

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 722 West Washington Street, Application Number HDC26-0002**DISTRICT:** Old West Side Historic District**STATUS:** Contributing**REPORT DATE:** February 12, 2026**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator**REVIEW COMMITTEE DATE:** Monday, February 9, 2026**OWNER** **APPLICANT**

Name:	Chris Parker	Adam Zylka
Address:		Momentum Construction
Phone:	(937) 474-2598	6707 Chilson Rd
		Howell, MI 48843

BACKGROUND: This 1 ¾ story gable fronter first appears in Polk Directories in 1908. It features corner eave returns, a gabled wall dormer on the west side, a full-width front porch with tapered round columns, triple windows in the front gable, and a large street-facing ground floor window. The windows are one-over-one sashes. Non-original features include vinyl siding, window, and soffit wrap, and small shutters on the front elevation.

LOCATION: The property is located on the north side of West Washington Street, between Mulholland Street and Murray Avenue.

APPLICATION: The applicant seeks HDC approval to remove a rear porch and deck and construct a two-story addition.

APPLICABLE REGULATIONS:**From the Secretary of the Interior's Standards for Rehabilitation:**

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated

from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

New Additions

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Designing new additions in a manner that makes clear what is historic and what is new.

Locating the attached exterior addition at the rear or on an in-conspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

From the City of Ann Arbor Design Guidelines:

Guidelines for All Additions

Appropriate: Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition should exceed neither half of the original building's footprint nor half of the original building's total floor area.

STAFF FINDINGS:

1. The proposed two-story addition will add an office and mudroom on the main floor and add a bathroom and extend a bedroom on the second floor. It is built on a crawlspace and is inset 18" from the rear corners of the house.
2. The rear entry porch to be removed is a partially covered deck. The roof over the backdoor may be original to the house but since the remainder of the porch is non-original, removing the roof is acceptable. Two original windows and a slider would also be removed. The corner eave returns on the back of the house are retained and the addition is built around them, with the roof ridge
3. The addition is 7' x 17'. The current footprint is 606 square feet (sf) and the proposed is 726 sf, an increase of 20%. The current floor area is 1,212 sf and proposed is 1,452, also an increase of 20%.
4. Materials on the addition include cladding of James Hardie straight edge shingles; azek corner boards, window and fascia trim; a concrete masonry unit foundation; azek rear stoop and guardrails; and a half-lite fiberglass door. The use of non-wood materials is extensive but staff feels it is appropriate for an addition that will be nominally visible from the street.
5. Staff's opinion is that the work is appropriate and compatible with the house and neighboring structures in the historic district, and recommends approval.

MOTION

(Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 722 West Washington Street, a contributing property in the Old West Side Historic District, to construct a 240 square two-story addition on the rear elevation of the house as proposed. The work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets the *City of Ann Arbor Historic District Design Guidelines* for All Additions, and *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for District or Neighborhood Setting and New Additions.

MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at 722 W Washington in the Old West Side Historic District

Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: drawings, photos, materials

722 West Washington Street (2008 Survey Photos)



RESIDENTIAL ADDITION & REMODEL FOR

CHARLOTTE WILSON & CHRISTOPHER PARKER

722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103

GENERAL INFORMATION:

PARCEL #: 09-09-29-208-011
 CITY OF ANN ARBOR, WASHTENAW COUNTY
 MICHIGAN RESIDENTIAL CODE, 2015
 ZONING: R2A (CONVERTS TO R1D FOR SINGLE-FAMILY RESIDENTIAL)
 OCCUPANCY/USE: SINGLE-FAMILY DWELLING
 HISTORIC DISTRICT: YES
 WETLAND: NO
 FLOODPLAIN: NO
 SOIL GROUP: FoB (FOX SANDY LOAM, 2-6 SLOPES), FoC (FOX SANDY LOAM, 6-12 SLOPES)
 SOIL NRCS CLASS: B: SILT OR LOAM

ZONING (R1D*):	R1D	EXISTING / PROPOSED
MIN. LOT AREA:	5,000 SQ. FT.	0.09 ACRES; 3,920.4 SQ. FT.
MIN. LOT WIDTH:	40'	+/- 44'
MIN. FRONT YARD**:	25'	+/- 30'-6" / (NO CHANGE)
MIN. SIDE YARD (ONE SIDE):	3'	+/- 9'-1" / (NO CHANGE)
MIN. SIDE YARD (TOTAL):	6'	+/- 22'-3" / (NO CHANGE)
MIN. REAR YARD:	20'	+/- 27'-2" / +/- 20'-2"
MAX. BUILDING HEIGHT:	30'	+/- 22"-2" / (NO CHANGE)

*R2A MAY USE R1D SETBACK & HEIGHT STANDARDS FOR SINGLE-FAMILY USE.

**FRONT YARD SETBACK DETERMINED BY AVG. EXISTING SETBACKS.

EXISTING/PRE-1945 FLOOR AREA/FOOTPRINT (MAIN LEVEL): 606 SQ. FT.

EXISTING/PRE-1945 FLOOR AREA (UPPER LEVEL): 606 SQ. FT.

EXISTING/PRE-1945 FLOOR AREA (TOTAL): 1,212 SQ. FT.

HDC PERMITTED FOOTPRINT: 606 SQ. FT. X 1.5 = 909 SQ. FT.

HDC PERMITTED FLOOR AREA (TOTAL) = 1,212 SQ. FT. X 1.5 = 1,818 SQ. FT.

PROPOSED FLOOR AREA/FOOTPRINT (MAIN LEVEL): 726 SQ. FT.

PROPOSED FLOOR AREA (UPPER LEVEL): 726 SQ. FT.

PROPOSED TOTAL FLOOR AREA: 1,452 SQ. FT.

NOTE: ALL AREA CALCULATIONS ARE TAKEN TO OUTSIDE OF CONSTRUCTION.

PROJECT DESCRIPTION:

CHANGES TO THE EXTERIOR INCLUDE:

1. REMOVE AN EXISTING 75 SQ FT REAR DECK, OF WHICH 35 SQ. FT. IS COVERED BY A SMALL HIP ROOF. THE EXISTING REAR DECK IS INSET FROM THE REAR CORNERS BY 13" ON THE WEST AND 48" ON THE EAST. IT IS NOT VISIBLE FROM THE PUBLIC VIEW OF THE STREET OR SIDEWALK.
2. REMOVE A NON CONTRIBUTING REAR SLIDING DOOR. REMOVE A CONTRIBUTING REAR ENTRY DOOR AND (2) CONTRIBUTING SECOND FLOOR WINDOWS.
3. CONSTRUCT A NEW TWO-STORY REAR ADDITION ON A CRAWL SPACE THAT ADDS A SMALL OFFICE & MUDROOM ON THE MAIN LEVEL AND EXTENDS A BEDROOM AND ADDS A BATHROOM ON THE SECOND LEVEL.



VIEW FROM STREET - PROPOSED



VIEW FROM STREET - EXISTING

NO CHANGE TO STREET
 FACING ELEVATION


FRONT (SOUTH) ELEVATION - EXISTING / PROPOSED
 SCALE: 5/32" = 1'-0"

FRONT ELEVATION

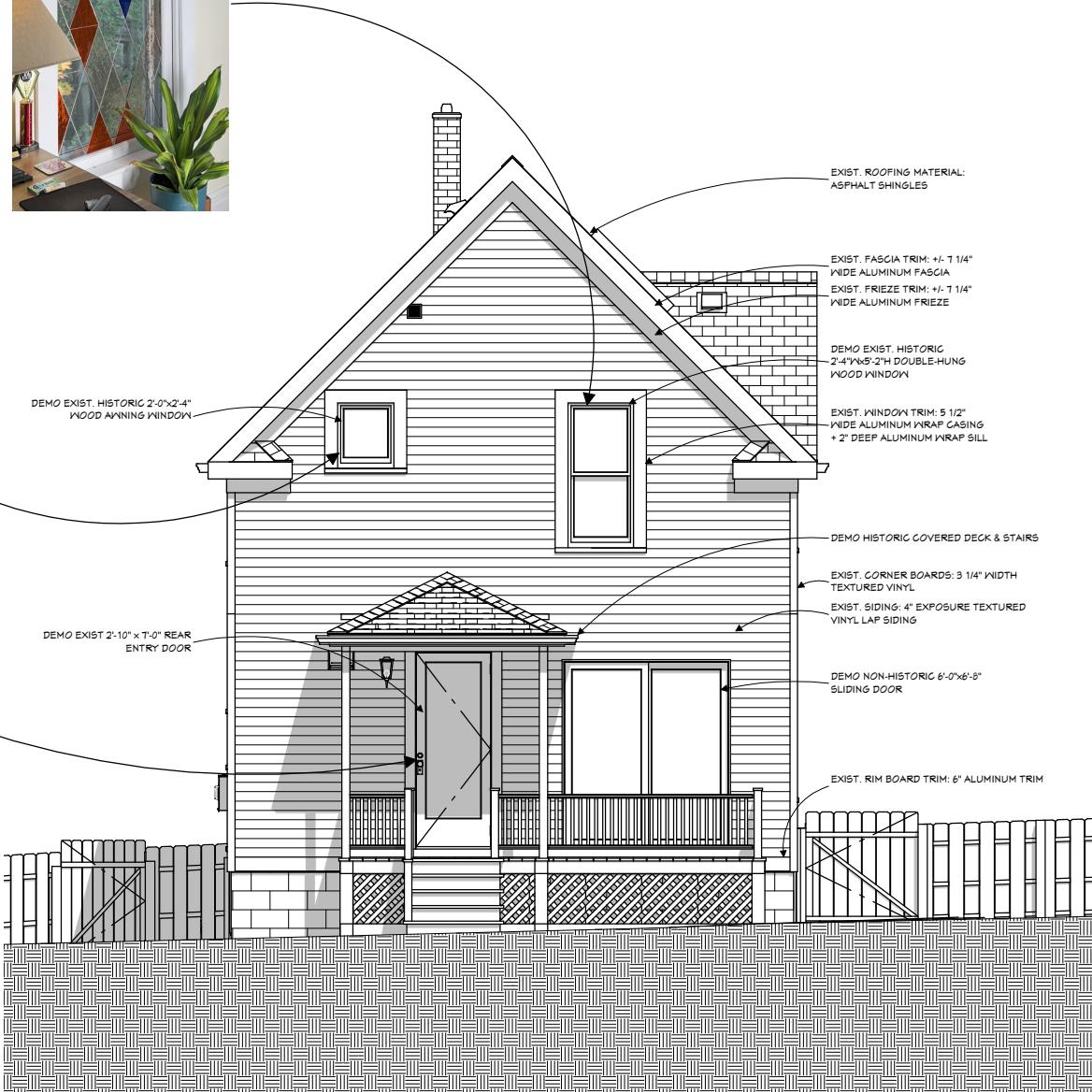
HDC

2

 WILSON-PARKER RESIDENCE
 722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103



PHOTOS OF EXISTING HISTORIC WINDOWS & DOOR TO BE REMOVED. WINDOWS APPEAR TO BE ORIGINAL TO HOUSE (BUILT IN 1914) OR INSTALLED LATER DURING THE CONTRIBUTING HISTORIC TIMEFRAME. IT IS INCONCLUSIVE WHETHER THE REAR KITCHEN DOOR IS FROM THE CONTRIBUTING HISTORIC PERIOD OR A LATER REPLACEMENT. THE SIZE AND PLACEMENT OF IT ARE LIKELY ORIGINAL TO THE HOUSE. THE REAR SLIDING DOOR IS CLEARLY INSTALLED AFTER THE CONTRIBUTING HISTORIC PERIOD. ALL DOORS & WINDOWS TO BE REMOVED ARE ON THE REAR OF THE HOUSE AND ARE NEEDED TO BE REMOVED FOR THE CONSTRUCTION OF THE PROPOSED ADDITION.

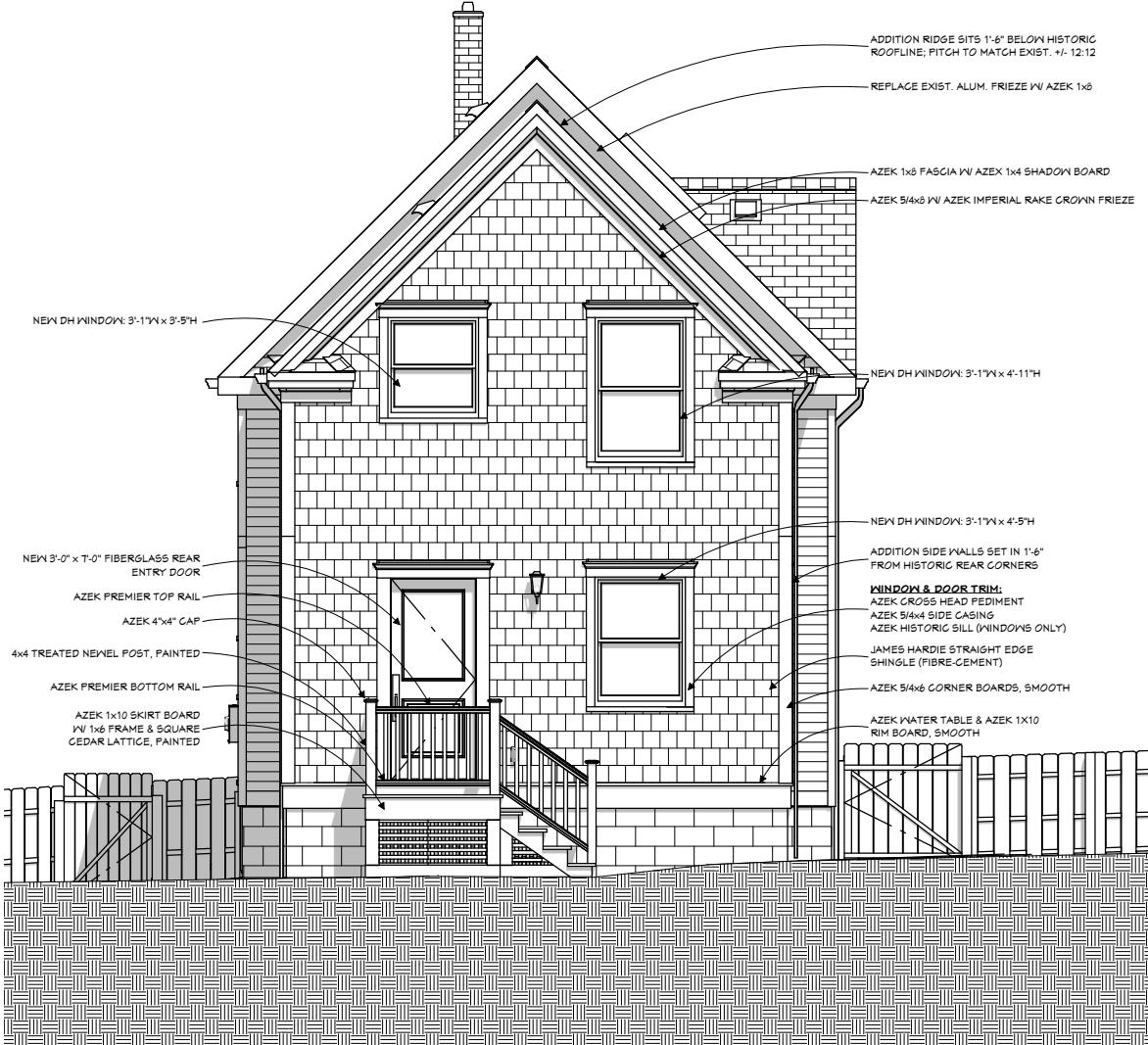

REAR (NORTH) ELEVATION - EXISTING

SCALE: 5/32" = 1'-0"

NOTE:

HEIGHT FROM AVG. GRADE TO T.O. EXIST. RIDGE = +/- 27'-7"

HEIGHT FROM AVG. GRADE TO T.O. PROPOSED ADDITION RIDGE = +/- 26'-1"

**REAR (NORTH) ELEVATION - PROPOSED**

SCALE: 5/32" = 1'-0"

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48003

SIDE ELEVATION



SIDE ELEVATION (EAST) - EXISTING

SCALE: 5/32" = 1'-0"

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5

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103SIDE ELEVATION -
PROPOSED

SIDE ELEVATION (EAST) - PROPOSED

SCALE: 5/32" = 1'-0"

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6

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103

SIDE ELEVATION



SIDE ELEVATION (WEST) - EXISTING

SCALE: 5/32" = 1'-0"

WILSON-PARKER RESIDENCE
 722 WEST WASHINGTON STREET, ANN ARBOR, MI 48003

SIDE ELEVATION - PROPOSED

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8


SIDE ELEVATION (WEST) - EXISTING

SCALE: 5/32" = 1'-0"

CERTIFICATE OF SURVEY

BEARINGS BASED ON MICHIGAN STATE PLANE
COORDINATES, SOUTH ZONE, NAD '83



01/12/2026

BLOCK 4
ASSESSOR'S PLAT NO. 3
L. 2, P. 38

S88°00'07"E

44.00'

LOT 12

0.090 AC
(3,909 S.F.)

#722

2 STORY FRAME
RESIDENCE

FENCE
0.8' IN

10.01'

FENCE
0.8' OUT

5' SIDE
SETBACK

25' FRONT
SETBACK

30.50'

COVERED PORCH

CONC. WALK

44.00'

CONC.
±0.5'
OVER

43.70'

FIP
1.1' S
0.5' E

CONC. WALK

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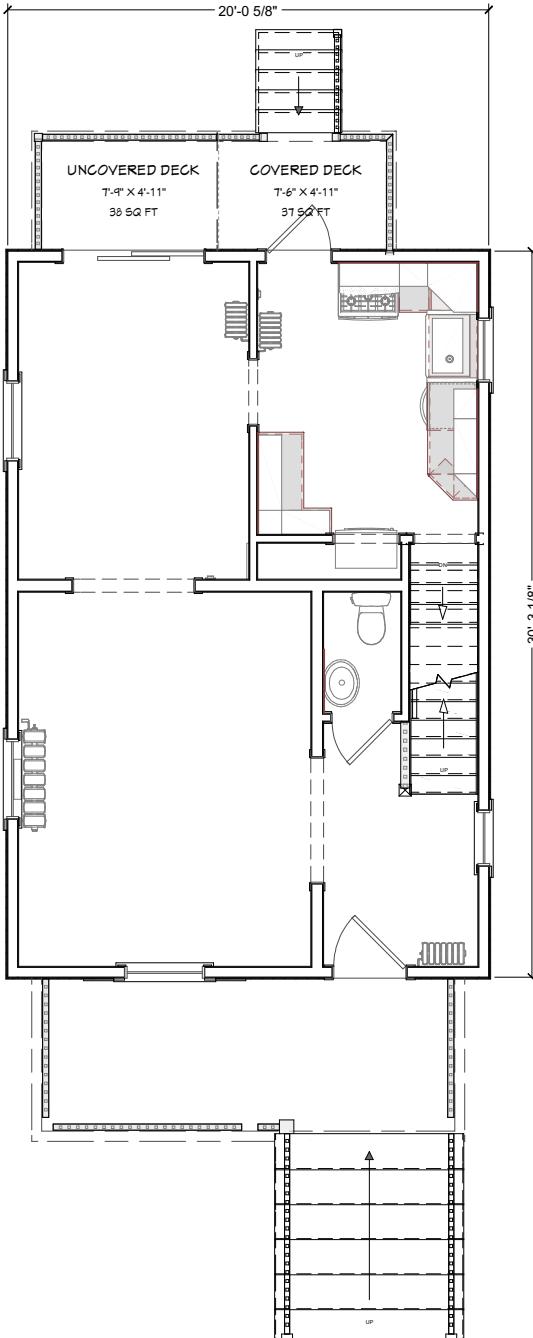
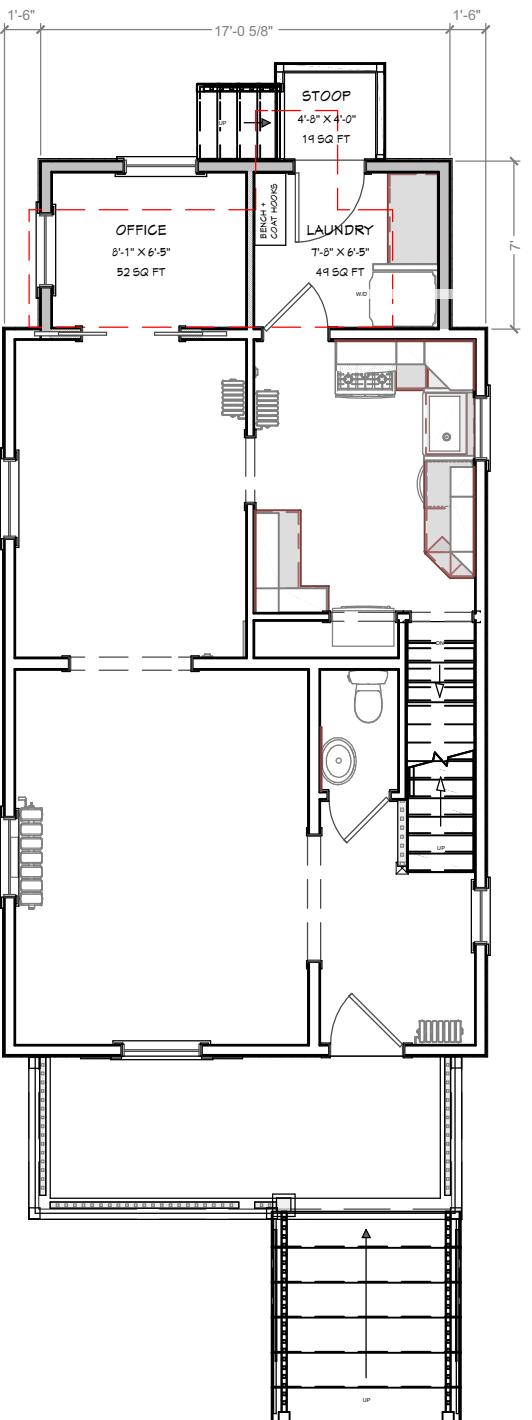
01/12/2026

WILSON-PARKER RESIDENCE
 722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103

**MAIN LEVEL PLAN -
EXISTING & PROPOSED**

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10



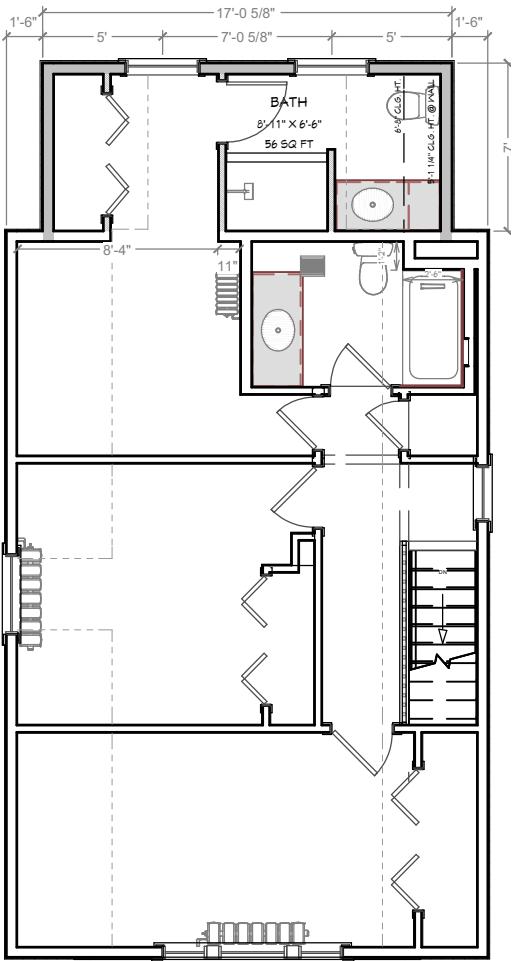


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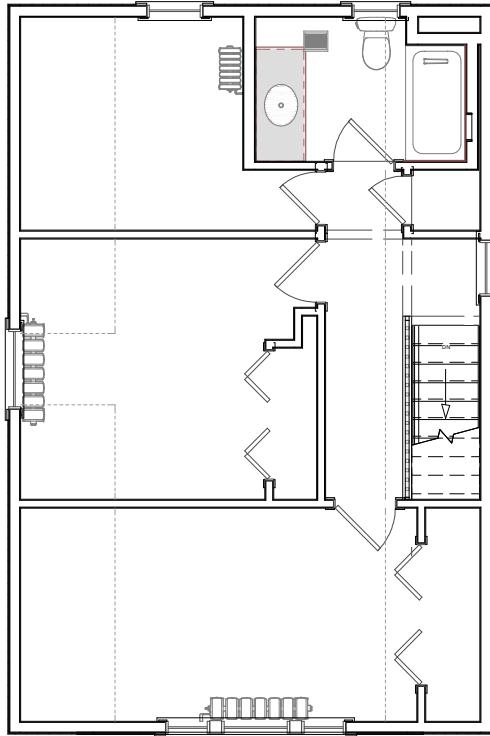
WILSON-PARKER RESIDENCE

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UPPER LEVEL PLAN - EXISTING & PROPOSED



UPPER LEVEL PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



UPPER LEVEL PLAN - EXISTING
SCALE: 1/8" = 1'-0"



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11

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EXISTING PHOTO

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12

EXTERIOR VIEW OF EXISTING HOUSE
VIEW FROM SIDEWALK LOOKING NORTHWEST





EXTERIOR VIEW OF PROPOSED ADDITION
VIEW FROM SIDEWALK LOOKING NORTHWEST

EXTERIOR RENDERING

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13

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EXTERIOR VIEW OF EXISTING HOUSE
VIEW FROM SIDEWALK LOOKING NORTHEAST

EXISTING PHOTO

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48003

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14

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EXTERIOR VIEW OF PROPOSED ADDITION
VIEW FROM SIDEWALK LOOKING NORTHEAST

EXTERIOR RENDERING

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15

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EXTERIOR VIEW OF PROPOSED ADDITION
VIEW FROM REAR YARD LOOKING SOUTHWEST

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16

EXTERIOR RENDERING

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722 WEST WASHINGTON STREET, ANN ARBOR, MI 48003

01/12/2026





EXTERIOR VIEW OF PROPOSED ADDITION
VIEW FROM DRIVEWAY LOOKING SOUTHEAST

EXISTING PHOTO

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48003

01/12/2026

HDC

17



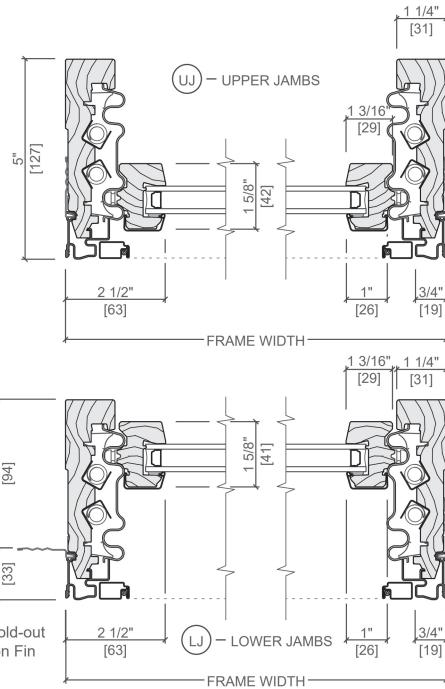
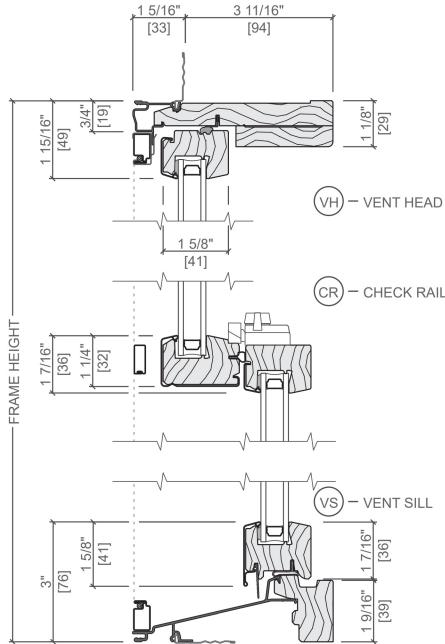
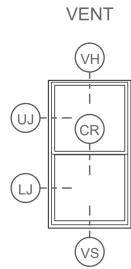


EXTERIOR VIEW OF PROPOSED ADDITION
VIEW FROM DRIVEWAY LOOKING SOUTHEAST



Lifestyle Series Double-Hung

Unit Sections



NEW WINDOWS IN ADDITION:

OFFICE WINDOWS - PELLA LIFESTYLE DOUBLE-HUNG: (2) 3753: 3'-1"W x 4'-5"H

BEDROOM EGRESS WINDOW - PELLA LIFESTYLE DOUBLE-HUNG: (1) 3759: 3'-1"W x 4'-11"H

UPSTAIRS BATHROOM WINDOW - PELLA LIFESTYLE DOUBLE-HUNG: (1) 3741: 3'-1"W x 3'-5"H

-WOOD INTERIOR / ALUMINUM CLAD EXTERIOR (MATCH EXISTING COLOR)

-LOCATION: REAR ADDITION

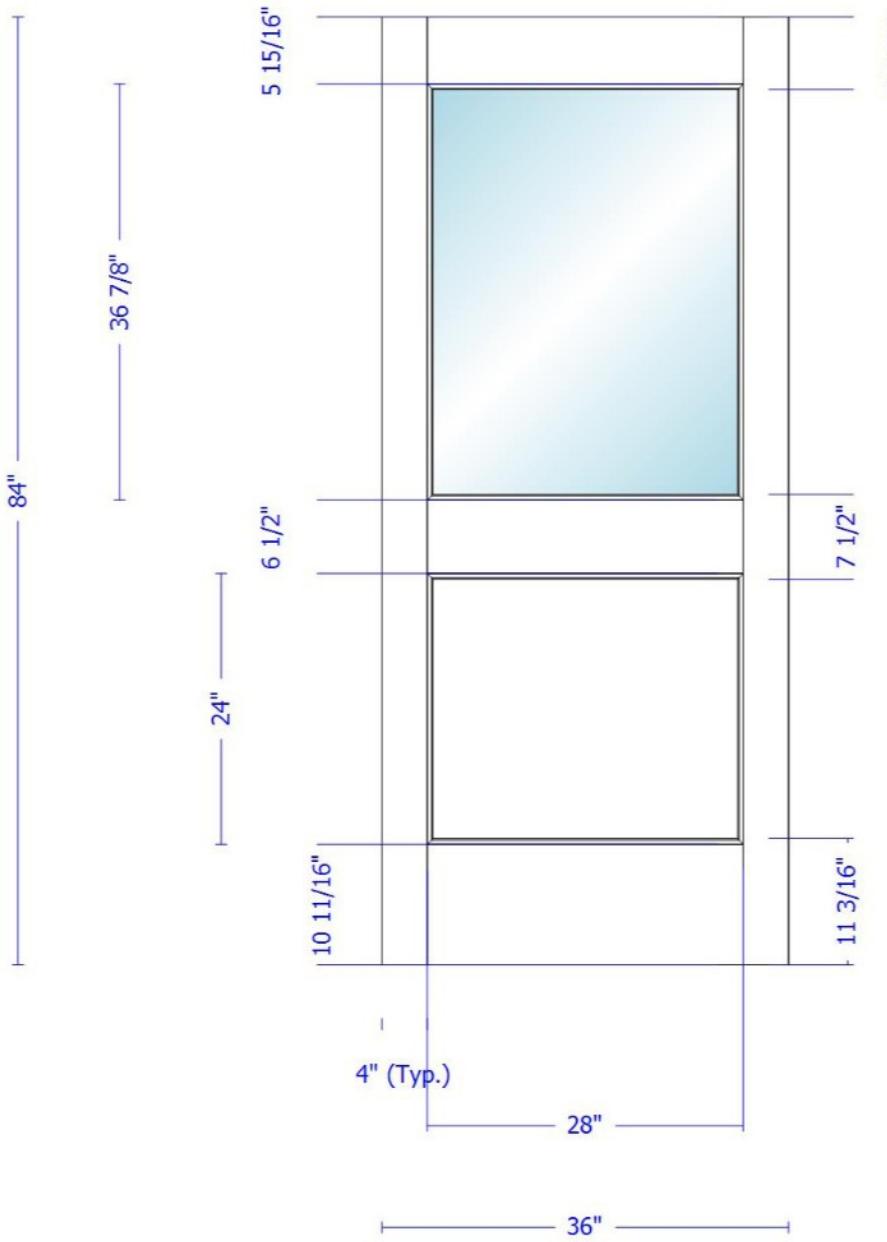
NOTE: NEW WINDOWS IN ADDITION ARE DIFFERENT IN SIZE TO EXISTING WINDOWS

NEW WINDOWS

WINDOW INFORMATION

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103

HDC



NEW EXTERIOR FIBERGLASS REAR ENTRY DOOR: 1/2 LITE, 1 PANEL, PAINTED FINISH, 3'-0"W x 7'-0"H

NEW EXTERIOR DOOR



01/12/2026

WILSON-PARKER RESIDENCE
722 WEST WASHINGTON STREET, ANN ARBOR, MI 48103

DOOR INFORMATION

HDC

20