District Design Guidelines* for all new construction and new construction in historic residential settings.

ATTACHMENTS: application, drawings, specifications

Image 1: 448 South First Street (2008 Survey Photo)





June 12, 2026

Re: Tim and Teresa Rhoades – Single Story 1st Floor Building Addition

448 South First Street, Ann Arbor MI 48103

PROJECT NARRATIVE:

The project generally consists of an 11'x12' (132 sq. ft.) three seasons (unconditioned) sun room addition. The existing 248 sq. ft. concrete patio will be removed as part of the project and the area not taken up by the sunroom will be returned to permeable landscape planting.

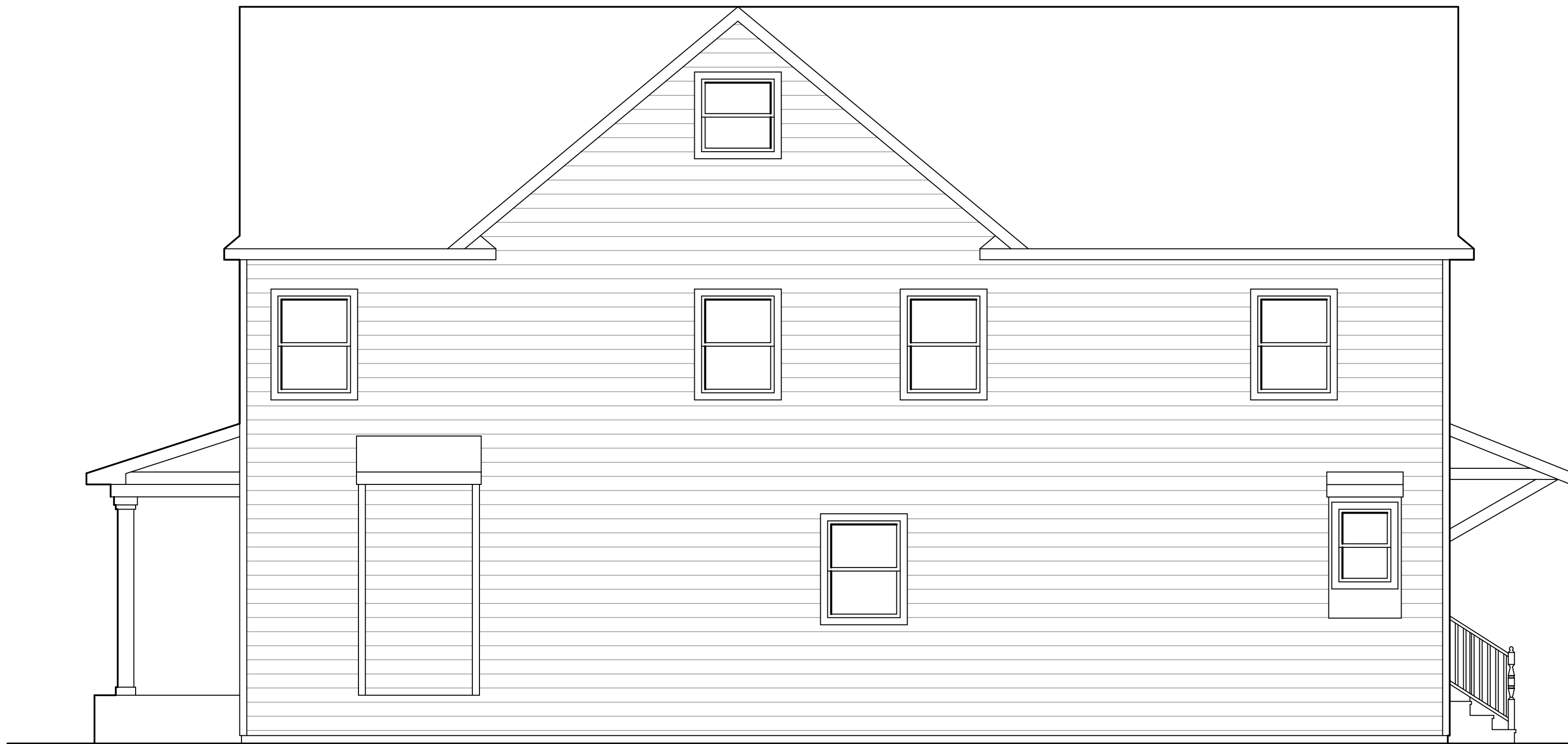
The existing stairs at the side door will be re-skinned with new trex and a new trex railing with grab bar. The sunroom will have white vinyl windows to match the existing windows on the house. The sunroom will be finished on the exterior with lap siding and trim painted to match the existing house. The roof will be a standing seam metal roof with a dark charcoal – black color finish. The side landing and stairs will be finished with trex material and have a trex railing with grab bar.

The existing egress window and window well will be removed and replaced to meet code requirements.

We hope this information provides clarity on the proposed project. Don't hesitate to reach out with any questions after reviewing the revised submittal.

Regards,

Andrew Parin, PLA
Landscape Architect



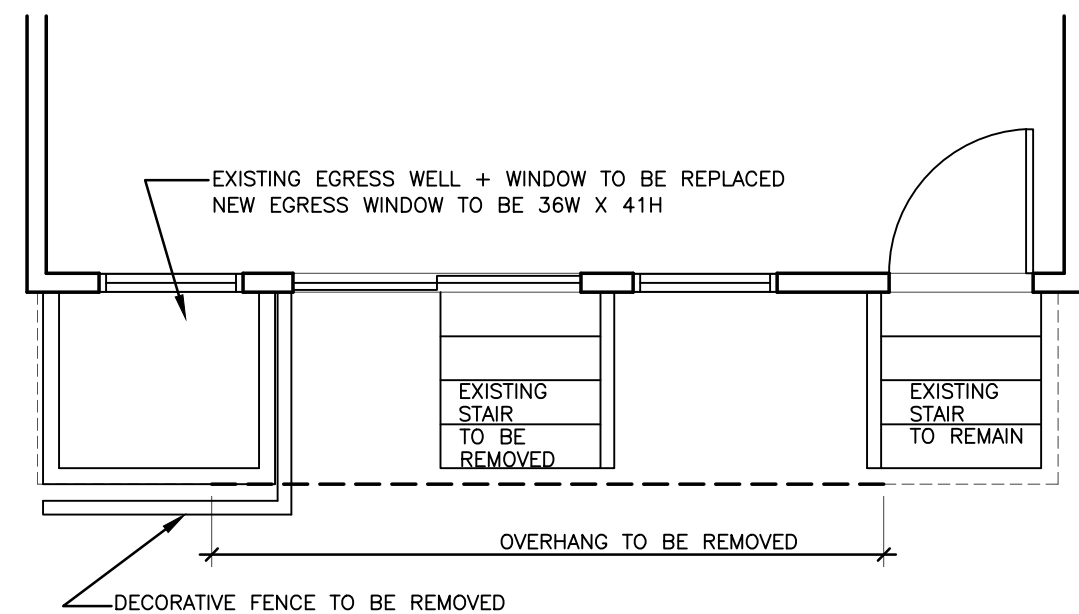
EXISTING NORTH ELEVATION
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"



EXISTING WEST ELEVATION
1/4" = 1'-0"



EXISTING FLOOR PLAN
1/4" = 1'-0"

RHOADES RESIDENCE

NEW PORCH ADDITION
448 SOUTH FIRST
ANN ARBOR MICHIGAN 48103

COMPOSITION WORKSHOP
ARCHITECTURE + INTERIOR DESIGN

155 Circle Ct
Saline, Michigan 48176
Phone: 313.478.1547
Fax: 734.425.5226

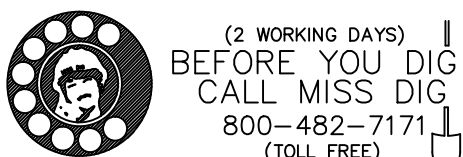
PROJECT
RHOADES RESIDENCE
NEW ADDITION

DATE	REVISIONS	APPROVED
5.14.26	SUBMITTED FOR OWNER REVIEW	JFK
6.10.26	ISSUED FOR HDC SUBMITTAL	JFK
6.11.26	ISSUED FOR HDC SUBMITTAL	JFK

FILE NUMBER	DRAWN BY	DATE ISSUED
24-31	JFK	25 JAN 25

SHEET TITLE
EXISTING PLANS
EXISTING ELEVATIONS

SHEET NUMBER
A1.1



(2 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

THE CONTRACTOR IS REQUIRED TO
FIELD VERIFY ALL EXISTING CONDITIONS
WITH REGARD TO THE VIABILITY OF
EXISTING FOUNDATIONS, STRUCTURAL
BEARING LOCATIONS, AND ALL
DIMENSIONS, PRIOR TO THE BEGINNING
OF CONSTRUCTION.

MICHIGAN RESIDENTIAL CODE

2015

CONTRACTOR

TODD'S SERVICES
7975 M36
HAMBURG, MI 48139

OWNER

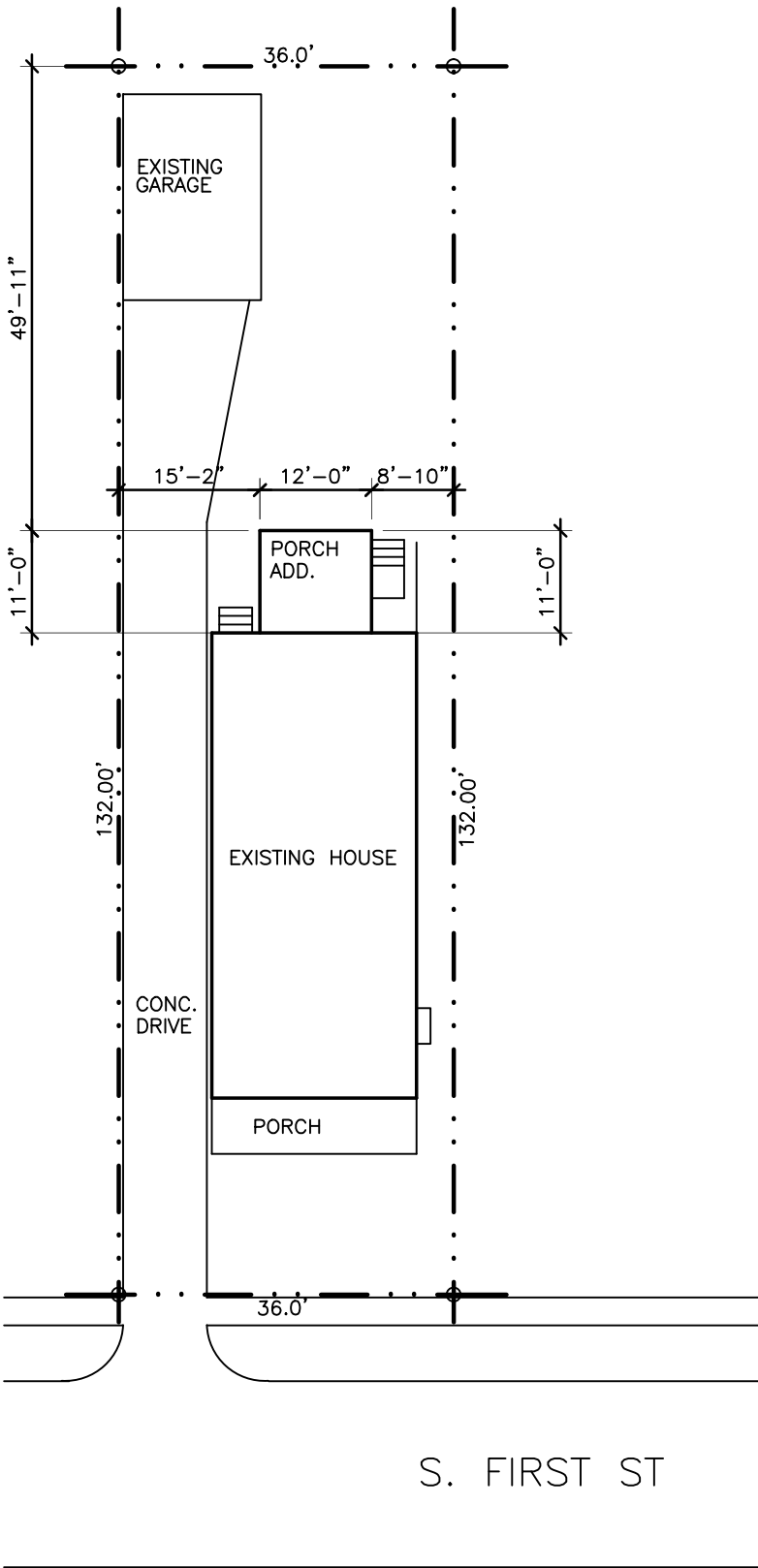
TIM RHOADES
448 S. FIRST
ANN ARBOR, MI
48103

ARCHITECT

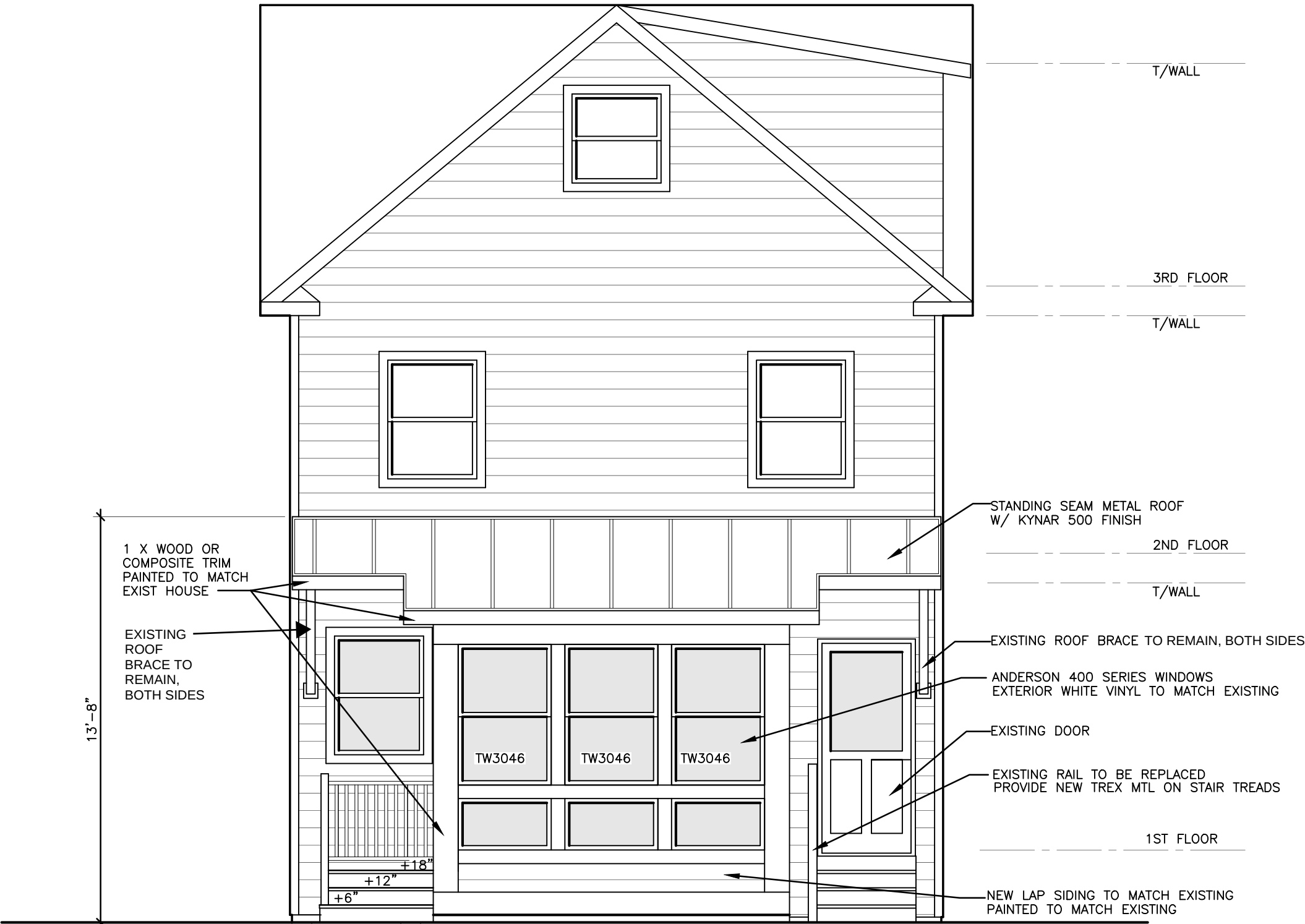
COMPOSITION
WORKSHOP INC
155 CIRCLE CT
SALINE, MI 48176
313-478-1547

RHOADES
RESIDENCE

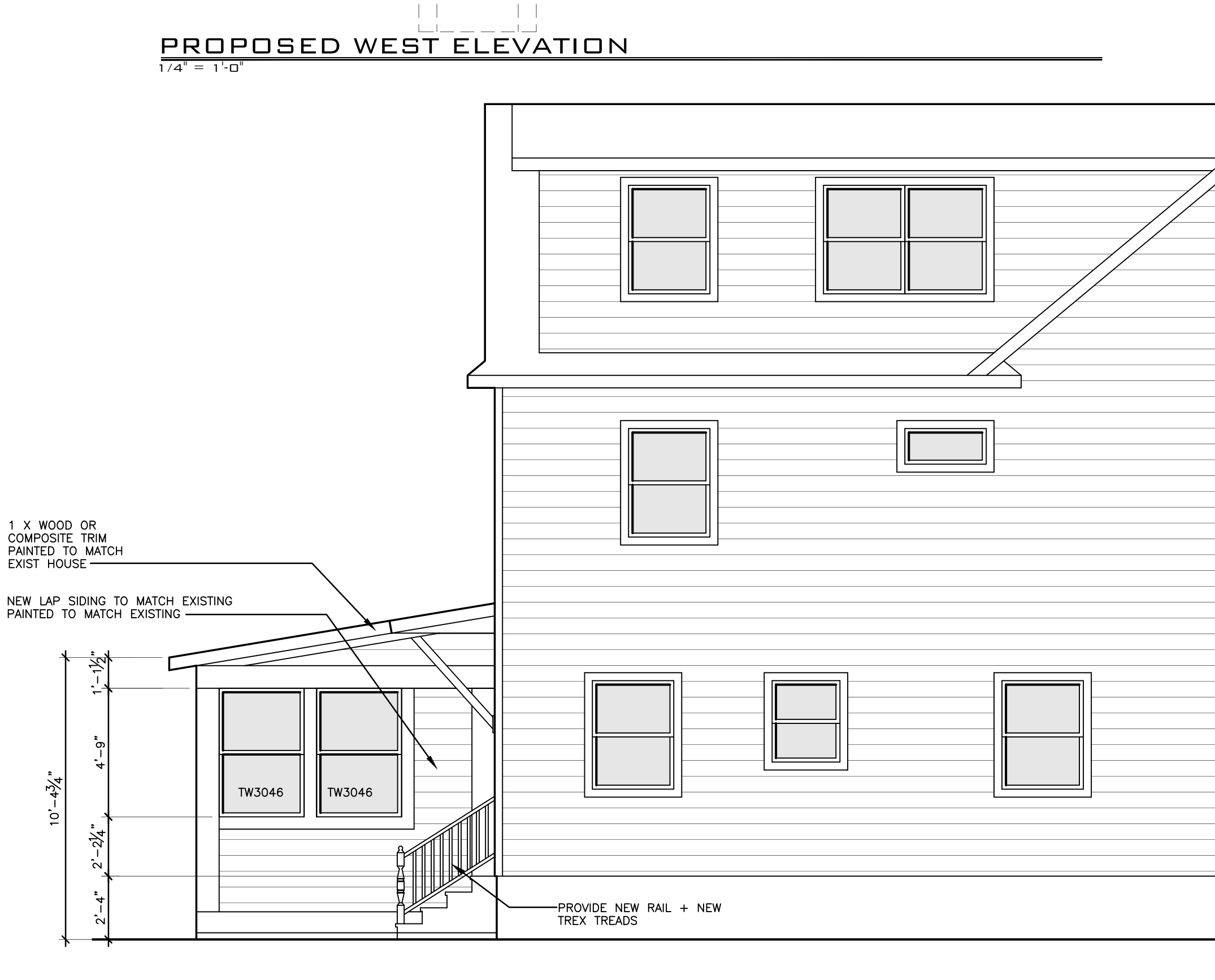
NEW PORCH ADDITION
448 SOUTH FIRST
ANN ARBOR MICHIGAN 48103



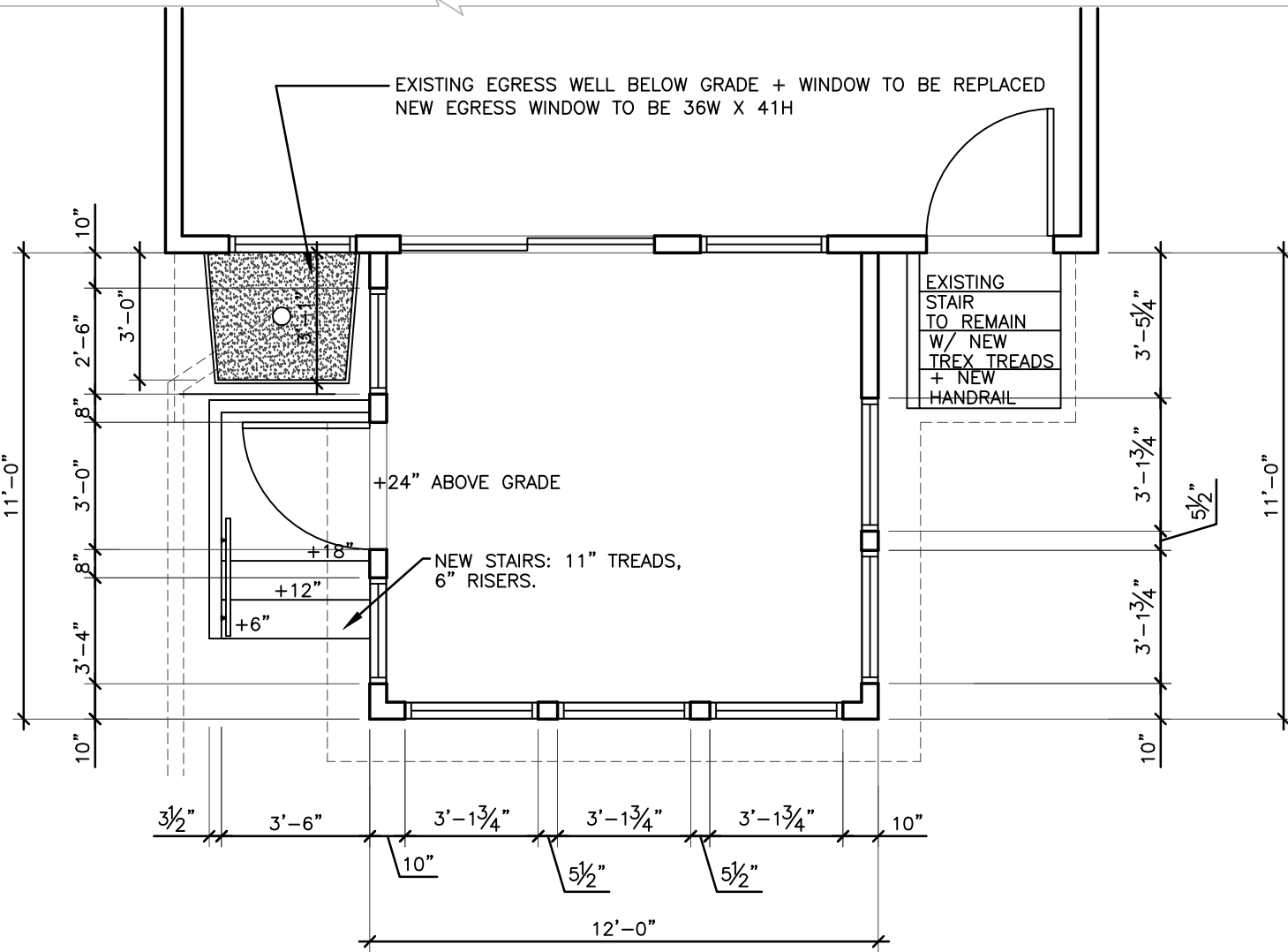
PROPOSED SITE PLAN
1" = 20'-0"



PROPOSED WEST ELEVATION
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



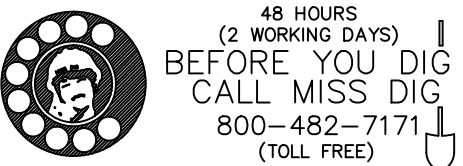
PROPOSED FLOOR PLAN
1/4" = 1'-0"



PROPOSED NORTH ELEVATION
1/4" = 1'-0"

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FILE NUMBER	DRAWN BY	DATE ISSUED
24-31	JFK	25 JAN 25



THE CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS WITH REGARD TO THE VIABILITY OF EXISTING FOUNDATIONS, STRUCTURAL BEARING LOCATIONS, AND ALL DIMENSIONS, PRIOR TO THE BEGINNING OF CONSTRUCTION.

SITE DATA ZONING REQUIREMENTS

PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
ZONING DISTRICT:	R4C
MINIMUM LOT WIDTH	
MINIMUM LOT SIZE	
MAX BLG HEIGHT	

MICHIGAN RESIDENTIAL CODE 2015

SETBACKS:	REQUIRED	PROVIDED
FRONT		
SIDE YARD		
REAR YARD		

CONTRACTOR OWNER

TODD'S SERVICES
7975 M36
HAMBURG, MI 48139

TIM RHOADES
448 S. FIRST
ANN ARBOR, MI 48103

ARCHITECT

COMPOSITION
WORKSHOP INC
155 CIRCLE CT
SALINE, MI 48176
313-478-1547
734-425-5226 FAX



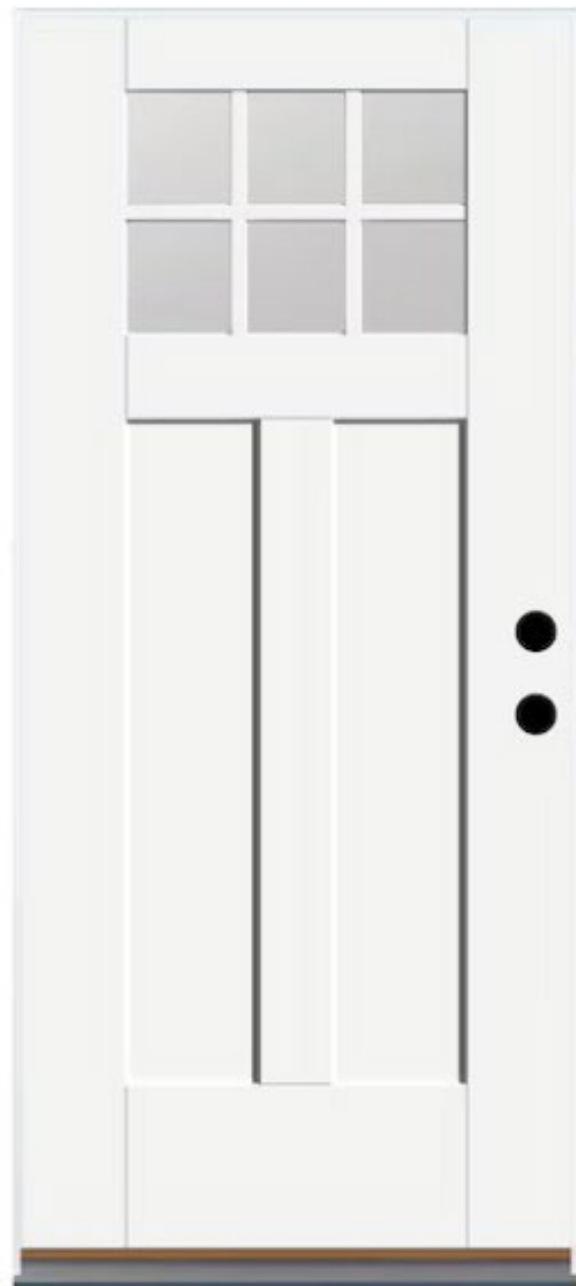












400 SERIES



THE WINDOWS
CONTRACTORS
TRUST THE MOST.*

*2024 Andersen brand survey of U.S. contractors.

2025-26 PRODUCT GUIDE FOR PROFESSIONALS



WEB VERSION
April 2026



EXTERIORS & INTERIORS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting,* low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

EXTERIOR COLORS**



Patio doors with black exteriors and interiors now available

INTERIOR OPTIONS**



Design your window at
andersenwindows.com/design-tool

*Visit andersenwindows.com/warranty for details.

**Some products are not available in all colors or wood species. Contact your Andersen supplier for details.

†Most products with dark bronze and black interiors have matching exteriors; see the individual product sections for details.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

EXTERIOR TRIM SYSTEM

Add curb appeal with Andersen® exterior trim. Our trim is made with Fibrex® material, an environmentally smart composite that contains 40% pre-consumer recycled wood fiber by weight.



Time saving and cost effective

Innovative attachment strip

No nail holes, no visible fasteners, no painting

Independent of water management system for easy installation

Style that gets noticed

Our wide trim profiles overlap the window frame to create clean lines without visible sealant joints. Mitered brick mould corners and butt joints on flat casing profiles reflect traditional corner joints.



Cocoa bean trim with Sandtone window

Visit andersenwindows.com/exteriortrim to learn more.

EXTERIOR TRIM COLORS



Casement & Awning Windows



CONTEMPORARY FOLDING

Black | Bright Brass | **Oil Rubbed Bronze***
Satin Nickel | Stone | **White**



TRADITIONAL FOLDING

Antique Brass | Black | Bright Brass | **Distressed Bronze*** | Distressed Nickel
Oil Rubbed Bronze* | Satin Nickel | Stone | White



CLASSIC SERIES™

Stone | **White**



ESTATE™

Antique Brass | Bright Brass | Distressed Bronze*
Distressed Nickel | Oil Rubbed Bronze* | Satin Nickel

Folding handles avoid interference with window treatments.

Gliding Windows



Rotating Sash Handle

Antique Brass | **Black**
Bright Brass | Distressed Bronze*
Distressed Nickel | Oil Rubbed Bronze*
Satin Nickel | Stone | White

Woodwright® Double-Hung Windows



Lock & Keeper

Antique Brass | Black | Bright Brass | Distressed Bronze* | Distressed Nickel
Oil Rubbed Bronze* | **Satin Nickel** | Stone | White

Tilt-Wash Double-Hung Windows



Lock & Keeper

TRADITIONAL

Black | Stone | **White**

Stone finish is standard for pine interiors, and white finish is standard for white interiors. Other finishes are optional.



Optional Lock & Keeper

ESTATE™

Antique Brass | Bright Brass | Distressed Bronze*
Distressed Nickel | Oil Rubbed Bronze* | Satin Nickel

Estate lock and keeper reduces the clear opening height by 19/32" (15). Check with local building code officials to determine compliance with egress requirements.

Bold name denotes finish shown.

Optional sash lifts for Woodwright windows are shown on page 52 and for tilt-wash windows on page 80.

*These finishes are "living finishes" that will change with time and use, see limited warranty for details.

Hardware is sold separately, except standard lock and keeper for double-hung windows.

Printing limitations prevent exact replication of finishes. See your Andersen supplier for actual finish samples.

Dimensions in parentheses are in millimeters.



TREX
Signature

Setting a new standard
for style in outdoor living.

\$\$\$\$\$  (50) ★★★★★



Trex Transcend®
LINEAGE™

The next generation of
design and performance.

\$\$\$\$\$  (50) ★★★★★



Trex Transcend®

Established looks paired
with assured performance.

\$\$\$  (50) ★★★★★



Trex Select®

The perfect pairing of price
and minimal maintenance.

\$\$  (35) ★★



Trex Enhance®
NATURALS

The beauty of wood with
the ease of composite.

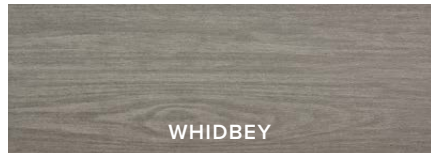
\$  (25) ★



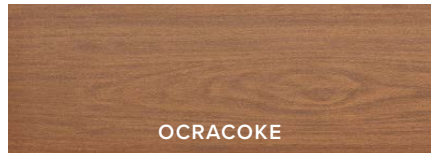
Trex Enhance®
BASICS

Priced to put the pressure
on treated lumber.

\$  (25) ★



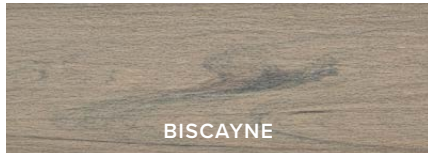
WHIDBEY



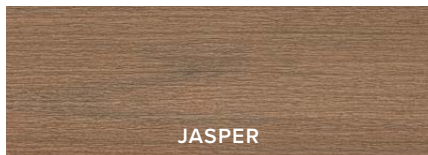
OCRACKE



ISLAND MIST



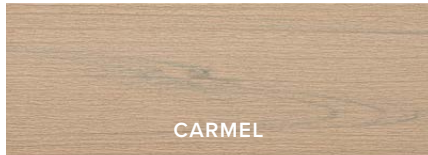
BISCAYNE



JASPER



RAINIER



CARMEL



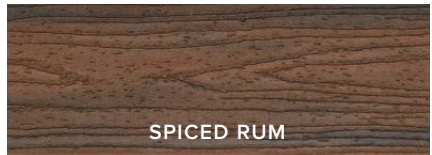
ISLAND MIST



TIKI TORCH



HAVANA GOLD



SPICED RUM



LAVA ROCK



ROPE SWING



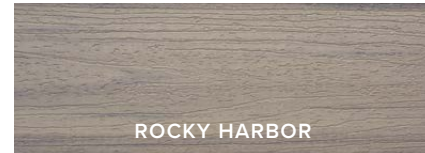
PEBBLE GREY



SADDLE



FOGGY WHARF



ROCKY HARBOR



TOASTED SAND



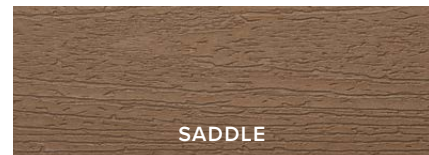
COASTAL BLUFF



CLAM SHELL



BEACH DUNE



SADDLE

Side landing and
stairs

PRICE \$ - \$\$\$\$\$\$

BOARD
PROFILES



SOLID
SCALLOPED

YEARS OF
WARRANTY

(25) (35) (50)

SCRATCH
RESISTANCE

★ - ★★★★★

SQUARE
EDGE



GROOVED
EDGE



Use with Trex Hideaway® Hidden Fastening
System for a clean, screw-free appearance

COMPARE
HERE



Tilt & Turn Egress Window



TTW-3242

FEATURES

- Interior: white, Exterior: white
- Available in right or left in-swing
- ROTO hardware
- 2 ¾" (70mm) Profile depth
- Backstop gasket system with two sealing levels
- Glazing thickness 15/16" (24mm)
- Tested burglar resistance class RC2
- 5 chamber system as standard combination
- Energy Efficient – Helps regulate indoor temperatures, reducing heating and cooling costs.
- Tilt inward for ventilation or fully open like a casement window for easy access and cleaning.
- Double Glass – Enhances insulation, improves safety, and reduces outside noise.
- Double Pain Argon Filled, 4/16Ar/4one
- Premium Aluplast 4000 Frame – Made from high-quality uPVC for weather resistance and minimal maintenance.
- Sleek & Modern Design – Complements any residential or commercial space with a clean and stylish look.

SPECIFICATIONS

Net Clear Opening:

Frame Dimension: (Outside) 32" Wide x 42" High

Opening for Egress: Width: 26" Wide
Height: 36 ¾" high (6.63 sq. ft.)

U-factor (U.S. / I-P): 0.23

Solar Heat Gain Coefficient: 0.34

Visible Transmittance: 0.51

Visible Light Dimensions: 23" x 33"

Visible Light Area: 5.27 sq. ft.

Air Leakage (U.S. / I-P): ≤0.01

16mm Aluminum Spacer

OITC = 0.26 psf

STC = 0.31 psf

CR = 0.65 psf

Design Pressure = 70.18 psf

Air Infiltration = 0.02 cfm/sf

Water Penetration Resistance = 12.11 psf

PERFORMANCE CLASS: AAMA/WDMA/CSA
101/I.S.2/A440-11 testing.



Q

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Quick-Ship TuffWell Metal Egress Window Well *BEST SELLER



SKU: QSWSB-4236-72WH

Ships In 3 Days

\$1598.00

Well Size (Width x Projection)

42" x 36"

Depth

72

Color

White

CLEAR

\$1598.00