

# ANN ARBOR HISTORIC DISTRICT COMMISSION

## Staff Report

**ADDRESS:** 203 N Fourth Avenue, Application Number HDC25-0129

**DISTRICT:** Fourth Ann Historic District

**STATUS:** Contributing, with non-contributing addition

**REPORT DATE:** September 11, 2025

**REPORT PREPARED BY:** Mariana Melin-Corcoran, City Planner

**REVIEW COMMITTEE DATE:** Monday, October 8, 2025

	OWNER	APPLICANT
<b>Name:</b>	Famararz Farahanchi PTP Management	Christopher Biggers Bigg Designs
<b>Address:</b>	2446 Highland Dr Ann Arbor, MI 48105	131 E Commerce St Milford, MI 48381
<b>Phone:</b>	(734) 657-2096	(248) 886-4460

**BACKGROUND:** The storefront at 203 N Fourth Ave is part of the parcel with address 201-207 N Fourth Ave. The north, one-story half of this building appears on the 1925 Sanborn map. By 1929, the Washtenaw Mutual Oil Co. was listed at 201-7, indicating the two-story block portion with its brick, Tudor Revival front had been added on the south. Around 1970, the one-story, porcelain enamel-covered concrete block front wing was added (203 N Fourth storefront).

According to building permits, the storefront system was updated in 1997, and the awnings were added in 2001.

**LOCATION:** The site is located on the northwest corner of East Ann Street and North Fourth Avenue.

**APPLICATION:** The applicant seeks HDC approval to install a new door in a new opening on the south elevation for barrier-free access and, as well sconces and a paved landing with a ramp and planters.

### APPLICABLE REGULATIONS:

#### From the Secretary of the Interior's Standards for Rehabilitation:

- (1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.



- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

**Entrances and Porches**

*Recommended:* Designing and installing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the buildings, i.e., limiting such alteration to non-character-defining elevations.

*Not Recommended:* Cutting new entrances on a primary elevation. Altering utilitarian or service entrances so they appear to be formal entrances by adding paneled doors, fanlights, and sidelights.

Introducing a new entrance or porch that is incompatible in size, scale, material, and color.

**Health and Safety**

*Recommended:* Identifying the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.

**From the Ann Arbor Historic District Design Guidelines (other Guidelines may apply):**

**Doors**

*Not Appropriate:* Installing a new door opening.

**Safety Codes**

*Appropriate:* Complying with barrier free and safety codes in a manner that ensures the preservation of character-defining features.

**Commercial Awnings, Canopies and Banners**

*Appropriate:* Mounting a standard storefront awning so that the bottom of the fixed frame is at least 7 feet above the sidewalk, although 8 feet is preferred. Consideration should be given to the height of neighboring awnings.

Projecting the awning from the face of the building no more than 4 feet.

Attaching the awning just below the storefront cornice and fitting it within the storefront opening.

Mounting the awning or banners on masonry structures through the mortar joints and not through brick, stone, or terra cotta.

Using canvas, vinyl-coated canvas, or acrylic fabrics for awnings and banners.

Installing banners and awnings so they do not cover or require the removal of any historic detail.

## **STAFF FINDINGS:**

1. The applicant proposes installing a new door for barrier-free access on the south elevation of the one-story front addition. A new opening will be created in the concrete block to accommodate a double-leaf, metal storefront door. Two wall sconces will be installed, one on either side of the new door opening. Specifications for the sconces are included in the application materials.
2. A triangular awning is shown on the drawings above the new double doors. Awnings are appropriate above doors in commercial settings. Details are not included in the drawing set, so staff has included some conditions in the motion to ensure that the awning meets the Design Guidelines. The drawings show that the new awning will not tie in with the existing awning on the east elevation of the addition.
3. As part of the installation, the planting bed and brick pathway adjacent to the south elevation will be removed. A barrier-free access ramp will be installed, and the rest of the area will be paved with concrete at grade. There are no dimensions for the ramp, but it appears to be appropriately sized on the drawings. Planters will be added on the east side of the concrete landing, between the ramp and the right of way, and a bike hoop will be installed on the west side per Downtown Development Authority (DDA) standards.
4. Though highly visible because of the empty lot to the south, staff believes the side elevation is an appropriate location for a new door given the need for barrier-free access. There will be no impact on the historic materials. The amount of impervious surface on the landing will remain the same. Staff believes the work is compatible with the existing structure, neighboring buildings, and the surrounding historic district, and meets the Secretary of the Interior's Standards and Guidelines and the *Ann Arbor Historic District Design Guidelines*.

**POSSIBLE MOTIONS:** (Note that the motions are only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 203 N Fourth Ave, a contributing property in the Fourth Ann Historic District, to install a door in a new opening on the south elevation of the one-story addition to provide barrier-free access on the condition that the awning above the door is fabric, does not extend more than 4 feet from the building face, and is at least 7 feet above the sidewalk. As conditioned, the work is compatible in exterior design, arrangement, texture, material and

relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 1, 2, 9 and 10 and the guidelines for entrances and porches, as well as the *Ann Arbor Historic District Design Guidelines*, particularly as they pertain to doors and commercial awnings.

**ATTACHMENTS:** application, drawings, photos.



201-207 N Fourth (2007 staff photo)

# 203 N 4TH AVE, ANN ARBOR, MI 48104

## HDC SHEET INDEX

### CLIENT

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• ADDRESS: P. O. BOX 8383, ANN ARBOR, MI 48107  
• PHONE: 734-657-2096  
• EMAIL: MAILTO:INFO@UM-HOUSING.COM

### ARCHITECT

• NAME: CHRIS BIGGERS, NCARB  
• COMPANY: BIGGDESIGNS, LLC  
• ADDRESS: 131 E. COMMERCE ST., MILFORD, MI 48381  
• PHONE: 248.886.4460  
• EMAIL: DESIGN@BIGGDESIGNS.COM

### GENERAL CONTACTOR

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• PHONE: 734.417.4900  
• EMAIL: PETESVISIONS@GMAIL.COM

### SCOPE OF WORK

#### USE STATEMENT

(N) ADA-COMPLIANT ENTRANCE DOOR WITHIN (E) CMU WALL, (N) ACCESSIBLE SIDEWALK TO ENSURE BARRIER-FREE ACCESS, AND A PROTECTIVE AWNING ABOVE THE ENTRY.

• SITE: NEW ADA RAMP AND SIDEWALK.  
• EXTERIOR: NEW STORE FRONT, ADA ENTRANCE, AND AWNING.  
• INTERIOR: NO HISTORIC WORK PROPOSED..  
• STRUCTURAL: NO HISTORIC WORK PROPOSED.  
• ELECTRICAL: NEW EXTERIOR LIGHTING.  
• MECHANICAL: NO HISTORIC WORK PROPOSED.  
• PLUMBING: NO HISTORIC WORK PROPOSED.

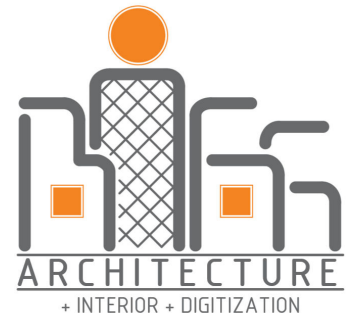
### CODE SUMMARY

• BUILDING CODE: 2021 MICHIGAN BUILDING CODE  
• MECHANICAL CODE: 2021 MICHIGAN MECHANICAL CODE  
• PLUMBING CODE: 2021 MICHIGAN PLUMBING CODE  
• ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE  
• ENERGY CODE: 2015 MICHIGAN ENERGY CODE  
• FIRE CODE: 2015 INTERNATIONAL FIRE CODE  
• ZONING ORDINANCE: LOCAL ZONING ORDINANCE  
• BARRIER FREE: 2017 ICC/ANSI A117.1  
• FIRE SUPPRESSION: NO  
• FIRE ALARM: NO  
  
• USE GROUP: B BUSINESS  
• CONSTRUCTION TYPE: V-B  
• BUILDING HEIGHT: 25'-0" +/-  
• BUILDING STORIES: TWO STORY  
• BUILDING AREA: 4,362 SF  
• HISTORIC DISTRICT: D - FOURTH AVENUE / ANN STREET HISTORIC DISTRICT

SHEET	NAME	DATE	REV.
<u>HDC-1.1</u>	PROJECT NARRATIVE	08.19.2025	
<u>HDC-1.2</u>	COVER SHEET	08.19.2025	
<u>HDC-1.3</u>	(E) SITE PLAN	08.19.2025	
<u>HDC-1.4</u>	(DEMO) SITE PLAN	08.19.2025	
<u>HDC-1.5</u>	(N) SITE PLAN	08.19.2025	
<u>HDC-1.6</u>	(N) RAMP PLAN	08.19.2025	
<u>HDC-1.7</u>	ELEVATIONS	08.19.2025	
<u>HDC-1.8</u>	SCOPE IMAGE	08.19.2025	
<u>HDC-1.9</u>	COLORED RENDERING	08.19.2025	
<u>HDC-1.10</u>	FIRST FLOOR PLAN	08.19.2025	
<u>HDC-1.11</u>	DOOR SPEC	08.19.2025	
<u>HDC-1.12</u>	DOOR SPEC	08.19.2025	
<u>HDC-1.13</u>	LIGHT SPEC	08.19.2025	

## PROJECT NARRATIVE

THIS PROJECT INVOLVES THE INSTALLATION OF A NEW ADA-COMPLIANT ENTRANCE DOOR WITHIN AN EXISTING CMU (CONCRETE MASONRY UNIT) WALL. SCOPE INCLUDES CONSTRUCTION OF A NEW ACCESSIBLE SIDEWALK TO ENSURE BARRIER-FREE ACCESS, ALONG WITH THE ADDITION OF A PROTECTIVE AWNING ABOVE THE ENTRY. ALL WORK WILL BE COORDINATED TO MEET CURRENT ADA STANDARDS AND INTEGRATE SEAMLESSLY WITH THE EXISTING BUILDING ENVELOPE.



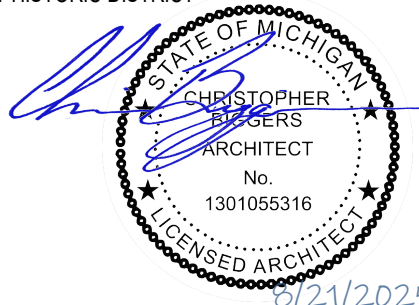
### BIGGDESIGNS, LLC

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MILFORD, MI 48381  
248.886.4460

25116  
FIRST FLOOR WHITE BOX  
PERMIT  
PROJECT NARRATIVE  
203 N 4TH AVE,  
ANN ARBOR, MI 48104  
08.19.2025

### HDC-1.1

PLANS ARE FOR DESIGN APPROVAL ONLY.  
NOT FOR CONSTRUCTION.  
CONSTRUCTION DOCUMENTS WILL BE SUBMITTED TO BUILDING  
DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO START OF ANY CONSTRUCTION.

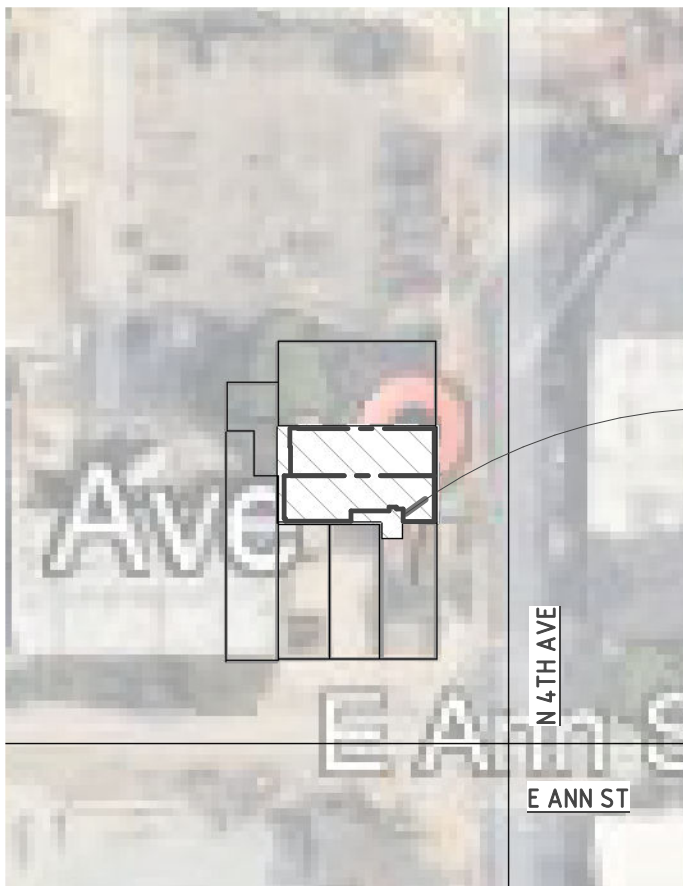






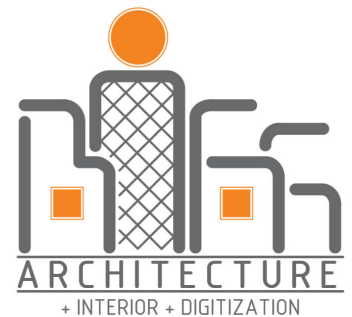
AREA OF WORK

(E) BUILDING



SCOPE OF WORK

HDC VICINITY MAP



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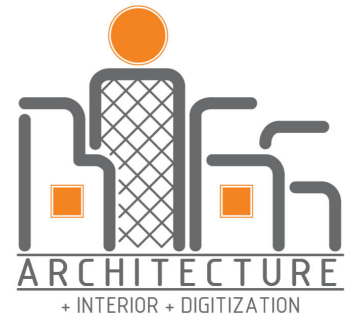
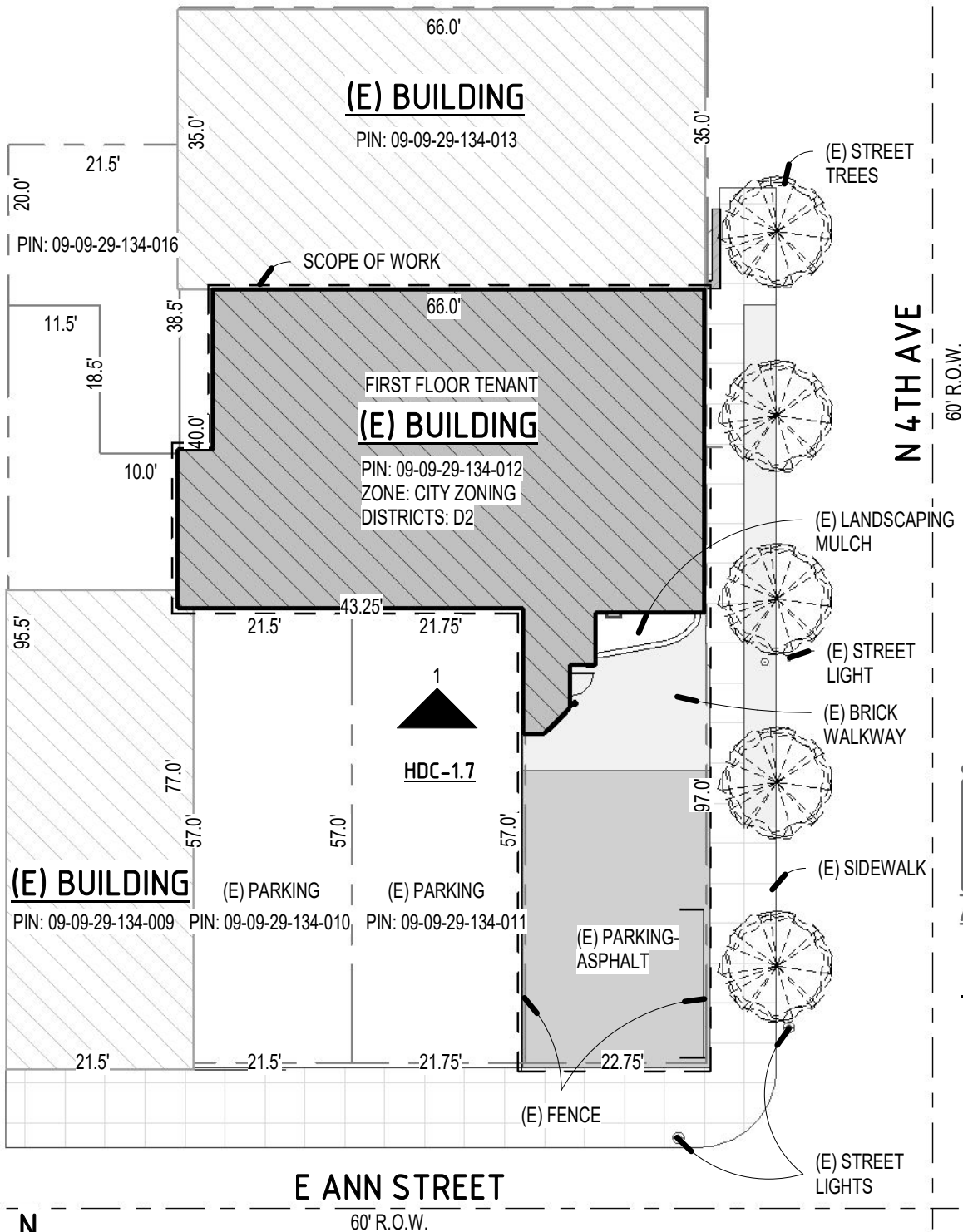
COVER SHEET

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HDC-1.2

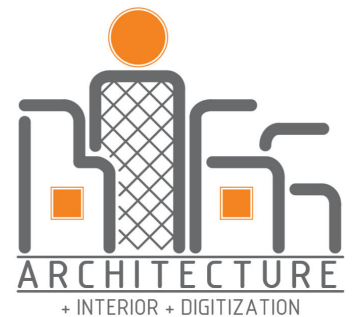


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**(E) SITE PLAN**  
**203 N 4TH AVE,**  
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**08.19.2025**

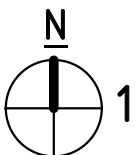
**HDC-1.3**

<b><u>TAG</u></b>	<b><u>NOTE CONTENT</u></b>
<b><u>(X)1</u></b>	DEMO (E) WALLS AND DOORS AS SHOWN
<b><u>(X)9</u></b>	DEMO (E) BRICK AS NEEDED
<b><u>(X)11</u></b>	DEMO (E) SIDEWALK
<b><u>(X)12</u></b>	(E) MULCH TO BE REMOVED



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HDC-1.4

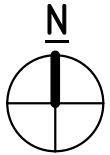


(DEMO) SITE PLAN

**$1/8'' = 1'-0''$**







**1/8" = 1'-0"**

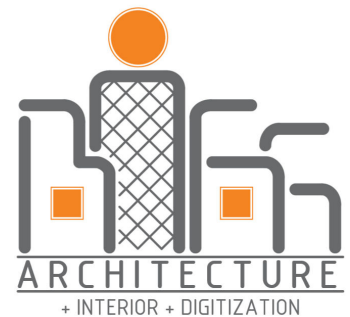
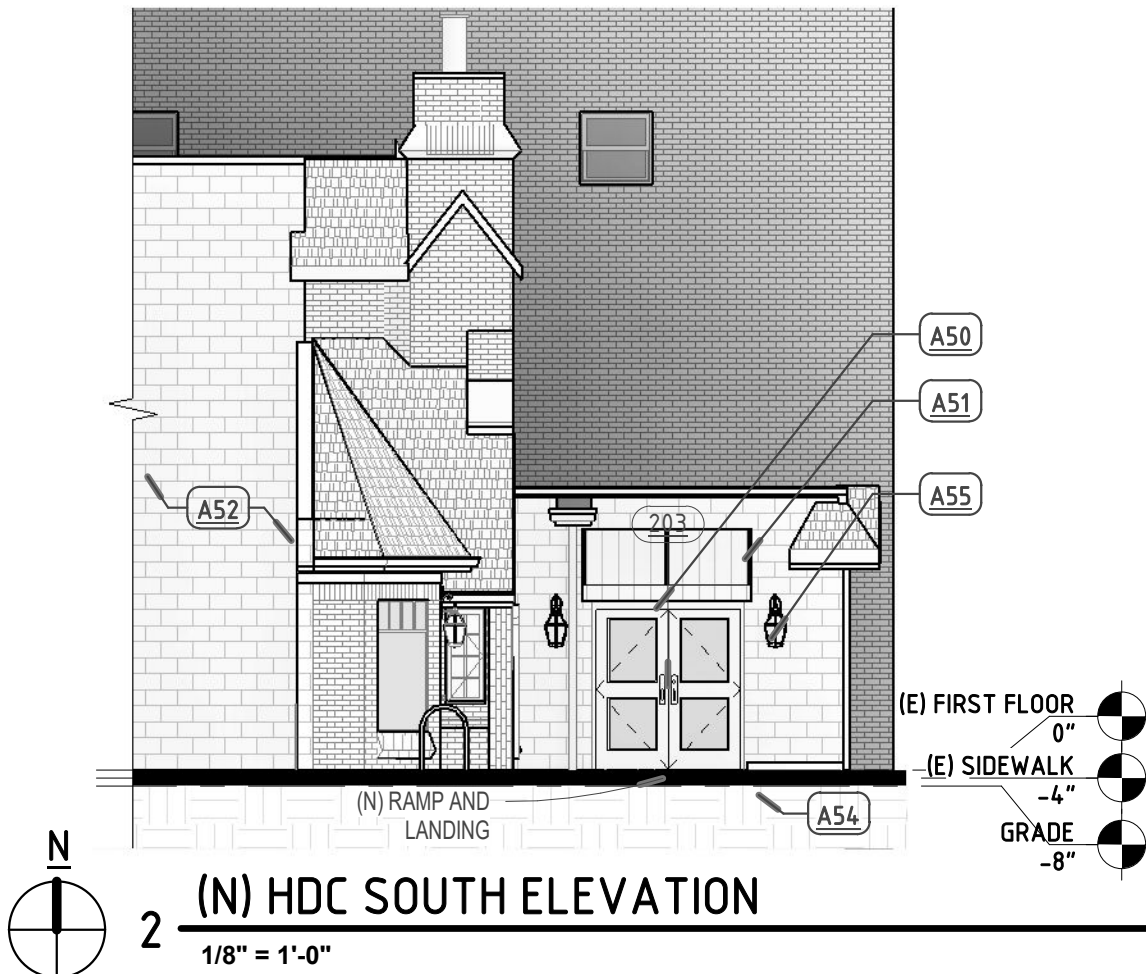
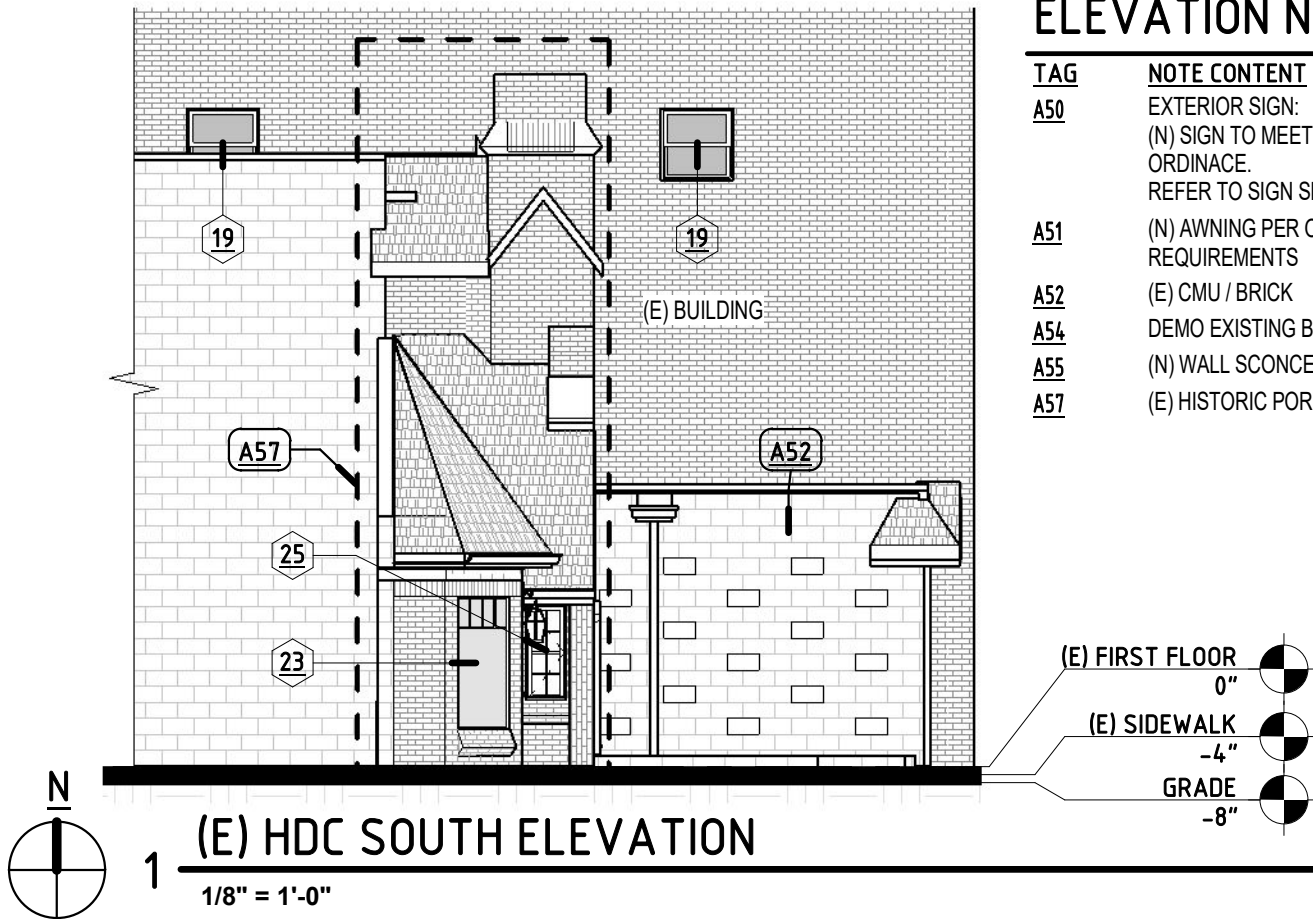
## BIKE HOOP DETAIL

HDC-1.6

REV. NO.	DATE	DRAWN BY	CHECKED BY
<b>DDA BIKE HOOP SURFACE MOUNTED</b>			
DR. ENG	CH. ENG	DRAWING NO.	
SCALE NTS	DATE 12/8/2023	<b>SD-DDA-10</b>	

# ELEVATION NOTES

TAG	NOTE CONTENT
A50	EXTERIOR SIGN: (N) SIGN TO MEET ZONING ORDINANCE. REFER TO SIGN SHOP DRAWINGS
A51	(N) AWNING PER ORDINANCE REQUIREMENTS
A52	(E) CMU / BRICK
A54	DEMO EXISTING BASMENT WINDOW
A55	(N) WALL SCENCE
A57	(E) HISTORIC PORTION OF BUILDING



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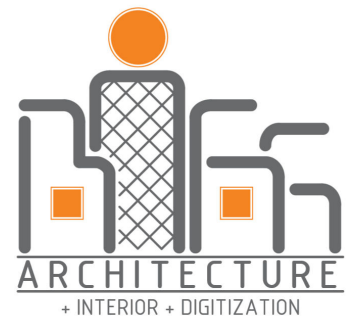
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**HDC-1.7**





(E) SOUTH WALL



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SCOPE IMAGE

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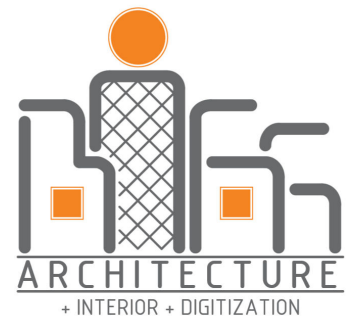
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HDC-1.8





(N) EXTERIOR PERSPECTIVE



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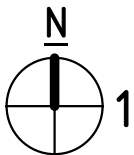
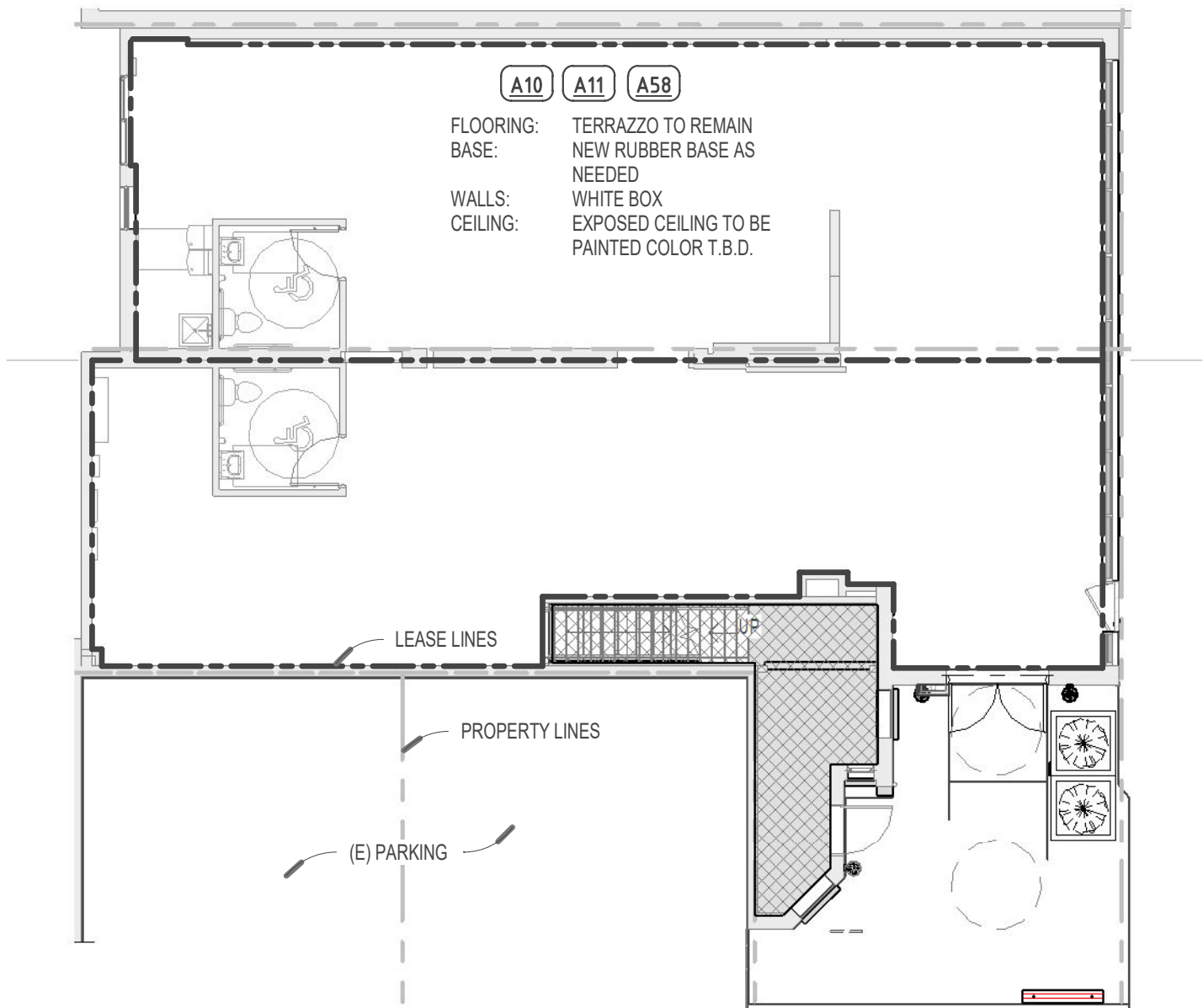
COLORED RENDERING

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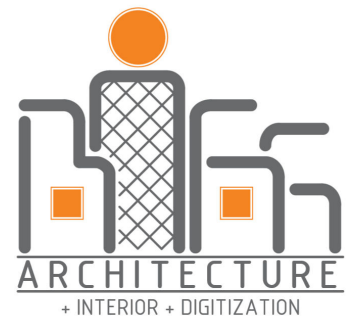
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**HDC-1.9**



## (N) HDC FIRST FLOOR

1" = 10'-0"



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**HDC-1.10**

## PLAN NOTES

TAG	NOTE CONTENT
A10	SAW CUT AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW UNDERGROUND PLUMBING (TYPICAL) INSTALL NEW SLAB AND REBAR PER LANDLORD DETAILS
A11	REFER TO SHEET INT FOR DOOR & HARDWARE TYPES
A58	PROPOSED WHITE BOX PREPARE FOR FUTURE MERCANTILE/BUSINESS USE

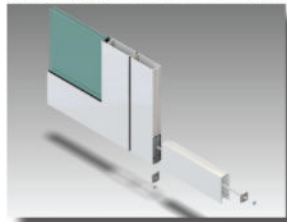


## Entrances

ON TIME. ON SPEC. ON COST.

Trulite is proud to offer a comprehensive line of entrance doors designed and tested to meet any project requirement. Each door is constructed with an innovative inter-locking rail and vertical stile ensuring the structural integrity of the door while providing simple shop modifications. Top and bottom rails "nest" into the vertical stiles providing additional strength and eliminating unsightly raw edges and daylight from showing through at the corners.

### Lifetime Corner Warranty



#### Inter-Locking Stile & Rail

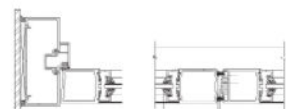
- Structural
- Aesthetic
- Performance

#### Tie-Rod Construction

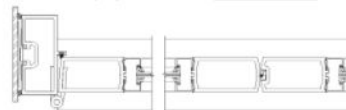
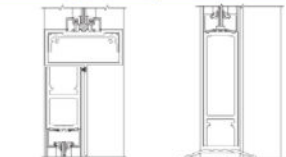
- Strong
- Durable
- Adaptable



### Standard Entrances



### Heavy Duty Entrances



Entrance Door Types	Door Thickness	Vertical Stile	Top Rail	Bottom Rail	Recommended Limits		Traffic Recommendation
					Single	Pair	
Series 200 Narrow Stile	1 3/4"	1 1/16"	2 1/2"	3 1/2"	42" x 96"	84" x 96"	Normal
Series 300 Medium Stile	1 3/4"	3 1/16"	3 1/2"	6 1/2"	42" x 108"	84" x 108"	Heavy to Abusive
Series 500 Wide Stile	1 3/4"	5"	5"	6 1/2"	42" x 108"	84" x 108"	Abusive
Magnum	2"	3 1/16"	3 1/2"	6 1/2"	42" x 108"	84" x 108"	Abusive
Varsity	2"	5"	5"	6 1/2"	42" x 108"	84" x 108"	Abusive

10" Bottom Rails may be substituted on the Non-Impact rated entrances listed above

Trulite Glass & Aluminum Solutions is proud to be your True Single Source Supplier of all your needs from Specification Sections: 08400, 08700, 08800 and 08900. Complete System Details are Available on [www.trulite.com](http://www.trulite.com).

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DOOR SPEC  
203 N 4TH AVE,  
ANN ARBOR, MI 48104  
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**HDC-1.11**



# Entrances

## Specifications



### 1.01 SUMMARY

- A. Section Includes: Aluminum Swing Doors, including:
  - 1. Trulite Series 200 Narrow Stile Swing Entrances.
  - 2. Trulite Series 300 Medium Stile Swing Entrances.
  - 3. Trulite Series 500 Wide Stile Swing Entrances.
- B. Related Sections:
  - 1. Glass and Glazing: Refer to Division 8 Glass and Glazing Section for glass and glazing requirements.
  - 2. Single Source Requirement: All products listed below shall be by the same manufacturer.
    - a. Section 08 41 13 Storefronts.
    - b. Section 08 44 13 Glazed Aluminum Curtain Walls.

### 1.02 SYSTEM PERFORMANCE DESCRIPTION

- A. Performance Requirements: Provide aluminum swing doors that comply with performance requirements indicated, as demonstrated by testing manufacturer's assemblies in accordance with test methods indicated.
  - 1. Air Infiltration shall be tested in accordance with ASTM E 283 at static pressure of 1.57 PSF (75 Pa). Infiltration shall not exceed the following:
    - a. For 200/300/500 Pair of Doors: 0.62 CFM/FT<sup>2</sup> of total door and frame area.
  - 2. Structural: Uniform Load Test in Accordance with ASTM E 330 at a static test pressure of +60psf/-70psf
  - 3. Forced Entry Resistance: 300 lbs.

### 1.06 WARRANTY

- A. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty document executed by an authorized company official.
  - 1. Warranty Period: Manufacturer's two (2) year standard warranty commencing on the date of shipment by Trulite Glass & Aluminum Solutions, LLC.
  - 2. Door Corner: Limited Lifetime Warranty

## PART 2 PRODUCTS

### 2.01 MANUFACTURERS (Acceptable Manufacturers/Products)

- A. Acceptable Manufacturers: Trulite Glass & Aluminum Solutions
  - 1. Narrow Stile Swing Doors: Trulite Series 200 Doors: 1 $\frac{1}{8}$ " (49.2mm) Door Stiles
  - 2. Medium Stile Swing Doors: Trulite Series 300 Doors: 3 $\frac{3}{8}$ " (93.7 mm) Door Stiles
  - 3. Wide Stile Swing Doors: Trulite Series 500: 5" (127 mm) Door Stiles
  - 4. Heavy Duty Medium Stile Swing Doors: Trulite Magnum Series: 3 $\frac{3}{8}$ " (93.7 mm) Door Stiles
  - 5. Heavy Duty Wide Stile Swing Doors: Trulite Varsity Series: 5" (127 mm) Door Stiles
  - 6. Corner Construction: Interlocking corner design that conceals the raw edges of the rails preventing daylight from showing through and to prevent twisting. Tie-rod construction to permit modification without violating the corner warranty
  - 5. Glazing Stops: Manufacturer's standard snap-in glazing stops with EPDM glazing gaskets to prevent water infiltration.
  - 6. Weather-stripping: Manufacturer's standard pile type in replaceable rabbets for stiles; manufacturer's standard EPDM bulb type in door frames.
  - 7. Hardware: Manufacturer's standard as selected by Architect.

### 2.02 MATERIALS

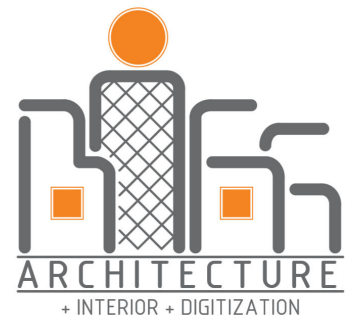
- A. Extrusions: ASTM B 221 (ASTM B 221M), 6063-T5 Aluminum Alloy.

### 2.06 FINISHES

- A. Anodized Finishing in accordance with the requirements of AAMA 611.
  - 1. Architectural Class II, etched, medium matte, clear anodic coating, 0.4 mil minimum thickness.
  - 2. Architectural Class I, etched, medium matte, black, dark bronze, medium bronze, champagne colored anodic coating, 0.7 mil minimum thickness.
- B. High Performance Organic Coating in accordance with either AAMA 2604 or AAMA 2605
  - 1. Finish coat of 50% (AAMA 2604) or 70% (AAMA 2605) minimum fluorocarbon resin fused to primed surfaces at temperature recommended by manufacturer, 1.0 mil minimum dry film thickness. Color to be selected by architect.

Trulite Glass & Aluminum Solutions is proud to be your True Single Source Supplier of all your needs from Specification Sections: 08400, 08700, 08800 and 08900. Complete System Details are Available on [www.trulite.com](http://www.trulite.com).

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131 E. COMMERCE ST.

MILFORD, MI 48381

248.886.4460

25116

FIRST FLOOR WHITE BOX

PERMIT

DOOR SPEC

203 N 4TH AVE,

ANN ARBOR, MI 48104

08.19.2025

HDC-1.12



# VISUAL COMFORT & Co.

## 89937EN3-12: Small One Light Outdoor Wall Lantern



### Dimensions:

Width:	6.5"	Extends:	7.75'
Height:	11.0"	Wire:	6.5" (color;Black/White)
Weight:	1.65 lbs.	Mounting Proc.:	Cap Nuts
		Connection:	Mounted To Box
		Watts:	9
		Lumens:	800
		Bulb Temp:	3000 °K

### Bulbs:

1 - LEDMedium A19 9.0w Max. 120v included

### Features:

- LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
- Meets Title 24 energy efficiency standards
- Title 24 compliant when used with included Joint Appendix (JA8) approved lamp.

### Material List:

1 Body - Aluminum - Black

### Safety Listing:

Safety Listed for Wet Locations

### Instruction Sheets:

English (88936 89936 88937 89937)

### Collection: Bakersville

One Light Outdoor Wall Lantern in Black Finish with Satin Etched Glass

Featured in the decorative Bakersville collection

1 A19 Medium 9.3 watt light bulb

Fixture is supplied with 1 light bulb

satin etched glass panels

ENERGY STAR® Qualified

UPC #:785652082825

Finish: Black (12)

### Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Panel	Glass	Satin Etched	6			2.5	4.75					

### Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	6.38	4.75	0.88		3.31	

### Replacement Bulb Data:

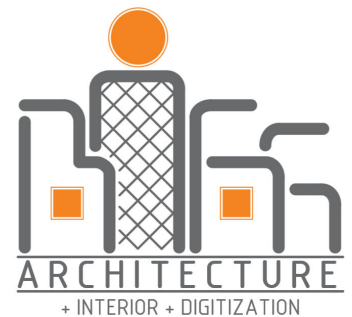
Product #	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI
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### Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	88936-12	1	785652082825	12.75	8.5	9.25	0.58	2.3	0	Yes
Master Pack	89937EN3-12	0	10785652082822							No
NJ Pallet		120		48.0	40.0	72.0	80.0	276.0		No
NV Pallet		120		48.0	40.0	72.0	80.0	276.0		No

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## LIGHT SPEC



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