

# ANN ARBOR BUILDING BOARD OF APPEALS

## STAFF REPORT

**Meeting Date: September 21, 2023**

**Type of Request: APPEAL**

Building Board of Appeals Request **BBA23-0005** at 311 E. Liberty, ANN ARBOR, MI 48104.

(Parcel Identification Number: **09-09-29-112-016**)

### DESCRIPTION AND DISCUSSION

#### Property Owners Name and Address:

Vahan Basmajian  
311 E. Liberty St.  
Ann Arbor, MI 48104

### BACKGROUND

The buildings at 311 E. Liberty is 5B construction and the first floor which was formerly Mercantile is proposed to be a B Occupancy Classification as described by the 2015 Michigan Building Code and as indicated on the signed sealed plans submitted with the permit application BLDGC23-0198, The plans also indicate that the suites above and below this unit are B Occupancies. This property was given relief from the accessibility requirements 512.2 and 512.4 of the barrier free design requirements to the recessed areas on the first floor and for interior access to the second floor by the Barrier Free Design Board February 18, 1987 (see attachment B,C). The Barrier Free Design Board also required a platform lift be installed to comply with their order. To date the platform lift has not been installed and a building permit application was submitted for a ramp on the east side of the building. The building is approximately 7 feet two inches from the property which is reduced to 5 feet 1 inch for about 15 feet. The petitioner is requesting relief from section 1027.5 of the 2015 Michigan Building Code.

#### **Standards for Approval:**

- 1. The True intent of the code or the rules governing construction have been incorrectly interpreted.*
- 2. The provisions of the code do not apply; and*
- 3. An equal or better form of construction is proposed.*

### STAFF RECOMMENDATION

Staff recommends this application be denied as it does not meet the standards for approval, the code has not been misinterpreted, the provisions of the code do apply and not maintaining separation minimums is not equivalent or better than the requirements of the 2015 Michigan Building Code (MBC). Per section 1027.5 of the MBC (see attachment A+). Staff recommends the appeal be denied and the order from the Barrier Free Design Board in 1987 be complied with. The applicant should resubmit a plan that provides access and meets the minimum requirements of the code.

**PROPOSED MOTION**

**APPEAL GRANTED**

That in Case BBA23-0005, **the appeal of the Building Official's decision** that the work proposed at 311 E. Liberty granted relief from Section 1027.5 of the 2015 Michigan Building Code and the Building Board of Appeals **REVERSES** the Building Official's decision for the reason(s) that *[state reason in motion]*:

- (1) The true intent of the 2015 Michigan Building Code Section 1027.5 has been incorrectly interpreted by the Building Official.
- (2) The provisions of 2015 Michigan Building Code Section 1027.5 does not apply to the construction at the above stated addresses on Veridian Circle.
- (3) The applicant has proposed an equal or better form of construction.

Stipulations – If Applicable:

***[Chairman to check box(es) following vote]***

Yeas:

Nays:

Absent for this vote:

\_\_\_\_\_  
Date

\_\_\_\_\_  
Paul Darling, Chairperson  
Building Board of Appeals

OR

**APPEAL DENIED**

That in Case BBA23-0005 the appeal of the Building Official's decision 311 E. liberty be granted relief from Section 1027 of the 2015 Michigan Building Code is **DENIED** and the Building Board of Appeals **AFFIRMS** the Building Official's decision for the reason(s) that *[state reason in motion]*:

- (1) The true intent of the 2015 Michigan Building Code Section 1027.5 governing the construction at the above stated addresses has been correctly interpreted by the Building Official.
- (2) The provisions of 2015 Michigan Building Code Section 1027.5 apply to the construction at the above stated addresses.
- (3) The applicant has not proposed an equal or better form of construction.

Stipulations – if Applicable:

***[Chairman to check applicable box(es) following vote]***

Yeas:

Nays:

Absent for this vote:

\_\_\_\_\_  
Date

\_\_\_\_\_  
Paul Darling, Chairperson  
Building Board of Appeals

## Attachment A

**1027.5 Location.** *Exterior exit stairways and ramps* shall have a minimum fire separation distance of 10 feet (3048 mm) measured at right angles from the exterior edge of the *stairway or ramps*, including landings, to:

1. Adjacent *lot lines*.
2. Other portions of the building.
3. Other buildings on the same lot unless the adjacent building *exterior walls* and openings are protected in accordance with Section 705 based on *fire separation distance*.

For the purposes of this section, other portions of the building shall be treated as separate buildings.



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FEB 24 1987

Building Department

STATE OF MICHIGAN



JAMES J. BLANCHARD, Governor

DEPARTMENT OF LABOR

Elizabeth P. Howe, Director

BUREAU OF CONSTRUCTION CODES  
STATE SECONDARY COMPLEX  
7150 HARRIS DR., P.O. BOX 30015  
LANSING, MICHIGAN 48909

Barrier Free Design  
517/322-1191  
Voice or TDD

TRANSMITTAL OF FINAL ORDER

February 18, 1987

Ms. Victoria Huster  
Hobbs & Black Associates  
100 N. State Street  
Ann Arbor, MI 48104

DOCKET NUMBER: BFD 87-127-1551  
PROJECT NAME: Vahan Tailor Shop  
311 East Liberty, Ann Arbor, Washtenaw County

Enclosed is the FINAL ORDER of the Barrier Free Design Board in the above-captioned matter, regarding your request for a barrier free design rule exception.

At its meeting July 25, 1986, the Board approved several motions which are to be applied to all future exception requests granted by the Board. These motions are noted below and have been incorporated in the Board's Final Order for this project, as appropriate.

**ALL EXCEPTIONS:** The Final Order shall be displayed at a conspicuous location in the building and/or be available with the manager of the building for examination by the public, as a condition of the granting of the exception.

**EXCEPTIONS FOR WHEELCHAIR LIFTING DEVICES:** The platform lift shall have constant pressure push-button controls and meet the State Elevator Board's requirements.

**TIME EXCEPTIONS:** The time exception shall be contingent upon the submittal within 60 days of a plan/proposal from the owner which details how compliance will be achieved by the conclusion of the time exception and which shows or states that it is technically and structurally feasible to meet the Barrier Free Design Rules for the area stated in the exception.

**EXCEPTIONS FOR BATHROOMS:** Grab bars for the bathroom(s) shall be provided in accordance with the requirements of Section 512.7.

Please do not hesitate to contact the Division, if you have any questions.

Sincerely,

*Bill B. Meyer*  
Bill B. Meyer  
Executive Director  
Bureau of Construction Codes

Enclosure

cc: Office of Hearings, [redacted]

Attachment: B

STATE OF MICHIGAN



JAMES J. BLANCHARD, Governor

DEPARTMENT OF LABOR

Elizabeth P. Howe, Director

BUREAU OF CONSTRUCTION CODES  
STATE SECONDARY COMPLEX  
7150 HARRIS DR., P.O. BOX 30015  
LANSING, MICHIGAN 48909

Barrier Free Design  
517/322-1191  
Voice or TDD

FINAL ORDER  
OF

THE BARRIER FREE DESIGN BOARD

Ms. Victoria Hueter  
Hobbs & Black Associates  
100 N. State Street  
Ann Arbor, MI 48104

DOCKET NUMBER: BFD 87-127-3551


PROJECT NAME: Vahan Tailor Shop  
311 East Liberty, Ann Arbor, Washtenaw County

The Barrier Free Design Board, at its meeting of February 6, 1987, held at the Secondary Complex, 7150 Harris Drive, Lansing, Michigan, reviewed the recommendation of the Administrative Law Judge regarding the above-captioned matter, dated January 23, 1987. Copies of this report have been previously sent to all parties in this matter.

Pursuant to the authority contained in Section 5(6)(a) of Act No. 1 of the Public Acts of 1966, as amended; Act No. 230 of the Public Acts of 1972, as amended; and Section 81 of Act No. 300 of the Public Acts of 1969, as amended; the Board adopted and incorporated the Administrative Law Judge's entire report as the Board's Final Order, but with the following modification(s):

The Final Order shall be displayed at a conspicuous location in the building and/or be available with the manager of the building for examination by the public, as a condition of the granting of the exception.

Therefore, the FINAL ORDER of the Barrier Free Design Board is that an exception is granted from Section(s) 512.2 and 512.4 of the Barrier Free Design Requirements of the State Construction Code for barrier free primary access to the recessed area on the first floor, and for barrier free interior access to the second floor. The Final Order shall be displayed at a conspicuous location in the building and/or be available with the manager of the building for examination by the public, as a condition of the granting of the exception.

  
Bill B. Moyer  
Executive Director  
Bureau of Construction Codes

February 18, 1987

BFD-FO-M

Attachment: C



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JAN 26 1987

Building Department

STATE OF MICHIGAN  
DEPARTMENT OF LABOR  
OFFICE OF HEARINGS  
State Secondary Complex  
General Office Building  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1709

Barrier Free Design Docket No. BFD 87-127-3551

In the Matter of:

Vahan Tailor Shop  
311 East Liberty  
Ann Arbor, Michigan

MEMORANDUM OF TRANSMITTAL

Attached is a copy of the report of the Administrative Law Judge in the above captioned matter. This report is hereby filed and transmitted on January 23, 1987, to the Barrier Free Design Board and the parties.

A final decision of the Barrier Free Design Board will be transmitted to the parties after Board review of this report at their February 6, 1987 scheduled meeting.

Parties have until the date of the Board meeting to submit any arguments for the Board's consideration on review and may do so by sending a notarized communication to the Barrier Free Design Division at the address indicated below:

Barrier Free Design Division  
State Secondary Complex  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1191

L  
Attachment: D

STATE OF MICHIGAN  
DEPARTMENT OF LABOR  
OFFICE OF HEARINGS  
State Secondary Complex  
General Office Building  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1709

Barrier Free Design Docket No. BFD 87-127-3551

In the Matter of: Vahan Tailor Shop  
311 East Liberty  
Ann Arbor, MI

RECOMMENDATION OF THE ADMINISTRATIVE LAW JUDGE

Procedural Findings

This is a proceeding held pursuant to the authority granted in Act 1 of the Public Acts of 1966, as amended, being MCL 125.1351 et seq. and Act 230 of the Public Acts of 1972, as amended, being MCL 125.1501 et seq. and in accordance with Act 306 of the Public Acts of 1969, as amended, being MCL 24.101 et seq.

The purpose of the hearing is to review the request for an exception to the Barrier Free Design Rules of the General Rules of the State Construction Code, filed by Victoria G. L. Hueter, Hobbs & Black Associates and received in the Office of Hearings on December 19, 1986. A Notice of Prehearing Conference and Hearing was transmitted on December 23, 1986. The hearing on this matter was held on January 13, 1987, at the State Secondary Complex, 7150 Harris Drive, Lansing, Michigan. Present at the hearing were Victoria G. L. Hueter, the applicant, and Jim Hoffman, representing the Barrier Free Design Division.

Issue

Whether an exception should be granted from Sections 512.2 and 512.4 of the Barrier Free Design Rules.

BFD 87-127-3551

1

Attachment: E



Findings of Fact

The applicant has planned the partial renovation of a building which was constructed around 1900. The project will cost approximately \$45,000.

The building has a 2,006 square foot first floor, 1,831 square foot second floor, and 1,440 square foot basement. The project will entail construction of a 213 square foot first floor addition, which will be used as a display area, and a 293 square foot second floor addition. There will be renovation of a 10 1/2 foot by 16 foot display area which is recessed two feet below the rest of the first floor. The project also will include construction of an exterior stairway and entrance to the second floor.

The front entrance of the building is three feet, four inches above grade. There is no space for a ramp or wheelchair lifting device to this entrance because it is at the property line next to a sidewalk. The building is approximately four feet from the property line on one side and nine feet from the property line on the other side.

The vertical distance from the first floor to the second floor of the building is approximately nine feet. Installation of an elevator to provide access to the second floor would cost approximately \$35,000. A special elevating device would cost \$16,000 to \$17,000. Installation of an incline wheelchair lifting device to the second floor would cost \$23,500, including

the cost of widening the stairway, and would result in the loss of 200 square feet on both the first and second floor.

The first floor of the building is a tailor shop and the basement is a cake decorating business. An owner and one employee work in each of these businesses. The second floor will be rented as offices of professionals such as attorneys or accountants.

Conclusions of Law

Act 1 of the Public Acts of 1966, as amended, states that the barrier free design requirements were created "to provide for the accessibility and utilization by physically limited persons of public facilities and facilities used by the public." The Barrier Free Design Board is authorized by the Act to grant or deny requests for exceptions to any or all of the barrier free design requirements for a stated time period and upon stated conditions and require alternatives when exceptions are granted.

An exception request is granted only when compelling need is demonstrated by the applicant, because the applicant has the ultimate burden of proving that an exception should be granted. An exception is in effect a special license to deviate from rules which have uniform applicability to all facilities. Compelling need may be present if the literal application of a specific barrier free design requirement would result in exceptional, practical difficulty to the applicant or where compliance would not be economically, technologically, structurally, or administratively feasible.

Attachment: G



There is compelling need for an exception to the Barrier Free Design Rules. An exception should be granted for the front entrance and the recessed display area due to space constraints. An exception should be granted for the second floor due to costs and space constraints.

Decision

It is hereby recommended that an exception be granted from Section 512.2 of the Barrier Free Design Rules of the State Construction Code. It is recommended further that an exception be granted from Section 512.4 for the recessed area on the first floor and the second floor.

Dated: JAN 23 1997

Barry W. Sparks  
Barry W. Sparks  
Administrative Law Judge

BFD 87-127-3551

4

Attachment: H

STATE OF MICHIGAN  
DEPARTMENT OF LABOR  
OFFICE OF HEARINGS  
State Secondary Complex  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1709

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Building Department

In the Matter of:

Docket No.: BFD 87-127-3551

Vahan Tailor Shop  
311 East Liberty  
Ann Arbor, Michigan

NOTICE OF PREHEARING CONFERENCE AND HEARING

Please take notice that a prehearing conference and hearing on the applicant's exception request will be held:

Date: January 13, 1987 (Tuesday) Time: 10:00 a.m.

Place: Office of Hearings, 1st Floor, B-Wing, General Office Building, State Secondary Complex, 7150 Harris Drive Lansing, Michigan

**Issue:**

Whether the applicant should be granted an exception from Sections 512.2 and 512.4 of Rule 427 of the barrier free design requirements contained in the State Construction Code.

Dated: DEC 23 1986

Barry W. Sparks  
Barry W. Sparks/krh  
Administrative Law Judge

The applicant has the burden of demonstrating compelling need in order to justify granting an exception from the above referenced section(s).

All proceedings shall be conducted in accordance with procedures applicable to the trial of contested cases under Act 306 of the Public Acts of 1969, as amended being the Administrative Procedures Act of 1969.

A CONTINUANCE WILL BE GRANTED ONLY UPON A SHOWING OF GOOD CAUSE.

FAILURE TO APPEAR AT THE HEARING WILL RESULT IN THE DENIAL OF THE APPLICATION FOR EXCEPTION.

Attachment: I



STATE OF MICHIGAN



JAMES J. BLANCHARD, Governor

**DEPARTMENT OF LABOR**

Elizabeth P. Howe, Director

BUREAU OF CONSTRUCTION CODES  
STATE SECONDARY COMPLEX  
7150 HARRIS DR., P.O. BOX 30015  
LANSING, MICHIGAN 48900  
517/322-1701

Barrier Free Design  
517/322-1191  
Voice or TDD

December 19, 1986

Ms. Victoria Hueter  
Hobbs & Black Associates  
100 N. State Street  
Ann Arbor, MI 48104

Re: BFD 67-127, Vahan Tailor Shop  
311 East Liberty, Ann Arbor, Washtenaw

Dear Ms. Hueter:

This communication acknowledges receipt of your complete application requesting an exception from the barrier free design requirements of the State Construction Code, Section(s) 512.2 and 512.4. We have transmitted it to the Office of Hearings for the scheduling of a prehearing conference and hearing. (The Administrative Law Judges in that office act as agents of the Board to meet with applicants and determine the facts regarding the exception request.)

The prehearing conference is an informal, off-the-record discussion in which you and/or your representative will meet with a staff member of the Barrier Free Design Division to discuss your application and project, as well as possible alternatives and issues, which will be covered at the formal hearing.

Immediately following the prehearing conference, a hearing on the record will be conducted by an Administrative Law Judge of the Office of Hearings. As the applicant, you have the responsibility at the hearing to explain the compelling reasons why an exception from the requirements is warranted for this project. A copy of the Board's Formal Guidelines is enclosed to assist you. After the hearing, the Hearing Officer will prepare a written recommendation which summarizes the facts in the case and recommends a decision to the Board. At the same time the recommendation is transmitted to the Board, you and the other parties to the case will also receive copies. A minimum of ten days will transpire from the date the recommendation is mailed to you and the date the Board takes final action. This period of time is provided to assure you and the other parties an opportunity to review the recommendation and offer any written clarification or arguments you believe are necessary for the Board to consider prior to final action being taken.

In accordance with the State's Administrative Procedures Act, any action taken by the Board can be appealed to the Circuit Court for the county in which the project is located within 60 days of the date of the Board's Final Order.

Attachment: J

BFD 87-127  
December 19, 1986  
Page 2

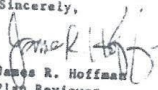
The law authorizes the Board to grant exceptions for stated time periods and upon stated conditions. If you are granted an exception, the FINAL ORDER of the Board will clearly detail any conditions or limitations established by the Board which apply to your project. Failure to comply with a condition, or limitation, or other requirement set by the Board when granting an exception will render the exception null and void.

Also, please note the following issues if they pertain to your project:

1. If the structure is an historic structure eligible for or listed on either the State Register of Historic Sites, or the National Register of Historic Places, please be prepared to submit a letter or other communication from the Michigan History Division, Department of State, to document the structure's historic status.
2. If you are seeking an exception for a specific time period (i.e., six months, one year, three years, etc.) please bring to the hearing a written plan/proposal which details how compliance with the barrier free design requirements will be achieved by the conclusion of the time exception, if the exception is granted. This plan should be submitted as an exhibit at the hearing and will be included as part of the Hearing Officer's recommendation to the Board.
3. If your request is for an exception from Section 512.4 as it relates to interior access requirements between levels, please come prepared to discuss the spatial and financial ramifications of the use of a code compliant elevator as well as the use of a special elevating device and wheelchair lifting device as possible alternative means of providing interior access in your project. A Fact Sheet about these alternative devices, is enclosed for your convenience.

The Office of Hearings will be sending you a formal notice in the near future regarding the time and date of your prehearing conference and hearing. In the meantime, if you have any questions, please do not hesitate to contact the Barrier Free Design Division at 517/322-1191 (voice or TDD).

Sincerely,

  
James R. Hoffman  
Plan Reviewer  
Barrier Free Design Division

JRH/cdw

cc: Office of Hearings, Mr. D. Jack Donaldson  
Enclosure

Attachment: K



**LABOR**

**APPLICATION FOR  
BARRIER FREE DESIGN RULE EXCEPTION**  
Michigan Department Of Labor  
Barrier Free Design Board  
P.O. Box 30015, Lansing, MI 48909  
(517) 322-1191 (Voice or TDD)

FOR AGENCY USE ONLY

BFD:

THIS FORM IS ISSUED UNDER THE AUTHORITY PROVIDED IN ACT 1 OF THE PUBLIC ACTS OF 1986, AS AMENDED. THIS FORM MUST BE FILED IN ORDER FOR THE BARRIER FREE DESIGN BOARD TO CONSIDER ANY REQUEST FOR EXCEPTION FROM THE BARRIER FREE DESIGN REQUIREMENTS. THE MICHIGAN DEPARTMENT OF LABOR DOES NOT DISCRIMINATE AGAINST ANY INDIVIDUAL OR GROUP BECAUSE OF RACE, SEX, RELIGION, AGE, NATIONAL ORIGIN, COLOR, MARITAL STATUS, HANDICAP, OR POLITICAL BELIEFS.

INSTRUCTIONS: YOUR APPLICATION WILL BE PROCESSED PROMPTLY IF YOU:

- COMPLETE ALL SECTIONS OF THE APPLICATION.
- INCLUDE \$80.00 FILING FEE, PAYABLE TO THE STATE OF MICHIGAN.
- INCLUDE ONE SET OF DRAWINGS THAT SHOWS THE AREA FOR WHICH THE EXCEPTION IS BEING REQUESTED, THE SURROUNDING SITE, INTERIOR LAYOUT, AND ANY STRUCTURAL FEATURES THAT BEAR ON THE REQUEST.
- HAVE SECTION 17 COMPLETED BY THE PROPER ADMINISTRATIVE AUTHORITY.
- SIGN SECTION 18.

A NEW BUILDING MUST MEET THE BARRIER FREE DESIGN REQUIREMENTS IN THE STATE CONSTRUCTION CODE. SOME CHANGES TO AN EXISTING BUILDING MAY ALSO REQUIRE FULL OR PARTIAL COMPLIANCE. IF YOU PLAN TO CHANGE THE BUILDING'S USE GROUP, OCCUPANCY LOAD, OR REMODEL (OTHER THAN ORDINARY MAINTENANCE) BARRIER FREE DESIGN REQUIREMENTS PROBABLY APPLY TO AT LEAST PART OF YOUR BUILDING.

UNDER SPECIAL CIRCUMSTANCES YOU MAY QUALIFY FOR AN EXCEPTION TO THE BARRIER FREE DESIGN REQUIREMENTS. THIS FORM WILL HELP DETERMINE IF YOUR SITUATION QUALIFIES FOR AN EXCEPTION.

**1. PROJECT INFORMATION**

PROJECT NAME Vahan Tailor Shop			
PROJECT STREET ADDRESS 311 East Liberty		COUNTY Washtenaw	
CITY Ann Arbor	STATE MI	ZIP CODE 48106	

**2. APPLICANT INFORMATION (NOTE: ALL CORRESPONDENCE WILL BE SENT TO THIS ADDRESS.)**

NAME OF APPLICANT/APPLICANT'S REPRESENTATIVE Victoria G.L. Hueter, Hobbs & Black Assoc.			
APPLICANT'S STREET ADDRESS 100 N. State Street			
CITY Ann Arbor	STATE MI	ZIP CODE 48106	
TELEPHONE NUMBER AREA CODE (313) 643-4189			

**3. APPLICANT'S RELATIONSHIP TO PROJECT (CHECK ONE)**

<input type="checkbox"/> OWNER	<input type="checkbox"/> PROFESSIONAL ENGINEER	<input type="checkbox"/> ATTORNEY
<input type="checkbox"/> MANAGER	<input checked="" type="checkbox"/> ARCHITECT	<input type="checkbox"/> OTHER (SPECIFY)

**4. PROPERTY OWNERSHIP**

DO YOU OWN THIS PROPERTY?  YES  NO

IF NO, DOES THE OWNER KNOW ABOUT THIS APPLICATION?  YES  NO

**5. BUSINESS OWNER (IF NOT APPLICANT/PROPERTY OWNER)**

NAME OF BUSINESS OWNER		
ADDRESS OF BUSINESS OWNER		
CITY	STATE	ZIP CODE
TELEPHONE NUMBER AREA CODE { }		

**6. PROJECT ARCHITECT/ENGINEER (IF APPLICABLE)**

NAME OF ARCHITECT/ENGINEER see applicant		
FIRM NAME	REGISTRATION NO. 14119	
STREET ADDRESS		
CITY	STATE	ZIP CODE

MDL 207 (11-86)

GO TO THE NEXT PAGE

Attachment: L



FOR ASSISTANCE IN COMPLETING SECTIONS 7 - 17, CONTACT THE PROJECT ARCHITECT OR ENGINEER, THE LOCAL BUILDING OFFICIAL, OR THE BARRIER FREE DESIGN DIVISION.

FOR AGENCY USE ONLY

FOR AN EXCEPTION TO BE GRANTED, A COMPELLING NEED MUST BE DEMONSTRATED BY THE APPLICANT. A COMPELLING NEED MAY BE PRESENT IF THE LITERAL APPLICATION OF A SPECIFIC BARRIER FREE DESIGN REQUIREMENT RESULTS IN EXCEPTIONAL, PRACTICAL DIFFICULTY TO THE APPLICANT.

BFD:

7. TOTAL ESTIMATED PROJECT COST

\$ 45,000.00

8. FINANCED IN WHOLE OR IN PART WITH FUNDS FROM:

PRIVATE \_\_\_\_\_ %     FEDERAL GOVERNMENT \_\_\_\_\_ %     STATE GOVERNMENT \_\_\_\_\_ %     LOCAL GOVERNMENT \_\_\_\_\_ %

9. LIST THE EXCEPTION REQUESTS AND THEIR LOCATIONS IN THE BUILDING FOR EXAMPLE, ELEVATOR ACCESS TO THE PROPOSED SECOND FLOOR ADDITION; RAMPED ACCESS TO A RAISED AREA BARRIER FREE UNISEX BATHROOM IN LIEU OF SEPARATE BARRIER FREE FACILITIES FOR MEN AND WOMEN; BARRIER FREE ENTRANCE; ETC. ATTACH ADDITIONAL SHEETS, IF NECESSARY.

Second story addition over existing display window/proposed additional display window and relocated store entrance 515.4, 515.2. New exterior stair and entrance to second floor lease space 515.2.

10. BRIEFLY STATE THE STRUCTURAL, TECHNOLOGICAL, ECONOMIC REASONS FOR THE REQUEST. (THESE MATTERS WILL BE REVIEWED MORE FULLY AT THE HEARING WITH THE ADMINISTRATIVE LAW JUDGE.) ATTACH ADDITIONAL SHEETS, IF NECESSARY.

Existing old house has concrete entrance porch built to sidewalk/property line. Building is within 5' of property line to east and 9' from property line at west. West side has exterior entrance to basement lease space and proposed exterior entrance to 2nd floor lease space. First floor is 3'-4" above the sidewalk at the existing entrance (on the east side of front). Grade drops 9" from this point to the west side of the front or 4'-1" to first floor. There is no space for a code compliant ramp or lifting device. Proposed renovation and display area will be set on existing footings and concrete porch. We plead technological difficulty.

11. IF A TEMPORARY EXCEPTION IS BEING REQUESTED, WHAT IS THE PERIOD OF TIME REQUESTED?

A WRITTEN PLAN FOR COMPLIANCE MUST BE SUBMITTED AT THE HEARING FOR A TEMPORARY EXCEPTION TO BE CONSIDERED.

12. BRIEFLY STATE THE GENERAL USE OF THE STRUCTURE AND THE PROPOSED USE OF EACH FLOOR OR AREA.

Basement - lease space, storage  
First floor - tailor shop  
Second floor - lease space and tailor shop storage

Attachment: M

FOR AGENCY USE ONLY

BFD:

13. APPROXIMATE NUMBER OF EMPLOYEES AND A BRIEF DESCRIPTION OF JOB DUTIES.

Basement tenant space - two (owner and sales)  
 Tailor shop - two (owner, seamstress)  
 Second floor lease space - currently unoccupied

14. TYPE OF IMPROVEMENT (CHECK ONE OR MORE, AS APPROPRIATE)

- EXISTING BUILDING SCHEDULED FOR CHANGE IN USE GROUP; BUILT IN \_\_\_\_\_
- RENOVATION OF EXISTING BUILDING; BUILT IN \_\_\_\_\_; CONSTRUCTION PROPOSED TO START \_\_\_\_\_
- NEW ADDITION TO EXISTING BUILDING; BUILT IN 1900t \_\_\_\_\_; CONSTRUCTION PROPOSED TO START Spring 1987
- NEW BUILDING; CONSTRUCTION PROPOSED TO START \_\_\_\_\_

15. OFF-STREET PARKING

NUMBER OF OFF-STREET PARKING SPACES REQUIRED BY LOCAL ORDINANCE	CURRENT	PROPOSED	NUMBER OF RESERVED BARRIER FREE SPACES PROVIDED	CURRENT	PROPOSED
	None	None		None	None

16. BUILDING INFORMATION (ATTACH ADDITIONAL SHEETS, IF NECESSARY.)

FLOOR AREA (SQ. FT.)	EXISTING BUILDING	BASEMENT	1ST FLOOR	MEZZANINE	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
				1440	2006		1831	
	AREA OF RENOVATION							
	AREA OF ADDITION		213		293			506
	PROPOSED NEW BUILDING							
NO OF TOILET ROOMS EXISTING	MEN	BARRIER FREE						
		NON B.F.						
		BARRIER FREE						
UNISEX	BARRIER FREE							
	NON B.F.	1	1		1			
	BARRIER FREE							
NO OF TOILET ROOMS PROPOSED	MEN	BARRIER FREE						
		NON B.F.						
		BARRIER FREE						
UNISEX	BARRIER FREE							
	NON B.F.							
	BARRIER FREE							
PROPOSED USE OF EACH FLOOR		storage	tailor		lease			
CHECK FLOORS PROVIDED WITH ELEVATOR ACCESS		lease	shop		office			
CHECK FLOORS WITH BARRIER FREE ENTRANCES								

Attachment: N



DO NOT SEND APPLICATION TO THE BOARD UNTIL

SECTION 17 HAS BEEN COMPLETED BY THE ADMINISTRATIVE AUTHORITY RESPONSIBLE FOR ISSUING THE BUILDING PERMIT FOR THIS PROJECT. FOR MOST PROJECTS, THE LOCAL BUILDING OFFICIAL WILL COMPLETE THIS SECTION.

FOR AGENCY USE ONLY  
BFD:

17. BUILDING PERMIT

CODE FOR THIS JURISDICTION <input type="checkbox"/> STATE CONSTRUCTION CODE <input checked="" type="checkbox"/> BOCA BASIC BUILDING CODE <input type="checkbox"/> UNIFORM BUILDING CODE		NAME OF BUILDING OFFICIAL D. Jack Donaldson	
NEW BUILDINGS ONLY: USE GROUP CLASSIFICATION _____ OCCUPANCY LOAD _____		JURISDICTION City of Ann Arbor	
EXISTING BUILDINGS ONLY: USE GROUP CLASSIFICATION PRESENT <u>MIXED M/B</u> PROPOSED <u>SAME</u> OCCUPANCY LOAD PRESENT <u>344/30 = 115 (M)</u> <u>183/100 = 19 (B)</u> PROPOSED <u>365/30 = 122 (M)</u> <u>212/100 = 22 (B)</u>		STREET ADDRESS <u>100 N. FIFTH AVE.</u> CITY <u>ANN ARBOR</u> ZIP CODE <u>48104</u> TELEPHONE NUMBER AREA CODE <u>(313) 994-2674</u> PROJECT DOES NOT COMPLY WITH BARRIER FREE DESIGN REQUIREMENTS AS FOLLOWS: SECTION(S) <u>512.2, 512.4</u>	
COMMENTS (ATTACH ADDITIONAL SHEETS, IF NECESSARY) <u>MERCANTILE OCC. LOAD MAY BE REDUCED BY AREAS OF NON-SIMULTANEOUS OCCUPANCY &amp; FIXTURES</u>			
BUILDING OFFICIAL SIGNATURE <u>Lampell</u>		DATE <u>12/4/88</u>	

18. CERTIFICATION

I CERTIFY THAT ALL OF THE INFORMATION PROVIDED ON PAGES 1 - 4 IS TRUE AND ACCURATE.

SIGNATURE OF APPLICANT

Vicki Ann Huetts

DATE

3 Nov 1988

AFTER FILING, PARTIES WILL RECEIVE AN ACKNOWLEDGMENT OF RECEIPT OF THE APPLICATION, ALONG WITH A LIST OF THE ITEMS UPON WHICH DETAILED TESTIMONY WILL BE TAKEN AT THE HEARING. SHORTLY AFTER THIS ACKNOWLEDGMENT IS RECEIVED, PARTIES WILL RECEIVE UNDER SEPARATE COVER, A NOTICE OF HEARING FROM THE OFFICE OF HEARINGS WHICH WILL CONDUCT A FACT-FINDING HEARING ON THE MERITS OF THE APPLICATION, IN ACCORDANCE WITH THE PROVISIONS OF THE MICHIGAN ADMINISTRATIVE PROCEDURES ACT.

APPLICANT: DID YOU REMEMBER TO

- COMPLETE ALL SECTIONS OF THE APPLICATION?
- SIGN SECTION 18?
- INCLUDE YOUR \$80.00 FILING FEE PAYABLE TO THE STATE OF MICHIGAN?
- INCLUDE ONE SET OF DRAWINGS FOR THE PROJECT?
- HAVE SECTION 17 COMPLETED BY THE PROPER ADMINISTRATIVE AUTHORITY?

Attach next: 0



## PLAN DETAILED REPORT BBA23-0005 FOR THE CITY OF ANN ARBOR

<b>Plan Type:</b> Building Board of Appeals	<b>Project:</b>	<b>App Date:</b> 09/06/2023
<b>Work Class:</b> Administrative Appeal	<b>District:</b> Ward 5	<b>Exp Date:</b> NOT AVAILABLE
<b>Status:</b> Fees Paid	<b>Square Feet:</b> 0.00	<b>Completed:</b> NOT COMPLETED
<b>Valuation:</b> \$0.00	<b>Assigned To:</b> Michael Lemieux	<b>Approval Expire Date:</b>

**Description:** Seeking relief from 2015 MBC Section 1027.5 in order to place a compliant barrier free entry ramp at the above address.

<b>Parcel:</b> 09-09-29-112-016	Main	<b>Address:</b> 311 E Liberty St Ann Arbor, MI 48104	Main	<b>Zone:</b> D1(D1)
---------------------------------	------	---	------	---------------------

<b>Applicant</b> Carl O Hueter 1321 Franklin Blvd. Ann Arbor, MI 48103 Business: (734) 276-8175	<b>Property Owner</b> Vahan Basmajian Business: (734) 945-2432 Mobile: (734) 945-2432	<b>Property Owner</b> Steve Basmajian Mobile: (734) 945-2433
---	--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00064377	BBA - Commercial Appeal	\$500.00	\$500.00
<b>Total for Invoice INV-00064377</b>		<b>\$500.00</b>	<b>\$500.00</b>
<b>Grand Total for Plan</b>		<b>\$500.00</b>	<b>\$500.00</b>

## **ANN ARBOR BUILDING BOARD OF APPEALS SUBMISSION**

### **FIRST FLOOR "WHITE BOX" RENOVATION, 311 EAST LIBERTY, ANN ARBOR, MICHIGAN**

**6 SEPTEMBER 2023**

This is a LEVEL 2 Rehabilitation under the 2015 Michigan Rehabilitation Code for Existing Buildings (MRCEB). Building is a contributing structure in the East Liberty historic district and classified as a 5B construction type. Suite use is changing from M (Mercantile) to B (Business).

Approximately 1,664 square feet in area. First floor is 35 inches above street sidewalk grade. Property received an exemption in 1987 from the Michigan Bureau of Construction Codes, Michigan Barrier Free Design Board for access to the first floor (see attached) as attested by the architect (Victoria G-L Hueter) at the time and the building official (Larry Pickel) at the time. This exemption was granted as compliance was deemed technically infeasible to be met. (Also, see summary statement given by Ms. Hueter, former State of Michigan Barrier Free Board Chairperson). At that time a building permit was issued, construction went on and a certificate of occupancy granted with no barrier free access to the premises, as well as, no barrier free toilet rooms provided, as was the apparent agreed upon interpretation of the exemption was applied.

Current owners wished to provide barrier free access via a fully compliant rampway/exit way to the first floor, as well as, providing two barrier free compliant toilet rooms to this first floor space. First floor is also being upgraded to meet all fire rated assembly ratings for a 5A constructed building.

Two rampway solutions are being proposed (Rear (north) and East (side)). The rear solution is preferred by the Historic District Commission and approved by them in June 2023. The east ramp should have a ruling from the HDC by the time of this BBA meeting. We are seeking relief from the exact compliance of the 2015 MBC Section 1027.5 as conditions are technically infeasible to provide physical compliance, but the intent of the code section is met as explained below. There is physically not enough room on the perimeter of this building to the property lines to meet compliance with this code section (a minimum of 14 feet would be necessary. See attached site plan.). Development of the site to provide such compliance is restricted due to the building having historic status and its placement on the site.

### **2015 MBC**

#### **1027.5 Location**

Exterior exit stairways and ramps shall have a minimum fire separation of 10 feet measured at right angles from the exterior edge of the stairway or ramps, including landings, to:

1. Adjacent lot lines.
2. Other portions of the building.
3. Other buildings on the same lot unless the adjacent building exterior walls and openings are protected in accordance with section 705 based on fire separation distance.

For the purpose of this section, other portions of the building shall be treated a separate building.

### **2015 MRCEB**

#### **TECHNICALLY INFEASIBLE**

An alteration to a facility that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load bearing member that is an essential part of the structural frame or because other existing physical or site conditions prohibit modification and addition of elements spaces or features, which are in full or strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.



## **408.1 Historic Buildings**

The provisions of this code that require improvements relative to an existing condition or, in the case of repairs, requiring improvements relative to a building's pre-damaged condition, shall not be mandatory for historic buildings unless specifically required by this section.

### **1204.1.1 Accessibility Requirements**

The provisions of sections 705, 806, and 906 as applicable shall apply to buildings designated as historic structures that undergo alterations unless technically infeasible. Where compliance with the requirements of accessible routes, entrances or toilet rooms .....

### **1205.15 Accesibility Requirements**

The provisions of section 1012.8 shall apply to facilities designated as historic structures that undergo a change in occupancy, unless technically infeasible. Where compliance with the requirements for accessible routes, ramps, entrances, or toilets would threaten or destroy or threaten the historic significance of the building or facility, as determined by the authority having jurisdiction the alternative requirements of sections 1204.1.1 through 1204.1.4 for those elements shall be permitted.

### **1012.8**

A building, facility or element, that has a change in use group or occupancy load or alteration shall comply in accordance with the requirements of the utilization of public facilities by physically limited, 1966 PA 1, MCL 125.1351 to 125.1356, and the Michigan Building Code, R 408. 30401 to R 408.30499.

### **705.1**

A building, facility or element, that is accessible shall remain accessible in accordance with the requirements of the utilization of public facilities by physically limited, 1966 PA 1, MCL 125.1351 to 125.1356, and the Michigan Building Code, R 408. 30401 to R 408.30499

### **801.3 Compliance**

All new construction elements, components, systems, and spaces shall comply with the requirements of the International Building Code.

### **806.1**

A building, facility, or element that is altered shall comply with this section and section 410.

### **410.1**

Unless technically infeasible, a building, facility or element, that has a change in use group or occupancy load shall comply in accordance with the requirements of the utilization of public facilities by physically limited, 1966 PA 1, MCL 125.1351 to 125.1356, and the Michigan Building Code, R 408. 30401 to R 408.30499.

### **410.4 Change of Occupancy**

Unless technically infeasible, sections 410.6, 410.7 and 410.8 shall comply in accordance with the requirements of the utilization of public facilities by physically limited, 1966 PA 1, MCL 125.1351 to 125.1356.

### **906.1**

A building, facility, or element that is altered shall comply with this section and section 410.

**Descriptive:**

The owners of this building wish to provide barrier free access to this building and barrier free toilet rooms to the interior. As part of this work, they wish to provide a rampway to a building entry (also to be the compliant exit way). The site only allows two suitable locations to place this ramp (See attached plans from permit documents).

Rear (north) ramp;

Preferred as the least obtrusive to the historic facade of the property presented to the street, this ramp location is behind the building in a limited width space rising up onto a rear deck structure accessing the new rear entry/exit. The building walls will be built to meet the required one hour rated assembly and the adjacent 301 East Liberty presents a windowless, blank, four-hour rated masonry wall to these west and north sides of the building in question. Since the 301 building presents a fire rated wall protection four times greater than the 311 building does to the rampway the protection intent to the ramp is exceed from the adjacent property meeting the protection the 10-foot setback space would provide as if, in the case of a fire on 311, the burn through would only give the ramp one hour of protection. A fire in 301 (which is fully suppressed) would be called in and within the four-hour burn through the adjacent properties will have been evacuated by police and fire department protocols.

Side (east) ramp:

A more visible ramp to the street this ramp runs alongside an existing 10-foot width drive accessing the and providing parking for the 311 and adjacent 315 properties all under one ownership. 315 is also a historic structure. 315 sits 17 feet from the east wall of 311. The ramp proposed would sit 13 foot 2 inches from 315. Since both buildings are part of the historic district the likelihood of any additions being placed on the 315 structure would be prohibited preserving the 10 plus foot side yard setback. In addition, as this is the only uncompromised entry to the rear parking area this 10-foot drive also provides/reinforces the required 10-foot setback requirement. This solution would also meet the intent with a proper physical setback protected by the drive access requirement and the protections of the HDC.

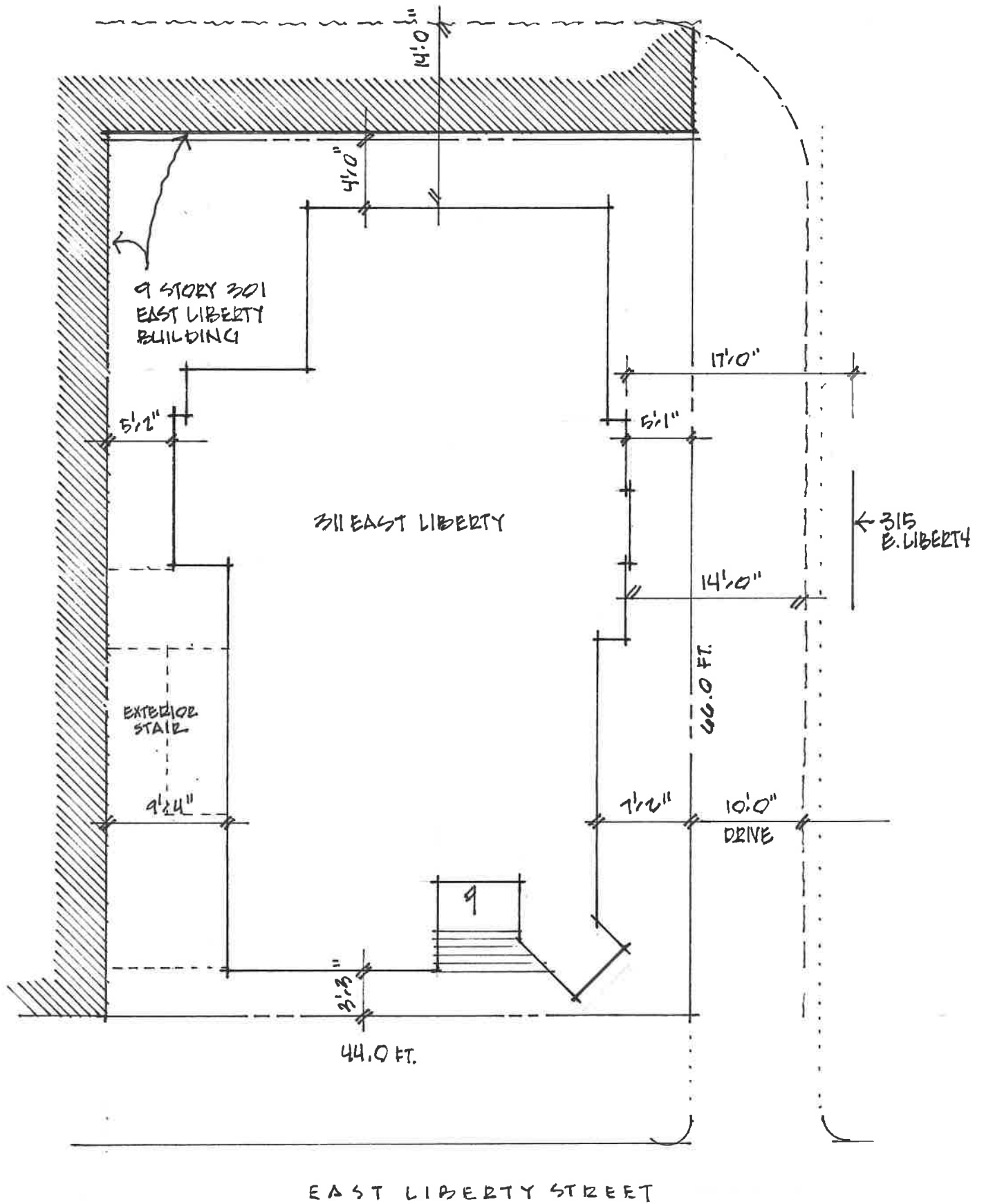
It is our contention that the intent of protecting these rampways in case of a fire emergency are provided as noted. The Rehabilitation code is clear that with a historic structure if the compliance is technically infeasible then the code does not need to be satisfied. Again, in our proof is, the intent of the code is satisfied.

Therefore, we request a variance exempting this property from the need to meet the 2015 MBC Section 1027.5 requirements as the compliance is technically infeasible as defined and spelled out in various sections of the 2015 MRCEB and that the placement of the proposed barrier free accessible rampway/exit way be allowed in either one of the specific locations or either of the proposed locations.



CARLO O. HUETER A.I.A.  
ARCHITECT

1221 FRANKLIN BLDG.  
ANN ARBOR, MI. 48103  
carl@hueterarchitects.com  
734.276.2175



311 EAST LIBERTY • SITE PLAN • 1/10" = 1'-0"  
 PBA SUBMISSION 9.6.2023

STATE OF MICHIGAN



JAMES J. BLANCHARD, Governor

**DEPARTMENT OF LABOR**

Elizabeth P. Howe, Director

BUREAU OF CONSTRUCTION CODES  
STATE SECONDARY COMPLEX  
7150 HARRIS DR., P.O. BOX 30015  
LANSING, MICHIGAN 48909

Barrier Free Design  
517/322-1191  
Voice or TDD

517/322-1701

**FINAL ORDER  
OF  
THE BARRIER FREE DESIGN BOARD**

Ms. Victoria Hueter  
Hobbs & Black Associates  
100 W. State Street  
Ann Arbor, MI 48104

DOCKET NUMBER: BFD 87-127-3551  
PROJECT NAME: Vahan Tailor Shop  
311 East Liberty, Ann Arbor, Washtenaw County

The Barrier Free Design Board, at its meeting of February 6, 1987, held at the Secondary Complex, 7150 Harris Drive, Lansing, Michigan, reviewed the recommendation of the Administrative Law Judge regarding the above-captioned matter, dated January 23, 1987. Copies of this report have been previously sent to all parties in this matter.

Pursuant to the authority contained in Section 5(6)(a) of Act No. 1 of the Public Acts of 1966, as amended; Act No. 230 of the Public Acts of 1972, as amended; and Section 81 of Act No. 306 of the Public Acts of 1969, as amended; the Board adopted and incorporated the Administrative Law Judge's entire report as the Board's Final Order, but with the following modification(s):

The Final Order shall be displayed at a conspicuous location in the building and/or be available with the manager of the building for examination by the public, as a condition of the granting of the exception.

Therefore, the FINAL ORDER of the Barrier Free Design Board is that an exception is granted from Section(s) 512.2 and 512.4 of the Barrier Free Design Requirements of the State Construction Code for barrier free primary access to the recessed area on the first floor, and for barrier free interior access to the second floor. The Final Order shall be displayed at a conspicuous location in the building and/or be available with the manager of the building for examination by the public, as a condition of the granting of the exception.

*Bill B. Moyer*  
Bill B. Moyer  
Executive Director  
Bureau of Construction Codes

February 18, 1987

BFD-FO-M

8/24/83  
517-241-7313

STATE OF MICHIGAN



JAMES J. BLANCHARD, Governor

DEPARTMENT OF LABOR

Elizabeth P. Howe, Director

BUREAU OF CONSTRUCTION CODES  
STATE SECONDARY COMPLEX  
7150 HARRIS DR., P.O. BOX 30015  
LANSING, MICHIGAN 48909  
517/322-1701

Barrier Free Design  
517/322-1191  
Voice or TDD

RECEIVED

FEB 25 1987

Building Department

TRANSMITTAL OF FINAL ORDER

February 18, 1987

Ms. Victoria Hunter  
Hobbs & Black Associates  
100 N. State Street  
Ann Arbor, MI 48104

DOCKET NUMBER: BYD 87-127-3551

PROJECT NAME: Vahan Tailor Shop  
321 East Liberty, Ann Arbor, Washtenaw County

Enclosed is the FINAL ORDER of the Barrier Free Design Board in the above-captioned matter, regarding your request for a barrier free design rule exception.

At its meeting July 25, 1986, the Board approved several motions which are to be applied to all future exception requests granted by the Board. These motions are noted below and have been incorporated in the Board's Final Order for this project, as appropriate.

ALL EXCEPTIONS: The Final Order shall be displayed at a conspicuous location in the building and/or be available with the manager of the building for examination by the public, as a condition of the granting of the exception.

EXCEPTIONS FOR WHEELCHAIR LIFTING DEVICES: The platform lift shall have constant pressure push-button controls and meet the State Elevator Board's requirements.

TIME EXCEPTIONS: The time exception shall be contingent upon the submittal within 60 days of a plan/proposal from the owner which details how compliance will be achieved by the conclusion of the time exception and which shows or states that it is technically and structurally feasible to meet the Barrier Free Design Rules for the area stated in the exception.

EXCEPTIONS FOR BATHROOMS: Grab bars for the bathroom(s) shall be provided in accordance with the requirements of Section 512.7.

Please do not hesitate to contact the Division, if you have any questions.

Sincerely,

  
Bill B. Moyer  
Executive Director  
Bureau of Construction Codes

Enclosure

cc: Office of Hearings, 

**RECEIVED**

**JAN 26 1987**

Building Department

**STATE OF MICHIGAN  
DEPARTMENT OF LABOR  
OFFICE OF HEARINGS  
State Secondary Complex  
General Office Building  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1709**

**Barrier Free Design Docket No. BFD 87-127-3551**

**In the Matter of:**

**Vahan Tailor Shop  
311 East Liberty  
Ann Arbor, Michigan**

---

**MEMORANDUM OF TRANSMITTAL**

Attached is a copy of the report of the Administrative Law Judge in the above captioned matter. This report is hereby filed and transmitted on January 23, 1987, to the Barrier Free Design Board and the parties.

A final decision of the Barrier Free Design Board will be transmitted to the parties after Board review of this report at their February 6, 1987 scheduled meeting.

Parties have until the date of the Board meeting to submit any arguments for the Board's consideration on review and may do so by sending a notarized communication to the Barrier Free Design Division at the address indicated below:

**Barrier Free Design Division  
State Secondary Complex  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1191**

STATE OF MICHIGAN  
DEPARTMENT OF LABOR  
OFFICE OF HEARINGS  
State Secondary Complex  
General Office Building  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1709

Barrier Free Design Docket No. BFD 87-127-3551

In the Matter of: Vahan Tailor Shop  
311 East Liberty  
Ann Arbor, MI

---

RECOMMENDATION OF THE ADMINISTRATIVE LAW JUDGE

Procedural Findings

This is a proceeding held pursuant to the authority granted in Act 1 of the Public Acts of 1966, as amended, being MCL 125.1351 et seq. and Act 230 of the Public Acts of 1972, as amended, being MCL 125.1501 et seq. and in accordance with Act 306 of the Public Acts of 1969, as amended, being MCL 24.101 et seq.

The purpose of the hearing is to review the request for an exception to the Barrier Free Design Rules of the General Rules of the State Construction Code, filed by Victoria G. L. Hueter, Hobbs & Black Associates and received in the Office of Hearings on December 19, 1986. A Notice of Prehearing Conference and Hearing was transmitted on December 23, 1986. The hearing on this matter was held on January 13, 1987, at the State Secondary Complex, 7150 Harris Drive, Lansing, Michigan. Present at the hearing were Victoria G. L. Hueter, the applicant, and Jim Hoffman, representing the Barrier Free Design Division.

Issue

Whether an exception should be granted from Sections 512.2 and 512.4 of the Barrier Free Design Rules.



#### Findings of Fact

The applicant has planned the partial renovation of a building which was constructed around 1900. The project will cost approximately \$45,000.

The building has a 2,006 square foot first floor, 1,831 square foot second floor, and 1,440 square foot basement. The project will entail construction of a 213 square foot first floor addition, which will be used as a display area, and a 293 square foot second floor addition. There will be renovation of a 10 1/2 foot by 16 foot display area which is recessed two feet below the rest of the first floor. The project also will include construction of an exterior stairway and entrance to the second floor.

The front entrance of the building is three feet, four inches above grade. There is no space for a ramp or wheelchair lifting device to this entrance because it is at the property line next to a sidewalk. The building is approximately four feet from the property line on one side and nine feet from the property line on the other side.

The vertical distance from the first floor to the second floor of the building is approximately nine feet. Installation of an elevator to provide access to the second floor would cost approximately \$35,000. A special elevating device would cost \$16,000 to \$17,000. Installation of an incline wheelchair lifting device to the second floor would cost \$23,500, including



the cost of widening the stairway, and would result in the loss of 200 square feet on both the first and second floor.

The first floor of the building is a tailor shop and the basement is a cake decorating business. An owner and one employee work in each of these businesses. The second floor will be rented as offices of professionals such as attorneys or accountants.

#### Conclusions of Law

Act 1 of the Public Acts of 1966, as amended, states that the barrier free design requirements were created "to provide for the accessibility and utilization by physically limited persons of public facilities and facilities used by the public." The Barrier Free Design Board is authorized by the Act to grant or deny requests for exceptions to any or all of the barrier free design requirements for a stated time period and upon stated conditions and require alternatives when exceptions are granted.

An exception request is granted only when compelling need is demonstrated by the applicant, because the applicant has the ultimate burden of proving that an exception should be granted. An exception is in effect a special license to deviate from rules which have uniform applicability to all facilities. Compelling need may be present if the literal application of a specific barrier free design requirement would result in exceptional, practical difficulty to the applicant or where compliance would not be economically, technologically, structurally, or administratively feasible.

There is compelling need for an exception to the Barrier Free Design Rules. An exception should be granted for the front entrance and the recessed display area due to space constraints. An exception should be granted for the second floor due to costs and space constraints.

Decision

It is hereby recommended that an exception be granted from Section 512.2 of the Barrier Free Design Rules of the State Construction Code. It is recommended further that an exception be granted from Section 512.4 for the recessed area on the first floor and the second floor.

Dated: JAN 23 1987

  
Barry W. Sparks  
Administrative Law Judge

STATE OF MICHIGAN  
DEPARTMENT OF LABOR  
OFFICE OF HEARINGS  
State Secondary Complex  
7150 Harris Drive  
Lansing, Michigan 48909  
Telephone: (517) 322-1709

RECEIVED

DEC 29 1986

Building Department

In the Matter of:

Docket No.: BFD 87-127-3551

Vahan Tailor Shop  
311 East Liberty  
Ann Arbor, Michigan

NOTICE OF PREHEARING CONFERENCE AND HEARING

Please take notice that a prehearing conference and hearing on the applicant's exception request will be held:

Date: January 13, 1987 (Tuesday) Time: 10:00 a.m.

Place: Office of Hearings, 1st Floor, B-Wing, General Office Building, State Secondary Complex, 7150 Harris Drive Lansing, Michigan

Issue:

Whether the applicant should be granted an exception from Sections 512.2 and 512.4 of Rule 427 of the barrier free design requirements contained in the State Construction Code.

Dated: DEC 23 1986

Barry W. Sparks  
Barry W. Sparks/krh  
Administrative Law Judge

The applicant has the burden of demonstrating compelling need in order to justify granting an exception from the above referenced section(s).

All proceedings shall be conducted in accordance with procedures applicable to the trial of contested cases under Act 306 of the Public Acts of 1969, as amended being the Administrative Procedures Act of 1969.

A CONTINUANCE WILL BE GRANTED ONLY UPON A SHOWING OF GOOD CAUSE.

~~FAILURE OF THE APPLICANT TO ATTEND THIS HEARING WILL RESULT IN DENIAL OF THE APPLICATION FOR EXCEPTION.~~

STATE OF MICHIGAN



JAMES J. BLANCHARD, Governor

**DEPARTMENT OF LABOR**

Elizabeth P. Howe, Director

BUREAU OF CONSTRUCTION CODES  
STATE SECONDARY COMPLEX  
7150 HARRIS DR., P.O. BOX 30015  
LANSING, MICHIGAN 48909  
517/322-1701

Barrier Free Design  
517/322-1191  
Voice or TDD

December 19, 1986

Ms. Victoria Hunter  
Hobbs & Black Associates  
100 N. State Street  
Ann Arbor, MI 48104

Re: BFD 87-127, Vahan Tailor Shop  
311 East Liberty, Ann Arbor, Washtenaw

Dear Ms. Hunter:

This communication acknowledges receipt of your complete application requesting an exception from the barrier free design requirements of the State Construction Code, Section(s) 512.2 and 512.4. We have transmitted it to the Office of Hearings for the scheduling of a prehearing conference and hearing. (The Administrative Law Judges in that office act as agents of the Board to meet with applicants and determine the facts regarding the exception request.)

The prehearing conference is an informal, off-the-record discussion in which you and/or your representative will meet with a staff member of the Barrier Free Design Division to discuss your application and project, as well as possible alternatives and issues, which will be covered at the formal hearing.

Immediately following the prehearing conference, a hearing on the record will be conducted by an Administrative Law Judge of the Office of Hearings. As the applicant, you have the responsibility at the hearing to explain the compelling reasons why an exception from the requirements is warranted for this project. A copy of the Board's Formal Guidelines is enclosed to assist you. After the hearing, the Hearing Officer will prepare a written recommendation which summarizes the facts in the case and recommends a decision to the Board. At the same time the recommendation is transmitted to the Board, you and the other parties to the case will also receive copies. A minimum of ten days will transpire from the date the recommendation is mailed to you and the date the Board takes final action. This period of time is provided to assure you and the other parties an opportunity to review the recommendation and offer any written clarification or arguments you believe are necessary for the Board to consider prior to final action being taken.

In accordance with the State's Administrative Procedures Act, any action taken by the Board can be appealed to the Circuit Court for the county in which the project is located within 60 days of the date of the Board's Final Order.

BVD 07-127  
December 19, 1986  
Page 2

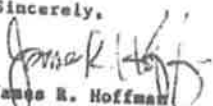
The law authorizes the Board to grant exceptions for stated time periods and upon stated conditions. If you are granted an exception, the FINAL ORDER of the Board will clearly detail any conditions or limitations established by the Board which apply to your project. Failure to comply with a condition, or limitation, or other requirement set by the Board when granting an exception will render the exception null and void.

Also, please note the following issues if they pertain to your project:

1. If the structure is an historic structure eligible for or listed on either the State Registrar of Historic Sites, or the National Register of Historic Places, please be prepared to submit a letter or other communication from the Michigan History Division, Department of State, to document the structure's historic status.
2. If you are seeking an exception for a specific time period (i.e., six months, one year, three years, etc.) please bring to the hearing a written plan/proposal which details how compliance with the barrier free design requirements will be achieved by the conclusion of the time exception, if the exception is granted. This plan should be submitted as an exhibit at the hearing and will be included as part of the Hearing Officer's recommendation to the Board.
3. If your request is for an exception from Section 512.4 as it relates to interior access requirements between levels, please come prepared to discuss the spatial and financial ramifications of the use of a code compliant elevator as well as the use of a special elevating device and wheelchair lifting device as possible alternative means of providing interior access in your project. A Fact Sheet about these alternative devices, is enclosed for your convenience.

The Office of Hearings will be sending you a formal notice in the near future regarding the time and date of your prehearing conference and hearing. In the meantime, if you have any questions, please do not hesitate to contact the Barrier Free Design Division at 517/322-1191 (voice or TDD).

Sincerely,

  
James R. Hoffman  
Plan Reviewer  
Barrier Free Design Division

JRH/edw

cc: Office of Hearings, Mr. D. Jack Donaldson  
Enclosure



**LABOR**

**APPLICATION FOR  
BARRIER FREE DESIGN RULE EXCEPTION**  
Michigan Department Of Labor  
Barrier Free Design Board  
P.O. Box 30015, Lansing, MI 48909  
(517) 322-1191 (Voice or TDD)

FOR AGENCY USE ONLY

BFD:

THIS FORM IS ISSUED UNDER THE AUTHORITY PROVIDED IN ACT 1 OF THE PUBLIC ACTS OF 1966, AS AMENDED. THIS FORM MUST BE FILED IN ORDER FOR THE BARRIER FREE DESIGN BOARD TO CONSIDER ANY REQUEST FOR EXCEPTION FROM THE BARRIER FREE DESIGN REQUIREMENTS. THE MICHIGAN DEPARTMENT OF LABOR DOES NOT DISCRIMINATE AGAINST ANY INDIVIDUAL OR GROUP BECAUSE OF RACE, SEX, RELIGION, AGE, NATIONAL ORIGIN, COLOR, MARITAL STATUS, HANDICAP, OR POLITICAL BELIEFS.

INSTRUCTIONS: YOUR APPLICATION WILL BE PROCESSED PROMPTLY IF YOU:

- COMPLETE ALL SECTIONS OF THE APPLICATION.
- INCLUDE \$80.00 FILING FEE, PAYABLE TO THE STATE OF MICHIGAN.
- INCLUDE ONE SET OF DRAWINGS THAT SHOWS THE AREA FOR WHICH THE EXCEPTION IS BEING REQUESTED, THE SURROUNDING SITE, INTERIOR LAYOUT, AND ANY STRUCTURAL FEATURES THAT BEAR ON THE REQUEST.
- HAVE SECTION 17 COMPLETED BY THE PROPER ADMINISTRATIVE AUTHORITY.
- SIGN SECTION 18.

A NEW BUILDING MUST MEET THE BARRIER FREE DESIGN REQUIREMENTS IN THE STATE CONSTRUCTION CODE. SOME CHANGES TO AN EXISTING BUILDING MAY ALSO REQUIRE FULL OR PARTIAL COMPLIANCE. IF YOU PLAN TO CHANGE THE BUILDING'S USE GROUP, OCCUPANCY LOAD, OR REMODEL (OTHER THAN ORDINARY MAINTENANCE) BARRIER FREE DESIGN REQUIREMENTS PROBABLY APPLY TO AT LEAST PART OF YOUR BUILDING.

UNDER SPECIAL CIRCUMSTANCES YOU MAY QUALIFY FOR AN EXCEPTION TO THE BARRIER FREE DESIGN REQUIREMENTS. THIS FORM WILL HELP DETERMINE IF YOUR SITUATION QUALIFIES FOR AN EXCEPTION.

**1. PROJECT INFORMATION**

PROJECT NAME Vahan Tailor Shop			
PROJECT STREET ADDRESS 311 East Liberty		COUNTY Washtenaw	
CITY Ann Arbor	STATE MI	ZIP CODE 48104	

**2. APPLICANT INFORMATION (NOTE: ALL CORRESPONDENCE WILL BE SENT TO THIS ADDRESS.)**

NAME OF APPLICANT/APPLICANT'S REPRESENTATIVE Victoria G.L. Hueter, Hobbs & Black Assoc.			
APPLICANT'S STREET ADDRESS 100 N. State Street			
CITY Ann Arbor	STATE MI	ZIP CODE 48104	
TELEPHONE NUMBER AREA CODE (313) 643-4189			

**3. APPLICANT'S RELATIONSHIP TO PROJECT (CHECK ONE)**

<input type="checkbox"/> OWNER	<input type="checkbox"/> PROFESSIONAL ENGINEER	<input type="checkbox"/> ATTORNEY
<input type="checkbox"/> MANAGER	<input checked="" type="checkbox"/> ARCHITECT	<input type="checkbox"/> OTHER (SPECIFY)

**4. PROPERTY OWNERSHIP**

DO YOU OWN THIS PROPERTY?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	IF NO, DOES THE OWNER KNOW ABOUT THIS APPLICATION?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
---------------------------	------------------------------	--	--	---	-----------------------------

**5. BUSINESS OWNER (IF NOT APPLICANT/PROPERTY OWNER)**

NAME OF BUSINESS OWNER			R. PROJECT ARCHITECT/ENGINEER (IF APPLICABLE)		
ADDRESS OF BUSINESS OWNER			NAME OF ARCHITECT/ENGINEER see applicant		
CITY			FIRM NAME		
STATE			REGISTRATION NO. 14119		
ZIP CODE			STREET ADDRESS		
TELEPHONE NUMBER AREA CODE			CITY		
			STATE		
			ZIP CODE		

800-281 (1-89)

GO TO THE NEXT PAGE

FOR ASSISTANCE IN COMPLETING SECTIONS 7 - 17, CONTACT THE PROJECT ARCHITECT OR ENGINEER, THE LOCAL BUILDING OFFICIAL, OR THE BARRIER FREE DESIGN DIVISION.

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FOR AN EXCEPTION TO BE GRANTED, A COMPELLING NEED MUST BE DEMONSTRATED BY THE APPLICANT. A COMPELLING NEED MAY BE PRESENT IF THE LITERAL APPLICATION OF A SPECIFIC BARRIER FREE DESIGN REQUIREMENT RESULTS IN EXCEPTIONAL, PRACTICAL DIFFICULTY TO THE APPLICANT.

BFD:

7. TOTAL ESTIMATED PROJECT COST

45,000.00

8. FINANCED IN WHOLE OR IN PART WITH FUNDS FROM:

PRIVATE \_\_\_\_\_ %     FEDERAL GOVERNMENT \_\_\_\_\_ %     STATE GOVERNMENT \_\_\_\_\_ %     LOCAL GOVERNMENT \_\_\_\_\_ %

9. LIST THE EXCEPTION REQUESTS AND THEIR LOCATIONS IN THE BUILDING FOR EXAMPLE, ELEVATOR ACCESS TO THE PROPOSED SECOND FLOOR ADDITION; RAMPED ACCESS TO A RAISED AREA BARRIER FREE UNISEX BATHROOM IN LIEU OF SEPARATE BARRIER FREE FACILITIES FOR MEN AND WOMEN; BARRIER FREE ENTRANCE; ETC. ATTACH ADDITIONAL SHEETS, IF NECESSARY.

Second story addition over existing display window/proposed additional display window and relocated store entrance 515.4, 515.2. New exterior stair and entrance to second floor lease space 515.2.

10. BRIEFLY STATE THE STRUCTURAL, TECHNOLOGICAL, ECONOMIC REASONS FOR THE REQUEST. (THESE MATTERS WILL BE REVIEWED MORE FULLY AT THE HEARING WITH THE ADMINISTRATIVE LAW JUDGE.) ATTACH ADDITIONAL SHEETS, IF NECESSARY.

Existing old house has concrete entrance porch built to sidewalk/property line. Building is within 5' of property line to east and 9' from property line at west. West side has exterior entrance to basement lease space and proposed exterior entrance to 2nd floor lease space. First floor is 3'-4" above the sidewalk at the existing entrance (on the east side of front). Grade drops 9" from this point to the west side of the front or 4'-1" to first floor. There is no space for a code compliant ramp or lifting device. Proposed renovation and display area will be set on existing footings and concrete porch. He plead technological difficulty.

11. IF A TEMPORARY EXCEPTION IS BEING REQUESTED, WHAT IS THE PERIOD OF TIME REQUESTED?

A WRITTEN PLAN FOR COMPLIANCE MUST BE SUBMITTED AT THE HEARING FOR A TEMPORARY EXCEPTION TO BE CONSIDERED.

12. BRIEFLY STATE THE GENERAL USE OF THE STRUCTURE AND THE PROPOSED USE OF EACH FLOOR OR AREA.

Basement - lease space, storage

First floor - tailor shop

Second floor - lease space and tailor shop storage

DO NOT SEND APPLICATION TO THE BOARD UNTIL

SECTION 17 HAS BEEN COMPLETED BY THE ADMINISTRATIVE AUTHORITY RESPONSIBLE FOR ISSUING THE BUILDING PERMIT FOR THIS PROJECT. FOR MOST PROJECTS, THE LOCAL BUILDING OFFICIAL WILL COMPLETE THIS SECTION.

FOR AGENCY USE ONLY

BFD:

17. BUILDING PERMIT

CODE FOR THIS JURISDICTION <input type="checkbox"/> STATE CONSTRUCTION CODE <input checked="" type="checkbox"/> SOCA BASIC BUILDING CODE <input type="checkbox"/> UNIFORM BUILDING CODE		NAME OF BUILDING OFFICIAL D. Jack Donaldson	
NEW BUILDINGS ONLY: USE GROUP CLASSIFICATION _____ OCCUPANCY LOAD _____		JURISDICTION City of Ann Arbor	
EXISTING BUILDINGS ONLY: USE GROUP CLASSIFICATION PRESENT <u>MVED M/B</u> PROPOSED <u>SAME</u> OCCUPANCY LOAD <u>344/20 = 17 (M)</u> <u>182/100 = 19 (B)</u> PRESENT <u>359/20 = 18 (M)</u> PROPOSED <u>212/100 = 22 (B)</u>		STREET ADDRESS <u>100 N. FIFTH AVE.</u>	
		CITY	ZIP CODE
		<u>ANN ARBOR</u>	<u>48104</u>
		TELEPHONE NUMBER AREA CODE <u>(313) 994-2674</u>	
		PROJECT DOES NOT COMPLY WITH BARRIER FREE DESIGN REQUIREMENTS AS FOLLOWS: SECTION(S) <u>512.2, 512.4</u>	
		IF BUILDING PERMIT ISSUED, DATE ISSUED: _____ <input type="checkbox"/> FOR DEMOLITION <input type="checkbox"/> FOR FOUNDATION ONLY <input type="checkbox"/> FOR PROJECT WITH PLANS IN COMPLIANCE	
COMMENTS (ATTACH ADDITIONAL SHEETS, IF NECESSARY) <u>MERCANTILE OCC. LOAD MAY BE REDUCED BY AREAS OF NON-SIMULTANEOUS OCCUPANCY &amp; FIXTURES</u>			
BUILDING OFFICIAL SIGNATURE <u>Lamp</u>			DATE <u>12/4/86</u>



18. CERTIFICATION I CERTIFY THAT ALL OF THE INFORMATION PROVIDED ON PAGES 1 - 4 IS TRUE AND ACCURATE.	
SIGNATURE OF APPLICANT	DATE
<u>Victoria G. Hult</u>	<u>3 Nov 1986</u>

AFTER FILING, PARTIES WILL RECEIVE AN ACKNOWLEDGMENT OF RECEIPT OF THE APPLICATION, ALONG WITH A LIST OF THE ITEMS UPON WHICH DETAILED TESTIMONY WILL BE TAKEN AT THE HEARING. SHORTLY AFTER THIS ACKNOWLEDGEMENT IS RECEIVED, PARTIES WILL RECEIVE UNDER SEPARATE COVER, A NOTICE OF HEARING FROM THE OFFICE OF HEARINGS WHICH WILL CONDUCT A FACT-FINDING HEARING ON THE MERITS OF THE APPLICATION, IN ACCORDANCE WITH THE PROVISIONS OF THE MICHIGAN ADMINISTRATIVE PROCEDURES ACT.

APPLICANT: DID YOU REMEMBER TO

- COMPLETE ALL SECTIONS OF THE APPLICATION?
- SIGN SECTION 18?
- INCLUDE YOUR \$90.00 FILING FEE PAYABLE TO THE STATE OF MICHIGAN?
- INCLUDE ONE SET OF DRAWINGS FOR THE PROJECT?
- HAVE SECTION 17 COMPLETED BY THE PROPER ADMINISTRATIVE AUTHORITY?



FOR AGENCY USE ONLY

BFD:

13. APPROXIMATE NUMBER OF EMPLOYEES AND A BRIEF DESCRIPTION OF JOB DUTIES.

Basement tenant space - two (owner and sales)

Tailor shop - two (owner, seamstress)

Second floor lease space - currently unoccupied

14. TYPE OF IMPROVEMENT (CHECK ONE OR MORE, AS APPROPRIATE)

- EXISTING BUILDING SCHEDULED FOR CHANGE IN USE GROUP: BUILT IN \_\_\_\_\_
- RENOVATION OF EXISTING BUILDING: BUILT IN \_\_\_\_\_ : CONSTRUCTION PROPOSED TO START \_\_\_\_\_
- NEW ADDITION TO EXISTING BUILDING: BUILT IN 1900± : CONSTRUCTION PROPOSED TO START Spring 1987
- NEW BUILDING: CONSTRUCTION PROPOSED TO START \_\_\_\_\_

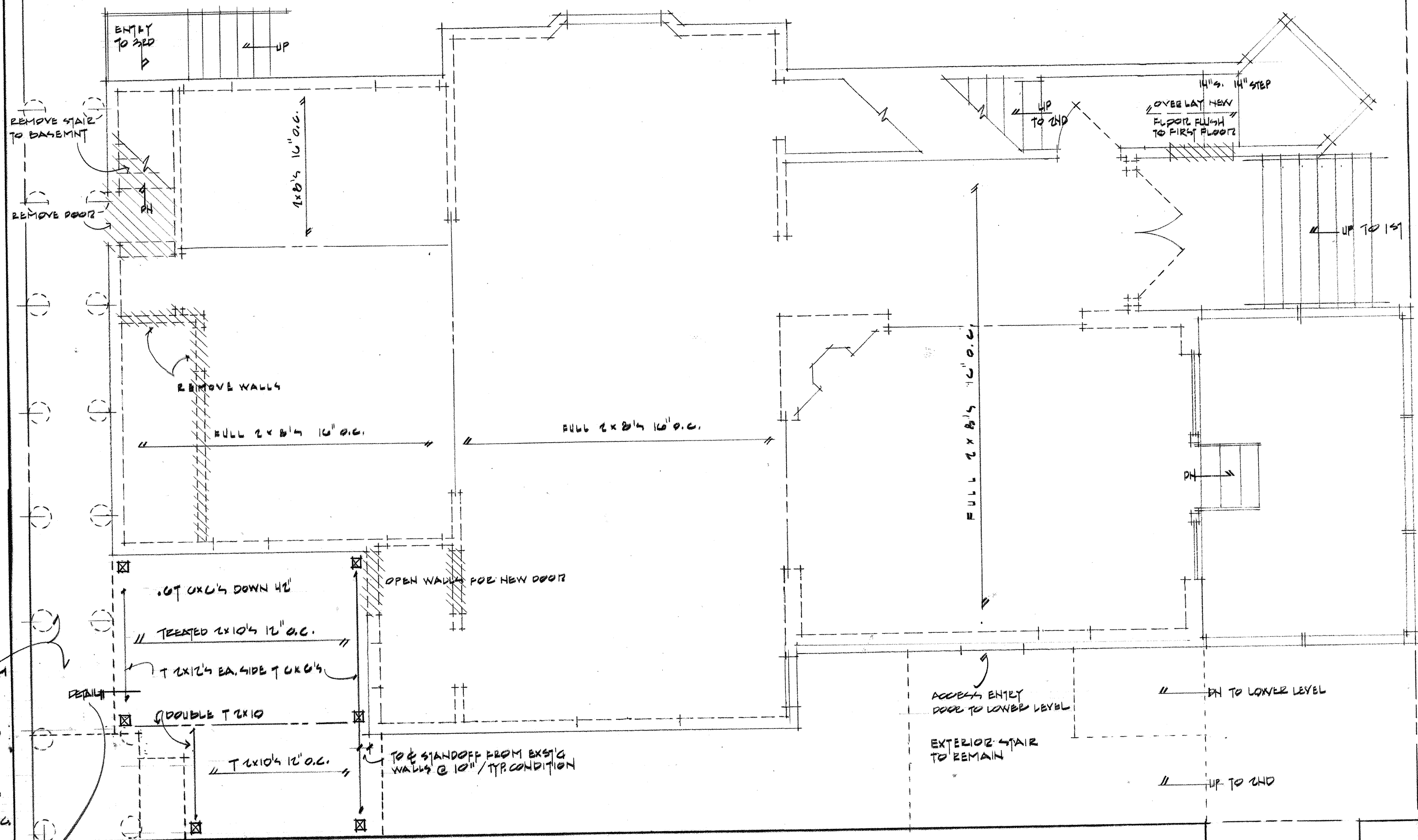
15. OFF-STREET PARKING

NUMBER OF OFF-STREET PARKING SPACES REQUIRED BY LOCAL ORDINANCE.	CURRENT	PROPOSED	NUMBER OF RESERVED BARRIER FREE SPACES PROVIDED.	CURRENT	PROPOSED
	None	None		None	None

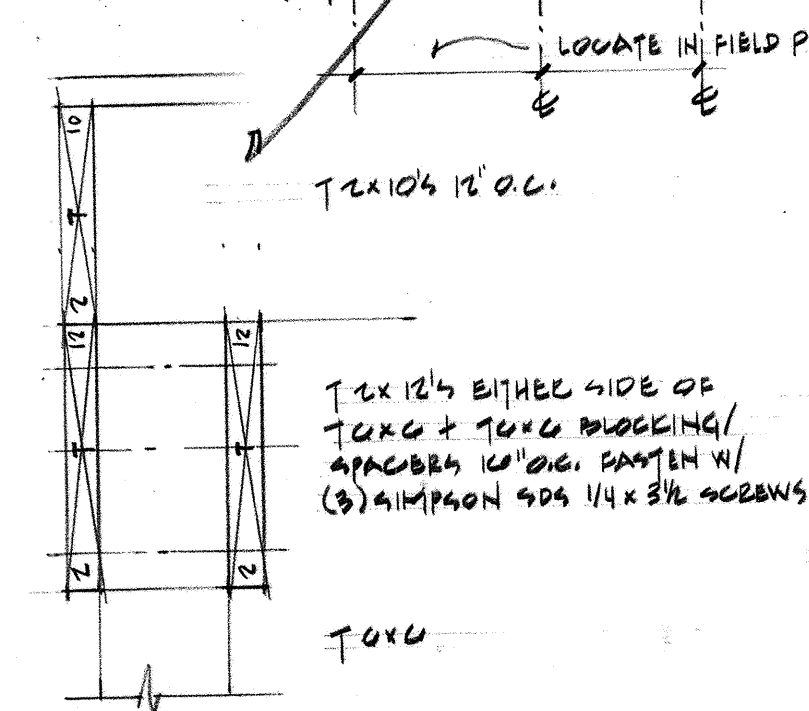
16. BUILDING INFORMATION (ATTACH ADDITIONAL SHEETS, IF NECESSARY.)

FLOOR AREA (SQ. FT.)		BASEMENT	1ST FLOOR	MEZZANINE	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
		EXISTING BUILDING	1440	2006		1831		
AREA OF RENOVATION								
AREA OF ADDITION			213		293			506
PROPOSED NEW BUILDING								
NO. OF TOILET ROOMS EXISTING	MEN	BARRIER FREE						
		NON B.F.						
	WOMEN	BARRIER FREE						
		NON B.F.						
	UNSEX	BARRIER FREE						
		NON B.F.	1	1		1		
NO. OF TOILET ROOMS PROPOSED	MEN	BARRIER FREE						
		NON B.F.						
	WOMEN	BARRIER FREE						
		NON B.F.						
	UNSEX	BARRIER FREE						
		NON B.F.						
PROPOSED USE OF EACH FLOOR		storage lease	tailor shop		lease office			
CHECK FLOORS PROVIDED WITH ELEVATOR ACCESS								
CHECK FLOORS WITH BARRIER FREE ENTRANCES								

GO TO THE NEXT PAGE



LT. WT. ALUMINUM  
 BARBET PELLE  
 RAMP SYSTEM  
 ON 12" x 42" D  
 3000 PSI CONC.  
 FOOTINGS  
 ON EXISTING  
 UNDISTURBED  
 GRAVEL/40%  
 SPACED PER  
 RAMP MFR'S O.C.  
 SHOP DRWG.

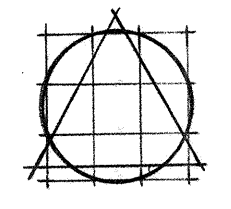


- STRIP PLASTER & LATH & OTHER FINISHES OFF ALL WALLS & CEILING TO BARE ALL STRUCTURE
- REMOVE ALL MEP, FIXTURES, DEVICES, WIRING, PULPING & PIPING

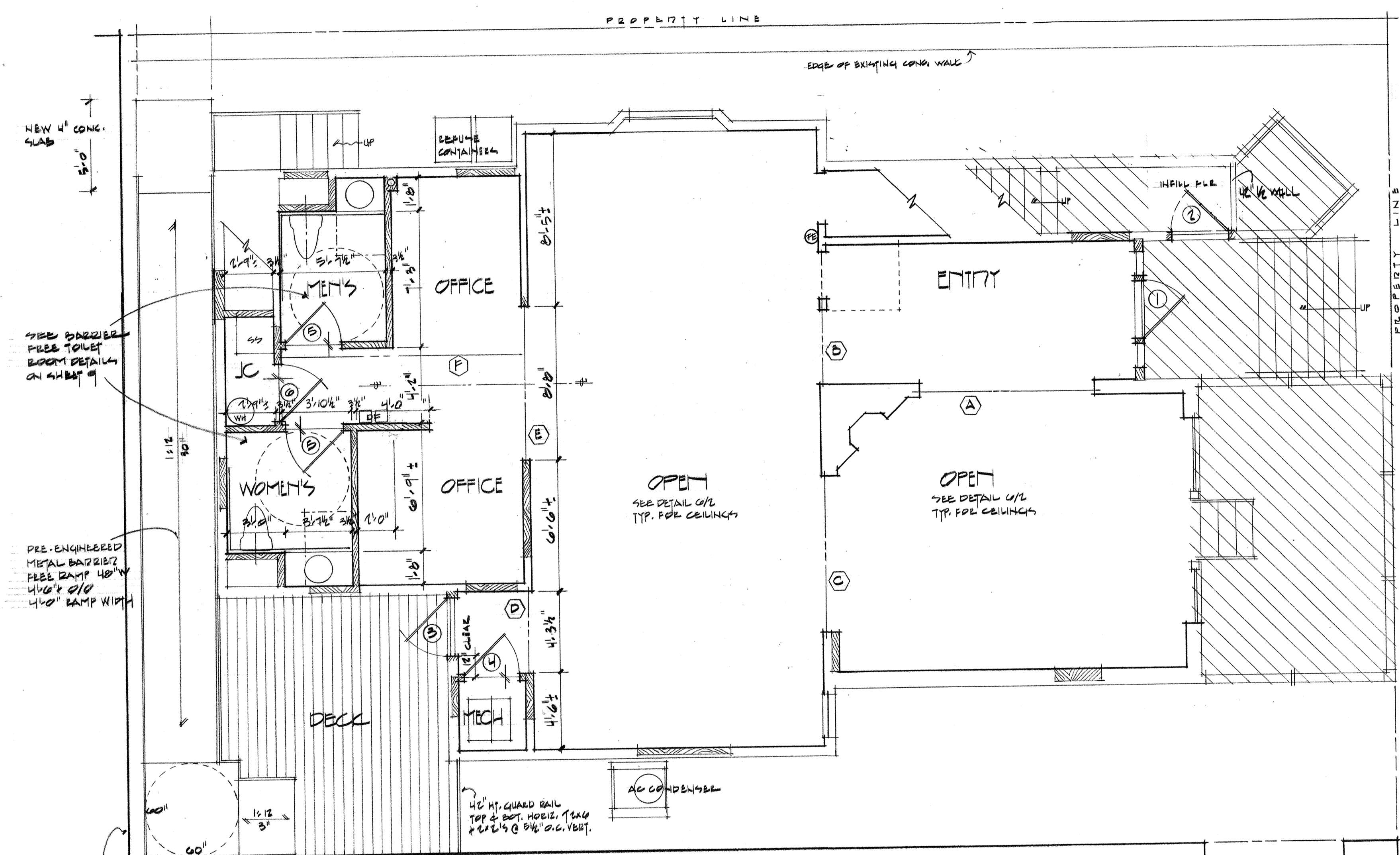
DEMOLITION PLAN  
 1/4" = 1'-0"

NORTH  
 RAMP  
 BBA

REVIEW	4-24-23
BIDDING	4-24-23
REVISED	7-25-23
PERMIT	4-24-23
REVISED	7-31-23



5



PROPERTY LINE

EDGE OF EXISTING CONG. WALL

NEW 4" CONG. SLAB

SEE BARRIER FREE TOILET ROOM DETAILS ON SHEET 9

PRE-ENGINEERED METAL BARRIER FREE RAMP 48" W 4'0" x 8'0" 4'0" RAMP WIDTH

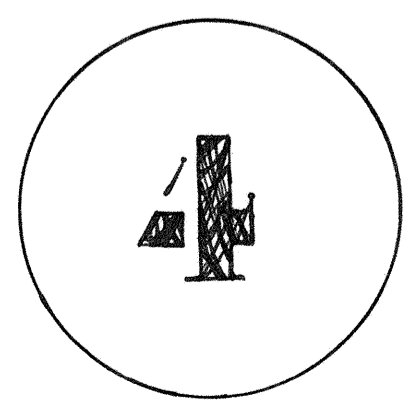
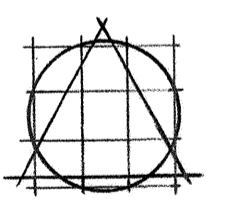
ADJACENT BLDG 301 E. LIBERTY 4 HR RATED, NO OPENINGS, MASONRY WALL

- ALL CEILING TO BE FINISHED OUT TO 2 HOUR FIRE RATING PER U.L. L505, SEE DETAIL
- ALL INTERIOR WALL TO RECEIVE 1 LAYER TYPE X FIRECODE C DRYWALL TO BE 1 HOUR RATED PER U.L. U305, SEE DETAIL
- ALL EXTERIOR WALLS TO BE 1 HOUR RATED PER U.L. U350, SEE DETAIL
- SHADED WALLS ARE NEW FULL HT. 2x4 @ 16" O.C. CONSTRUCTION

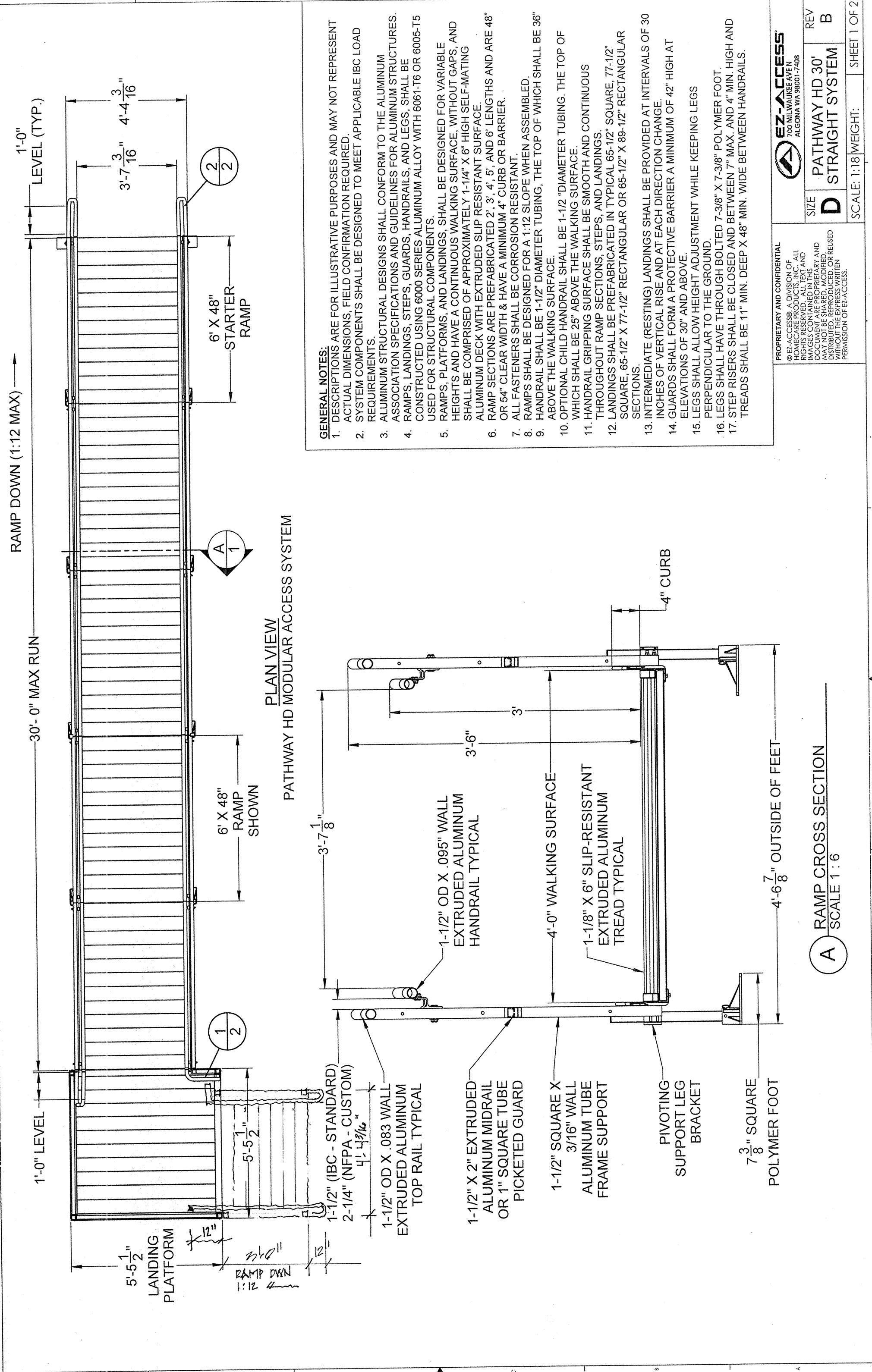
FIRST FLOOR PLAN  
1/4" = 1'-0"

NORTH RAMP BBA

REVIEW	4-24-23
BIDDING	4-24-23
REVISED	7-25-23
PERMIT	4-24-23
REVISED	7-31-23

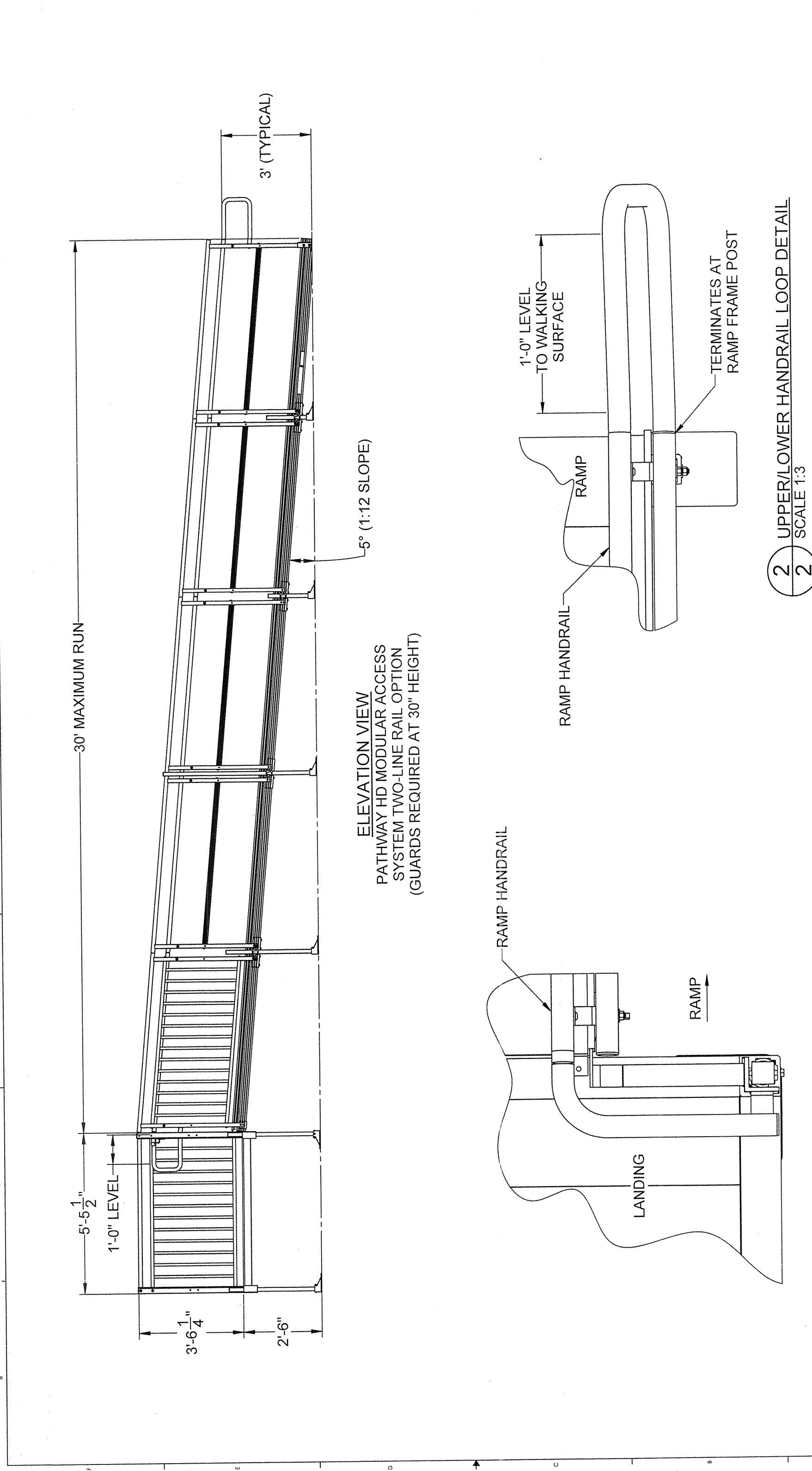






- GENERAL NOTES:**
1. DESCRIPTIONS ARE FOR ILLUSTRATIVE PURPOSES AND MAY NOT REPRESENT ACTUAL DIMENSIONS. FIELD CONFIRMATION REQUIRED.
  2. SYSTEM COMPONENTS SHALL BE DESIGNED TO MEET APPLICABLE IBC LOAD REQUIREMENTS.
  3. ALUMINUM STRUCTURAL DESIGNS SHALL CONFORM TO THE ALUMINUM ASSOCIATION SPECIFICATIONS AND GUIDELINES FOR ALUMINUM STRUCTURES.
  4. RAMPS, LANDINGS, STEPS, GUARDS, HANDRAILS, AND LEGS, SHALL BE CONSTRUCTED USING 6000 SERIES ALUMINUM ALLOY WITH 6061-T6 OR 6005-T5 USED FOR STRUCTURAL COMPONENTS.
  5. RAMPS, PLATFORMS, AND LANDINGS, SHALL BE DESIGNED FOR VARIABLE HEIGHTS AND HAVE A CONTINUOUS WALKING SURFACE, WITHOUT GAPS, AND SHALL BE COMPRISED OF APPROXIMATELY 1-1/4" X 6" HIGH SELF-MATING ALUMINUM DECK WITH EXTRUDED SLIP RESISTANT SURFACE.
  6. RAMP SECTIONS ARE PREFABRICATED 2', 3', 4', 5', AND 6' LENGTHS AND ARE 48" OR 64" CLEAR WIDTH & HAVE A MINIMUM 4" CURB OR BARRIER.
  7. ALL FASTENERS SHALL BE CORROSION RESISTANT.
  8. RAMPS SHALL BE DESIGNED FOR A 1:12 SLOPE WHEN ASSEMBLED.
  9. HANDRAIL SHALL BE 1-1/2" DIAMETER TUBING, THE TOP OF WHICH SHALL BE 36" ABOVE THE WALKING SURFACE.
  10. OPTIONAL CHILD HANDRAIL SHALL BE 1-1/2" DIAMETER TUBING, THE TOP OF WHICH SHALL BE 25" ABOVE THE WALKING SURFACE.
  11. HANDRAIL GRIPPING SURFACE SHALL BE SMOOTH AND CONTINUOUS THROUGHOUT RAMP SECTIONS, STEPS, AND LANDINGS.
  12. LANDINGS SHALL BE PREFABRICATED IN TYPICAL 65-1/2" SQUARE, 77-1/2" SQUARE, 85-1/2" X 77-1/2" RECTANGULAR OR 65-1/2" X 89-1/2" RECTANGULAR SECTIONS.
  13. INTERMEDIATE (RESTING) LANDINGS SHALL BE PROVIDED AT INTERVALS OF 30 INCHES OF VERTICAL RISE AND AT EACH DIRECTION CHANGE.
  14. GUARDS SHALL FORM A PROTECTIVE BARRIER A MINIMUM OF 42" HIGH AT ELEVATIONS OF 30" AND ABOVE.
  15. LEGS SHALL ALLOW HEIGHT ADJUSTMENT WHILE KEEPING LEGS PERPENDICULAR TO THE GROUND.
  16. LEGS SHALL HAVE THROUGH BOLTED 7-3/8" X 7-3/8" POLYMER FOOT.
  17. STEP RISERS SHALL BE CLOSED AND BETWEEN 7" MAX. AND 4" MIN. HIGH AND TREADS SHALL BE 11" MIN. DEEP X 48" MIN. WIDE BETWEEN HANDRAILS.

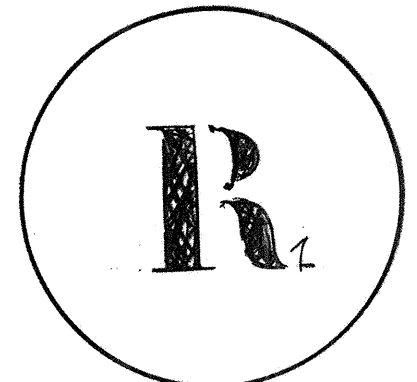
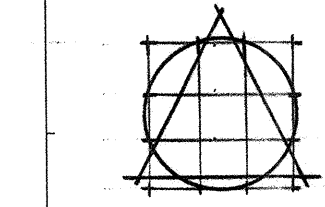
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SCALE: 1:18 WEIGHT:		SHEET 1 OF 2	



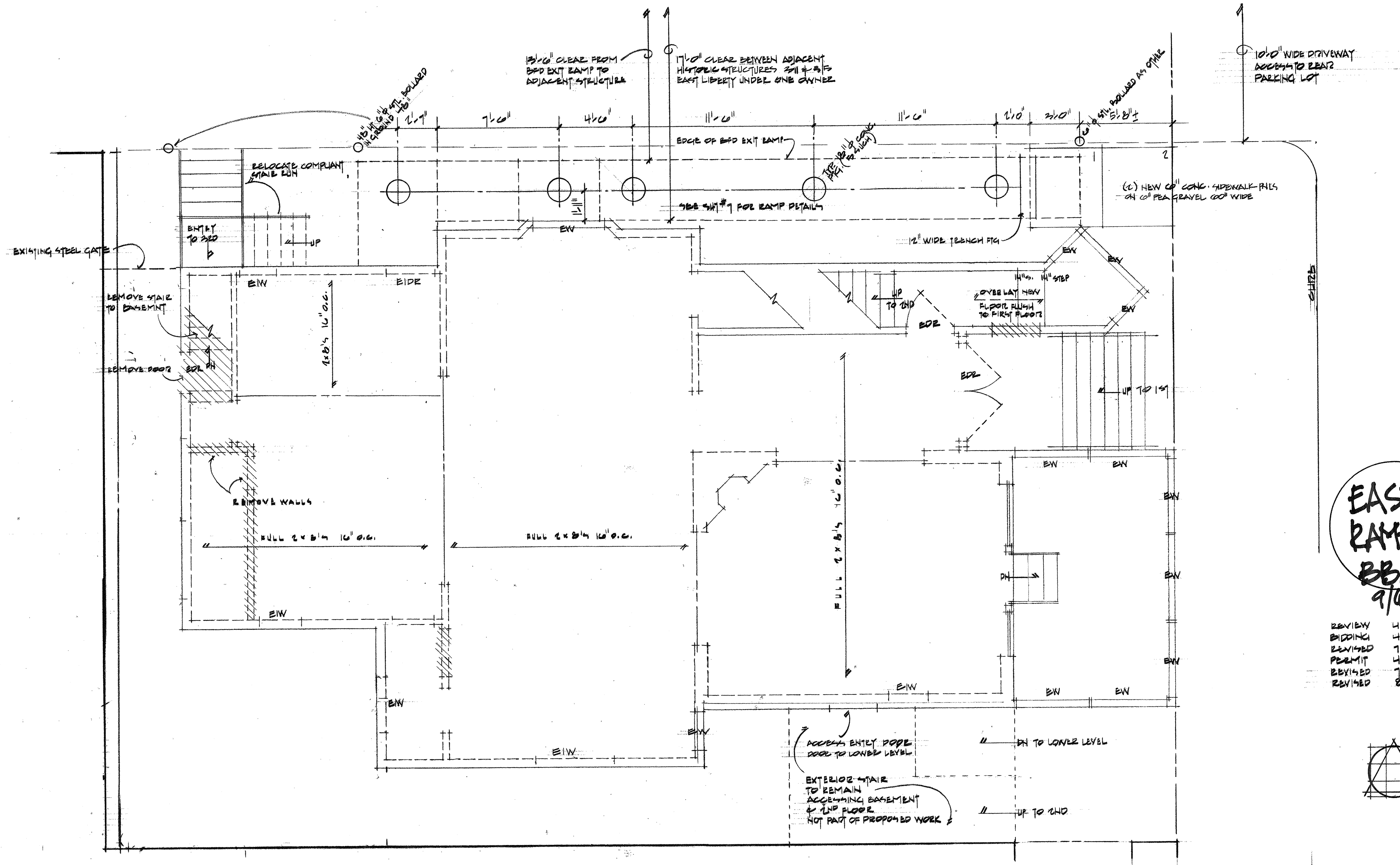
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SCALE: 1:18 WEIGHT:		SHEET 2 OF 2	

**NORTH RAMP BBA**

REVIEW RESRAKE 7-25-23  
ATTACHMENT  
REVISED 7-31-23





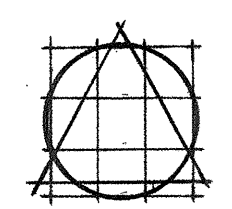


- STRIP PLASTER & LATH & OTHER FINISHES OFF ALL WALLS & CEILINGS TO BARE ALL STRUCTURE
- REMOVE ALL M.B.P. FIXTURES, DEVICES, WIRING, PULPING & PIPING
- EW = EXISTING WINDOW    EIW = EXISTING WINDOW INFILLED IN PAST PROJECTS
- EDL = EXISTING DOOR    EIDL = " DOOR " " " " "

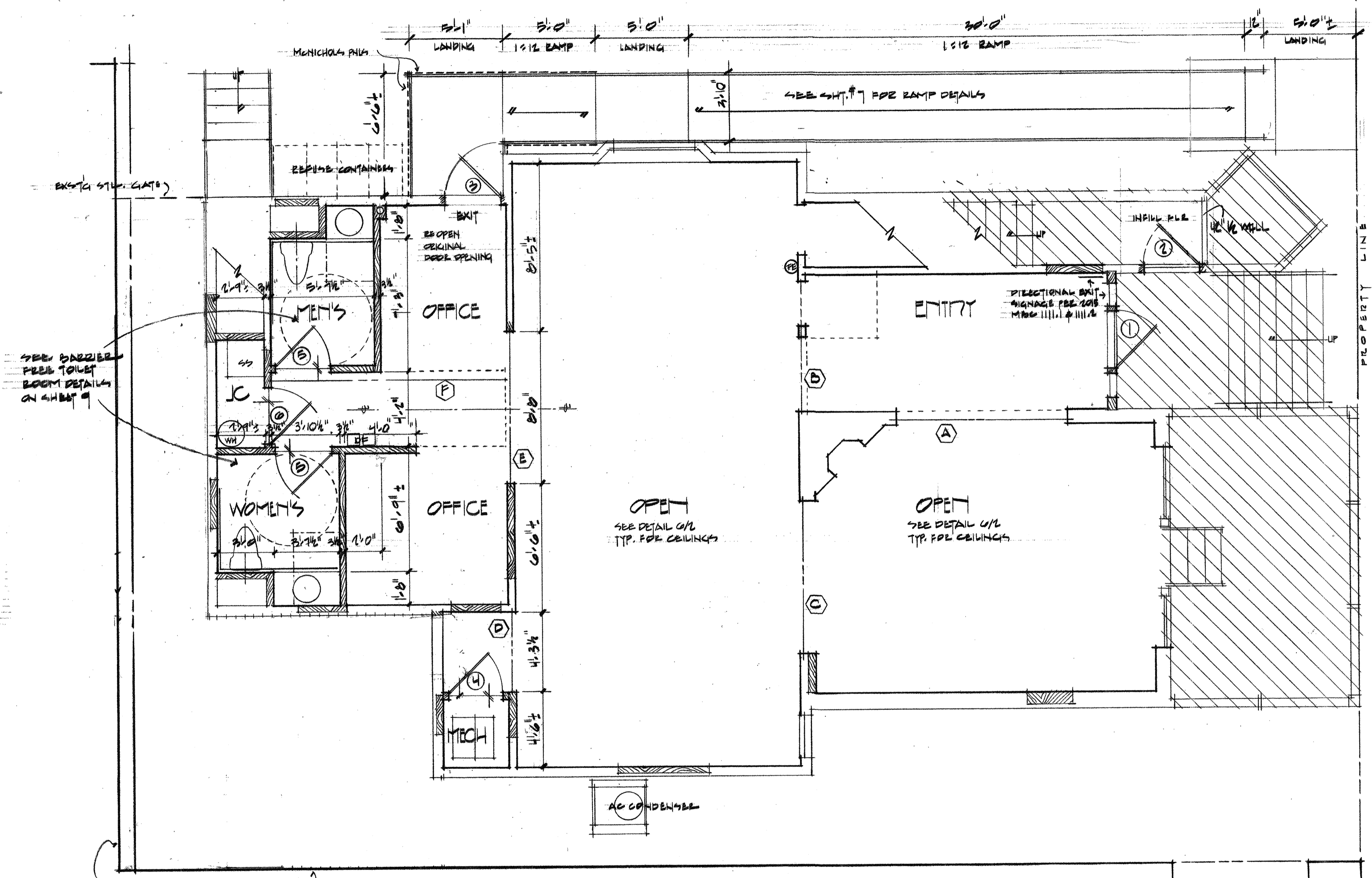
DEMOLITION PLAN  
1/4" = 1'-0"

**EAST RAMP**  
**BBA**  
9/6/23

REVIEW	4-24-23
BIDDING	4-24-23
REVISED	7-25-23
PERMIT	4-24-23
REVISED	7-31-23
REVISED	8-18-23

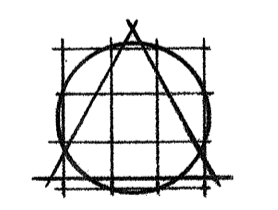


5



**EAST RAMP**  
**BBA**  
 9/6/23

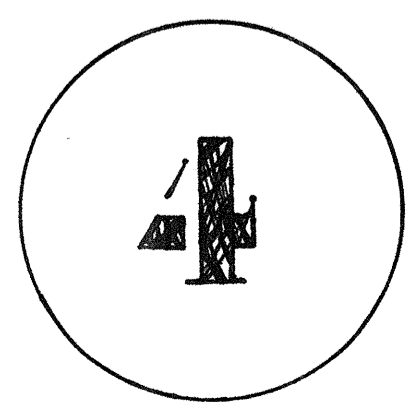
REVIEW	4-24-23
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REVISED	7-31-23
REVISED	8-18-23

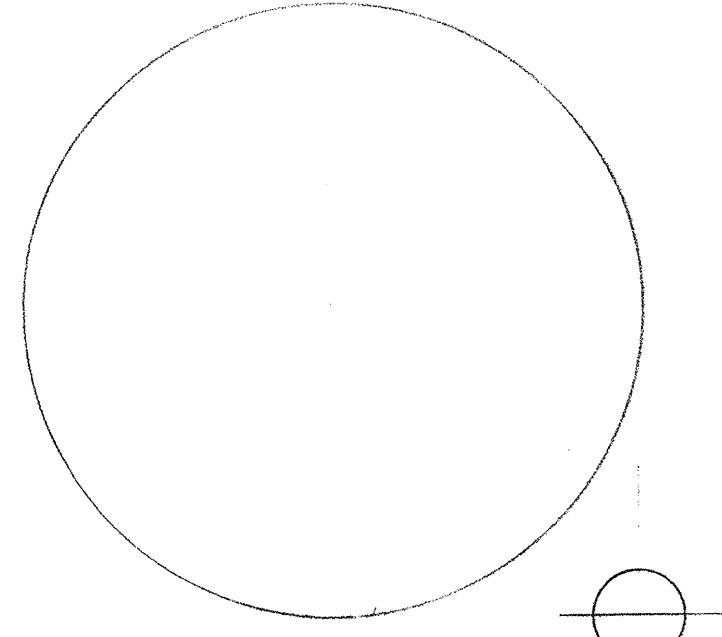
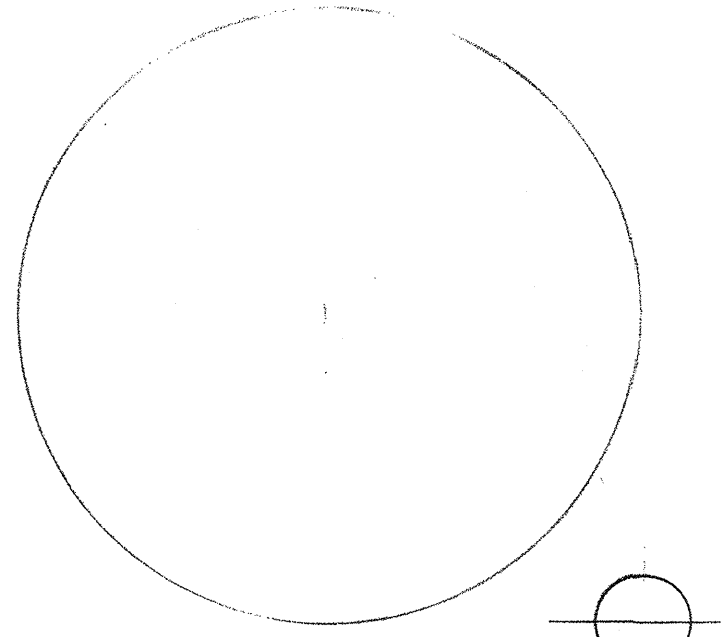
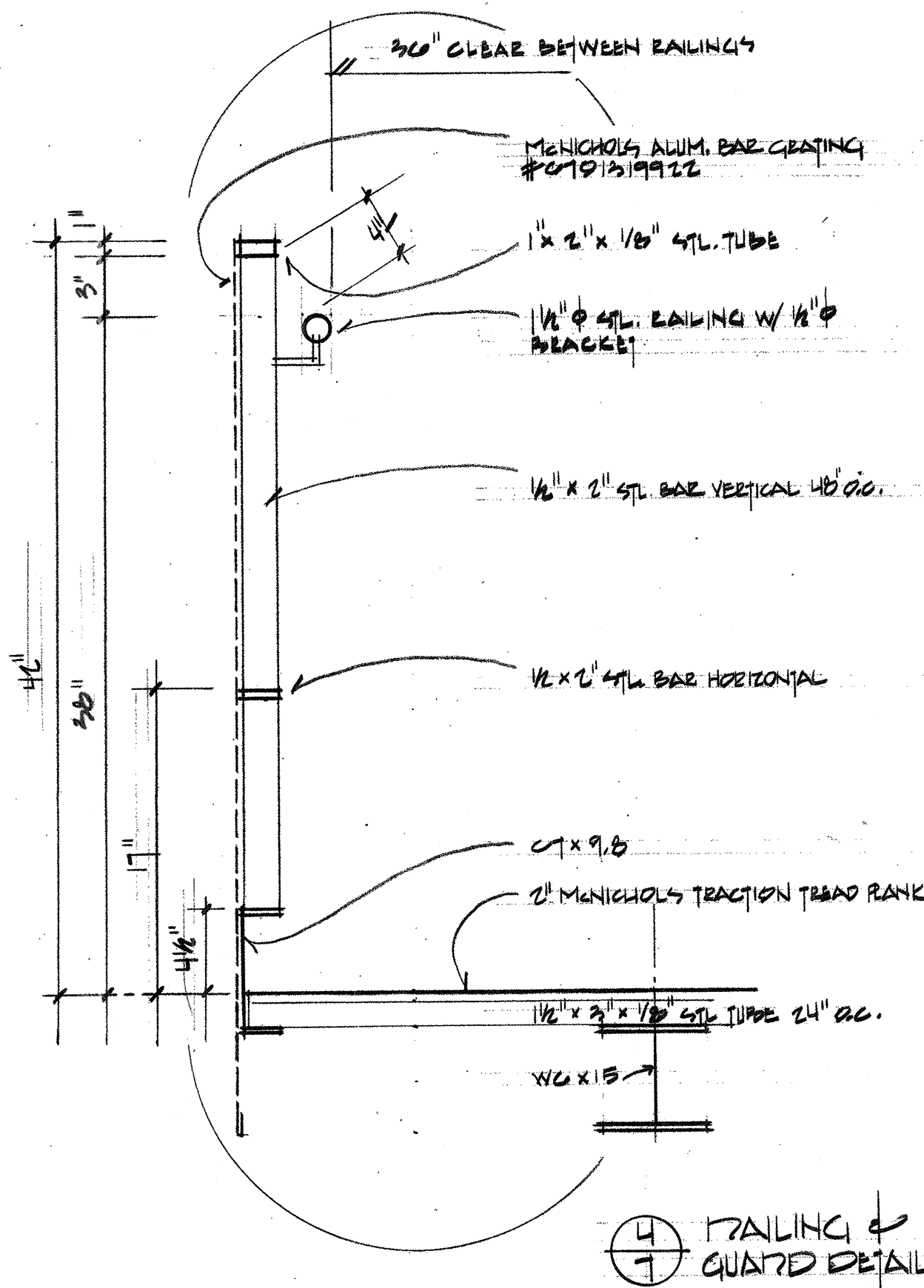


ADJACENT BLDG 300 E. LIBERTY  
 1 HR RATED, NO OPENINGS, MASONRY WALL

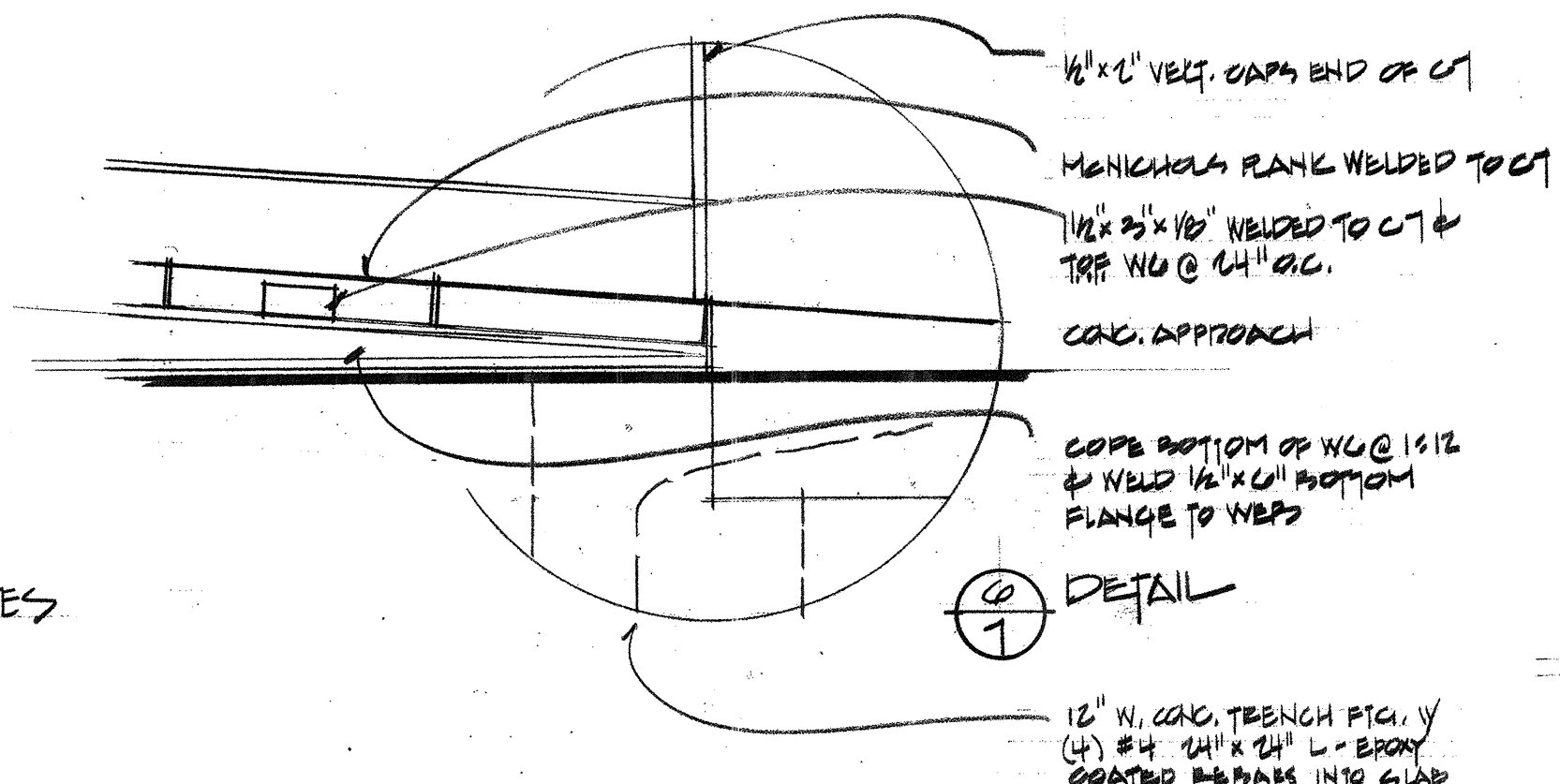
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**FIRST FLOOR PLAN**  
 1/4" = 1'-0"



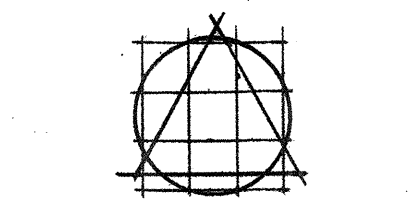
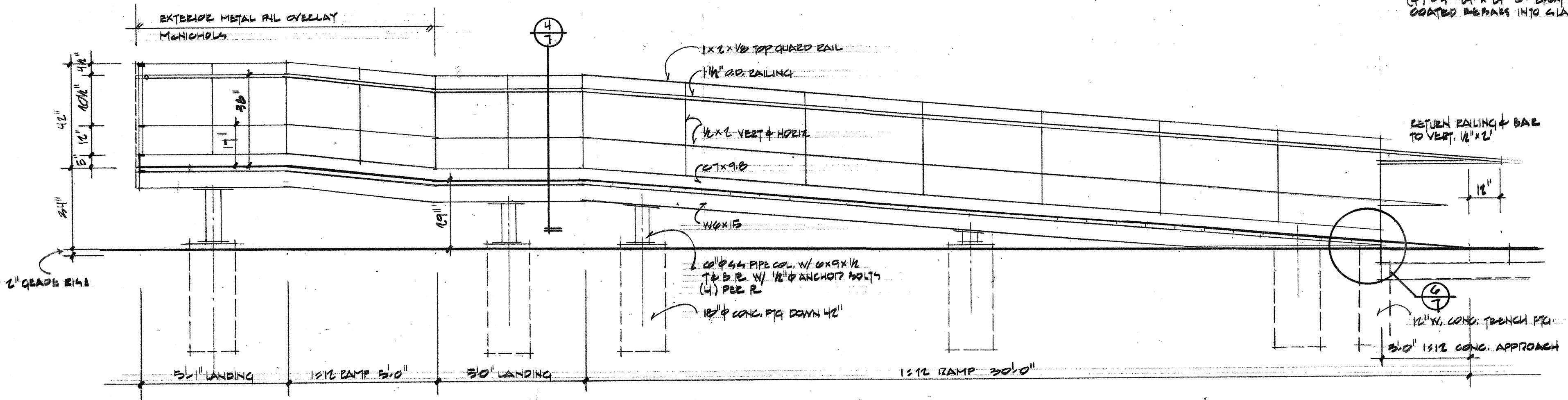


- 5/7 NOTES
- ALL WELDS TO MEET MICHIGAN BARRIER FBE DESIGN SPECIFICATIONS
  - PROVIDE ARCHITECT & DETAIL SHOP DRENCH TO REVIEW & APPROVE FEEDS TO FABRICATION
  - FID ALL STEEL AS GALVANIZED & AS POWDER COATED
  - ALL STEEL TO STEEL CONNECTIONS TO BE WELDED ALL AROUND
  - CONC. WORK BY C.C.



EAST RAMP BBA 9/16/23

ADDED DOC 9/18/23



7