

DEVELOPMENT PROGRAM

1. PROPOSED LAND USE
BROADWAY PARK IS A PROPOSED MIXED-USE DEVELOPMENT THAT WILL RE-USE AN UNDERUTILIZED AND ENVIRONMENTALLY CONTAMINATED SITE TO CREATE A PEDESTRIAN ORIENTED NEIGHBORHOOD AND PUBLIC OPEN SPACE ALONG THE HURON RIVER...

Table with 4 columns: Residential, Commercial, Public Amenity, and Total. Rows include Residential Building, Parking Deck, Hospitality, Food and Beverage, Commercial Buildings 1 & 2, Commercial 3, 4, 5 & 6, Pavilion & Concessions, and Total.

NOTE: BUILDING HEIGHT MEASURED FROM GRADE TO ROOF DECK, OR MID POINT OF PITCH WHERE APPLICABLE.

2. PRELIMINARY PHASING AND PROBABLE PROJECT COST
IT IS ANTICIPATED THAT THIS PROJECT WILL BE CONSTRUCTED IN PHASES. THE FIRST WILL BE THE CONSTRUCTION OF THE RESIDENTIAL CONDOMINIUMS AND THE PUBLIC OPEN SPACE...

THE ANTICIPATED PROJECT COST IS \$ 75,000,000

3. COMMUNITY ANALYSIS

a. IMPACT OF PROPOSED DEVELOPMENT ON AREA SCHOOLS:
ANN ARBOR'S AVERAGE HOUSE SIZE OF OWNER-OCCUPIED HOUSING IS 2.34 PERSONS, AND THE PERCENTAGE OF CHILDREN UNDER 18 IS 27%...

b. RELATIONSHIP OF INTENDED USE TO NEIGHBORING USES:
BECAUSE OF ITS INDUSTRIAL PAST, THE PROJECT SITE DOES NOT CURRENTLY HAVE A STRONG RELATIONSHIP WITH ANY OF ITS NEIGHBORS...

c. IMPACT ON ADJACENT USES ON THE PROPOSED DEVELOPMENT:
THE ADJACENT USES ARE ALL VERY SUPPORTIVE OF THE PROPOSED DEVELOPMENT. IT IS EXPECTED THAT NEARBY RESIDENTS WILL COME TO RIVER STREET TO ENJOY THE COMMERCIAL AND RESTAURANT OFFERINGS...

d. IMPACT OF PROPOSED DEVELOPMENT ON THE AIR / WATER QUALITY AND ON EXISTING NATURAL FEATURES OF THE SITE AND NEIGHBORING SITES:
AIR QUALITY - A MINIMAL LOCAL IMPACT ON AIR QUALITY MAY ARISE FROM INCREASED TRAFFIC TO THE PROJECT. HOWEVER, THIS IS LIKELY TO BE COUNTERBALANCED DUE TO SHORTER COMMUTE TIMES...

e. NATURAL FEATURES - WITH THE EXCEPTION OF THE HURON RIVER, THE PAST INDUSTRIAL USE HAS LEFT THE SITE LARGELY DEVOID OF NATURAL FEATURES. BRUSH AND TREES ARE LOCATED ALONG THE WEST EDGE OF THE RIVER AND ON THE SOUTH PROPERTY LINE...

f. WATER QUALITY - WATER QUALITY AND FLOW RATES WILL BE TREATED AND CONTROLLED IN ACCORDANCE WITH THE 2014 WASHTENAW COUNTY WATER RESOURCES COMMISSIONER REQUIREMENTS...

g. LANDSCAPING - THERE ARE NO PROPOSED DEVIATIONS FROM LANDSCAPE SCREENING AND BUFFER REQUIREMENTS.

h. BROWNFIELD MITIGATION RESPONSE:
IMPACT ON HISTORIC SITES OR STRUCTURES: THE SITE IS NOT IN AN HISTORIC DISTRICT, AND THERE ARE NO STRUCTURES ON THE SITE...

i. BROWNFIELD MITIGATION RESPONSE:
IMPACT ON HISTORIC SITES OR STRUCTURES: THE SITE IS NOT IN AN HISTORIC DISTRICT, AND THERE ARE NO STRUCTURES ON THE SITE...

Broadway Park
841 BROADWAY STREET
CITY OF ANN ARBOR, WASHTENAW COUNTY MICHIGAN
REZONING - M1 TO PUD
FEBRUARY 28, 2019

SmithGroup Project Number: 10420

PREPARED BY:
LANDSCAPE ARCHITECT/
CIVIL ENGINEER:
SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
734.662.4457
www.smithgroup.com

OWNER:
DETROIT EDISON
PROJECT MANAGER: JASON CLEMENS
1 ENERGY PLAZA,
DETROIT, MICHIGAN 48226
(313) 235-9714

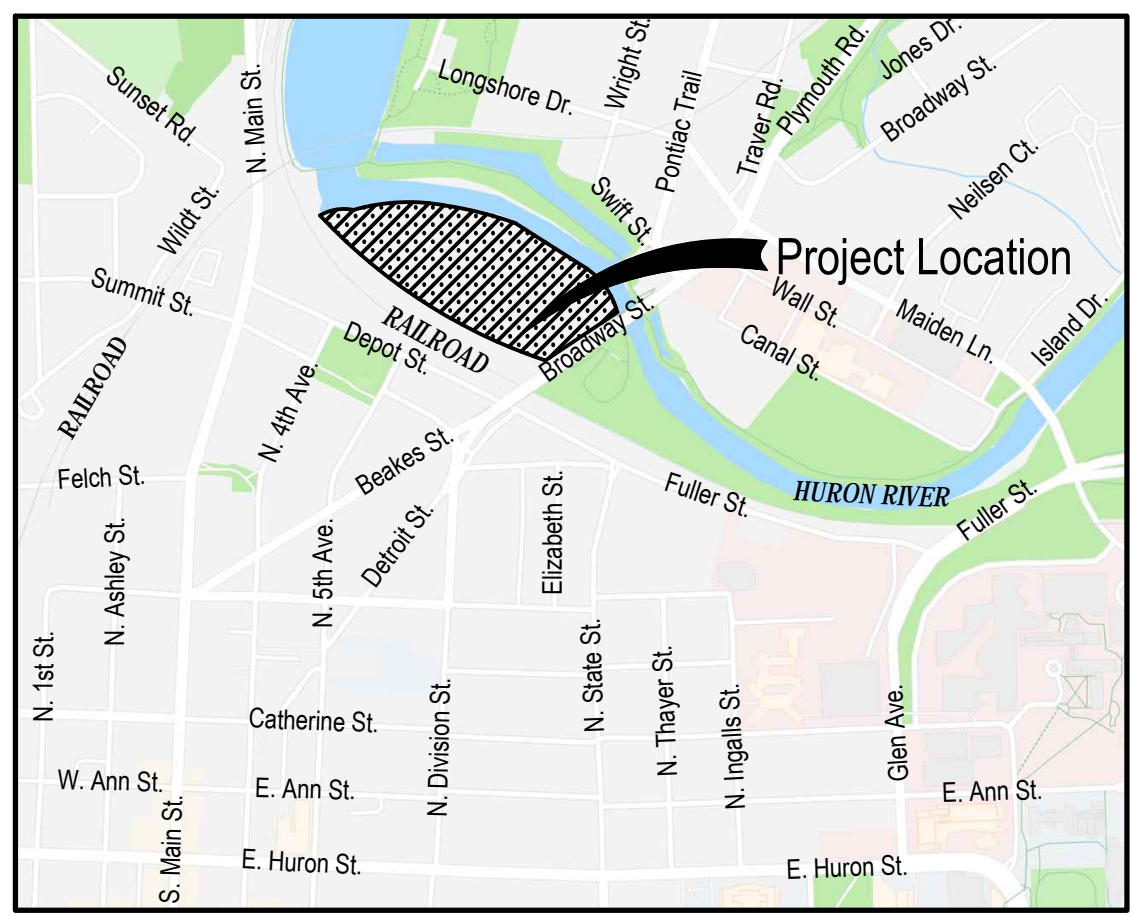
APPLICANT:
ROXBURY GROUP ON BEHALF OF
LOWER TOWN PARTNERS LLC.
117 GRISWOLD STREET
SUITE 1416
DETROIT, MI 48226
(313) 963-6118
CONTACT: CALLAN VANHERMERT

CONSULTANTS:
ARCHITECT:
HAMILTON ANDERSON ASSOCIATES
1435 RANDOLPH ST.
STE 200
DETROIT, MI 48226
(313) 964-0270

SURVEYOR:
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342
(248) 332-7931

ENVIRONMENTAL:
SME
4219 WOODWARD AVE.
SUITE 204
DETROIT, MI 48201
(248)922-1000

TRAFFIC ENGINEER:
ROWE PROFESSIONAL SERVICES
COMPANY
27260 HAGGERTY RD.
SUITE A-7
FARMINGTON HILLS, MI 48331



PROJECT LOCATION MAP
N.T.S.

SHEET LIST TABLE

Table with 2 columns: Sheet Number and Sheet Title. Lists sheets G001 through CU100 including cover, boundary surveys, site analysis, and conceptual plans.

SITE DATA COMPARISON CHART

Table comparing existing M-1 zoning with proposed PUD zoning. Columns include Zoning, Existing M-1 (Limited Industrial District), and Proposed PUD (Campus/Business/Residential District). Rows include Site Use, Lot Area, Floor Area, and various setbacks.

SITE ANALYSIS

- EXISTING LAND USE AND ACTIVITY ON THE SITE, AN INVENTORY OF SITE CONDITIONS, DESCRIPTION OF NATURAL FEATURES, LOCATION AND USE OF ALL EXISTING STRUCTURES ON THE SITE - SEE BOUNDARY/TOPOGRAPHIC/ TREE SURVEY.
EXISTING AND PROPOSED VEGETATION, PEDESTRIAN, AND BICYCLE WAY AND ACCESS TO POINTS - SEE SCHEMATIC CIRCULATION PATTERN.

CONCEPTUAL PUD DESIGN

- COMPARISON CHART. - SEE COVER SHEET
EXISTING AND PROPOSED TOPOGRAPHY - SEE BOUNDARY/TOPOGRAPHIC/ TREE SURVEY AND CONCEPTUAL GRADING PLAN.
ORIENTATION AND LOCATION OF IMPROVEMENTS - SEE CONCEPTUAL PUD PLAN.



4. PUD REZONING AND PUBLIC BENEFIT

AFTER REVIEW OF THE ZONING DISTRICT OPTIONS AND CONVERSATION WITH CITY STAFF AND THE COMMUNITY, IT WAS DETERMINED THAT REZONING TO A PUD WAS APPROPRIATE TO ACCOMMODATE THE VARIETY OF USES BEING PROPOSED...

- a. NEW PUBLICLY ACCESSIBLE OPEN SPACE ALONG THE HURON RIVER
b. EXPANDED PUBLIC ALL-SEASON RECREATION OPPORTUNITIES BY PROVIDING AN ICE RINK, WATER FEATURE, PADDLECRAFT LAUNCH WITH RENTALS AND AN EVENT PAVILION AND PERFORMANCE LAWN...
c. RESTORATION AND PROTECTION OF 1200 LF OF THE HURON RIVER RIPARIAN CORRIDOR

5. MASTER PLAN CONFORMANCE

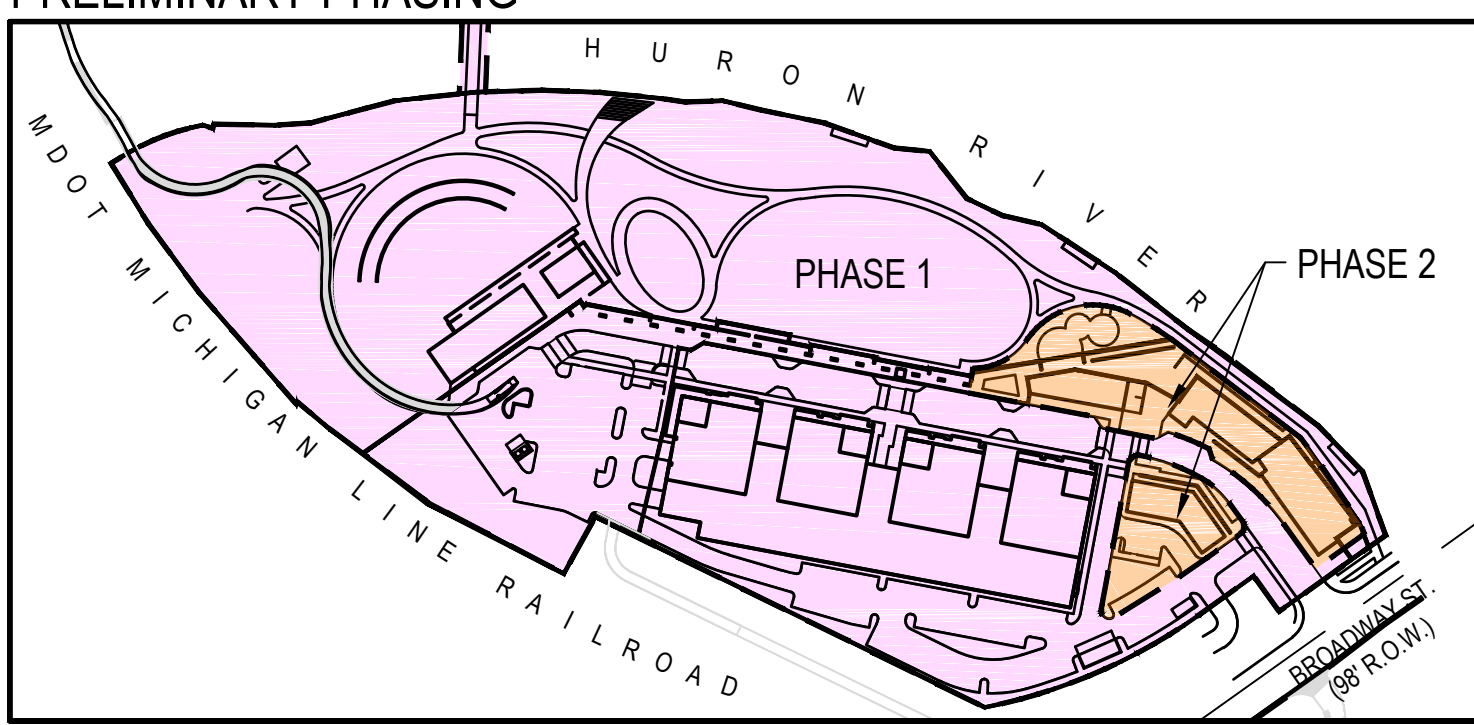
THE PROJECT IS LOCATED AT THE NORTHERN EDGE OF THE CENTRAL PLANNING AREA. THE CITY HAS IDENTIFIED FUTURE LAND USE FOR THIS PROPERTY AS A COMBINATION OF OPEN SPACE AND COMMERCIAL USES...

- a. THE PROPOSED PLAN IS CONSISTENT WITH THE CITY OF ANN ARBOR MASTER PLAN LAND USE ELEMENT (2009) AND THE NORTH MAIN STREET - HURON RIVER AREA CORRIDOR - VISION FOR THE FUTURE (2013)...
b. THE PROPOSED DEVELOPMENT SPECIFICALLY ADDRESSES MANY OF THE GOALS AND OBJECTIVES OF THE CITY OF ANN ARBOR MASTER PLAN LAND USE ELEMENT (2009) INCLUDING:

CHAPTER 4: NATURAL SYSTEMS AND THE ENVIRONMENT, SEC. III GOALS AND OBJECTIVES

- GOAL A, OBJ. 2: CONSIDERS ALTERNATE LAND USE DESIGNS THAT PROVIDE PROTECTION OF EXISTING NATURAL FEATURES
GOAL B, OBJ. 1: IMPROVE THE QUALITY OF SURFACE WATER, WHICH ENTERS THE HURON RIVER
GOAL C, OBJ. 1: ENCOURAGES THE USE OF MASS TRANSIT AND NON-MOTORIZED MODES OF TRANSPORTATION...

PRELIMINARY PHASING



PHASE 1 INCLUDES RESIDENTIAL, PARKING STRUCTURE, ROADS, PARKING LOTS, OPEN SPACE DEVELOPMENT PAVILION, WALLS, PADDLECRAFT LAUNCH, ICE RINK, CONCESSIONS, AND PEDESTRIAN BRIDGE TO CASCADES.
PHASE 2 INCLUDES COMMERCIAL AND HOSPITALITY DEVELOPMENT.

LEGAL DESCRIPTION - SEE SHEET NF 4 OF 4

TRAFFIC IMPACT STATEMENT AND ANALYSIS

ATTACHED UNDER SEPARATE COVER BY ROWE PROFESSIONAL SERVICES CO.

PUBLIC SIDEWALK MAINTENANCE STATEMENT

PER CHAPTER 49, SECTION 4.58 ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME...

ASSOCIATED APPLICATIONS

- APPLICATIONS ASSOCIATED WITH THIS ZONING/AREA PLAN INCLUDE:
1. REZONING PETITION TO THE CITY OF ANN ARBOR.
2. LETTER OF MAP REVISION (LOMR) TO THE FLOOD INSURANCE RATE MAP (FIRM) FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

BROWNFIELD MITIGATION

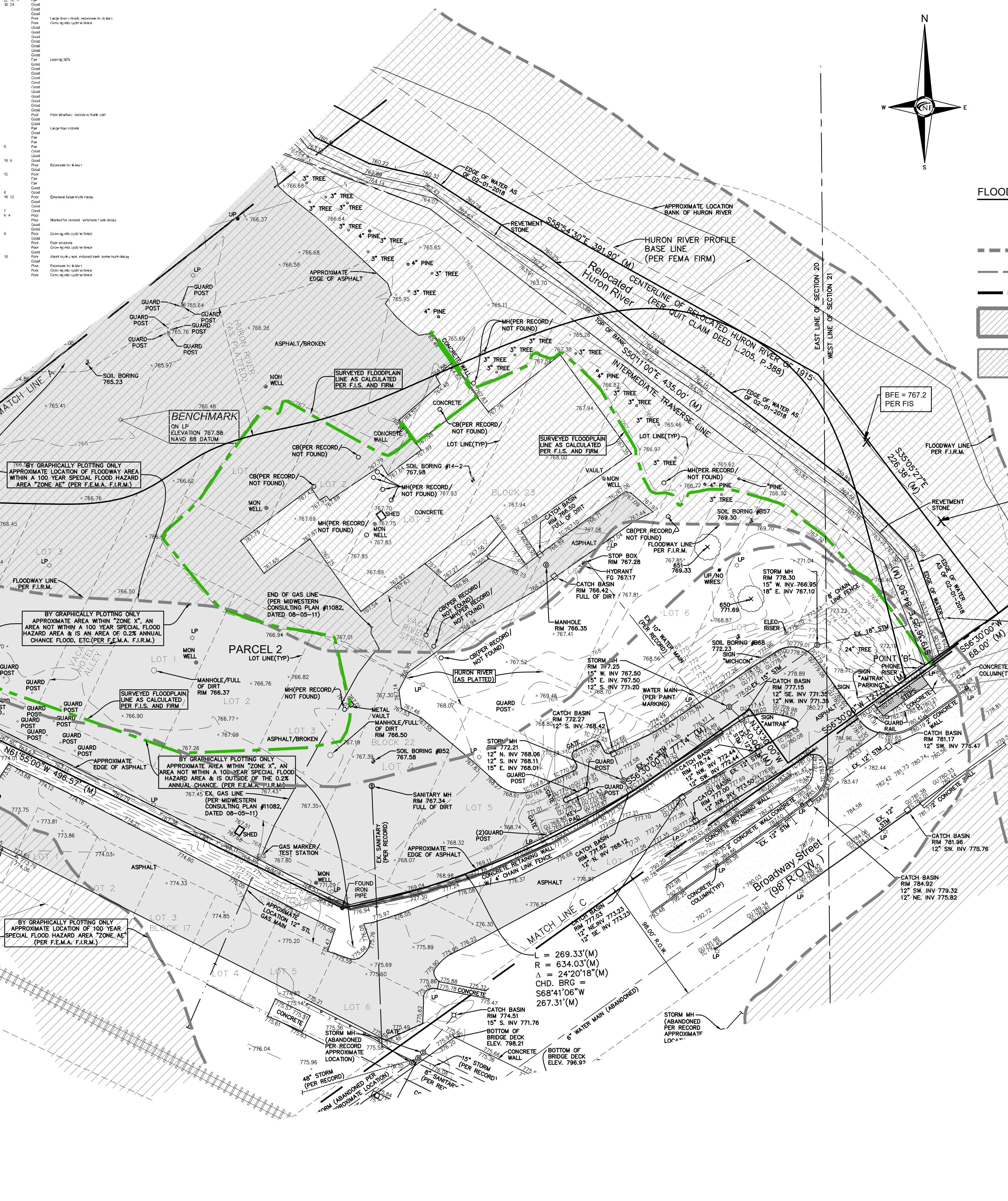
THE RESPONSE ACTIVITY PLAN FOR THE SITE IS DESIGNED TO MITIGATE HUMAN AND ENVIRONMENTAL EXPOSURE PATHWAYS IN A MANNER THAT SUPPOR TS REDEVELOPMENT AND REUSE OF THE PROPERTY...

NATURAL FEATURE MITIGATION

8 LANDMARK TREES ARE SHOWN FOR REMOVAL ON SHEET CV100, TOTALING 195 DBH. THESE TREES WILL BE REPLACED BY 3 SPECIES OF TREES NATIVE TO MICHIGAN, WITH AN ESTIMATED REPLACEMENT SIZE OF 3" CALIPER...

| Tree # | Botanical Name | Common Name | Type | Other Data | Condition | Comments | | | |
|--------|--------------------|-------------------|------|------------|-----------|----------|----|------|--|
| 166 | Acer saccharum | Sugar Maple | 24 | Mature | 22 | 18 | 17 | Fair | |
| 171 | Fraxinus americana | White Ash | 24 | Mature | 22 | 24 | 24 | Good | |
| 174 | Acer saccharum | Sugar Maple | 24 | Mature | 22 | 24 | 24 | Good | |
| 175 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 176 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 177 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 178 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 179 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 180 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 181 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 182 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 183 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 184 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 185 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 186 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 187 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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| 194 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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| 196 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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| 198 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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|--------|--------------------|-------------------|------|------------|-----------|----------|----|------|--|
| 201 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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| 203 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 204 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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| 206 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
| 207 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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| 209 | Thuja occidentalis | Eastern Red Cedar | 24 | Mature | 22 | 24 | 24 | Good | |
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Location Map
N.T.S.

NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

FLOODPLAIN LEGEND

- DENOTES EXISTING FLOODPLAIN LINE PER F.I.R.M. MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012
- - - DENOTES EXISTING FLOODWAY LINE PER F.I.R.M. MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012
- DENOTES SURVEYED FLOODPLAIN LINE AS CALCULATED PER F.I.S. AND F.I.R.M.
- DENOTES SFHA - FLOODPLAIN (ELEVATION VARIES) PER F.I.R.M. MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012
- DENOTES SFHA - FLOODWAY (ELEVATION VARIES) PER F.I.R.M. MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012

DATUM NOTE

THE VERTICAL DATUM FOR THIS SURVEY WAS ESTABLISHED BY N.A.V.D. 1988.

THE HORIZONTAL DATUM FOR THIS SURVEY WAS ESTABLISHED BY THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE NAD'83.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A07330660, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 01-11-2018. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISHED PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

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LEGEND

- MANHOLE --- EXISTING SANITARY SEWER
- HYDRANT --- EXISTING SAN. CLEAN OUT
- MANHOLE --- EXISTING WATER MAIN
- MANHOLE --- EXISTING STORM SEWER
- UTILITY POLE --- EX. R.Y. CATCH BASIN
- UTILITY POLE --- EXISTING BURIED CABLES
- UTILITY POLE --- OVERHEAD LINES
- UTILITY POLE --- LIGHT POLE
- UTILITY POLE --- SIGN
- UTILITY POLE --- ELECTRIC RISER
- UTILITY POLE --- EXISTING GAS MAIN

PROJECT
841 Broadway

CLIENT
The Roxbury Group
117 Griswold Street
Suite 1416
Detroit, Michigan 48226
Contact Vince Dattilo
Ph- 248-496-9099

PROJECT LOCATION
Part of the E 1/2 of the
SE 1/4 of Section 20
T.2,S R.6E
City of Ann Arbor,
Washtenaw County, Michigan

SHEET
Boundary / Topographic /
Tree Survey

ISSUED / REVISED

- 02-08-2018 Rev. Topo and Title Comm.
- 02-28-2018 Revised Boundary
- 03-05-2018 Revised Commitment
- 07-10-2018 Revised Scale
- 08-08-2018 Revised Border
- 09-27-2018 Revised Flood Information
- 10-12-2018 Additional Topographic Survey
- 01-02-2019 Topo Trees and Bridge

DRAWN BY:
D. McConkey

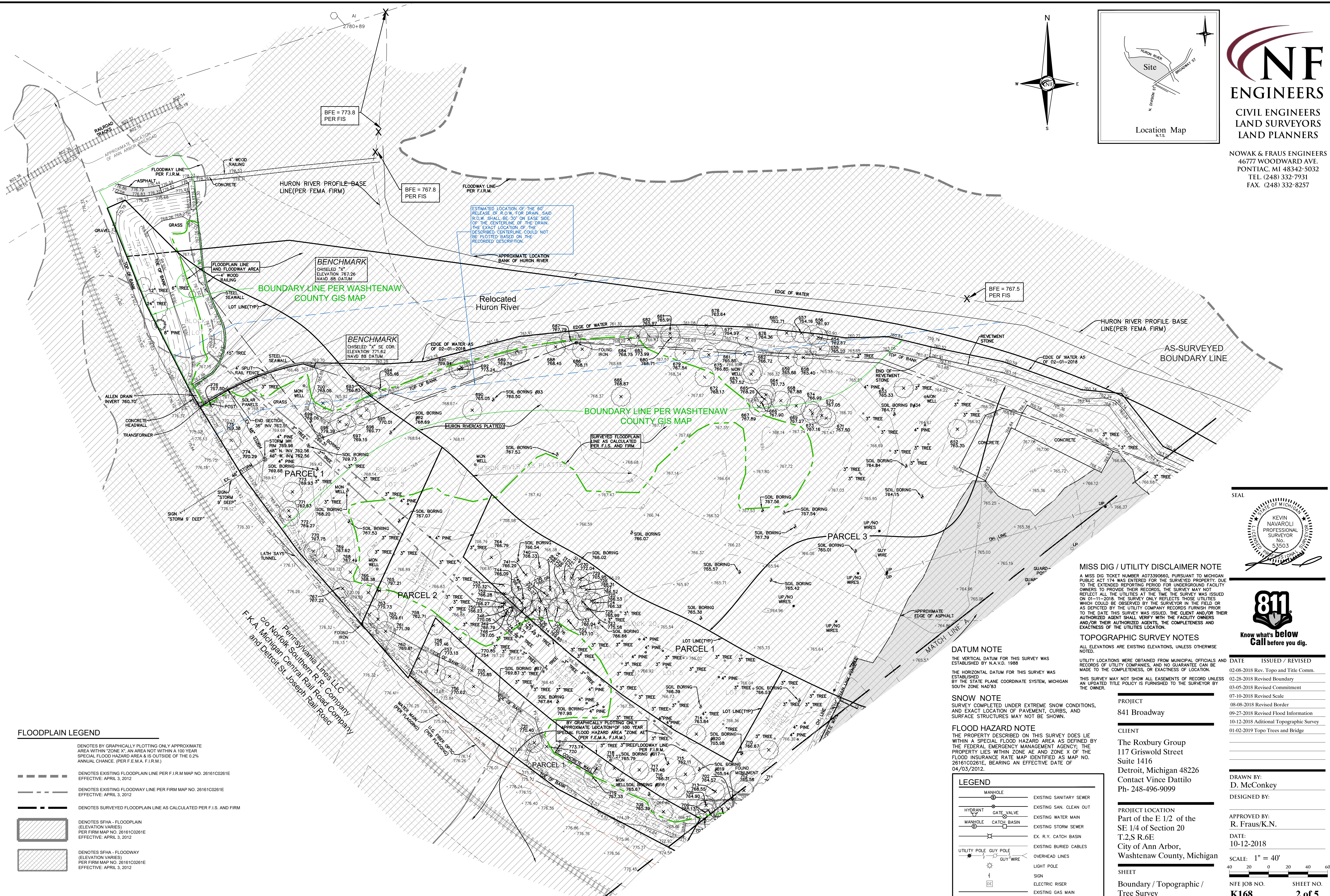
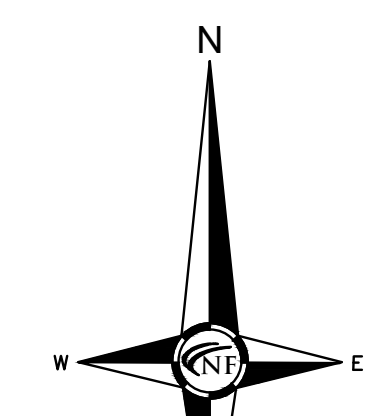
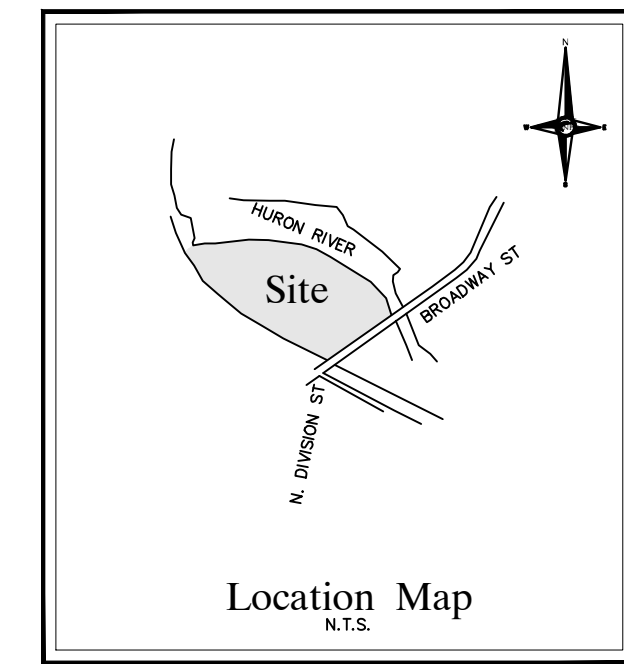
DESIGNED BY:

APPROVED BY:
R. Fraus/K.N.

DATE:
10-12-2018

SCALE: 1" = 40'

NFE JOB NO. **K168** SHEET NO. **1 of 5**



FLOODPLAIN LEGEND

| | |
|--|--|
| | DENOTES BY GRAPHICALLY PLOTTING ONLY APPROXIMATE AREA WITHIN "ZONE X". AN AREA NOT WITHIN A 100 YEAR SPECIAL FLOOD HAZARD AREA IS OUTSIDE OF THE 0.2% ANNUAL CHANCE. (PER F.E.M.A. F.I.R.M.) |
| | DENOTES EXISTING FLOODWAY LINE PER F.I.R.M. MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012 |
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| | DENOTES SFHA - FLOODPLAIN (ELEVATION VARIATIONS) PER FIRM MAP NO. 26161C0261E EFFECTIVE: APRIL 3, 2012 |
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SNOW NOTE

SURVEY COMPLETED UNDER EXTREME SNOW CONDITIONS, AND EXACT LOCATION OF PAYMENT, CURBS, AND SURFACE STRUCTURES MAY NOT BE SHOWN.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE AE AND ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26161C0261E, BEARING AN EFFECTIVE DATE OF 04/03/2012.

LEGEND

| | |
|--|-------------------------|
| | EXISTING SANITARY SEWER |
| | EXISTING SAN. CLEAN OUT |
| | EXISTING WATER MAIN |
| | EXISTING STORM SEWER |
| | EX. R.Y. CATCH BASIN |
| | EXISTING BURIED CABLES |
| | OVERHEAD LINES |
| | LIGHT POLE |
| | SIGN |
| | ELECTRIC RISER |
| | EXISTING GAS MAIN |

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PROJECT

841 Broadway

CLIENT

The Roxbury Group
117 Griswold Street
Suite 1416
Detroit, Michigan 48226
Contact Vince Dattilo
Ph- 248-496-9099

PROJECT LOCATION

Part of the E 1/2 of the
SE 1/4 of Section 20
T.2,S.R.6E
City of Ann Arbor,
Washtenaw County, Michigan

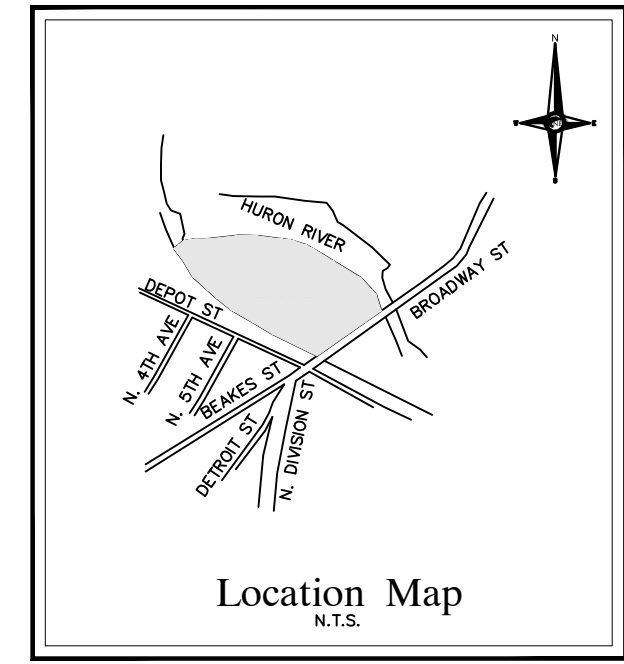
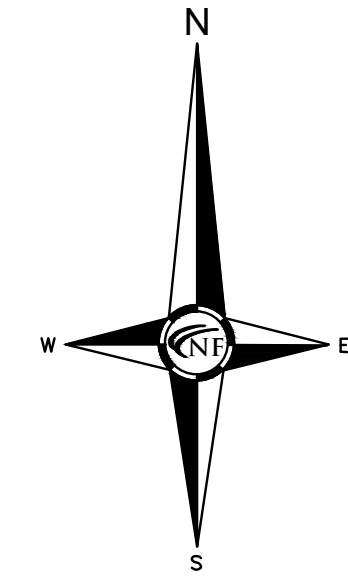
SHEET

Boundary / Topographic /
Tree Survey



| DATE | ISSUED / REVISED |
|------------|-------------------------------|
| 02-08-2018 | Rev. Topo and Title Comm. |
| 02-28-2018 | Revised Boundary |
| 03-05-2018 | Revised Commitment |
| 07-10-2018 | Revised Scale |
| 08-08-2018 | Revised Border |
| 09-27-2018 | Revised Flood Information |
| 10-12-2018 | Additional Topographic Survey |
| 01-02-2019 | Topo Trees and Bridge |

| |
|--------------------------------------|
| DRAWN BY: D. McConkey |
| DESIGNED BY: |
| APPROVED BY: R. Fraus/K.N. |
| DATE: 10-12-2018 |
| SCALE: 1" = 40' |
| NFE JOB NO. SHEET NO. K168 2 of 5 |



FLOODPLAIN LEGEND

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SEAL



PROJECT

841 Broadway

CLIENT

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117 Griswold Street
Suite 1416
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Contact Vince Dattilo
Ph- 248-496-9099

PROJECT LOCATION

Part of the E 1/2 of the
SE 1/4 of Section 20
T.2,S R.6E
City of Ann Arbor,
Washtenaw County, Michigan

SHEET

Boundary / Topographic /
Tree Survey



Know what's below
Call before you dig.

DATE ISSUED / REVISED

| | |
|------------|-------------------------------|
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| 09-27-2018 | Revised Flood Information |
| 10-12-2018 | Additional Topographic Survey |
| 01-02-2019 | Topo Trees and Bridge |

DATUM NOTE

THE VERTICAL DATUM FOR THIS SURVEY WAS ESTABLISHED BY N.A.M.S. 1988.
THE HORIZONTAL DATUM FOR THIS SURVEY WAS ESTABLISHED BY THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE NAD'83

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A073390660, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 01-11-2018. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

| | |
|--|-------------------------|
| | EXISTING SANITARY SEWER |
| | EXISTING SAN. CLEAN OUT |
| | EXISTING WATER MAIN |
| | EXISTING STORM SEWER |
| | EXISTING BURIED CABLES |
| | OVERHEAD LINES |
| | LIGHT POLE |
| | SIGN |
| | ELECTRIC RISER |
| | EXISTING GAS MAIN |

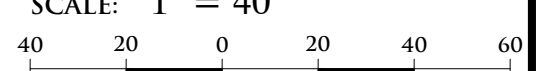
DRAWN BY:
D. McConkey

DESIGNED BY:

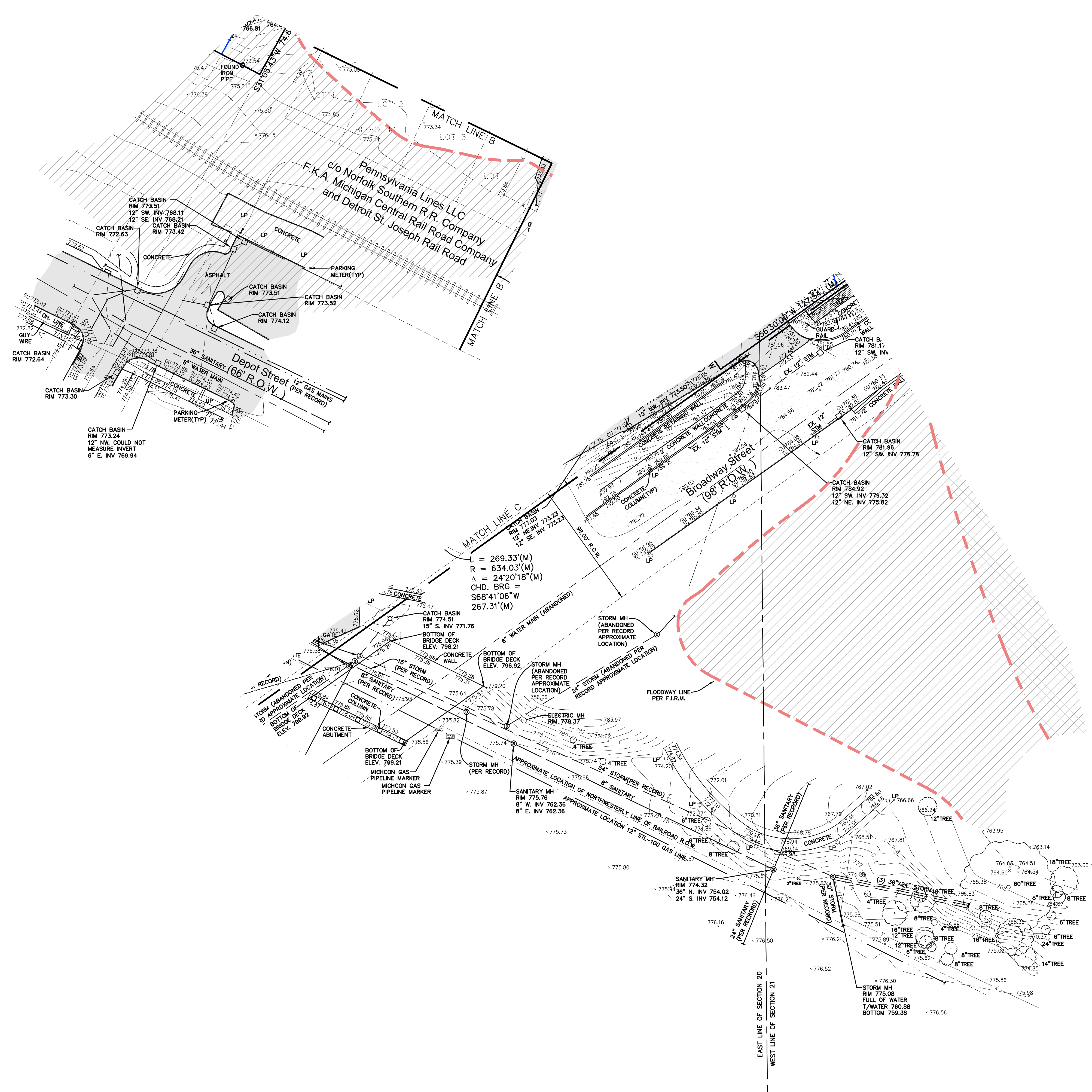
APPROVED BY:
R. Fraus/K.N.

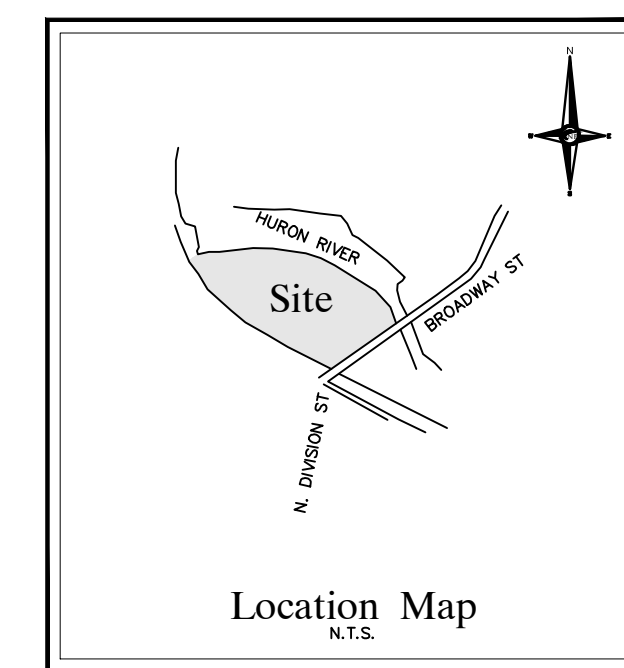
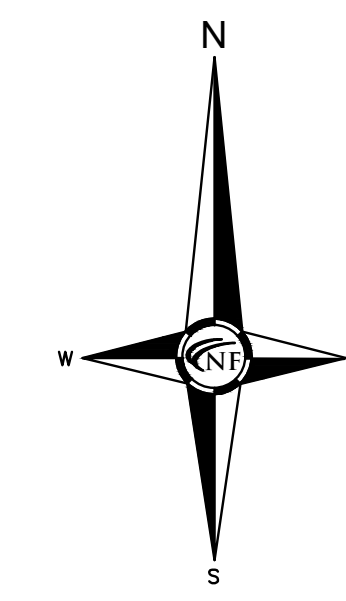
DATE:
10-12-2018

SCALE: 1" = 40'

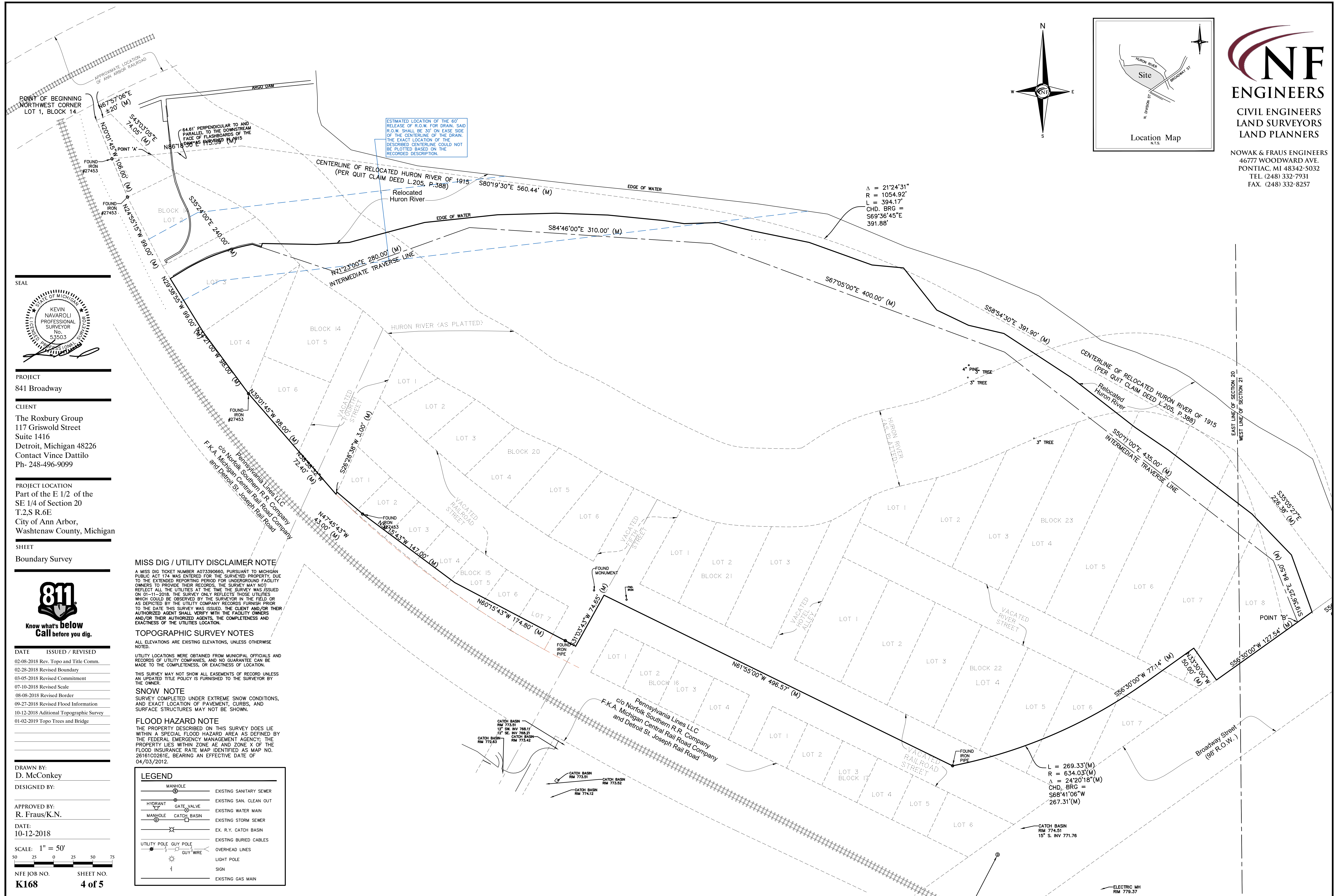


NFE JOB NO. SHEET NO.
K168 3 of 5





NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



ESTIMATED LOCATION OF THE 60' RELEASE OF R.O.W. FOR DRAIN, SAID R.O.W. SHALL BE 30' ON EASE SIDE OF THE CENTERLINE OF THE DRAIN. THE EXACT LOCATION OF THE DESCRIBED CENTERLINE COULD NOT BE PLOTTED BASED ON THE RECORDED DESCRIPTION.

$\Delta = 21'24.31''$
 $R = 1054.92'$
 $L = 394.17'$
 $CHD, BRG =$
 $S69'36.45''E$
 $391.88'$

$L = 269.33'(M)$
 $R = 634.03'(M)$
 $\Delta = 24'20.18''(M)$
 $CHD, BRG =$
 $S88'41.06''W$
 $267.31'(M)$



PROJECT
841 Broadway

CLIENT
The Roxbury Group
117 Griswold Street
Suite 1416
Detroit, Michigan 48226
Contact Vince Dattilo
Ph- 248-496-9099

PROJECT LOCATION
Part of the E 1/2 of the
SE 1/4 of Section 20
T.2,S R.6E
City of Ann Arbor,
Washtenaw County, Michigan

SHEET
Boundary Survey



| DATE | ISSUED / REVISED |
|------------|-------------------------------|
| 02-08-2018 | Rev. Topo and Title Comm. |
| 02-28-2018 | Revised Boundary |
| 03-05-2018 | Revised Commitment |
| 07-10-2018 | Revised Scale |
| 08-08-2018 | Revised Border |
| 09-27-2018 | Revised Flood Information |
| 10-12-2018 | Additional Topographic Survey |
| 01-02-2019 | Topo Trees and Bridge |

DRAWN BY:
D. McConkey

DESIGNED BY:

APPROVED BY:
R. Fraus/K.N.

DATE:
10-12-2018

SCALE: 1" = 50'

MISS DIG / UTILITY DISCLAIMER NOTE

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THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

SNOW NOTE

SURVEY COMPLETED UNDER EXTREME SNOW CONDITIONS, AND EXACT LOCATION OF PAVEMENT, CURBS, AND SURFACE STRUCTURES MAY NOT BE SHOWN.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE AE AND ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26161C0261E, BEARING AN EFFECTIVE DATE OF 04/03/2012.

| LEGEND | |
|--------|-------------------------|
| | EXISTING SANITARY SEWER |
| | EXISTING SAN. CLEAN OUT |
| | EXISTING WATER MAIN |
| | EXISTING STORM SEWER |
| | EX. R.Y. CATCH BASIN |
| | EXISTING BURIED CABLES |
| | OVERHEAD LINES |
| | LIGHT POLE |
| | SIGN |
| | EXISTING GAS MAIN |

SITE ANALYSIS NOTES

1. THE BASE SURVEY WAS PREPARED BY NOWAK FRAUS IN JANUARY 2018
2. SEE SHEET NF 1 OF 4 FOR TREE SIZE AND SPECIES.

LEGEND

- PROPERTY BOUNDARY
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- BRUSH (APPROX. LIMITS PER 2018 AERIAL PHOTOGRAPHY)
- STEEP SLOPES GREATER THAN 20% (PER CITY OF ANN ARBOR NATURAL FEATURES ORDINANCE)
- EXISTING RIPRAP
- LANDMARK TREES TO REMAIN (SEE SHEET NF 1 OF 4 FOR LIST OF TREE SPECIES)
- LANDMARK TREES TO BE REMOVED
- PRESERVED 6" CALIPER OR GREATER TREE
- 6" CALIPER OR GREATER TREE TO BE REMOVED
- SOIL TYPE DELINEATION

SOILS DESCRIPTION

- BnB - BOYER LOAMY SAND, 1-6% SLOPES (TYPE B SOILS), 11.6 ACRES IN AOI
- FD - FILL LAND, 4.8 ACRES IN AOI
- FoB - FOX SANDY LOAM, TILL PLAIN, 2-6% SLOPES, 3.8 ACRES IN AOI
- FoC - FOX SANDY LOAM, 6-12% SLOPES, 3 ACRES IN AOI

BROADWAY PARK

841 BROADWAY STREET
ANN ARBOR, MI 48104

Applicant:
THE ROXBURY GROUP
ON BEHALF OF:
LOWER TOWN PARTNERS, LLC

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
734.662.4457
www.smithgroupjr.com

HAMILTON ANDERSON
1435 RANDOLPH STREET, STE 200
DETROIT, MI 48226

| ISSUED FOR | REV | DATE |
|-----------------------------|-----|-----------|
| REVISED CONCEPTUAL PUD PLAN | F | 28 FEB 19 |
| REVISED CONCEPTUAL PUD PLAN | E | 18 DEC 18 |
| CONCEPTUAL PUD RESPONSE | D | 27 NOV 18 |
| CONCEPTUAL PUD PLAN | C | 19 OCT 18 |
| PC PRE-APPLICATION MEETING | B | 08 OCT 18 |
| REZONING / AREA PLAN | A | 23 AUG 18 |

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

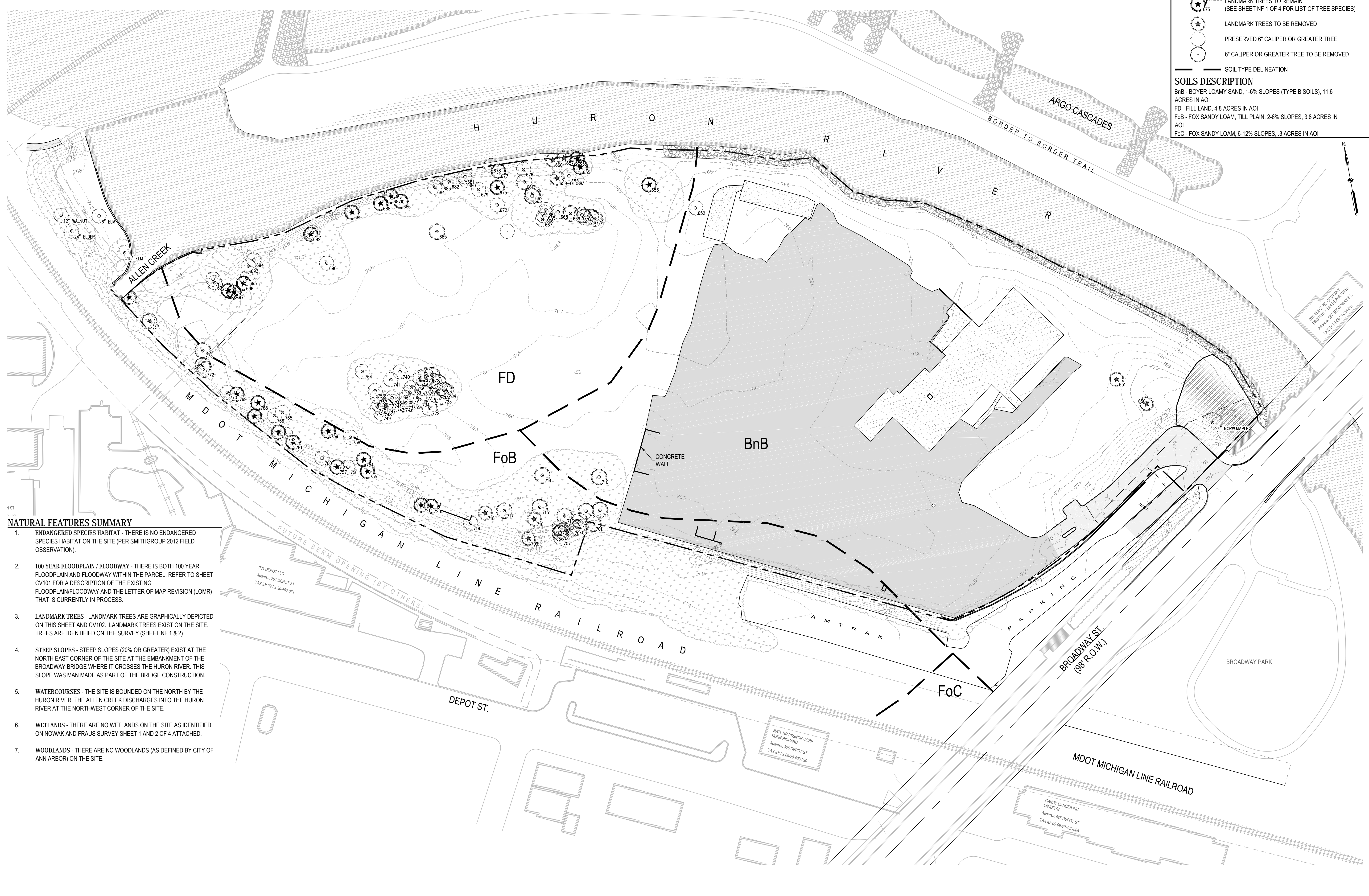
KEY PLAN

DRAWING TITLE
SITE ANALYSIS

SCALE
1" = 60'

PROJECT NUMBER
10420

DRAWING NUMBER
CV100



- NATURAL FEATURES SUMMARY**
1. ENDANGERED SPECIES HABITAT - THERE IS NO ENDANGERED SPECIES HABITAT ON THE SITE (PER SMITHGROUP 2012 FIELD OBSERVATION).
 2. 100 YEAR FLOODPLAIN / FLOODWAY - THERE IS BOTH 100 YEAR FLOODPLAIN AND FLOODWAY WITHIN THE PARCEL. REFER TO SHEET CV101 FOR A DESCRIPTION OF THE EXISTING FLOODPLAIN/FLOODWAY AND THE LETTER OF MAP REVISION (LMR) THAT IS CURRENTLY IN PROCESS.
 3. LANDMARK TREES - LANDMARK TREES ARE GRAPHICALLY DEPICTED ON THIS SHEET AND CV102. LANDMARK TREES EXIST ON THE SITE. TREES ARE IDENTIFIED ON THE SURVEY (SHEET NF 1 & 2).
 4. STEEP SLOPES - STEEP SLOPES (20% OR GREATER) EXIST AT THE NORTH EAST CORNER OF THE SITE AT THE EMBANKMENT OF THE BROADWAY BRIDGE WHERE IT CROSSES THE HURON RIVER. THIS SLOPE WAS MAN MADE AS PART OF THE BRIDGE CONSTRUCTION.
 5. WATERCOURSES - THE SITE IS BOUNDED ON THE NORTH BY THE HURON RIVER. THE ALLEN CREEK DISCHARGES INTO THE HURON RIVER AT THE NORTHWEST CORNER OF THE SITE.
 6. WETLANDS - THERE ARE NO WETLANDS ON THE SITE AS IDENTIFIED ON NOWAK AND FRAUS SURVEY SHEET 1 AND 2 OF 4 ATTACHED.
 7. WOODLANDS - THERE ARE NO WOODLANDS (AS DEFINED BY CITY OF ANN ARBOR) ON THE SITE.

FILE: \\pwr-fila\projects\10420\000\CAD\Civil\CV100-TOP0.dwg USER: dextrod DATE: Feb, 27 2019 TIME: 07:18 pm

FLOODWAY / FLOODPLAIN

THE BROADWAY PARK DESIGN TEAM IS REQUESTING A REVISION TO THE PREVIOUSLY ESTABLISHED FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100-YEAR FLOODPLAIN AND FLOODWAY DESIGNATION BASED UPON UPDATED EXISTING SITE TOPOGRAPHY AND AN EXISTING CONDITIONS HYDRAULIC ANALYSIS. THIS INFORMATION IS BEING PROVIDED TO SECURE A LETTER OF MAP REVISION (LOMR) FROM FEMA AND APPROVAL FROM THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ).

LEGEND

- PROPERTY BOUNDARY
- ▒ ASPHALT PAVEMENT
- ▒ CONCRETE PAVEMENT
- PENDING FLOODWAY LOMR
- PENDING FLOODPLAIN LOMR
- FLOODPLAIN PER F.I.R.M.
- FLOODWAY F.I.R.M.
- ← FLOW ARROW

BROADWAY PARK

841 BROADWAY STREET
ANN ARBOR, MI 48104

Applicant:
THE ROXBURY GROUP
ON BEHALF OF:
**LOWER TOWN
PARTNERS, LLC**

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
734.662.4457
www.smithgroupjr.com

HAMILTON ANDERSON
1435 RANDOLPH STREET, STE 200
DETROIT, MI 48226

| ISSUED FOR | REV | DATE |
|-----------------------------|-----|-----------|
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| REZONING / AREA PLAN | A | 23 AUG 18 |

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
FLOODPLAIN MAP

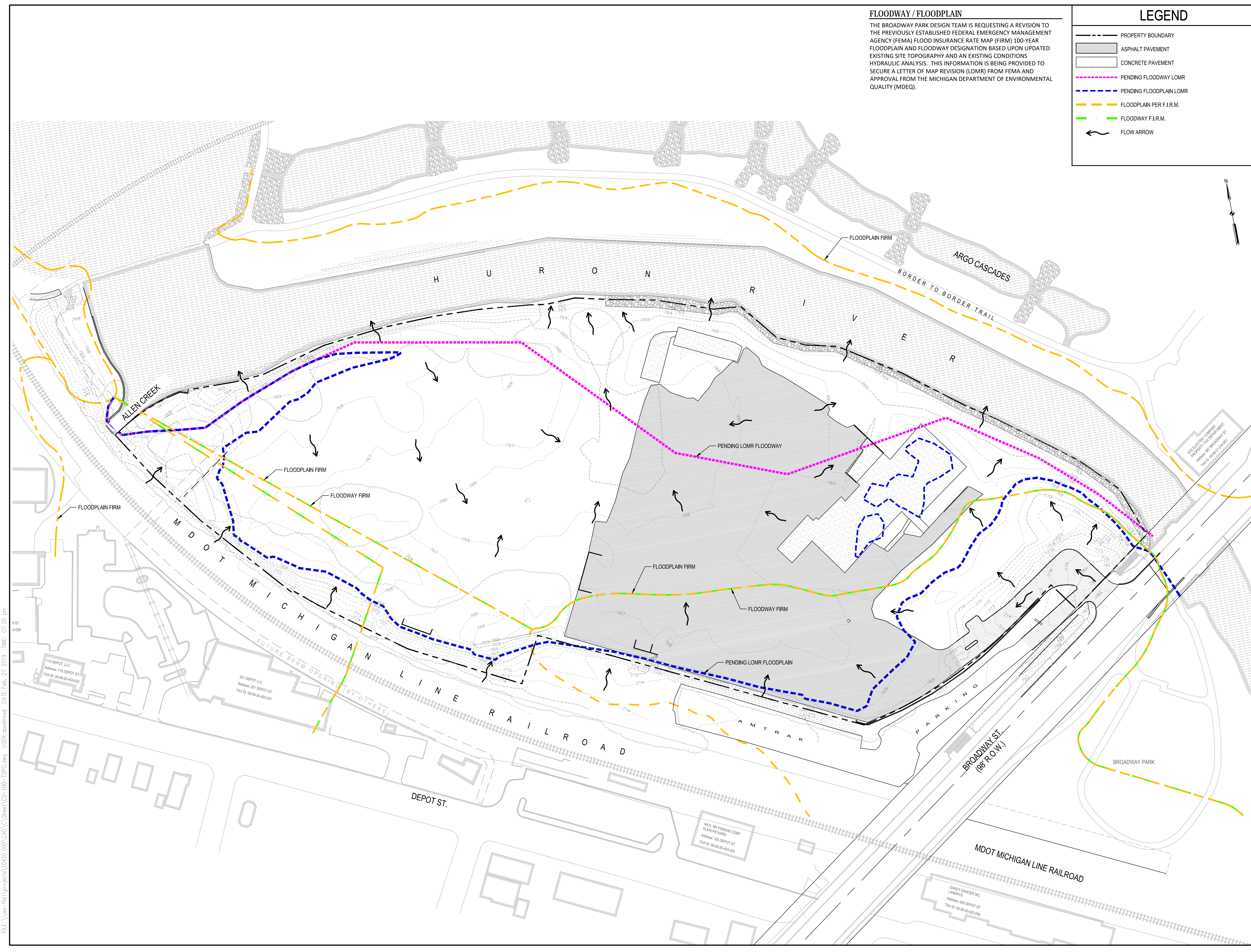
0' 30' 60' 120'
SCALE: 1" = 60'

SCALE 10420

PROJECT NUMBER

CV101

DRAWING NUMBER



FILE: \\bar-filer\projects\10420\000\CAD\C\Sheet\C\100-TOPO.dwg USER: dextrod DATE: Feb. 27 2019 TIME: 07:20 pm

115 DEPOT, LLC
Address: 115 DEPOT ST
TAX ID: 09-09-20-403-022

201 DEPOT, LLC
Address: 201 DEPOT ST
TAX ID: 09-09-20-403-021

NATL RR FRINGE CORP
ALEX RICHARD
Address: 303 DEPOT ST
TAX ID: 09-09-20-403-020

GANDY GANCER INC
LANDRY'S
Address: 425 DEPOT ST
TAX ID: 09-09-20-403-028

THE ELECTIVE COMPANY
PROPERTY TAX DEPARTMENT
Address: 901 BROADWAY ST
TAX ID: 09-02-00-000

PARKING REQUIREMENTS

| PROJECT USE - DEFINED | | USE CLASSIFICATION | VEHICULAR PARKING REQUIRED* | COUNT | BIKE PARKING REQUIRED | Type A | Type B | Type C |
|---|--------|--|---|------------|-----------------------------------|-----------|----------|-----------|
| Residential Uses | 104 | Multiple-family Dwelling | 1.5 space per unit | 156 | 1 space/5 units (50% A and 50% C) | 11 | | 11 |
| **Hotel Rooms | 132 | Hotels/motels | 0.75 space / room (1 space / room required by code) | 99 | 1 space/30 rooms (100% A) | 5 | | |
| Restaurant/Brewery | 5000 | Restaurants | 1 space per 100 SF floor area | 50 | 1 space/750 SF (50% B and 50% C) | | 3 | 4 |
| | 5000 | Limited manufacturing, research and development labs | 1 space per 600 SF floor area | 8 | 1 space/6000 SF (100% B) | | 1 | |
| Commercial/Retail | 10,900 | Retail stores/centers less than 300,000 SF | 1 space per 310 SF floor area | 35 | 1 space/3000 SF (50% B and 50% C) | | 2 | 2 |
| Pavilion (Incl. Concessions) | 7,800 | Dance halls, assembly halls and convention halls | 1 space per 100 SF floor area | 78 | 1 space/1000 SF (100% C) | | | 8 |
| | | | TOTAL REQUIRED | 426 | | 16 | 6 | 25 |
| General Recreation (including Skating and Livery) | | N/A | Estimated Demand | 35 | | | | |
| Flex Parking / Plaza / Event Parking | | N/A | Estimated Demand | 25 | | | | |
| | | | Total Additional Provided | 60 | | | | |
| | | | Structured - L1 + L2 | 276 | | | | |
| | | | Surface (including on-street) | 210 | | | | |
| | | | TOTAL PROVIDED | 486 | | | | |

*PER CITY OF ANN ARBOR CODE REQUIREMENTS FOR ALL USES EXCEPT HOTEL.
 **HOTEL REQUIREMENTS MODIFIED FROM CITY OF ANN ARBOR CODE REQUIREMENTS BASED UPON DEVELOPER EXPERIENCE.

NOTES

PARKING APPROACH
 1. PARKING WILL BE ALLOWED ON EACH SIDE OF THE ROAD IN DESIGNATED PARKING SPOTS. TWO PARKING LOTS WILL BE AVAILABLE ON THE EAST AND WEST SIDE OF THE SITE AS WELL AS THE TOP LEVEL OF THE PARKING DECK FOR HOTEL, FOOD AND BEVERAGE, RETAIL AND PAVILION PATRONS. THE FIRST FLOOR OF THE PARKING DECK WILL BE RESERVED FOR RESIDENTS. THE SOUTHERN PARKING LOT WILL BE RESERVED FOR VALET PARKING FOR HOSPITALITY USE.

LEGEND

- LANDMARK TREES
- PROPOSED BRUSH LINE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RETAINING WALL
- STANDARD CURB AND GUTTER
- SETBACK LINE
- DECK
- PERMEABLE PAVEMENT

BROADWAY PARK

841 BROADWAY STREET
 ANN ARBOR, MI 48104

Applicant:
 THE ROXBURY GROUP
 ON BEHALF OF:
 LOWER TOWN
 PARTNERS, LLC

SMITHGROUP

201 DEPOT STREET
 SECOND FLOOR
 ANN ARBOR, MI 48104
 734.662.4457
 www.smithgroupjr.com

HAMILTON ANDERSON
 1435 RANDOLPH STREET, STE 200
 DETROIT, MI 48226

| ISSUED FOR | REV | DATE |
|-----------------------------|-----|-----------|
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| REVISED CONCEPTUAL PUD PLAN | E | 18 DEC 18 |
| CONCEPTUAL PUD RESPONSE | D | 27 NOV 18 |
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| PC PRE-APPLICATION MEETING | B | 08 OCT 18 |
| REZONING / AREA PLAN | A | 23 AUG 18 |

SEALS AND SIGNATURES

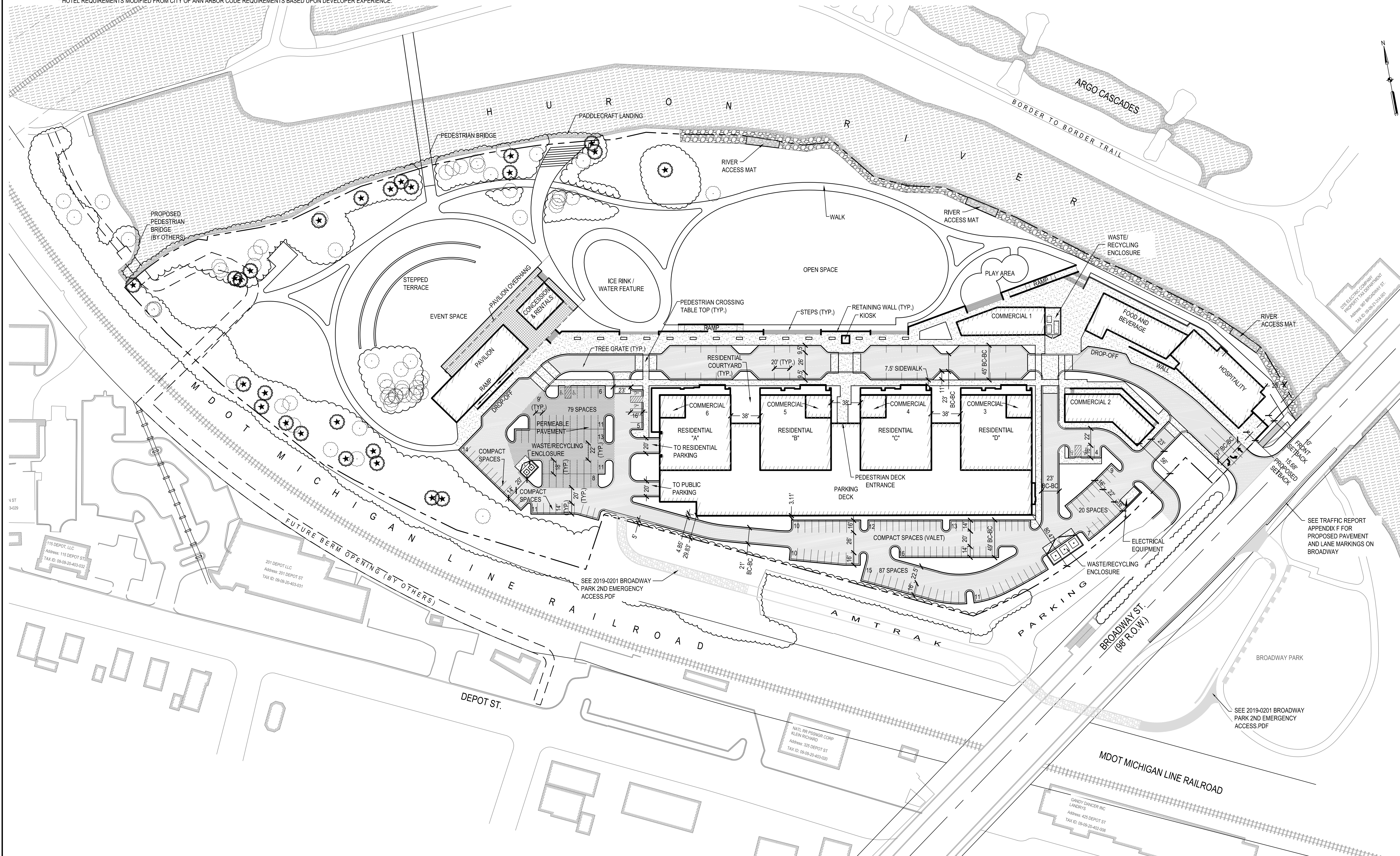
KEY PLAN

DRAWING TITLE
CONCEPTUAL PUD PLAN

SCALE
SCALE: 1"=60'

PROJECT NUMBER
10420

DRAWING NUMBER
CS100



NOT FOR CONSTRUCTION

FILE: \\bar-rick\projects\10420\000\CADD\C\Sheet\CS-100-LAYOUT.dwg USER: cbw/erod DATE: Feb. 27 2019 TIME: 06:29 pm

| LEGEND | |
|--------|-------------|
| | FIRE ACCESS |
| | PEDESTRIAN |
| | SERVICE |
| | VALET |
| | VEHICULAR |

BROADWAY PARK

841 BROADWAY STREET
ANN ARBOR, MI 48104

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ON BEHALF OF:
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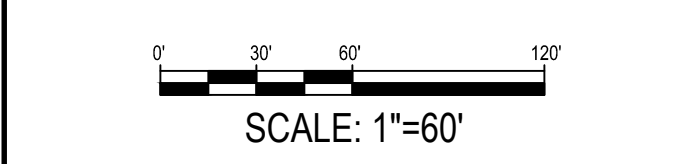
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SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
**CONCEPTUAL PUD PLAN
CIRCULATION PATTERN**

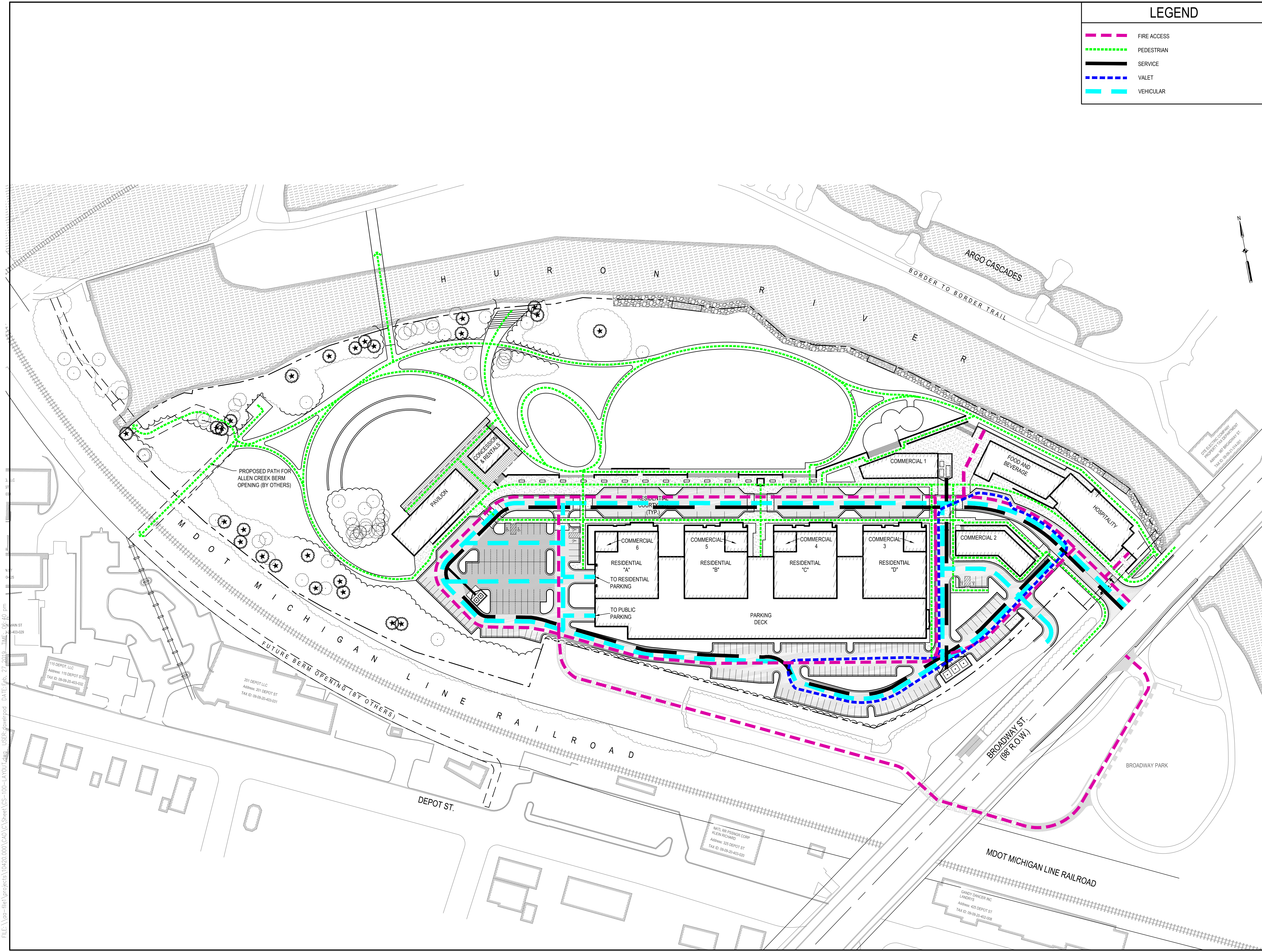


SCALE 10420

PROJECT NUMBER

CS101

DRAWING NUMBER



FILE: \\bar-rick\projects\10420\000\CAD\C\Sheet\CS-101-LAYOUT.dwg USER: jhewitson DATE: Feb 27 2019 TIME: 05:40 pm

CONCEPTUAL OVERLAY NOTES

1. THE BASE SURVEY WAS PREPARED BY NOWAK FRAUS IN JANUARY 2018.
2. APPROXIMATELY 9 LANDMARK TREES TO BE REMOVED.

LEGEND

- PROPERTY BOUNDARY
- - - PENDING FLOODWAY LOMR
- - - PENDING FLOODPLAIN LOMR
- BRUSH (APPROX. LIMITS PER 2018 AERIAL PHOTOGRAPHY)
- STEEP SLOPES GREATER THAN 20% (PER CITY OF ANN ARBOR NATURAL FEATURES ORDINANCE)
- EXISTING RIPRAP
- ★ LANDMARK TREES TO REMAIN (SEE SHEET NF 1 OF 4 FOR LIST OF TREE SPECIES)
- ★ LANDMARK TREES TO BE REMOVED
- PRESERVED 6" CALIPER OR GREATER TREE
- 6" CALIPER OR GREATER TREE TO BE REMOVED
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RETAINING WALL
- STANDARD CURB AND GUTTER
- BUILDING
- PERMEABLE PAVEMENT
- DECK

BROADWAY PARK

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ANN ARBOR, MI 48104

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SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
CONCEPTUAL OVERLAY

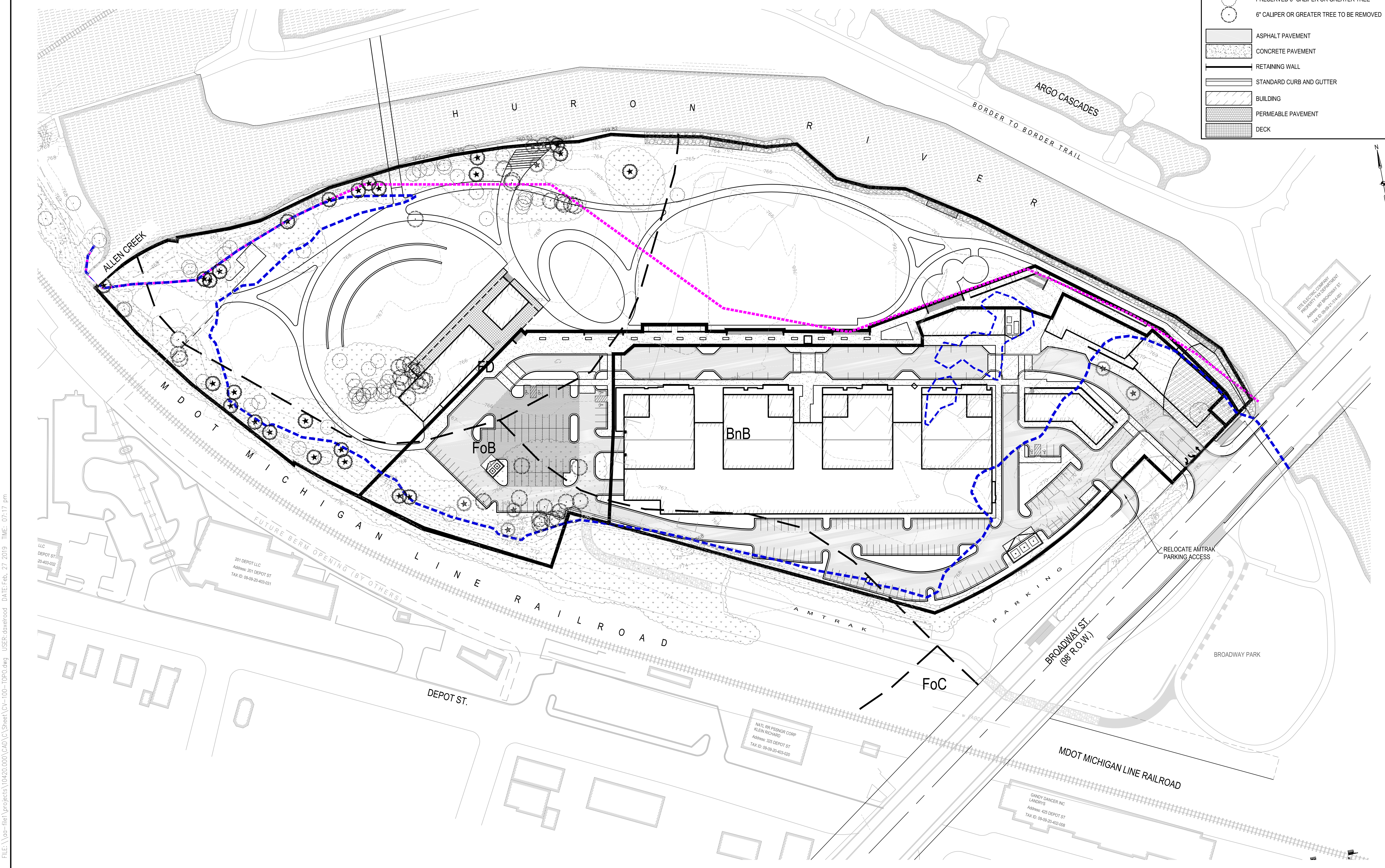
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SCALE 10420

PROJECT NUMBER

CS102

DRAWING NUMBER



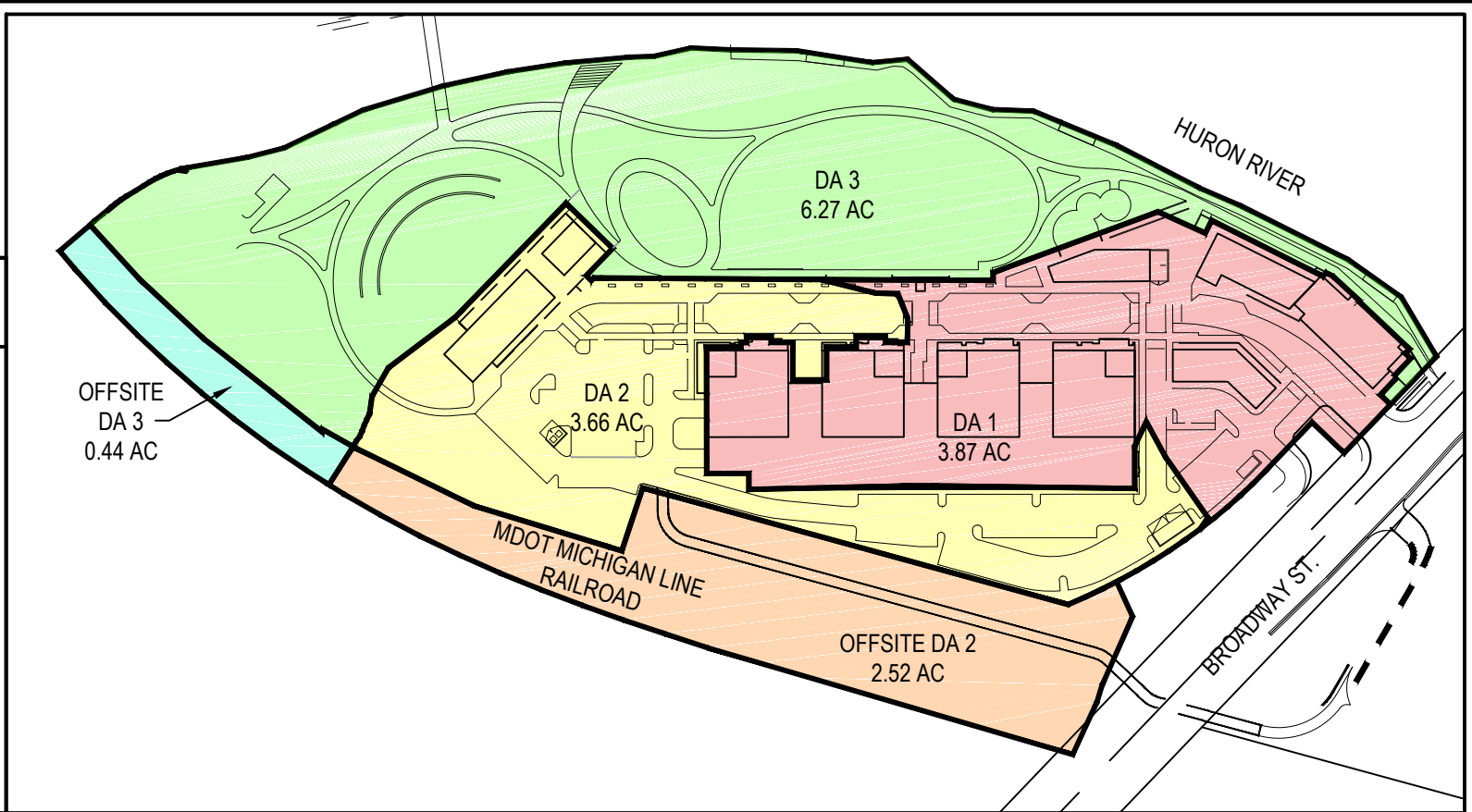
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201 DEPOT LLC
Address: 201 DEPOT ST
TAX ID: 08-09-20-403-001

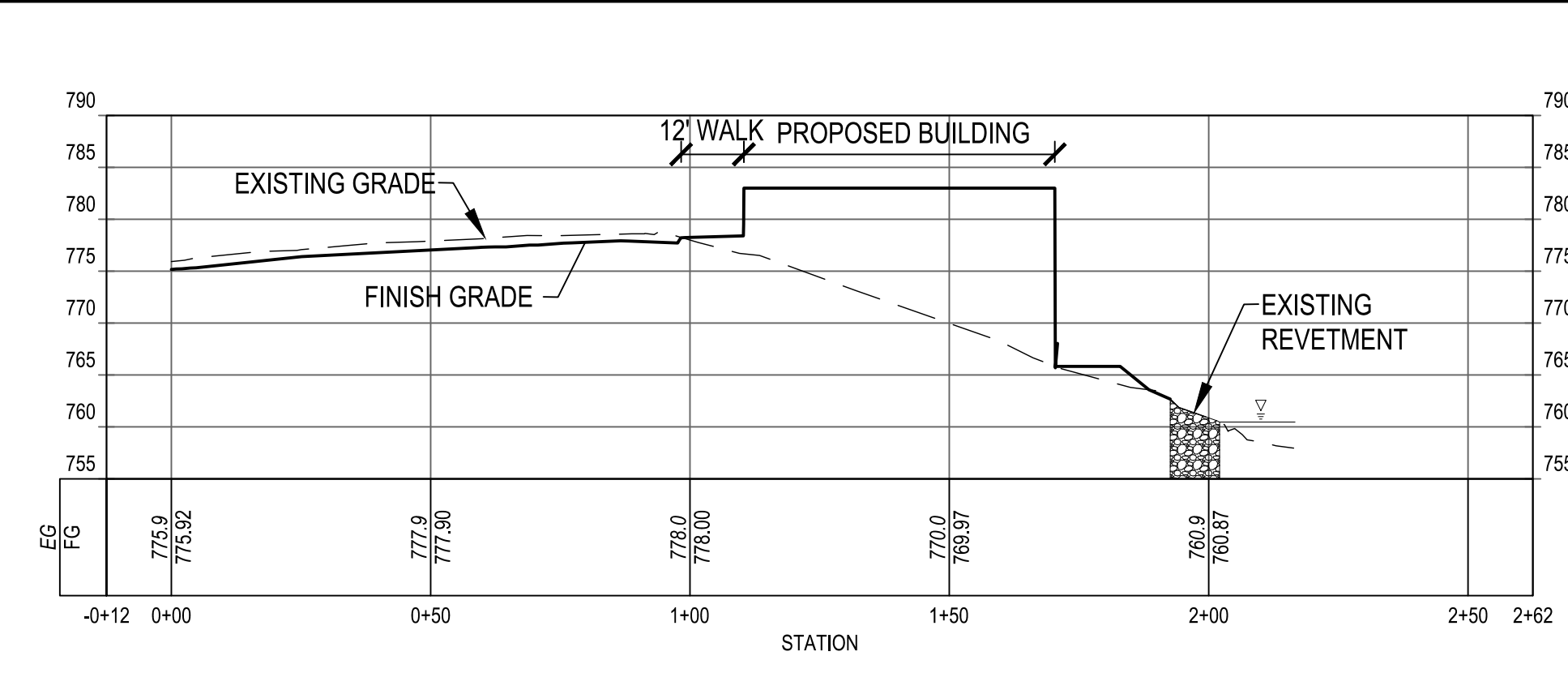
NATL RR PASSENGR CORP
KLEIN RICHARD
Address: 100 DEPOT ST
TAX ID: 08-09-20-403-020

GANDY DANCER INC
LANDRYS
Address: 400 DEPOT ST
TAX ID: 08-09-20-402-008

| LEGEND | |
|--------|-------------------------|
| | DRAINAGE AREA 1 |
| | DRAINAGE AREA 2 |
| | DRAINAGE AREA 3 |
| | OFFSITE DRAINAGE AREA 2 |
| | OFFSITE DRAINAGE AREA 3 |



DRAINAGE AREA MAP
SCALE 1" = 200'



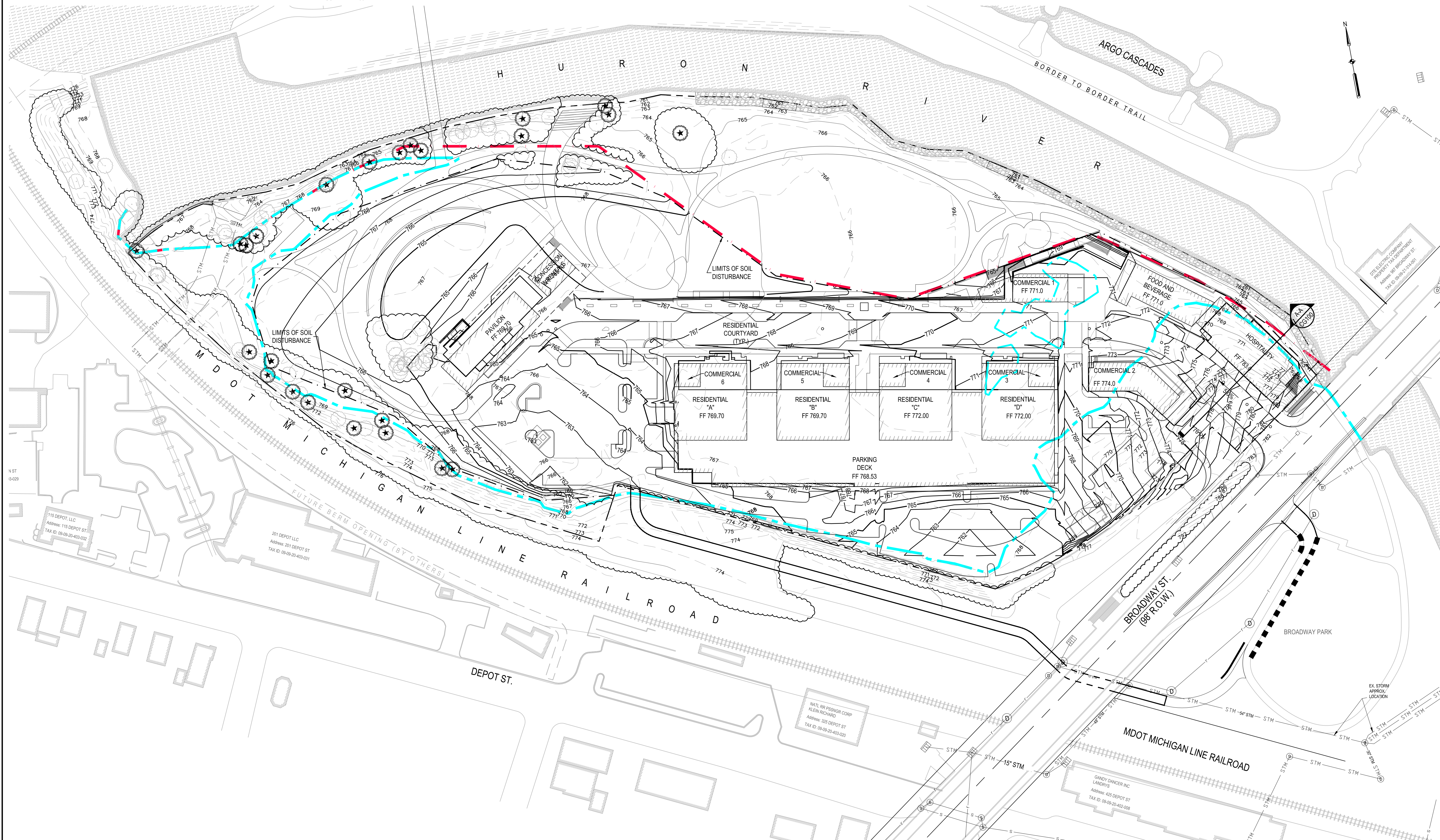
A-A CROSS SECTION AT STEEP SLOPE
HORIZ SCALE: 1" = 30'
VERT SCALE: 1" = 3'

NOTES

SESC NOTE:
THIS SITE WILL EXCEED 5 ACRES IN DISTURBANCE, AND THEREFORE WILL REQUIRE AN NPDES/NOC PERMIT FROM THE STATE OF MICHIGAN. PER THE REQUIREMENTS OF THE NPDES PERMIT, INSPECTIONS WILL BE PERFORMED BY A CERTIFIED MDEQ STORM WATER OPERATOR AT LEAST ONCE A WEEK AND IMMEDIATELY FOLLOWING EACH PRECIPITATION EVENT. THE WRITTEN REPORTS MUST BE MAINTAINED ONSITE.

FLOODPLAIN NOTE:
NO NET LOSS OF FLOOD STORAGE CAPACITY WILL RESULT FROM THE PROJECT.

| LEGEND | |
|--------|------------------------------------|
| | PROPOSED TREE LINE / WOODLAND EDGE |
| | PENDING LOMR FLOODWAY |
| | PENDING LOMR FLOODPLAIN |
| | EXISTING MAJOR CONTOUR |
| | PROPOSED MAJOR CONTOUR |
| | 865 |
| | 865 |
| | LIMITS OF SOIL DISTURBANCE |
| | FLOW DIRECTION |
| | STM |
| | STORM SEWER |
| | UNDERGROUND DETENTION AREA |



BROADWAY PARK

841 BROADWAY STREET
ANN ARBOR, MI 48104

Applicant:
THE ROXBURY GROUP
ON BEHALF OF:
LOWER TOWN PARTNERS, LLC

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
734.662.4457
www.smithgroupjr.com

HAMILTON ANDERSON
1435 RANDOLPH STREET, STE 200
DETROIT, MI 48226

| ISSUED FOR | REV | DATE |
|-----------------------------|-----|-----------|
| REVISED CONCEPTUAL PUD PLAN | F | 28 FEB 19 |
| REVISED CONCEPTUAL PUD PLAN | E | 18 DEC 18 |
| CONCEPTUAL PUD RESPONSE | D | 27 NOV 18 |
| CONCEPTUAL PUD PLAN | C | 19 OCT 18 |
| PC PRE-APPLICATION MEETING | B | 08 OCT 18 |
| REZONING / AREA PLAN | A | 23 AUG 18 |

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
CONCEPTUAL GRADING PLAN

SCALE
0' 30' 60' 120'
SCALE: 1"=60'

SCALE 10420

PROJECT NUMBER

DRAWING NUMBER
CG100

FILE: \\bar-fila\projects\10420\000\CADD\C\Sheet\CG-100-GRADING.dwg USER: davisrod DATE: Feb. 27 2019 TIME: 07:05 pm

UTILITY NOTES

1. PROPOSED SANITARY SEWER WITHIN THE DEVELOPMENT WILL BE PUBLIC.

LEGEND

- PROPOSED TREE LINE / WOODLAND EDGE
- VALVE BOX
- FIRE HYDRANT ASSEMBLY
- SANITARY MANHOLE
- STORM STRUCTURE
- INLET
- YARD DRAIN
- 12" WATER MAIN
- PIPE SLEEVE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN EASEMENT

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SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
CONCEPTUAL UTILITY PLAN

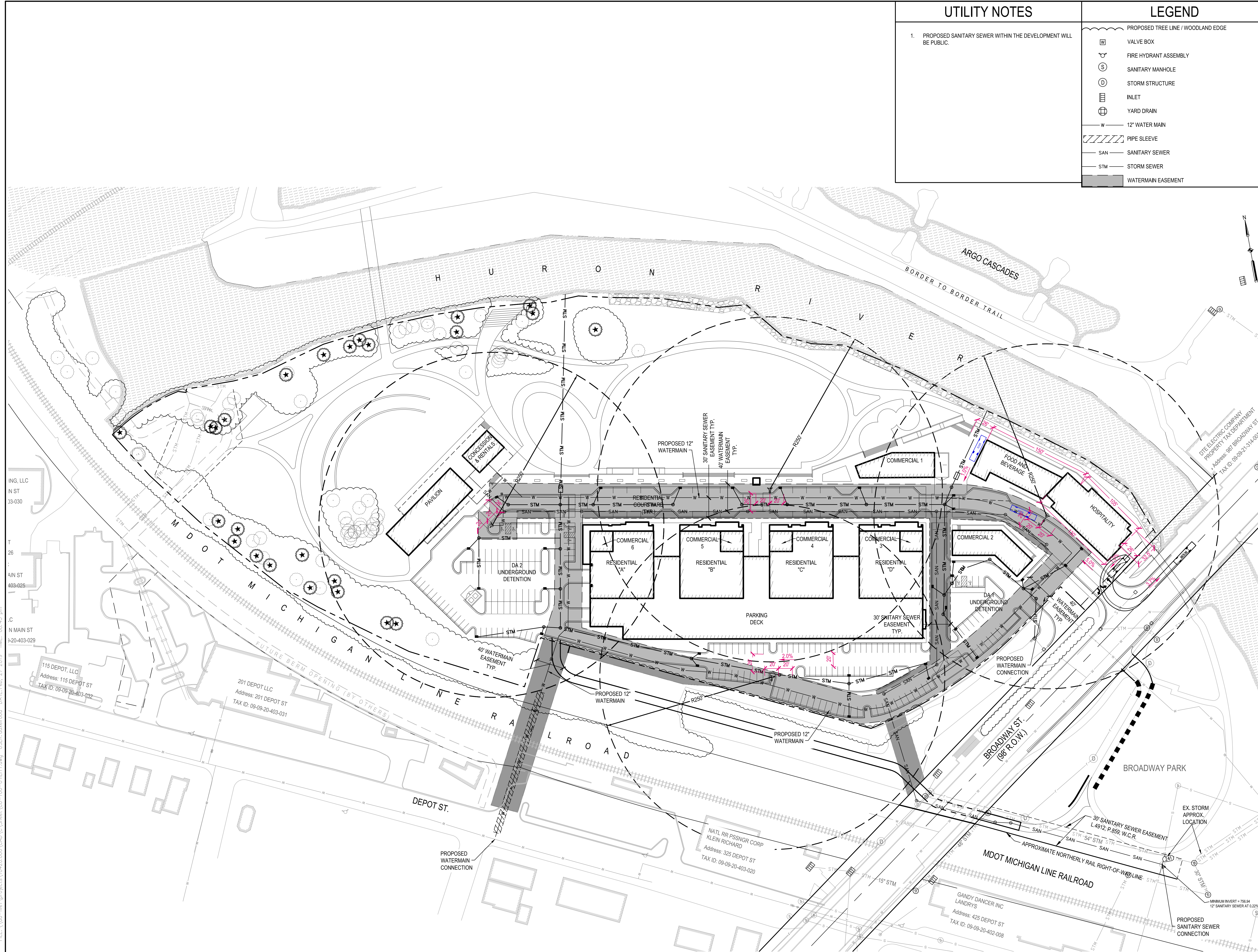


SCALE 10420

PROJECT NUMBER

CU100

DRAWING NUMBER



FILE: \\bar-filer\projects\10420\000\CADD\C\Sheet\CU-100-UTILITY.dwg USER: dshelwood DATE: Feb. 27 2019 TIME: 08:45 pm
 ING, LLC
 IN ST
 33-030
 T
 26
 :
 IN ST
 403-025
 .C
 N MAIN ST
 1-20-403-029
 115 DEPOT, LLC
 Address: 115 DEPOT ST
 TAX ID: 09-09-20-403-032
 201 DEPOT LLC
 Address: 201 DEPOT ST
 TAX ID: 09-09-20-403-031
 NATL RR PSSHGR CORP
 KLEIN RICHARD
 Address: 325 DEPOT ST
 TAX ID: 09-09-20-403-020
 GANDY DANCER INC
 LANDRY'S
 Address: 425 DEPOT ST
 TAX ID: 09-09-20-402-008
 DTE ELECTRIC COMPANY
 PROPERTY TAX DEPARTMENT
 Address: 980 BROADWAY ST.
 TAX ID: 09-88-21-344001