

SCALE: 1" = 20'

## BENCHMARKS

#1 - TOP/ARROW ON HYDRANT, N. SIDE OF S. UNIVERSITY  
AT ADDRESS #1207. ELEV.=878.51 NAVD 88.

#2 - FOUND SPIKE IN POWER POLE, E. SIDE CHURCH ST.,  
AT HSE#621. ELEV.=872.67 NAVD 88.

#3 - TOP/ARROW ON HYDRANT AT SE COR. OF S.  
UNIVERSITY & FOREST AVE. ELEV.=881.96 NAVD 88.

#4 - TOP/ARROW ON HYDRANT, E. SIDE OF S. FOREST AVE. AT ADDRESS #625 ELEV.=877.75 NAVD 88.

A street map of the University City area in San Diego. The map shows a grid of streets including E. Huron St., Washington St., N. University Ave., S. University Ave., State St., Church St., Willard St., Hill St., Forest Ave., Oakland Ave., Tappan St., and Roe St. A black arrow points to a specific location on S. University Ave. between Church St. and Willard St., with the word "SITE" in bold capital letters next to it.

 VICINITY SKETCH  
NOT TO SCALE

## LEGEND

	EXIST. CONTOUR
	EXIST. SPOT ELEVATION
	EXIST. UTILITY POLE
	ELEC. TRANSFORMER
	EXIST. OVERHEAD UTILITY LINE
	EXIST. LIGHT POLE
	EXIST. TELEPHONE LINE
	EXIST. ELECTRIC LINE
	EXIST. GAS LINE
	EXIST. GAS VALVE
	EXIST. FIBER OPTIC LINE
	EXIST. WATER MAIN
	EXIST. HYDRANT
	EXIST. GATE VALVE IN BOX
	EXIST. GATE VALVE IN WELL
	EXIST. CURB STOP & BOX
	EXIST. STORM SEWER
	EXIST. CATCH BASIN OR INLET
	EXIST. DOWNSPOUT
	EXIST. SANITARY SEWER
	EXIST. CULVERT
	SIGN
	PARKING METER
	ELECTRIC METER
	GAS METER
	TRAFFIC SIGNAL CONTROL BOX
	POST
	SINGLE TREE
	FOUND IRON PIPE
	FOUND MONUMENT

## LEGAL DESCRIPTION

Refer to sheet 3 for legal descriptions

MIDWESTERN  
CONSULTING

CLIENT  
MP GALLERIA PROPERTY OWNER, LLC

**ANN ARBOR - GALLERIA**

## 02

JOB No. <b>23047</b>	REV. DATE	DATE: 2/2/24
	PER CITY REVIEW	SHEET 02 OF 15
REVISED SITE PLAN	3/25/24	
	ENG: JCA	
	12/17/24	
	PM: SWB	
	TECH:	
	/23047EY01	

23047

**JOB No.**  
**REVISIONS:**  
**PER CITY R**

A circular seal for a professional surveyor in the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL SURVEYOR" at the bottom, separated by two stars. The center of the seal contains the text: "MARK VANDER VEEN", "PROFESSIONAL SURVEYOR", "No.", and "4001056788".

## SURVEYORS CERTIFICATE

To: PVJ Enterprises, LLC, a Michigan limited liability company; LCD Acquisitions, LLC, a Delaware limited liability company; LMP Galleria Property Owner, LLC, a Delaware limited liability company; Webster Bank, N.A., as Administrative Agent, for itself and other lenders, together with their participants, successors and assigns; Ann Arbor Building Authority, a public corporation; Bluestone Realty Advisors, LLC, a Michigan limited liability company; and Fidelity National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 11a, 13, 14, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on July 11, 2024.

MIDWESTERN CONSULTING, LLC

By: Mark Vander Veen  
Mark Vander Veen, P.S. No. 4001056788

Date: August 21, 2024

TAX ID: 09-09-28-311-0  
1140 S. UNIVERSITY

TAX ID: 09-09-28-311-02  
1116 S. UNIVERSITY

TAX ID: 09-09-28-311-01  
611 E. UNIVERSITY

TAX ID: 09-09-28-311-024  
618 CHURCH ST.

TAX ID: 09-09-28-31  
621 CHURCH ST.

TAX ID: 09-09-28-310-0  
616 S. FOREST AVE.

6 TAX ID: 09-09-28-310-02  
625 CHURCH ST.

**WILLARD ST.**

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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M:\CIV\134\_Proj\2023\23047\Site\enr\enr23047EX01.dwg, 5/30/2025 1:27 PM, Lin Annet, EXISTING STRUCTURE SCHEDULE, MLLC PDF, ac3  
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LEGAL DESCRIPTION - 1208-1214 S. UNIV.

1208–1214 South University Ave, Ann Arbor

(Per Fidelity National Title Commitment No. 81119657ONTs Revision 10, Dated: May 6, 2024)

Land Situated in the State of Michigan, County of Washtenaw, City of Ann Arbor.

Parcel 1:  
The North 120 feet of the West 1/2 of Lot 69 and the North 120 feet of the East 16 feet of Lot 68, R.S. Smith's Addition to the City of Ann Arbor, as recorded in Liber 42 of Deeds, Pages 446 and 447, Washtenaw County Records, also 50 feet in width off from the West side of Lot 68, except 33 feet x 32 feet in the Southwest corner thereof. Also the South 12 feet of the East 16 feet of Lot 68 and the South 12 feet of the West 1/2 of Lot 69, according to the recorded plot of R.S. Smith's Addition to the City of Ann Arbor. Also the East 1/2 of fractional Lot 3 and the West 1/2 of Fractional Lot 4 in Block 1 of R. Smith's Second Addition to the City of Ann Arbor, as recorded in Liber 48 of Deeds, Page 40, Washtenaw County Records, together with a right of way as described in the Warranty Deed recorded in Liber 232 of Deeds, Page 351, and instrument recorded in Liber 650 of Deeds, Page 326, as amended in instrument recorded in Liber 1155 of Deeds, Page 212, and the easements for ingress and egress, and the right and easement to construct, operate, and maintain a pump, well–pit, and necessary connecting pipes and conduits created in Liber 770, Page 27, Washtenaw County Records.

Parcel 2:  
The East 33 feet of Lot 69, the West 2 feet of the South 22 feet of Lot 70, and the North 110 feet of the West 1/2 of Lot 70, Smith's Addition to the City of Ann Arbor, as recorded in Liber 42 of Deeds, Pages 446 and 447, Washtenaw County Records, and the North 22 feet of the East 33 feet of Fractional Lot 4 and the West 2 feet of the North 22 feet of Fractional Lot 5, Block 1, R. S. Smith's Second Addition to the City of Ann Arbor, as recorded in Liber 48 of Deeds Page 40, Washtenaw County Records, together with those certain easement right created by instrument recorded in Liber 1155 of Deeds, Page 212, and the easements for ingress and egress, and the right and easement to construct, operate, and maintain a pump, well–pit, and necessary connecting pipes and conduits created in Liber 770, Page 27, Washtenaw County Records.

EXCEPTIONS

- 8. Rights of others in and to the use of the Easement(s) described in Schedule A and in Liber 232, Page 351, Liber 650, Page 326, as amended in Liber 1155, Page 212. (as to Parcel 1 and 2) (AFFECTS PROPERTY, PLOTTED)
- 9. Terms, Covenants, and Conditions of Warranty Deed as set forth below: Recording No: Liber 770, Page 27. (as to Parcel 1 and 2) (AFFECTS PROPERTY, PLOTTED)
- 11. Terms, Covenants, and Conditions of South University Galleria Site Development Agreement as set forth below: Recording No: Liber 2236, Page 540. (as to Parcel 1 and 2) (AFFECTS PROPERTY, NOT PLOTTABLE)
- 12. A leasehold as created by that certain lease dated June 17, 1997, executed by Galleria Associates Limited Liability Company, a Michigan limited liability company, as lessor, and The United States Postal Service, as lessee, as referenced in the document entitled Memorandum of Lease, which was recorded July 29, 1997 in Liber 3468, Page 317, for the term, upon and subject to all the provisions contained in said document, and in said lease. (as to Parcel 1 and 2) (AFFECTS PARCEL 1 AND 2)
- 16. Any rights, interests, or claims which may exist or arise by reason of the following matters disclosed by survey prepared by Mark Vander Veen, P.S. No. 4001056788 for Midwestern Consulting, LLC, Date of Plat or Map March 7, 2023, last revised \_\_\_\_\_, being Job No. 23047.
  - a) Intentionally Deleted
  - b) Intentionally Deleted
  - c) Drains and other utility features on the West
  - d) Building encroaches onto property east of the W 1/2 of Fractional Lot 4 and south of the N 22 feet of the E 33 feet of Fractional Lot 4
  - e) Building encroaches onto the property east of the E. line of the West 2' of the South 22' of Lot 70
  - f) Conc. stairs on the West

LEGAL DESCRIPTION - 616 S. FOREST

Part of: 616 South Forest Ave., Parcel ID: 09–09–28–310–026

(Per Fidelity National Title Insurance Company, Title Commitment No. 81119657OBNTS, Revision 1, Commitment Date: July 24, 2024)

Land Situated in the State of Michigan, County of Washtenaw, City of Ann Arbor and being part of Fractional Lots 4 and 5 in Block 1 of R. S. Smith's Second Addition to the City of Ann Arbor, as recorded in Liber 48 of Deeds, Page 40, Washtenaw County Records, more particularly described as the following:

Commencing at the intersection of the West right–of–way line of S. Forest Ave (66 feet wide) and the North right–of–way line of Willard Street (49.5 feet wide), also being the SE corner of Lot 8 of Block 1 of R.S. Smith's Second Addition to the City of Ann Arbor, as recorded in Liber 48 of Deeds, Page 40, Washtenaw County Records; thence N01°04'24"W 198.43 feet along said West right–of–way line of S. Forest Avenue (66 feet wide); thence S88°43'10"W 130.49 feet along the North line of Lot 10 of said Block 1 of R.S. Smith's Second Addition to the City of Ann Arbor to the POINT OF BEGINNING; thence continuing along said North line of Lot 10, S88°43'10"W 35.12 feet; thence N01°07'42"W 44.04 feet; thence N88°42'06"E 35.13 feet; thence S01°07'03"E 44.06 feet to the POINT OF BEGINNING.

EXCEPTIONS

- 3. Easement as disclosed by instrument recorded in Liber 127, Page 113, and the rights of others in and to the use of said easement. (PLOTTED, DOES NOT AFFECT PROPERTY)
- 4. Easement as disclosed by instrument recorded in Liber 770, Page 27, and the rights of others in and to the use of said easement. (PLOTTED, DOES NOT AFFECT PROPERTY)
- 5. Easement as disclosed by instrument recorded in Liber 841, Page 76, and the rights of others in and to the use of said easement. (PLOTTED, DOES NOT AFFECT PROPERTY)
- 6. Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: Michigan Bell Telephone Company Recording No: Liber 1071, Page 237. (PLOTTED, DOES NOT AFFECT PROPERTY)
- 7. Terms, Covenants, and Conditions of Right–of–Way Agreement as set forth below: Recording No: Liber 1086, Page 59. (PLOTTED, AFFECTS PROPERTY)
- 8. Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: Detroit Edison Company Recording No: Liber 1237, Page 395. (PLOTTED, DOES NOT AFFECT PROPERTY)
- 9. Terms, Covenants, and Conditions of Parking Structure Agreement as set forth below: Recording No: Liber 3927, Page 880. (NOT PLOTTED, BLANKET IN NATURE, DOES NOT AFFECT PROPERTY)
- 10. Terms, Covenants, and Conditions of Memorandum of License Agreement as set forth below: Recording No: Liber 4598, Page 242. (NOT PLOTTED, BLANKET IN NATURE)
- 11. Terms, Covenants, and Conditions of Memorandum of Agreement as set forth below: Recording No: Liber 4724, Page 702. (NOT PLOTTED, BLANKET IN NATURE)
- 12. Terms, Covenants, and Conditions of Ann Arbor Parking Structure Lease and Parking Structure Agreement as set forth in Liber 1146, Page 384 and Assignment recorded in Liber 1147, Page 505; Assignment recorded in Liber 1206, Page 237; Assignment recorded in Liber 1206, Page 240; Assignment recorded in Liber 1608, Page 971; and Addendum recorded in Liber 1625, Page 541. (NOT PLOTTED, BLANKET IN NATURE)

LEGAL DESCRIPTION - 610 S. FOREST

610 South Forest Ave., Ann Arbor

(Per Fidelity National Title Insurance Company, Title Commitment No. 81119657OANTS, Dated: April 17, 2024)

Land Situated in the State of Michigan, County of Washtenaw, City of Ann Arbor.

Parcel 6:  
Commencing 44 feet North of the Southeast corner of fractional Lot 6 in Block 1 of R.S. Smith's Second Addition to the City of Ann Arbor, running thence West 130 feet parallel with the South line of Lots 6 and 5; thence North parallel with the West line of Forest Avenue 44 feet; thence East parallel to the first mentioned line, 130 feet to the West line of Forest Avenue; thence South along the West line of Forest Avenue to the place of beginning, being a part of fractional Lots 5 and 6 in Block 1 according to the recorded plat of R.S. Smith's Second Addition and a part of Lots 70 and 71 according to the recorded plat of R.S. Smith's Addition to the City of Ann Arbor, County of Washtenaw and State of Michigan.

EXCEPTIONS

- 4. Right of Way Agreement executed by: The City of Ann Arbor, a Michigan municipal corporation and Peter P. Darrow and Charlotte N. Darrow. Recording Date: September 24, 1964 Recording No: Liber 1086, Page 59 (PLOTTED; Does not affect subject property.)

NOTES

- 1) THIS SURVEY WAS PREPARED USING FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT NO. 81119657ONTs REVISION 10, WITH AN EFFECTIVE DATE OF MAY 6, 2024.
- 2) THIS SURVEY WAS PREPARED UTILIZING INFORMATION CONTAINED IN THAT CERTAIN FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE, COMMITMENT NO. 81119657OBNTS, REVISION 1, WITH AN COMMITMENT DATE OF JULY 24, 2024. INSTRUMENTS CITED IN SCHEDULE B OF SAID COMMITMENT FOR TITLE INSURANCE HAVE BEEN SHOWN ON THE ACCOMPANYING PLAT OF SURVEY WHERE THE LEGAL DESCRIPTIONS ADJOIN, CROSS OR ARE CONTAINED WITHIN THE SURVEYED PREMISES.
- 3) THE LEGAL DESCRIPTIONS DESCRIBE THE SAME PROPERTIES AS INSURED IN THE TITLE COMMITMENTS AND ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.
- 4) SAID DESCRIBED PROPERTIES ARE LOCATED WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER FLOOD INSURANCE RATE MAP NO. 26161C0263E WITH AN EFFECTIVE DATE OF APRIL 3, 2012, FOR COMMUNITY NUMBER 260535, IN WASHTENAW COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- 5) THE PARCELS HEREIN DESCRIBED ARE CURRENTLY ZONED D1 (DOWNTOWN CORE DISTRICT WITHIN THE SOUTH UNIVERSITY OVERLAY DISTRICT) PER PZR REPORT, DATED 05–23–2024.

CITY OF ANN ARBOR ZONING:  
SETBACKS: FRONT = 0' MIN., 10' MAX  
SIDE & REAR = NONE REQUIRED; 30' FROM LOT LINE ABUTTING ANY "R" ZONING DISTRICT .

BLDG HEIGHT: MIN. (2 STORIES) / 24'. MAX. 150'

PARKING: NONE REQUIRED
- 6) THE PARCELS HEREIN DESCRIBED HAVE NO PARKING SPACES.
- 7) THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK OR CONSTRUCTION ACTIVITY.
- 8) THERE IS EVIDENCE OF PLOTTABLE OFFSITE EASEMENTS OR SERVIDUTES, AS SHOWN ON THIS SURVEY.
- 9) THERE IS NO OBSERVED EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- 10) THE EXCEPTIONS OBJECTED TO IN THE AUGUST 1, 2024 OBJECTION LETTER BY BARNES & THORNBURG LLP, DO NOT AFFECT THE CITY'S PARCEL.

STORM SEWER SCHEDULE

r-1 STORM MH RIM=875.58 24" clay E. INV=867.08 24" conc. W. INV=866.98 12" conc. NW INV=872.38 24" conc. NW INV=872.48	r-6 STORM MH RIM=875.45 30" conc. W. INV=870.20	r-11 STORM MH RIM=874.58 30" conc. W. INV=869.98 30" conc. E. INV=870.08	r-16 EX. CB RIM=871.89 12" SE INV=866.59 12" conc. NE INV=867.99 18" N&S clay INV=864.89 12" clay W. INV=865.69	r-21 EX. CB RIM=873.70 BPM Snout covering= ±870.7 T/snout NE & SE Directions B/structure=867.70
r-2 2" INLET RIM=874.81 12" conc. SE INV=872.91	r-7 STORM MH RIM=875.02 30" conc. E. INV=870.12 30" conc. S. INV=870.22	r-12 STORM MH RIM=874.71 30" conc. W. INV=870.21 30" conc. E. INV=870.51	r-17 EX. 2" INLET RIM=871.80 12" conc. SW INV=868.90	r-22 EX. CB RIM=875.33 BPM Snout covering= ±872.3 T/snout NE & SE Directions B/structure=869.13
r-3 2" INLET RIM=875.25 12" conc. SE INV=873.05	r-8 STORM MH RIM=875.02 30" conc. N. INV=870.12 30" conc. E. INV=870.02 30" conc. S. INV=870.12	r-13 STORM MH RIM=873.73 12" conc. W. INV=869.68 12" clay E. INV=869.58 12" S. INV=869.68	r-18 STORM MH RIM=875.83 24" conc. E&W INV=867.53 12" conc. SW INV=872.93	r-23 EX. STRM MH RIM=875.97 30" conc. W INV=870.52
r-4 STORM MH GRATE IN CURB LINE RIM=876.08 12" conc. NE INV=872.98	r-9 STORM MH RIM=874.91 30" conc. N. INV=870.01 30" conc. E. INV=870.11 30" conc. S. INV=869.96	r-14 STORM MH RIM=873.98 UNABLE TO OPEN	r-19 EX. CB RIM=874.72 30" conc. W INV=870.42	r-24 EX. 1.5" INLET RIM=876.61 (2) 8" iron SE INV=874.51
r-5 STORM MH RIM=875.64 30" conc. E. INV=870.34 30" conc. W. INV=870.24	r-10 STORM MH RIM=874.16 30" conc. N. INV=870.01 30" conc. E. INV=870.06 12" clay W. INV=869.86	r-15 EX. CB RIM=872.03 12" conc. E INV=869.13 12" conc. WNW INV=869.03	r-20 EX. CB RIM=875.69 30" conc. W INV=870.19	r-25 EX. STRM MH RIM=876.71 (2) 8" iron NW INV=874.31 BPM Snout covering S= ±3.0 T/snout

DTE SCHEDULE

e-1 DTE MH RIM=872.32 N-S LINES? BOTTOM/VAULT=861.32	e-3 DTE MH RIM=874.60 TOP OF E–W LINES=869.6 BOTTOM E–W LINES=867.6 TOP VAULT=873.1 BOTTOM VAULT=865.7
e-2 DTE MH RIM=874.60 TOP OF E–W LINES=870.6 BOTTOM E–W LINES=867.6 TOP VAULT=873.1 BOTTOM VAULT=865.7	e-4 DTE MH RIM=876.11 TOP OF E–W LINES=872.11 BOTTOM E–W LINES=869.11

SANITARY SEWER SCHEDULE

s-1 SANITARY MH RIM=876.58 15" E&W INV=864.53 8" steel S. INV=869.78	s-2 SANITARY MH RIM=878.91 15" E&W INV=864.81 12" N. INV=869.91
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SURVEYORS CERTIFICATE

To: PVJ Enterprises, LLC, a Michigan limited liability company; LCD Acquisitions, LLC, a Delaware limited liability company; LMP Galleria Property Owner, LLC, a Delaware limited liability company; Webster Bank, N.A., as Administrative Agent, for itself and other lenders, together with their participants, successors and assigns; Ann Arbor Building Authority, a public corporation; Bluestone Realty Advisors, LLC, a Michigan limited liability company; and Fidelity National Title Insurance Company:

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MIDWESTERN CONSULTING, LLC.

By: *Mark Vander Veen*  
Mark Vander Veen, P.S. No. 4001056788

Date: August 21, 2024



ANN ARBOR - GALLERIA  
SITE PLAN FOR PLANNING COMMISSION  
EXISTING STRUCTURE SCHEDULE

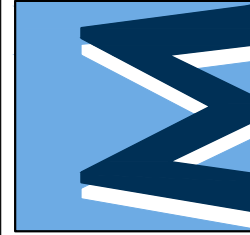
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JOB No. 23047

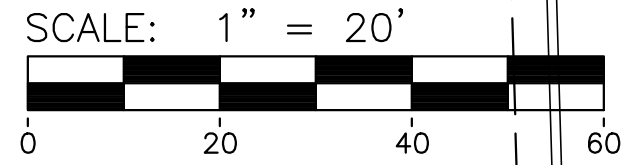
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CLIENT  
LMP GALLERIA PROPERTY OWNER, LLC  
315 OCHENE STREET  
ATHENS, GA 30601  
ATTN: TUCKER SNIPES  
7706–537–4720

MIDWESTERN CONSULTING



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

































## REMOVAL PLAN NOTES

1. ASCE 38-02 quality level survey involves surveying visible above ground utility facilities such as manholes, valve boxes, posts, etc., and correlating this information with existing utility records. When using this information, it is not unusual to find that many underground utilities have been either omitted or erroneously plotted.
2. S. University Ave. is under the jurisdiction of the City of Ann Arbor. All work within the right-of-way is subject to a permit from the City. The parcel to the south, 616 S. Forest Ave. is a City owned parcel and an easement from the City is being sought for access.
3. Existing on-site easements of record are indicated on the plans.
4. All franchise utilities are to be removed by or per the party having jurisdiction.
5. Three street trees are to be removed and replaced across frontage on South University Ave.
6. All site work is to comply with the City of Ann Arbor Standard Specifications available on line.  
[www.a2gov.org/departments/engineering/Documents/Combined%20Standard%20Specifications.pdf](http://www.a2gov.org/departments/engineering/Documents/Combined%20Standard%20Specifications.pdf)
7. All existing on-site improvements are to be removed unless otherwise noted.
8. During demolition of the existing structures, the contractor will be responsible for identifying any existing footing drains that are connected to a sanitary sewer. These are to be verified on site by the City prior to removal. If footing drains for the existing buildings are connected to the sanitary sewer system, disconnection will be required in accordance with current City specifications. To schedule inspection, call the City of Ann Arbor Engineering Unit at (734) 794-6410. Disconnection of existing footing drains may be taken as a credit against required sanitary sewer flow mitigation.
9. Any service lead that will not be reused shall be disconnected from their respective mains.

## BENCHMARKS:

- #1 - TOP/ARROW ON HYDRANT, N. SIDE OF S. UNIVERSITY  
AT ADDRESS #1207. ELEV.=878.51 NAVD 88.
- #2 - FOUND SPIKE IN POWER POLE, E. SIDE CHURCH ST.,  
AT HSE #621. ELEV.=872.67 NAVD 88.
- #3 - TOP/ARROW ON HYDRANT AT SE COR. OF S.  
UNIVERSITY & FOREST AVE. ELEV.=881.96 NAVD 88.
- #4 - TOP/ARROW ON HYDRANT, E. SIDE OF S. FOREST  
AVE. AT ADDRESS #625 ELEV.=877.75 NAVD 88.

## LEGEND

	EXIST. CONTOUR
	EXIST. SPOT ELEVATION
	EXIST. UTILITY POLE
	ELEC. TRANSFORMER
	EXIST. OVERHEAD UTILITY LINE
	EXIST. LIGHT POLE
	EXIST. TELEPHONE LINE
	EXIST. ELECTRIC LINE
	EXIST. GAS LINE
	EXIST. GAS VALVE
	EXIST. FIBER OPTIC LINE
	EXIST. WATER MAIN
	EXIST. HYDRANT
	EXIST. GATE VALVE IN BOX
	EXIST. GATE VALVE IN WELL
	EXIST. CURB STOP & BOX
	EXIST. STORM SEWER
	EXIST. CATCH BASIN OR INLET
	EXIST. DOWNSPOUT
	EXIST. SANITARY SEWER
	EXIST. CLEANOUT
	SIGN
	PARKING METER
	ELECTRIC METER
	GAS METER
	TRAFFIC SIGNAL CONTROL BOX
	POST
	SINGLE TREE
	FOUND IRON PIPE
	FOUND MONUMENT
	
	
	
	

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## LANDSCAPE CALCULATIONS

	Required	Proposed
Street Trees		
Street trees	Mirror number of street trees across street. Replace tree removed. 62 total dbh removed	3 proposed trees, S. University, 3 GB street, 2 proposed tree, S. Forest, 2 GB
Street tree canopy loss fee	total dbh removed - caliper replacement trees x \$244 per inch (62 in - 12 in) = 50 in	62 dbh removed - 12 dbh replaced = 50 dbh x \$244 per inch = \$12,200 tree canopy loss fee is due
Plaza Trees		
Plaza trees	Per Plaza design	5 proposed trees, City owned drive "alley"/ plaza area, 5 GB

**E-PARK KIOSK NOTE:**  
THE CITY REQUIRES 2-WEEK NOTICE PRIOR TO IMPEDING ACCESS TO E-PARK MACHINE AND SHALL BE COORDINATED PCI MUNICIPAL SERVICES. THE COST INCURRED TO RELOCATE AND REINSTALL THE E-PARK KIOSK WILL BE DUE PRIOR TO THE ISSUANCE OF METER BAGS FOR CONSTRUCTION. THE E-PARK KIOSK AND SPACE MARKERS SHALL BE SALVAGED AND REINSTALLED IN THE EXISTING LOCATION.

**NOTE:**  
ALL AMENITY ZONE FEATURES INCLUDING, BIKE HOOPS, PARKING SPACE MARKERS AND E-PARK KIOSK, LIGHT POLES AND TREE PLANTERS AND GRATES TO BE REPLACED FOLLOWING CONSTRUCTION IN SAME LOCATION. EXISTING FEATURES MAY BE SALVAGED AND REUSED IF UNDAMAGED AND IN GOOD CONDITION.

## PLANT SCHEDULE

Total	Street (-S)	Plaza (-P)	Symbol	Botanical Name	Common Name	Size	Spacing	Root	Remarks
Trees									
10	5	5	GB	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5' cal	25' o.c.	B&B	Misc variety only
10	5	5	Total						

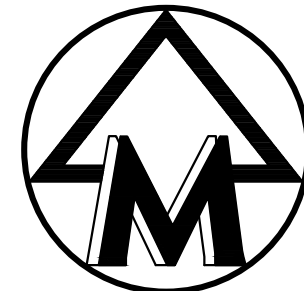
ALL SPECIES DEVIATIONS MUST BE APPROVED IN WRITING BY THE CITY OF ANN ARBOR PRIOR TO INSTALLATION

## UNIT MIX TABLE

Target Area	Unit Matrix												Beds / Prior
	Studio	1/1	2/2	3/3	4/4	5/5	6/6	7/7	8/8	9/9	10/10	11/11	
Level 1	1	1	2	1	1	4			3	3		16	62
Level 2	1	1	2	1	1	5			4	2		17	65
Level 3	1	1	2	1	1	5			4	2		17	65
Level 4	1	1	2	1	1	5			4	2		17	65
Level 5	1	1	2	1	1	5			4	2		17	65
Level 6	1	1	2	1	1	5			4	2		17	65
Level 7	1	1	2	1	1	5			4	2		17	65
Level 8	1	1	2	1	1	5			4	2		17	65
Level 9	1	1	2	1	1	5			4	2		17	65
Level 10	1	1	2	1	1	5			4	2		17	65
Level 11	1	1	2	1	1	5			4	2		17	65
Level 12	1	1	2	1	1	5			4	2		17	65
Level 13	1	1	2	1	1	5			4	2		17	65
Level 14	1	1	2	1	1	5			4	2		17	65
Level 15	1	1	2	1	1	5			4	2		17	65
Level 16	1	1	2	1	1	5			4	2		17	65
Level 17	1	1	2	1	1	5			4	2		17	65
Level 18	1	1	2	1	1	5			4	2		17	65
Total Units	13	13	30	16	17	75	1	58	32	259			
Unit Mix	6%	6%	12%	6%	7%	29%	0%	22%	12%	100%			



Know what's below.  
Call before you dig.



SCALE: 1" = 20'  
0 20 40 60

## LEGEND

- NUMBER OF STANDARD PARKING SPACES IN ROW
- NUMBER OF SMALL CAR PARKING SPACES IN ROW
- NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- BARRIER FREE PARKING SIGN
- VAN ACCESSIBLE BARRIER FREE PARKING SIGN
- BARRIER FREE SIDEWALK RAMP
- PROP. CURB & GUTTER
- PROP. BITUMINOUS PAVEMENT
- PROP. CONCRETE PAVEMENT
- PROP. HEAVY DUTY CONCRETE
- PROP. CONC. COLORED WITH SPECIAL SCORE PATTERN
- SIGN
- PROP. SINGLE LIGHT
- PROP. DOUBLE LIGHT
- PROP. WOODCHIP PATH
- PROP. VEHICLE CHARGING STATION
- PROP. BOLLARD
- PROP. DDA LIGHT
- PROP. DECIDUOUS TREE

## NOTES

- AN EARTH RETENTION SYSTEM WILL BE REQUIRED FOR THE BUILDING CONSTRUCTION. FOUNDATION PLANS AND EARTH RETENTION PLANS ARE BEING DEVELOPED. IT IS UNDERSTOOD THAT A LICENSING AGREEMENT WILL BE REQUIRED.
- ALL CLASS A BIKE PARKING SPACES ARE LOCATED WITHIN THE BUILDING. ALL PAVEMENT REPLACEMENT TO MEET CITY STANDARD SPECIFICATIONS. SAWCUT AND REMOVAL LIMITS.
- ALL CURB DIMENSIONS ARE TO BACK OF CURB.
- ALL RADII DIMENSIONS ARE TO FACE OF CURB.

## CITY OF ANN ARBOR GENERAL NOTES

- The DDA manages curbside uses throughout the DDA Parking Area, including parking and loading zones. Curbside uses shown on site plans are not permanent and are subject to change at any time at the discretion of the DDA.
- All sidewalks within the City shall be kept and maintained in good repair by the owner of the land adjacent to and abutting upon the same. Prior to the issuance of the final Certificate of Occupancy for this site, all existing sidewalks in need of repair must be repaired in accordance with City standards.
- All work within the City of Ann Arbor covered by these plans shall be performed in complete conformance with the current City of Ann Arbor Public Services Department Standard Specifications and Details.
- The omission of any current standard detail does not relieve the contractor from this requirement. The work shall be performed in complete conformance with the current public services standard specifications and details.
- Sidewalks constructed in the public right-of-way shall meet all requirements and guidelines as set forth in the ADA standards for accessible design. Sidewalk and curb ramp grades will be reviewed during construction plan submittals.
- Pavement markings disturbed due to pavement cuts or construction related activities shall be replaced as directed by Engineering. Replacement during construction of the project may be considered temporary, with final pavement marking restoration to occur at the end of the project.
- The contractor shall take all necessary precautions to protect the existing public road pavement. Damage to the public road pavement during the course of construction may necessitate milling and resurfacing of the damaged areas prior to issuance of the Certificate of Occupancy.
- Proposed tree planters shall include root barriers to reduce conflicts with utilities, where appropriate.

## DDA FIXTURES SPECIFICATIONS

If any of the existing DDA fixtures noted as being salvaged and replaced following construction is damaged and require replacement the following equipment and models shall be used:

- Tree grate frame - Manufacturer: EJ Group, Product TF48862000, Description 48" x 96" Rectangular 2 Piece Tree Frame Standard Anchor Painted Black. Steel. Coating: Painted- flat black Rustoleum coating
- Tree grates - Manufacturer: EJ Group, Product 00867901, Description 8679 Boardwalk 48" x 96" Rectangular Tree Grate set with 18" square tree opening. Gray iron (CL358). Coating: None (undipped)
- Bench - Victor Stanley, Model FBF-53, Length: 4 ft Description: Skateboard guards included. Color: Titanium, Surface Mounted. Hot dipped galvanized, full emersion, prior to finishing. Anchoring bolts, nuts and washers and all other hardware for installation to be stainless steel.
- Bike Hoops - Manufacturer: Dero. Model Hoop Rack, Finish: Galvanized. Surface mount.
- Streetlights - Luminaire - Lumecon Thirty-Five West, 54 watt, Type V Distribution, 120v-277v, 2700K, Cut-Off Litelid, Black. Model L35W-1-1-OW-B-C. Equipped with a Phillips programmable driver. See details on sheet 11 for pole and pole base details.

# ANN ARBOR - GALLERIA

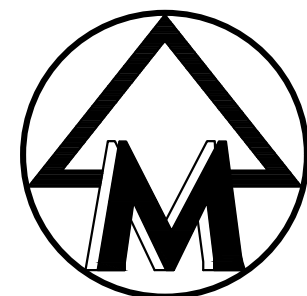
SITE PLAN FOR PLANNING COMMISSION  
DIMENSIONAL SITE AND LANDSCAPE PLAN

# 05

JOB NO.	23047
DATE: 2/2/24	
SHEET 05 OF 15	
REV. DATE	REV. DATE
PER CITY REVIEW	PER CITY REVIEW
PER CITY REVIEW	PER CITY REVIEW
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\\civ\134\_P\01\2023\33047\Site\epan\33047001.dwg, 5/30/2025 1:27 PM, Jim Hner1, 05 GRADING AND SOIL EROSION CONTROL PLAN, MCLLC PDF, p3  
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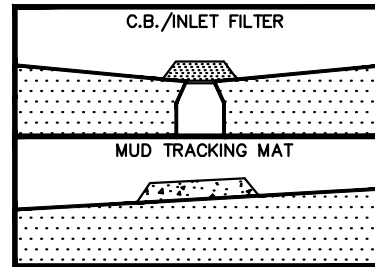
SCALE: 1" = 20'  
0 20 40 60



## SOIL EROSION CONTROL MEASURES

t = temporary p = permanent

59  
60



## MAINTENANCE PROGRAM FOR SOIL EROSION CONTROLS

1. DURING CONSTRUCTION IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SOIL EROSION CONTROL MEASURES. FOLLOWING CONSTRUCTION THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE PERMANENT SOIL EROSION CONTROL MEASURES. MAINTENANCE RESPONSIBILITIES SHALL BECOME PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SESC MEASURES ARE LOCATED.

## SOIL EROSION CONTROL NOTES

1. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH THE CURRENT CITY OF ANN ARBOR ORDINANCES, WASHTENAW COUNTY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND STATE OF MICHIGAN "SOIL EROSION AND SEDIMENTATION CONTROL ACT - P.A. 347".
2. PRIOR TO COMMENCING EARTHMOVING OPERATIONS, THE GRADING CONTRACTOR SHALL INSTALL THE TEMPORARY CATCH BASIN FILTER(S) SHOWN ON THE PLANS.
3. THE REMOVAL OF TRAPPED SEDIMENT AND THE CLEANOUT OR REPLACEMENT OF CLOGGED STORM MAY BE NECESSARY AFTER EACH STORM EVENT DURING THE PROJECT.
4. ONLY UPON STABILIZATION OF ALL DISTURBED AREAS MAY THE TEMPORARY GRAVEL FILTERS BE REMOVED. ALL STORM SEWERS MUST BE ALSO CLEANED OF ALL SEDIMENT.
5. ALL INLETS AND CATCH BASINS WILL HAVE SEDIMENT FILTERS INSTALLED AFTER THEIR CONSTRUCTION. THESE FILTERS WILL BE MAINTAINED UNTIL ALL AREAS AROUND THE STRUCTURE HAVE BEEN STABILIZED.
6. THE CONTRACTOR WILL MAINTAIN ALL NECESSARY SOIL EROSION CONTROL DEVICES UNTIL SOIL STABILIZATION HAS OCCURRED.
7. APPROPRIATE EMERGENCY ACCESS WILL BE PROVIDED DURING CONSTRUCTION.
8. THE ESTIMATED COST OF SOIL EROSION CONTROL MEASURES IS \$4000.
9. THE ESTIMATED COST TO PROTECT ALL SOIL SURFACES FROM EROSION SHOULD CONSTRUCTION DISCONTINUE IS \$3000.
10. EXTERNAL STREETS WILL BE IMMEDIATELY CLEANED OF ANY TRACKED MUD FOLLOWING EACH MUD-TRACKING OCCURRENCE.
11. ESTIMATED PROJECT EARTHWORK IS 6,000 CYD EXCAVATION AND 1,000 CYD FILL. THIS NUMBER IS AN ESTIMATE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION OR ESTIMATING PURPOSES.
12. DEWATERING OPERATIONS DURING CONSTRUCTION, IF NECESSARY, MUST BE DONE PER CITY REQUIREMENTS INCLUDING SEDIMENT CONTROL AND DISPOSAL.
13. FINAL LOCATIONS AND DIMENSIONS OF THE MUD TRACKING MAT AND CONCRETE WASHOUT AREA ARE TO BE DETERMINED BY THE CONTRACTOR SUBJECT TO CITY APPROVAL.

## LEGEND

838	EXIST. CONTOUR
838	PROP. CONTOUR
836.2	EXIST. SPOT ELEVATION
36.60	PROP. SPOT ELEVATION
U.P.	EXIST. UTILITY POLE
U.P.	EXIST. UTILITY POLE W/ TRANS.
GUY WIRE	GUY WIRE
ELEC. TRANSFORMER	ELEC. TRANSFORMER
EXIST. AC UNIT	EXIST. AC UNIT
EXIST. GENERATOR	EXIST. GENERATOR
EXIST. OVERHEAD UTILITY LINE	EXIST. OVERHEAD UTILITY LINE
EXIST. LIGHT POLE	EXIST. LIGHT POLE
PROP. LIGHT POLE	PROP. LIGHT POLE
EXIST. TELEPHONE LINE	EXIST. TELEPHONE LINE
EXIST. ELECTRIC LINE	EXIST. ELECTRIC LINE
EXIST. GAS LINE	EXIST. GAS LINE
EXIST. GAS VALVE	EXIST. GAS VALVE
EXIST. FIBER OPTIC LINE	EXIST. FIBER OPTIC LINE
EXIST. WATER MAIN	EXIST. WATER MAIN
PROP. WATER MAIN	PROP. WATER MAIN
EXIST. HYDRANT	EXIST. HYDRANT
EXIST. GATE VALVE IN BOX	EXIST. GATE VALVE IN BOX
PROP. GATE VALVE IN BOX	PROP. GATE VALVE IN BOX
EXIST. GATE VALVE IN WELL	EXIST. GATE VALVE IN WELL
PROP. GATE VALVE IN WELL	PROP. GATE VALVE IN WELL
EXIST. CURB STOP & BOX	EXIST. CURB STOP & BOX
PROP. CURB STOP & BOX	PROP. CURB STOP & BOX
REDUCER	REDUCER
EXIST. BLOW-OFF	EXIST. BLOW-OFF
PROP. BLOW-OFF	PROP. BLOW-OFF
POST INDICATOR VALVE	POST INDICATOR VALVE
POST INDICATOR VALVE	POST INDICATOR VALVE
THRUST BLOCK	THRUST BLOCK
PROP. KNOXBOX	PROP. KNOXBOX
EXIST. FIRE DEPARTMENT CONNECTION	EXIST. FIRE DEPARTMENT CONNECTION
PROP. FIRE DEPARTMENT CONNECTION	PROP. FIRE DEPARTMENT CONNECTION
EXIST. STORM SEWER	EXIST. STORM SEWER
PROP. STORM SEWER	PROP. STORM SEWER
EXIST. CATCH BASIN OR INLET	EXIST. CATCH BASIN OR INLET
PROP. CATCH BASIN OR INLET	PROP. CATCH BASIN OR INLET
EXIST. BEEHIVE INLET	EXIST. BEEHIVE INLET
PROP. BEEHIVE INLET	PROP. BEEHIVE INLET
PROP. ROOF DRAIN	PROP. ROOF DRAIN
END SECTION	END SECTION
HEAD WALL	HEAD WALL
CULVERT	CULVERT
EXIST. DOWNSPOUT	EXIST. DOWNSPOUT
PROP. DOWNSPOUT	PROP. DOWNSPOUT
EXIST. SANITARY SEWER	EXIST. SANITARY SEWER
PROP. SANITARY SEWER	PROP. SANITARY SEWER
EXIST. CLEANOUT	EXIST. CLEANOUT
PROP. CLEANOUT	PROP. CLEANOUT
C/L OF DITCH	C/L OF DITCH
DRAINAGE DIRECTION	DRAINAGE DIRECTION
SIGN	SIGN
SINGLE TREE	SINGLE TREE
TREE OR BRUSH LIMIT	TREE OR BRUSH LIMIT
FENCE	FENCE
SILT FENCE	SILT FENCE
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE
CONSTRUCTION FENCE	CONSTRUCTION FENCE
FINISH FLOOR ELEVATION	FINISH FLOOR ELEVATION
GARAGE FLOOR ELEVATION	GARAGE FLOOR ELEVATION
BASEMENT FINISH FLOOR ELEVATION	BASEMENT FINISH FLOOR ELEVATION

CHURCH ST. (66' WDE)

S. UNIVERSITY AVE. (66' WDE)

S. FOREST AVE. (66' WDE)

SEE SHEET 9 FOR SOIL EROSION CONTROL DETAILS AND SCHEDULE.

## PERMANENT MAINTENANCE TASKS AND SCHEDULE

Components					
Drives and Walls	Storm Sewer System	Catch Basin Sumps	Catch Basin Inlet Castings	Detention Chambers	Schedule
X	X	X	X	X	annually
	X	X		X	every 2 years, as needed
	X	X	X	X	annually
	X	X	X	X	annually
	X	X	X	X	annually
	X	X	X	X	annually
	X	X	X	X	annually

## STORM WATER MANAGEMENT SYSTEM PERMANENT MAINTENANCE PLAN, SCHEDULE, AND COST ESTIMATE

### MAINTENANCE PLAN BUDGET

Annual inspection of system for sediment accumulation	\$350.00
Removal of sediment accumulation every two (2) years, as needed	\$600.00
Inspect for floatables and debris annually and after major storms	\$300.00
Removal of floatables and debris annually and after major storms	\$600.00
Inspect system for erosion annually and after major storms	\$300.00
Re-establish permanent vegetation on eroded slopes, as needed	\$200.00
Clean drives semiannually	\$250.00
<b>Total Annual Budget</b>	<b>\$2,600.00</b>

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ANN ARBOR - GALLERIA  
SITE PLAN FOR PLANNING COMMISSION  
GRADING AND SOIL EROSION CONTROL PLAN

06

JOB No. 23047

DATE: 2/2/24

SHEET 06 OF 15

REV. DATE

3/7/24

ADD: KJV

ENG: JCA

6/27/24

PM: SWB

12/17/24

TECH: JCA

2/27/25

PER CITY REVIEW

PER CITY REVIEW

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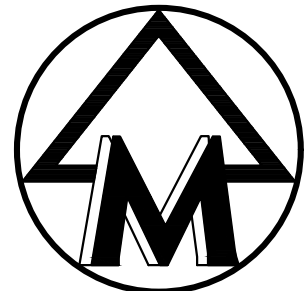
Know what's below.  
Call before you dig.

#### City of Ann Arbor Lighting Notes:

- All lights to comply with City of Ann Arbor – Unified Development Code Section 5.25 for Outdoor Lighting
- The light fixtures specified are 70cri and 3000K for all fixtures
- All lighting to be downward directed or adequately shielded to prevent off site glare.

#### UTILITY PLAN NOTES

- DOMESTIC WATER AND FIRE SUPPRESSION WATER SERVICES ARE TO TAP INTO THE EXISTING 12" WATER MAIN IN S. FOREST AVENUE. IT IS ANTICIPATED BOOSTER PUMPS WILL BE REQUIRED FOR THE PROJECT. FINAL DETERMINATION WILL OCCUR DURING THE DETAILED DESIGN PHASE.
- THE SANITARY SEWER LEAD WILL TAP INTO THE EXISTING SANITARY MAIN IN S. UNIVERSITY AVENUE. THE EXISTING SANITARY SEWER LEADS WILL BE ABANDONED.
- IT IS UNKNOWN IF FOOTING DRAINS FOR THE EXISTING BUILDINGS ARE CONNECTED TO THE SANITARY SEWER SYSTEM, DISCONNECTION WILL BE REQUIRED IN ACCORDANCE WITH CURRENT CITY SPECIFICATIONS. THE CONTACT PERSON TO SCHEDULE INSPECTION OF FOOTING DRAIN CONNECTIONS, IF ANY, IS AMY PONSOCK WHO CAN BE REACHED AT 734-794-6410, EXTENSION 43622.
- THE PROPOSED STORM DETENTION TANKS DRAIN PRIMARILY BY INFILTRATION WITH AN EMERGENCY OVERFLOW PIPE CONNECTION TO CONTINUE TO THE PUBLIC STORM SEWER.
- NO FIREWALLS ARE PROPOSED WITHIN THE BUILDING.
- POOL BACKWASH WATER IS TO BE DE-CHLORINATED AND ROUTED TO THE STORM DETENTION CHAMBER.
- THE PROPOSED BUILDING'S SUMP PUMP WILL DISCHARGE TO THE STORM WATER MANAGEMENT SYSTEM.



SCALE: 1" = 20'

#### LEGEND

U.P.	EXIST. UTILITY POLE
U.P.	EXIST. UTILITY POLE W/ TRANS.
GP	EXIST. GUY POLE
WIRE	GUY WIRE
TRANS	ELEC. TRANSFORMER
AC UNIT	EXIST. AC UNIT
GENERATOR	EXIST. GENERATOR
OVERHEAD	EXIST. OVERHEAD UTILITY LINE
LIGHT POLE	EXIST. LIGHT POLE
PROP. LIGHT POLE	PROP. LIGHT POLE
BUILDING LIGHT	PROP. BUILDING LIGHT
TELEPHONE LINE	EXIST. TELEPHONE LINE
TELEPHONE LINE	PROP. TELEPHONE LINE
ELECTRIC LINE	EXIST. ELECTRIC LINE
ELECTRIC LINE	PROP. ELECTRIC LINE
GAS LINE	EXIST. GAS LINE
GAS LINE	PROP. GAS LINE
GAS VALVE	EXIST. GAS VALVE
FIBER OPTIC LINE	EXIST. FIBER OPTIC LINE
FIBER OPTIC LINE	PROP. FIBER OPTIC LINE
WATER MAIN	EXIST. WATER MAIN
WATER MAIN	PROP. WATER MAIN
HYDRANT	EXIST. HYDRANT
HYDRANT	PROP. HYDRANT
GATE VALVE IN BOX	EXIST. GATE VALVE IN BOX
GATE VALVE IN BOX	PROP. GATE VALVE IN BOX
GATE VALVE IN WELL	EXIST. GATE VALVE IN WELL
GATE VALVE IN WELL	PROP. GATE VALVE IN WELL
CURB STOP & BOX	EXIST. CURB STOP & BOX
CURB STOP & BOX	PROP. CURB STOP & BOX
FIRE DEPARTMENT CONNECTION	EXIST. FIRE DEPARTMENT CONNECTION
FIRE DEPARTMENT CONNECTION	PROP. FIRE DEPARTMENT CONNECTION
KNOXBOX	PROP. KNOXBOX
STORM SEWER	EXIST. STORM SEWER
STORM SEWER	PROP. STORM SEWER
CATCH BASIN OR INLET	EXIST. CATCH BASIN OR INLET
CATCH BASIN OR INLET	PROP. CATCH BASIN OR INLET
BEEHIVE INLET	EXIST. BEEHIVE INLET
BEEHIVE INLET	PROP. BEEHIVE INLET
ROOF DRAIN	EXIST. ROOF DRAIN
ROOF DRAIN	PROP. ROOF DRAIN
DOWNSPOUT	EXIST. DOWNSPOUT
DOWNSPOUT	PROP. DOWNSPOUT
SANITARY SEWER	EXIST. SANITARY SEWER
SANITARY SEWER	PROP. SANITARY SEWER
CLEANOUT	EXIST. CLEANOUT
CLEANOUT	PROP. CLEANOUT
WATER METER	EXIST. WATER METER
WATER METER	PROP. WATER METER
PEDSTRIAN CROSSING SIGNAL	EXIST. PEDSTRIAN CROSSING SIGNAL
PEDSTRIAN CROSSING SIGNAL	PROP. PEDSTRIAN CROSSING SIGNAL
TRAFFIC SIGNAL CONTROL BOX	EXIST. TRAFFIC SIGNAL CONTROL BOX
TRAFFIC SIGNAL CONTROL BOX	PROP. TRAFFIC SIGNAL CONTROL BOX

#### SANITARY SEWER FLOW MITIGATION CALCULATIONS

Note: There will be no backwash discharge from the pool to the sanitary sewer system.

##### Existing Flow

28 Apartments (between 600 & 1200 sf) at	250 gpd/ unit =	7000 gpd
126 seats @ Coffe Shop	20 gpd / seat =	2520 gpd
87 seats @ Restaurant	30 gpd / seat =	2610 gpd
1267 sf @ Retail Store	0.03 gpd / sf =	38.01 gpd
40937 sf @ Non-medical office	0.06 gpd / sf =	2456 gpd
Total Existing Flow =		14624 gpd

##### Design Flow

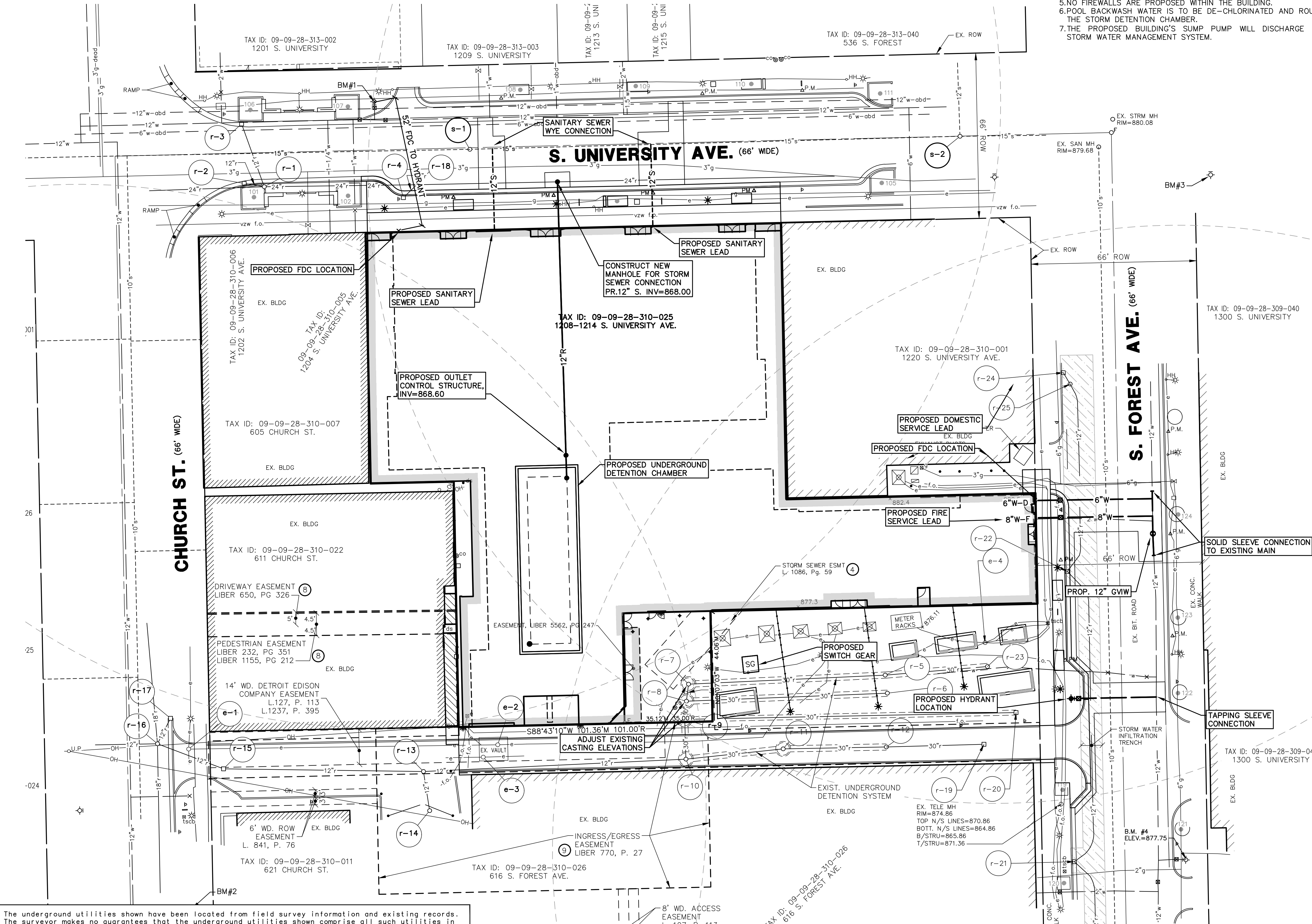
Based on the City of Ann Arbor's sanitary sewer flow evaluation Table 'A', the design dry weather flow rate will be:

30 Apartments (Up to 600 Square Feet) @	175 gpd =	5250 gpd
63 Apartments (601-1200 Square Feet) @	250 gpd =	15750 gpd
76 Apartments (1200+ Square Feet) @	300 gpd =	22800 gpd
58 - 5 Bedroom Apt @ 75 gpd/person	375 gpd =	21750 gpd
32 - 6 Bedroom Apt @ 75 gpd/person	450 gpd =	14400 gpd
5201 sf - Commercial/Restaurant with	60% used as seating	
3120.6 sf with	20 sf allocated per seat =	
156 seats with	20 gpd per seat =	3120 gpd
2345 sf-TV/gathering room	0.06 gpd/sf/d =	141 gpd
2900 sf-Lobby/Office @	0.06 gpd/sf/d =	174 gpd
83 parking spaces @	27 gpd per space =	2241 gpd
640 sf @ bathier load of 1 person per	50 sf/person =	
13 person @	20 gpd/person =	260 gpd
Total		85886 gpd

##### Mitigation Flow

Net change in flow, design flow - existing flow =

Mitigation Peak Flow = 71261 gpd x 4(peaking factor) x 1.1(recovery) = 313550 gpd = 218 gpm



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# Basin Stormwater Calculations

## W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients

Rational Method Variables					
Cover Type	Soil Type	Area (sf)	Area (ac)	Runoff Coeff. (C)	(C) x (Area)
Building		31,240	0.72	0.95	0.68
Pavement				0.00	0.00
Grass	A	0	0.00	0.15	0.00
Grass	B			0.25	0.00
Grass	C			0.30	0.00
Grass	D			0.45	0.00
Water Surface				1.00	0.00
Total		31,240	0.72		0.68
Weighted C = (Sum(C)x(Area))/(Area Total) =				0.95	

NRCS Variables (Pervious)					
Cover Type	Soil Type	Area (sf)	Area (ac)	Curve Number	(CN) x (Area)
Grass	A	0	0.00	49	0.00
Grass	B	0	0.00	69	0.00
Grass	C	0	0.00	79	0.00
Grass	D	0	0.00	84	0.00
Total		0	0.00		0.00
Weighted CN = (Sum(CN)x(Area))/(Area Total) =				49	

NRCS Variables (Impervious)					
Cover Type	Soil Type	Area (sf)	Area (ac)	Curve Number	(CN) x (Area)
Building		31,240	0.72	98	0.70
Pavement		0	0.00	98	0.00
Water Surface		0	0.00	98	0.00
Total		31,240	0.72		0.70
Weighted CN = (Sum(CN)x(Area))/(Area Total) =				98	

## W2 - W2 - First Flush Runoff Calculations (Vff)

A.  $V_{ff} = 1" \times 1/12" \times 43560 \text{ sf/ac} \times A \times C$  where  $A = 0.72$  and where  $C = 0.95$

$V_{ff} = 1" \times 1/12" \times 43560 \text{ sf/ac} \times 0.72 \times 0.95 = 2,473 \text{ cf}$

## W3 - W3 - Pre-Development Bankfull Runoff Calculations (Vbf-pre)

A. 2 year / 24 hour storm event:  $P = 2.35 \text{ in}$   
 B. Pre-Development CN  
 (Good Cover Woods, Type A Soils)  $CN = 32$   
 C.  $S = (1000 / CN) - 10$   $S = 21,250 \text{ in}$   
 D.  $Q = (P(0.25/2)) / (P+0.8S)$   $Q = 0.007 \text{ in}$   
 E. Total Site Area excluding "Self-Crediting" BMPs  $31,240 \text{ sf}$   
 F.  $V_{bf-pre} = Q \times (1/12) \times \text{Area}$   $V_{bf-pre} = 0 \text{ cf}$

## W4 - W4 - Pervious Cover Post-Development Bankfull Runoff Calculations (Vbf-per-post)

A. 2 year / 24 hour storm event:  $P = 2.35 \text{ in}$   
 B. Pervious Cover CN From Worksheet 1  $CN = 49$   
 C.  $S = (1000 / CN) - 10$   $S = 10,408 \text{ in}$   
 D.  $Q = (P(0.25/2)) / (P+0.8S)$   $Q = 0.007 \text{ in}$   
 E. Pervious Cover Area from Worksheet 1  $0 \text{ sf}$   
 F.  $V_{bf-per-post} = Q \times (1/12) \times \text{Area}$   $V_{bf-per-post} = 0 \text{ cf}$

## W5 - W5 - Impervious Cover Post-Development Bankfull Runoff Calculations (Vbf-imp-post)

A. 2 year / 24 hour storm event:  $P = 2.35 \text{ in}$   
 B. Impervious Cover CN From Worksheet 1  $CN = 98$   
 C.  $S = (1000 / CN) - 10$   $S = 0.204 \text{ in}$   
 D.  $Q = (P(0.25/2)) / (P+0.8S)$   $Q = 2,122 \text{ in}$   
 E. Impervious Cover Area from Worksheet 1  $31,240 \text{ sf}$   
 F.  $V_{bf-imp-post} = Q \times (1/12) \times \text{Area}$   $V_{bf-imp-post} = 5,523 \text{ cf}$

## W6 - W6 - Pervious Cover Post-Development 100-Year Runoff Calculations (V100-per-post)

A. 100 year / 24 hour storm event:  $P = 5.11 \text{ in}$   
 B. Pervious Cover CN From Worksheet 1  $CN = 49$   
 C.  $S = (1000 / CN) - 10$   $S = 10,408 \text{ in}$   
 D.  $Q = (P(0.25/2)) / (P+0.8S)$   $Q = 0.687 \text{ in}$   
 E. Pervious Cover Area from Worksheet 1  $0 \text{ sf}$   
 F.  $V_{100-per-post} = Q \times (1/12) \times \text{Area}$   $V_{100-per-post} = 0 \text{ cf}$

## W7 - W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (V100-imp-post)

A. 2 year / 24 hour storm event:  $P = 5.11 \text{ in}$   
 B. Impervious Cover CN From Worksheet 1  $CN = 98$   
 C.  $S = (1000 / CN) - 10$   $S = 0.204 \text{ in}$   
 D.  $Q = (P(0.25/2)) / (P+0.8S)$   $Q = 4,873 \text{ in}$   
 E. Impervious Cover Area from Worksheet 1  $31,240 \text{ sf}$   
 F.  $V_{100-imp-post} = Q \times (1/12) \times \text{Area}$   $V_{100-imp-post} = 12,686 \text{ cf}$

## W8 - Time of Concentration (Tc-hrs)

A. Assume 15-minute minimum time of concentration  $T_c = 0.25 \text{ hr}$

## W9 - Runoff Summary & On-Site Infiltration Requirement

A. Summary from Previous Worksheets  
 First Flush Volume (Vff) **2,473 cf**  
 Pervious Cover Post-Development Bankfull Volume (Vbf-per-post) **0 cf**  
 Impervious Cover Post-Development Bankfull Volume (Vbf-imp-post) **5,523 cf**  
 Total BF Volume (Vbf-post) **5,523 cf**  
 Pervious Cover Post-Development 100-Year Volume (V100-per-post) **0 cf**  
 Impervious Cover Post-Development 100-Year Volume (V100-imp-post) **12,686 cf**  
 Total 100-Year Volume (V100) **12,686 cf**  
 B. Determine Onsite Infiltration Requirement  
 Subtract the Pre-Development Bankfull from the Post-Development Bankfull Volume  
 Total Post-Development Bankfull Volume (Vbf-post) **5,523 cf**  
 Pre-Development Bankfull Runoff Volume (Vbf-pre) **0 cf**  
 Bankfull Volume Difference **5,523 cf**  
 Infiltration Requirement (Vinf) **5,523 cf**

## W10 - Detention/Retention Requirement

A.  $Q_p = 238.6 \text{ TC}^{-0.52}$  **743.63 cfs (in x sq. mi)**  
 B. Total Site Area excluding "Self-Crediting" BMPs **0.72 ac**  
 C.  $Q_{100} = Q_{100-per} + Q_{100-imp}$  **5,556 in**  
 (from W6 and W7, respectively)  
 D. Peak Flow (PF) =  $Q_p \times Q_{100} \times \text{Area} / 640$  **4.63 cfs**  
 E. Delta =  $PF - 0.15 \times \text{Area (ac)}$  **4.52 cfs**  
 (0.15 x Area (ac)) **0.11 cfs**  
 F.  $V_{det} = \text{Delta} / PF \times V_{100}$  **12,391 cf**  
 Required Detention not including infiltration credit or penalty.  
 Sediment Forebay Volume Required (5% of V100) **634 cf**

## W11 - Determine Applicable BMPs and Associated Volume Credits

Preliminary soil testing has indicated the soils porous and will provide excellent infiltration capacity.

Proposed BMP	Area (sf)	Storage Volume (cf)	Design Infiltr. Rate (in/hr)	Infiltr. Volume in 6-hr Drawdown (cf)	Total Volume Reduction (cf)
Subsurface Infiltration Bed	1061	2,870	5.00	5,523	5,523
Total Volume Reduction Credit by Proposed Structural BMPs (cf)					5,523
Runoff Volume Infiltration Requirement (Vinf) from W9 (cf)					5,523
Runoff Volume Credit (cf)					0

## W13 - Site Summary of Infiltration & Detention

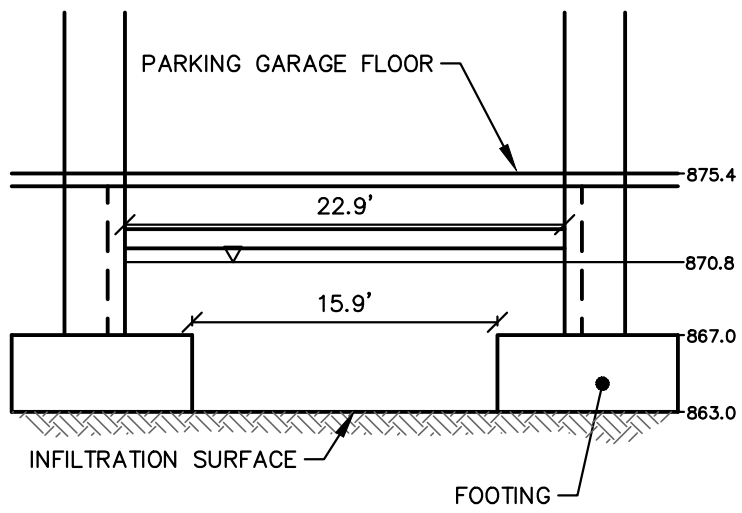
A. Stormwater Management Summary  
 Min Infiltration Requirement (Vinf) **5,523 cf**  
 Designed/Provided Infiltration Volume **5,523 cf**  
 % Minimum Required Infiltration Provided **100 %**  
 Total Calculated Detention Volume, Vdet **12,391 cf**  
 Net Required Detention Volume **6,869 cf**  
 (Vdet - Designed/Provided Infiltration Volume)

## B. Detention Volume Increase for sites where the required infiltration volume cannot be achieved.

% Required Infiltration NOT Provided **0.0 %**  
 (100% - % Minimum Required Infiltration Provided)  
 Net % Penalty (20% x % Required Infiltration NOT Provided) **0.0 %**  
 Total Required Detention Volume, including penalty **12,392 cf**  
 [(100% + Net % Penalty) x Net Required Detention Volume]

## Detention Outlet Calculations

Storm Event	Req'd Volume	less	Infil. Credit	=	Final Volume
First Flush	2,473 cf	-	2,653 cf	=	(179) cf
Bankfull	5,523 cf	-	2,653 cf	=	2,871 cf
100-year	12,391 cf	-	2,653 cf	=	9,738 cf
100-year + Req'd Penalty	12,392 cf	-	2,653 cf	=	9,739 cf
Forebay Volume Required (5% of 100-yr)					487 cf



CAST IN PLACE DETENTION CROSS SECTION

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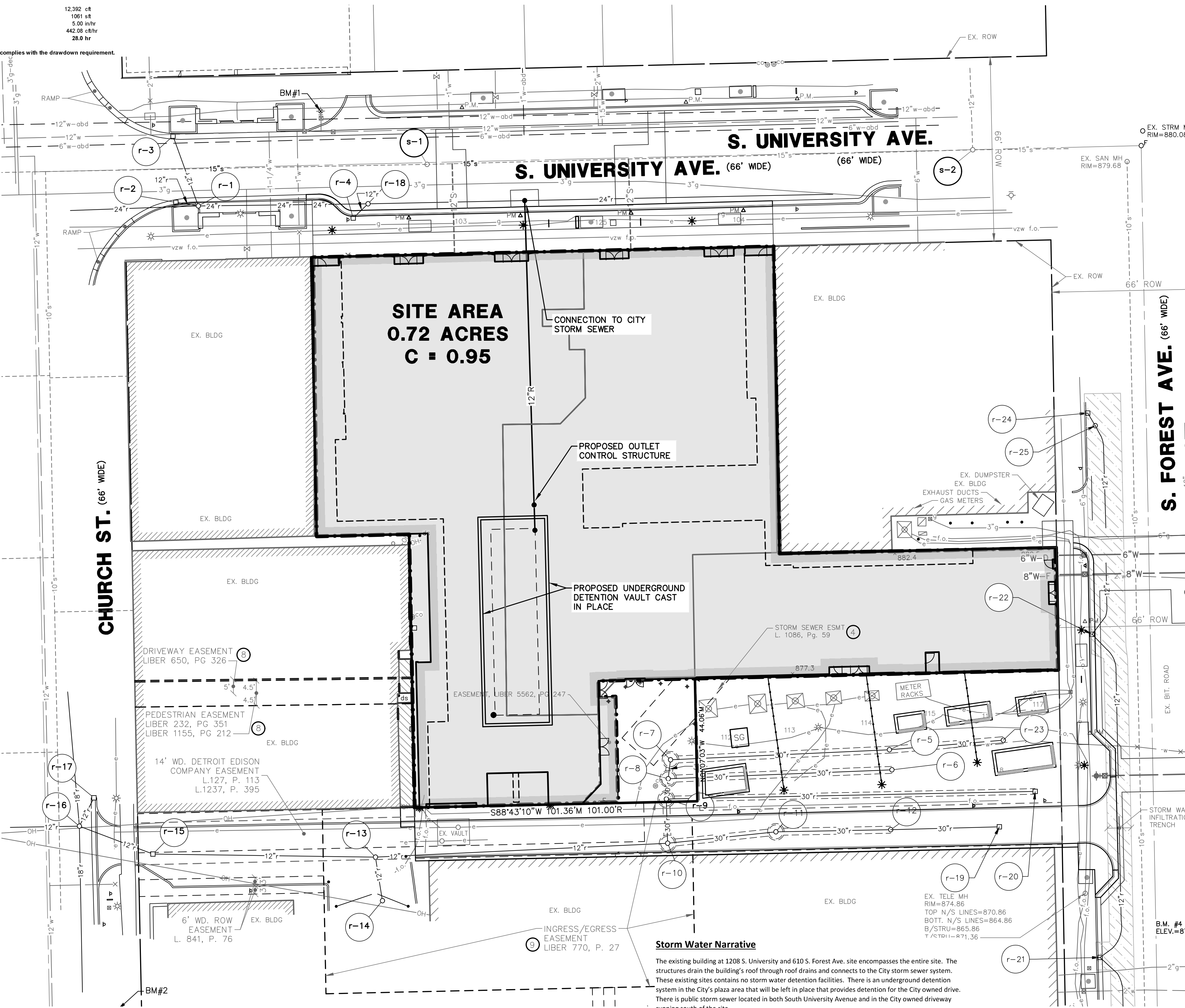
## B. Detention Volumes Provided

Elevation	Area (sf)	Depth (ft)	Volume (cf)	Cum. Volume (cf)
863.3	1,061	0	0	0
867.5	1,061	4.0	4,244	4,244
867.5	1,676	0.0	0	4,244
868.5	1,676	1.0	1,676	5,920
872.0	1,676	3.5	5,866	11,786
Total Volume =			11,786	

Storage Elevation Calculation  
 100-Year Elevation (X100) = 872.0 - 868.5 = X100 - 868.5 X100 = 870.78 ft  
 11,786 - 5,920 = 9,739 - 5,920

## C. Full Infiltration Design

Total Storage Volume **12,392 cf**  
 Infiltration Area **1061 sf**  
 Infiltration Rate, Average **5.00 in/hr**  
 Infiltration Flow Rate **442.08 cfs/hr**  
 Time to Fully Drain **28.8 hr**  
 This is less than 48 hours max, so the basin complies with the drawdown requirement.



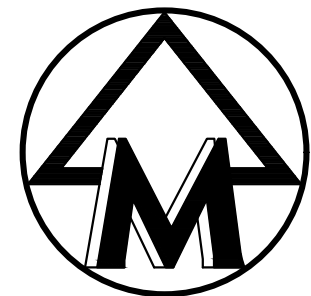
## Storm Water Narrative

The existing building at 1208 S. University and 610 S. Forest Ave. site encompasses the entire site. The structures drain the building's roof through roof drains and connects to the City storm sewer system. These existing sites contains no storm water detention facilities. There is an underground detention system in the City's plaza area that will be left in place that provides detention for the City owned drive. There is public storm sewer located in both South University Avenue and in the City owned driveway running south of the site.

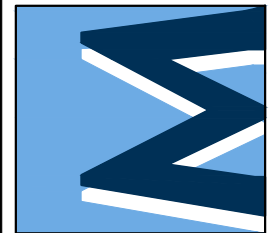
The proposed site will also encompass the entire site and collect the storm water by roof conductors which will drain to an underground detention system under the floor of the first level parking garage. The detention system will be open bottom allowing the storm water to infiltrate in the sandy soils. An emergency overflow connection is proposed to the City storm sewer located in South University. The proposed site improvements will reduce the storm water runoff.

Infiltration testing will be conducted following building demolition since the existing building covers the entire site. Soil investigations from surrounding site indicate there will be a high infiltration capacity for the site with sandy soils.

SCALE: 1" = 20'



**MIDWESTERN CONSULTING**  
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 Land Development • Land Survey • Institutional • Municipal  
 Wireless Communications • Transportation • Landfill Services



CLIENT  
 LMP GALLERIA PROPERTY OWNER, LLC  
 315 O'CONNOR STREET  
 ATHENS, GA 30601  
 ATTN: TUCKER SNIPES  
 706-537-4720

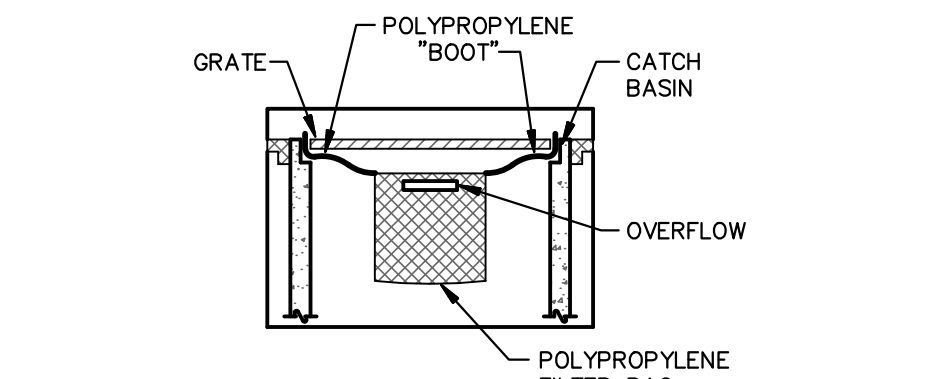
**ANN ARBOR - GALLERIA**  
 SITE PLAN FOR PLANNING COMMISSION  
 STORM WATER MANAGEMENT PLAN

**08**

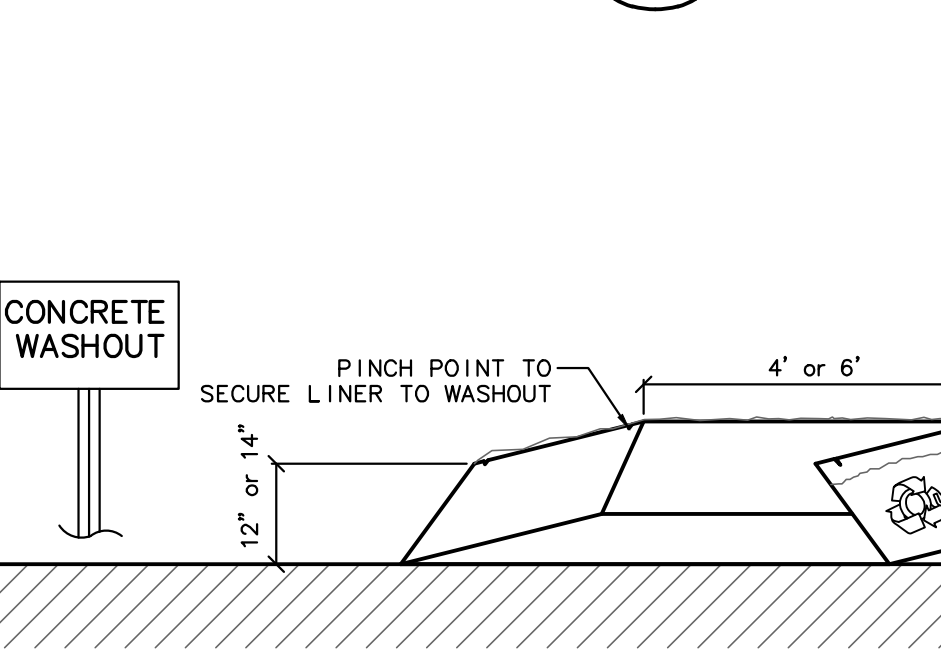
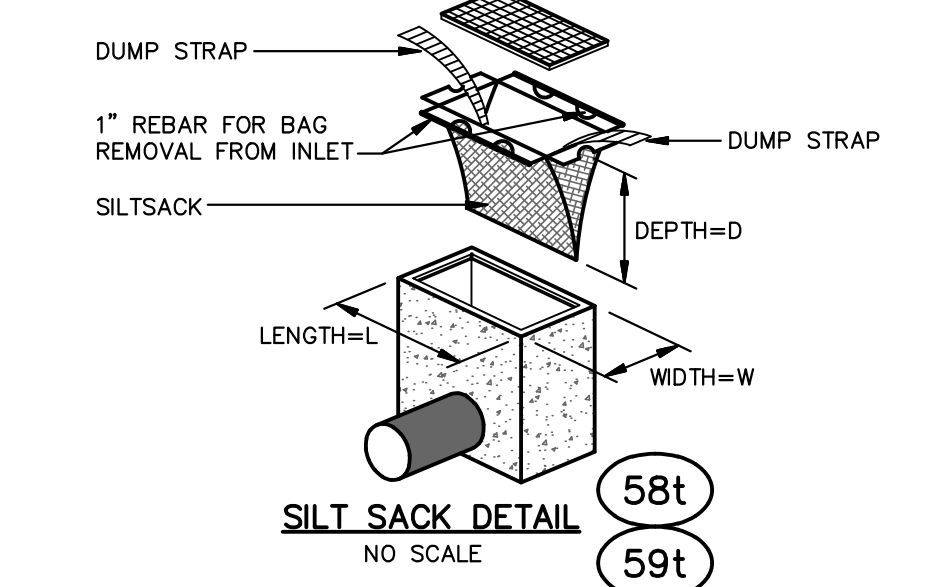
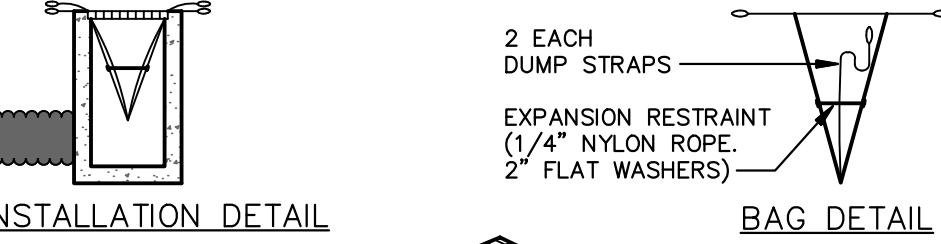
JOB No. **23047**  
 DATE: 2/2/24  
 SHEET 08 OF 15  
 REVISIONS:  
 PER CITY REVIEW 3/7/24 CAD: KJV  
 PER CITY REVIEW 5/7/24 ENG: JCA  
 PER CITY REVIEW 7/30/24 PM: SWB  
 REVISED SITE PLAN 12/17/24 TECH: JCA  
 PER CITY REVIEW 2/27/25



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NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (208-767-0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC.; (800-448-3636). CLEAN FILTER AS NEEDED.



- NOTES:
- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
  - SIGNS SHALL BE PLACED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
  - THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE AND OTHER LIQUID WASTE.
  - WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
  - DO NOT MIX EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
  - DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
  - AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
  - LOCATE WASHOUT AREA AT LEAST 50' (15 METERS) FROM STORM DRAINS, OPEN DITCHES, OR WATERBODIES.
  - WASH OUT WASTES INTO THE OUTPACK WASHOUT AS SHOWN WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

OR APPROVED EQUAL  
**CONCRETE WASHOUT SYSTEM**  
NOT TO SCALE

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE BEGINNING DECEMBER 2025											
	2025	2025						2027				
	DEC.	JAN.	FEB.	MARCH	APRIL	MAY	JUNE	JULY	APRIL	MAY	JUNE	JULY
SESC PRE-GRADING MEETING												
INSTALL AND MAINTAIN SOIL EROSION CONTROL MEASURES AS REQUIRED												
BUILDING DEMOLITION												
UTILITY INSTALLATION AND SITE DEMOLITION												
MASS EXCAVATION												
FOUNDATION CONSTRUCTION												
BUILDING CONSTRUCTION												
FINAL GRADE SITE												
PLACE MULCH AND SEEDING												
FINAL CLEAN-UP & REMOVAL OF SOIL EROSION CONTROLS												

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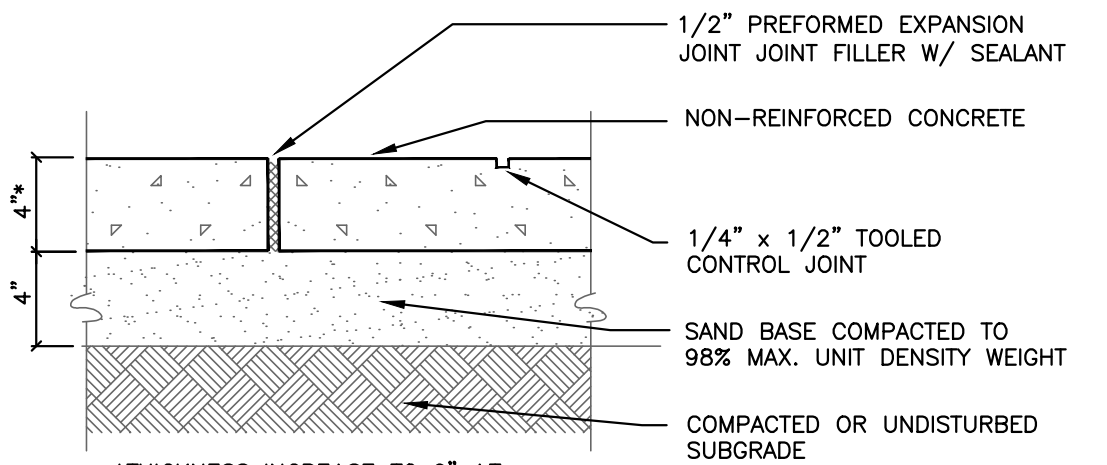
## STORM WATER MANAGEMENT SYSTEM PERMANENT MAINTENANCE PLAN, SCHEDULE, AND COST ESTIMATE

### MAINTENANCE PLAN BUDGET

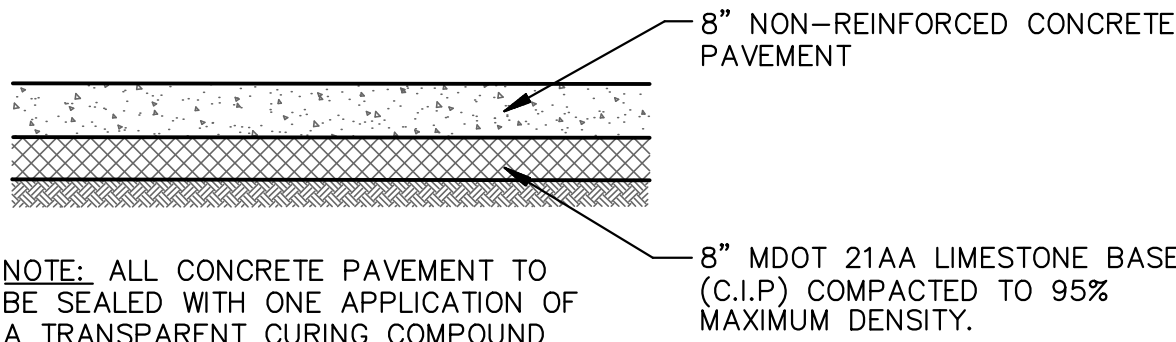
Annual inspection of system for sediment accumulation	\$350.00
Removal of sediment accumulation every two (2) years, as needed	\$600.00
Inspect for floatables and debris annually and after major storms	\$300.00
Removal of floatables and debris annually and after major storms	\$600.00
Inspect system for erosion annually and after major storms	\$300.00
Re-establish permanent vegetation on eroded slopes, as needed	\$200.00
Clean drives semiannually	\$250.00
<b>Total Annual Budget</b>	<b>\$2,600.00</b>

### PERMANENT MAINTENANCE TASKS AND SCHEDULE

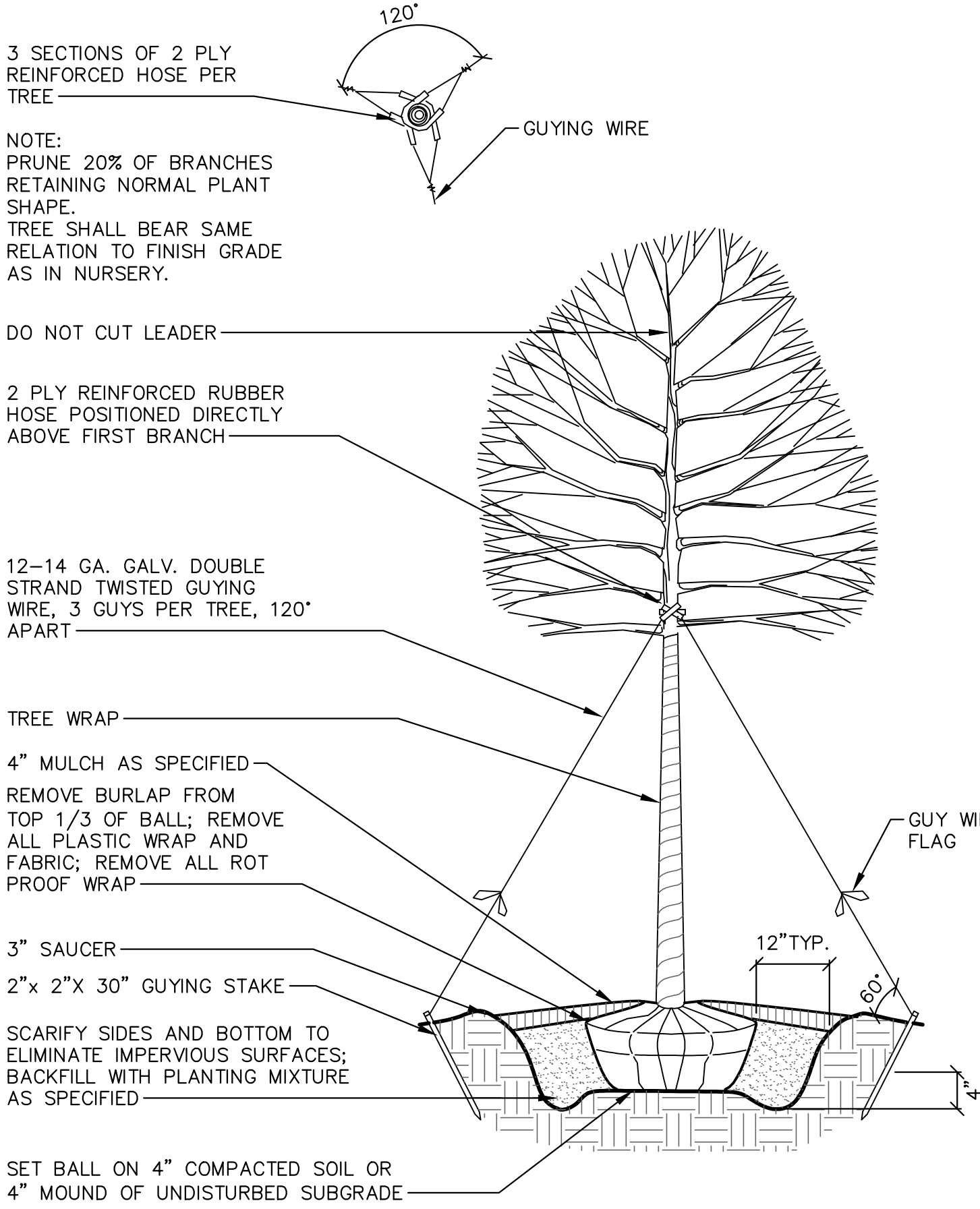
	Components					
	Drives and Walks	Storm Sewer System	Catch Basin Sumps	Catch Basin Inlet Castings	Detention Chambers	Schedule
Inspect for sediment accumulation	X					
Removal of sediment accumulation		X	X		X	annually every 2 years, as needed
Inspect for floatables and debris		X	X	X	X	annually
Cleaning of floatables and debris		X	X	X	X	annually
Clean streets	X					semi-annually



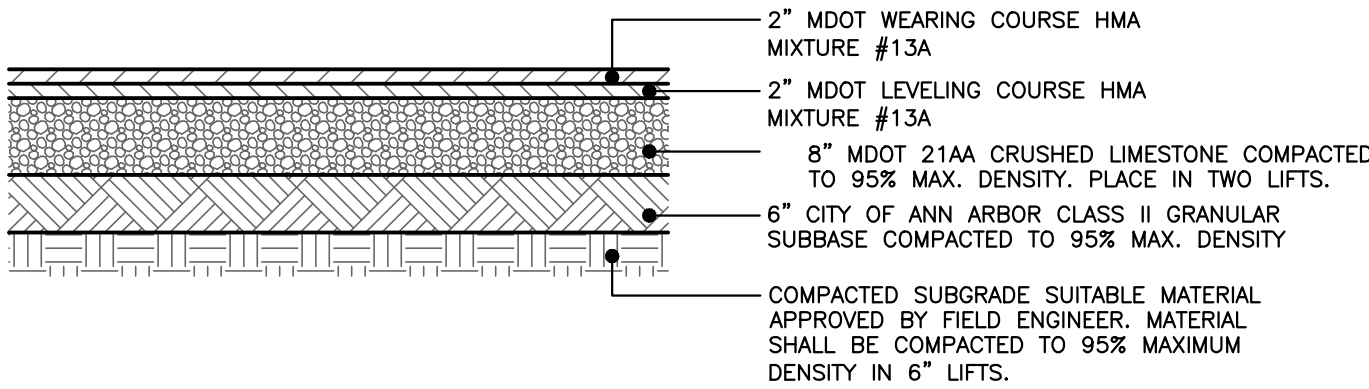
**CONCRETE WALK DETAIL**  
NO SCALE



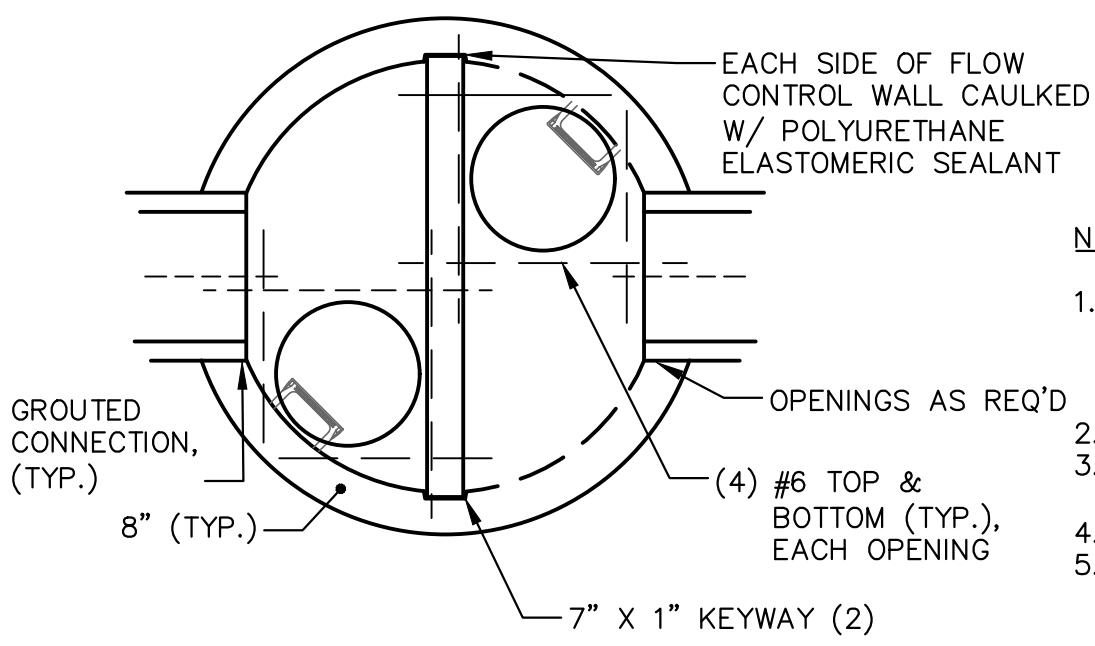
**PROP. HEAVY DUTY CONCRETE DETAIL**  
NOT TO SCALE



**DECIDUOUS TREE - PLANTING DETAIL**  
SCALE : NTS

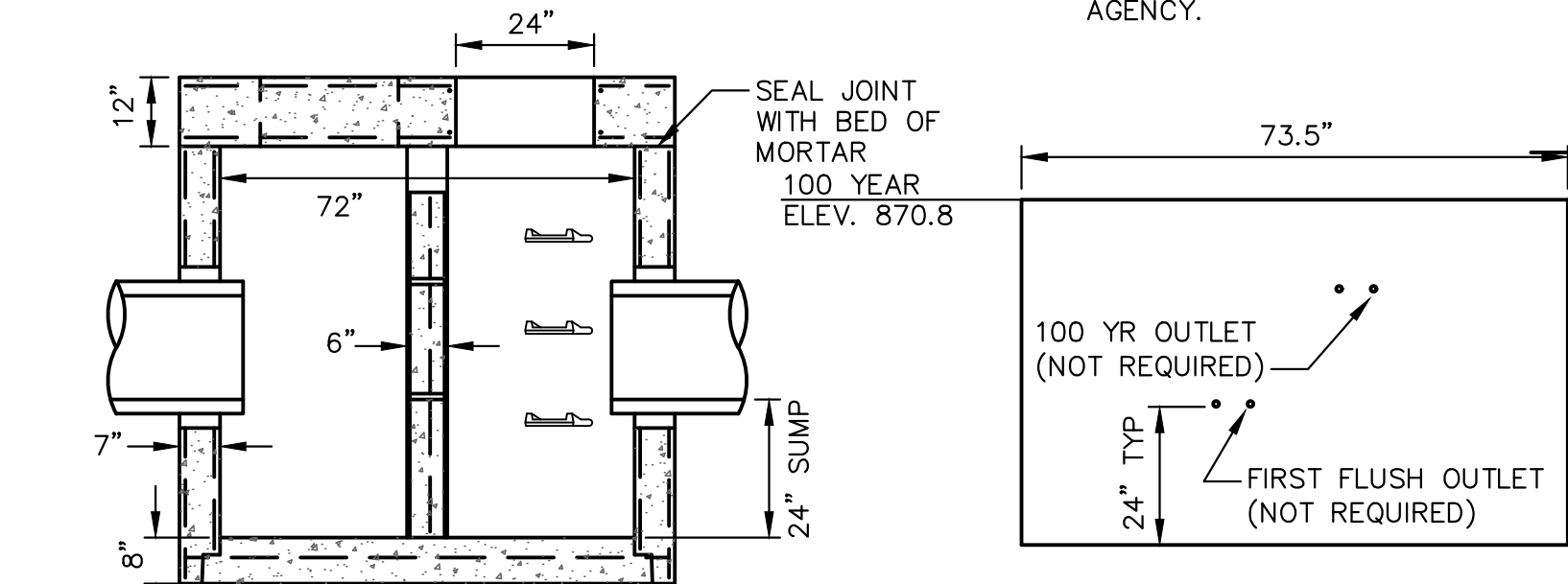


**ONSITE BITUMINUOUS PAVEMENT SECTION**  
BITUMINUOUS REPAIR IN THE ROW SHALL MATCH EXIST. SECTION  
NOT TO SCALE



### NOTES:

- MANHOLE SECTIONS TO BE MANUFACTURED TO ASTM C-478 SPECIFICATIONS AND IN ACCORDANCE WITH NORTHERN CONCRETE PIPE, INC. (800-222-9918).
- REINFORCING SHOWN FOR SCHEMATIC ONLY. CONTRACTOR TO SEAL BETWEEN PRECAST WALL & BASE W/BUTYL ROPE.
- INLET & OUTLET PIPES SIZE VARIES.
- NUMBER, SIZE AND ELEVATION OF HOLES IN THE FLOW RESTRICTOR WALL SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY.



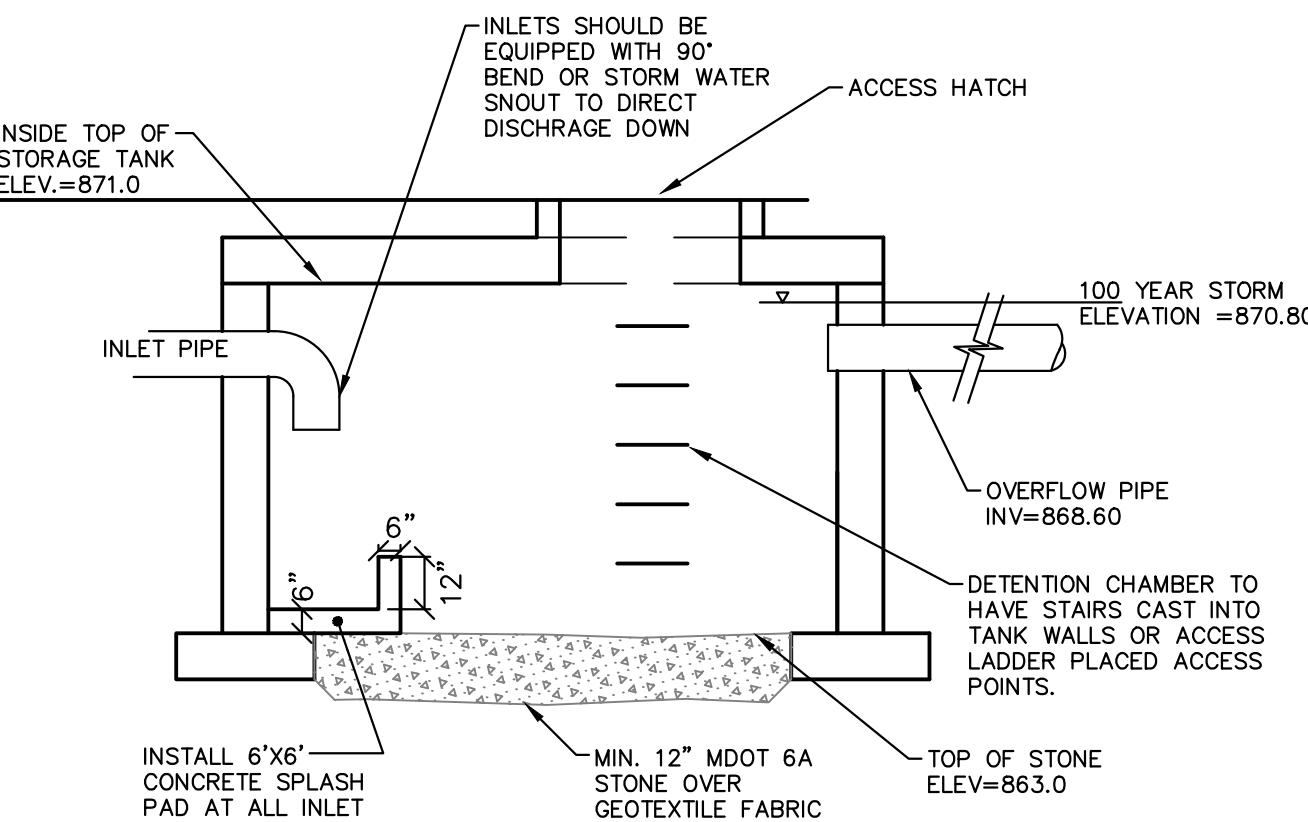
**PRECAST OUTLET CONTROL STRUCTURE OVERFLOW**  
NOT TO SCALE

## LANDSCAPE NOTES

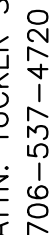
- For any plant quantity discrepancies between the plan view and the plant schedules, the plant schedule shall take precedence.
- Plant materials shall be selected and installed in accordance with standards established by the City of Ann Arbor.
- In-ground automatic irrigation shall be provided for all landscaped planting or water outlets shall be provided within 150 feet of all required plantings.
- All diseased, damaged or dead material shown on the site plan as proposed plantings shall be replaced by the end of the following growing season.
- Restore disturbed areas with a minimum of four (4) inches of topsoil and then seed/ fertilize/mulch.
- All disturbed areas not to be seeded with seed mixes identified on the Landscape Plan shall be lawn areas. Fertilizer for the initial installation of lawns shall provide not less than one (1) pound of actual nitrogen per 1,000 sq ft of lawn area and shall contain not less than two percent (2%) potassium and four percent (4%) phosphoric acid.  
Lawn (turfgrass) seed mix shall consist of:
  - 15% Rugby Kentucky Bluegrass
  - 10% Park Kentucky Bluegrass
  - 40% Ruby Creeping Red Fescue
  - 15% Penntine Perennial Ryegrass
  - 20% Scaldis Hard FescueSeed shall be applied at a rate of five pounds (5 lbs) per 1000 sq ft. Mulch within 24 hours with two (2) tons of straw per acre, or 71 bales of excelsior mulch per acre. Anchor straw mulch with spray coating of adhesive material applied at the rate of 150 gals. / acre.
- After the first growing season, only fertilizers that contain NO phosphorus shall be used on the site.
- All seeded areas with slopes less than 1:3 (one vertical foot for every 3 horizontal feet) shall be mulched with straw mulch at the rate of two (2) bales per 1,000 square feet. All seeded areas with slopes greater than 1:3 shall be seeded and biodegradable erosion control blanket North American Green SC150, or equivalent, shall be applied with biodegradable stakes.
- Deciduous plants shall be planted between March 1 and May 15 and from October 1 until the prepared soil becomes frozen. Evergreen plants shall be planted between March 1 and June 1 and from August 15 to September 15.
- All planting beds are to receive four (4) inches of shredded hardwood bark mulch.
- All trees to be located a minimum of 10 feet from public utilities.
- All single trunk, deciduous trees shall have a straight and a symmetrical crown with a central leader. One sided trees or those with thin or open crowns shall not be accepted.
- All evergreen trees shall be branched fully to the ground, symmetrical in shape and have not been sheared in the last three (3) growing seasons.
- All compacted subgrade soils in proposed landscape areas shall be tilled to a minimum 12-inch depth prior to placement of topsoil, geotextile fabric, or other planting media as specified.
- Proposed trees will be planted a minimum of 15 feet apart.
  - Planting Soil: Existing, in-place or stockpiled topsoil. Supplement with imported topsoil as needed. Verify suitability of existing surface soil to produce viable planting soil. Final approval of soil composition shall be provided by the landscape contractor. Remove stones, roots, plants, sod, clods, clay lumps, pockets of coarse sand, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous materials harmful to plant growth. Mix surface soil with the following soil amendments to produce planting soil:
    - a. Ratio of Loose Compost to Topsoil by Volume: 1:4.
    - b. Weight of Lime per 1000 Sq. Ft.: Amend with lime only on recommendation of soil test to adjust soil pH.
    - c. Weight of Sulfur or Aluminum Sulfate per 1,000 Sq. Ft.: Amend with sulfur or aluminum sulfate only on recommendation of soil test to adjust soil pH.
    - d. Volume of Sand: Amend with sand only on recommendation of Landscape Architect to adjust soil texture.
    - e. Weight of Slow-Release Fertilizer per 1,000 Sq. Ft.: Amend with fertilizer only on recommendation of soil test to adjust soil fertility.
- Snow storage areas are located along the edges and corners of parking areas as shown on the plan.
- During the establishment period for the installed deciduous mitigation trees (1-2 years as to be determined by certified arborist):
  - a. The trunk of young trees shall be wrapped in late autumn and wrap shall be removed in early spring
  - b. Burlap screening or wrapping shall be installed on the southwest and windward sides from late autumn to early spring.
  - c. Trees shall be watered in spring and autumn and during dry conditions at a frequency determined by certified arborist.
  - d. Mulching around trees shall be maintained at a depth of 2 to 3 inches.
- All landscaping or other screening material within a sight triangle shall be no greater than 30 inches tall, and all trees within a sight triangle shall have all branches trimmed to provide clear vision for a vertical height of 8 feet above the roadway surface. Evergreen trees shall not be permitted within sight triangles.
- All species deviations must be approved in writing by the City of Ann Arbor prior to installation.
- The City of Ann Arbor has adopted an ordinance limiting phosphorus in fertilizer. To assist in compliance with the State mandated TMDL for phosphorus within the Middle Huron River basin. Applications of fertilizer beyond the initial topsoil and seeding shall be a fertilizer with no phosphorus.

### Maintenance:

- Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring planting saucers, adjusting and repairing tree-stabilization devices, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrubs free of insects and disease.
- Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of subsidence.
- Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use integrated pest management practices whenever possible to minimize the use of pesticides and reduce hazards. Treatments include physical controls such as hosing off foliage, mechanical controls such as traps, and biological control agents.
- Contractor shall warranty all plant material and trees to remain alive and be in healthy, vigorous and like new condition for the specified period from installation to Substantial Completion. The entire Landscaping Project, including but not limited to: plants (perennials), trees, shrubs, mulches, shrubs, etc. are to be under Warranty for One Year after Substantial Completion date of the Project. At the end of the specified One Year Warranty period the Owner's Representative will inspect plant material for compliance. Contractor shall replace in accordance with the drawings and specifications, all plants, trees, shrubs, etc. or as determined by the Owner's Representative, are in an unhealthy or unsightly condition. Warranty shall not include damage or loss of plants, trees, and shrubs caused by fires, floods, freezing rains, lightning storms, or winds over 75 miles per hour, acts of vandalism or negligence on the part of the owner, or any other incident beyond landscape contractor's control.
- Watering: The contractor shall keep seed moist for optimum plant growth (1" of total water per week, including rainfall) until the grass and/or flowers are four (4) inches high typical.
- Protection from traffic and erosion in newly seeded areas is the responsibility of the contractor. Safety fences and/or silt fence with appropriate signage may be used at the contractor's expense until the grasses and flowers are fully established.
- Erosion shall be repaired by the contractor.
- Turf installations shall meet the following criteria as determined by Owner:
  - a. Satisfactory Seeded Turf: At end of maintenance period, a healthy, uniform, close stand of grass has been established, free of weeds and surface irregularities, with coverage exceeding 90 percent over any 10 sq. ft. and bare spots not exceeding 5 by 5 inches.
  - b. Satisfactory Sodded Turf: At end of maintenance period, a healthy, well-rooted, even-colored, viable turf has been established, free of weeds, open joints, bare areas, and surface irregularities.
  - c. Use specified materials to reestablish turf that does not comply with requirements and continue maintenance until turf is satisfactory.

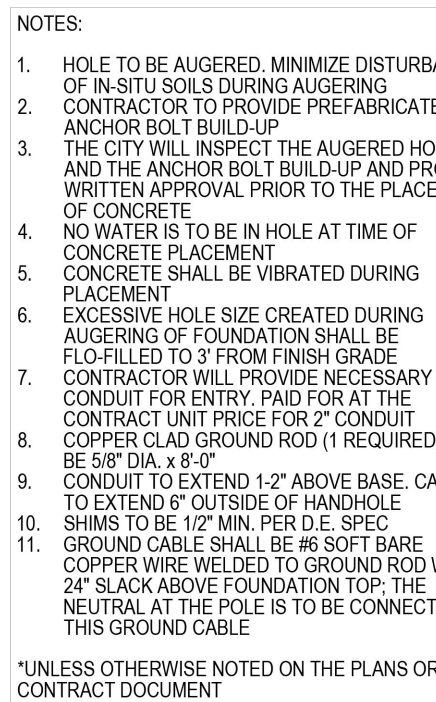
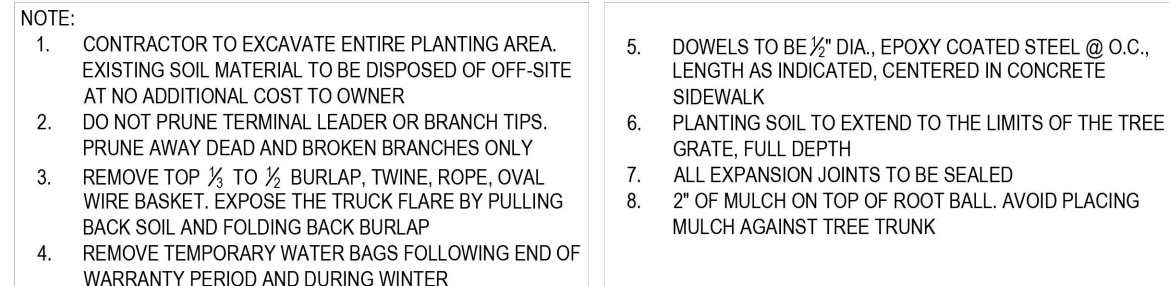
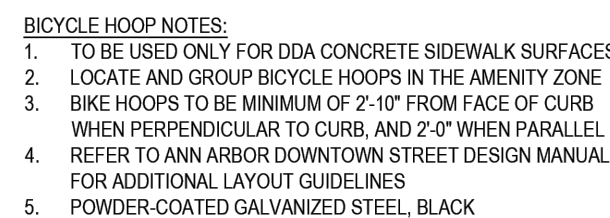
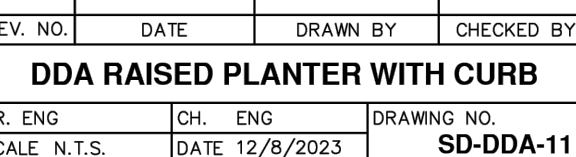
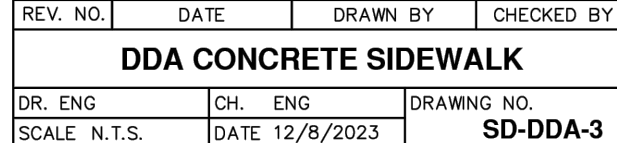
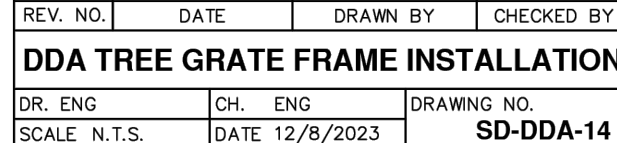


**DETENTION CHAMBER AND OUTLET DETAIL**  
NOT TO SCALE





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MA:\Civi\134\_P\01\2023\33047\Site\ep an\33047D02.dwg, 5/30/2025 1:28 PM, Jim Ahnert, DDA STANDARD DETAILS (2), MCLLC PDF, p-3  
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BASE LINE

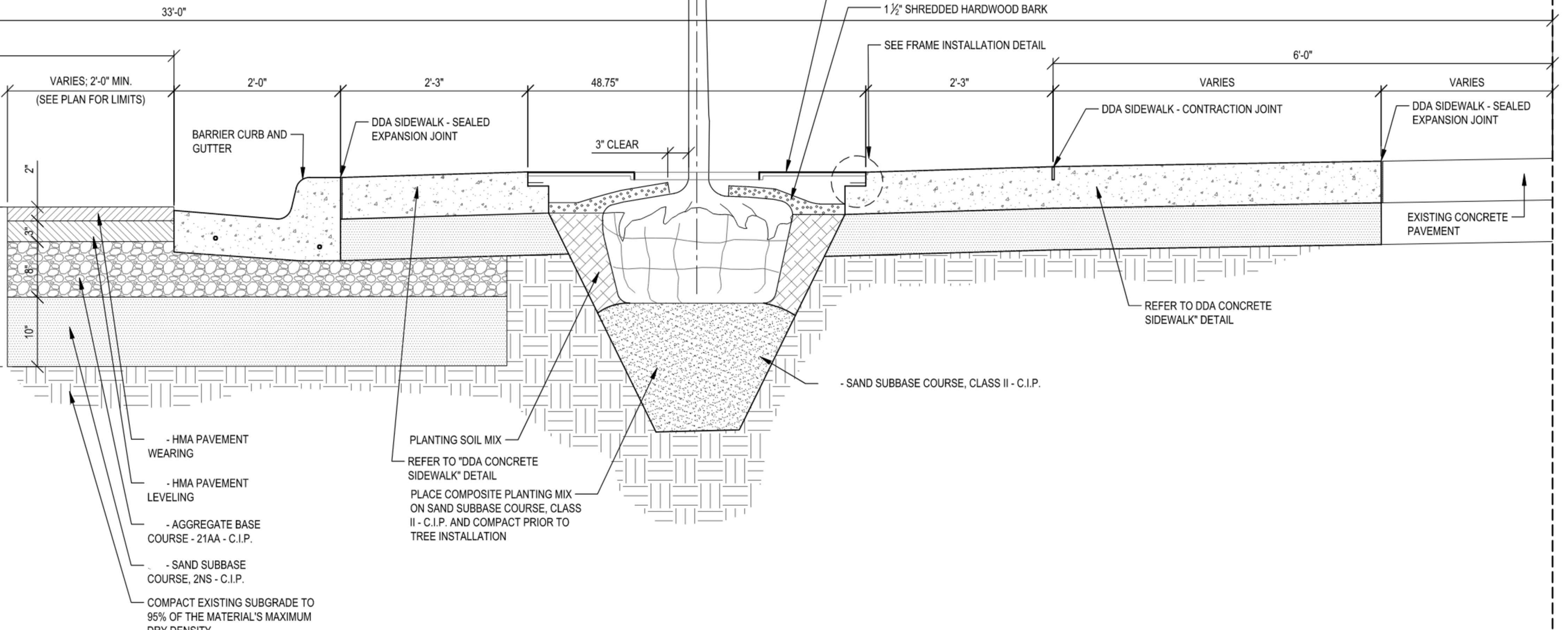
NOTES:

1. CONTRACTOR TO EXCAVATE ENTIRE PLANTING AREA. EXISTING SOIL MATERIAL TO BE DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO OWNER.
2. DO NOT PRUNE TERMINAL LEADER OR BRANCH TIPS. PRUNE AWAY DEAD AND BROKEN BRANCHES ONLY.
3. REMOVE TOP  $\frac{1}{4}$  TO  $\frac{1}{2}$  BURLAP, TWINE, ROPE, OVAL WIRE BASKET.
4. REMOVE TEMPORARY WATER BAGS FOLLOWING END OF WARRANTY PERIOD AND DURING WINTER.
5. INSTALL TREE GRATE AND FRAME PER MANUFACTURER'S RECOMMENDATIONS.

1 TYPICAL STREETSCAPE SECTION - CONCRETE BAND ADJACENT TO TREE GRATE

- HMA PAVEMENT WEARING
- HMA PAVEMENT LEVELING
- AGGREGATE BASE COURSE - 21AA - C.I.P.
- SAND SUBBASE COURSE, 2NS - C.I.P.
- COMPACT EXISTING SUBGRADE TO 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY.
- PLANTING SOIL MIX
- REFER TO "DDA CONCRETE SIDEWALK" DETAIL
- PLACE COMPOSITE PLANTING MIX ON SAND SUBBASE COURSE, CLASS II - C.I.P. AND COMPACT PRIOR TO TREE INSTALLATION

FULL DEPTH HMA REPLACEMENT DEPTHS VERIFIED IN FIELD

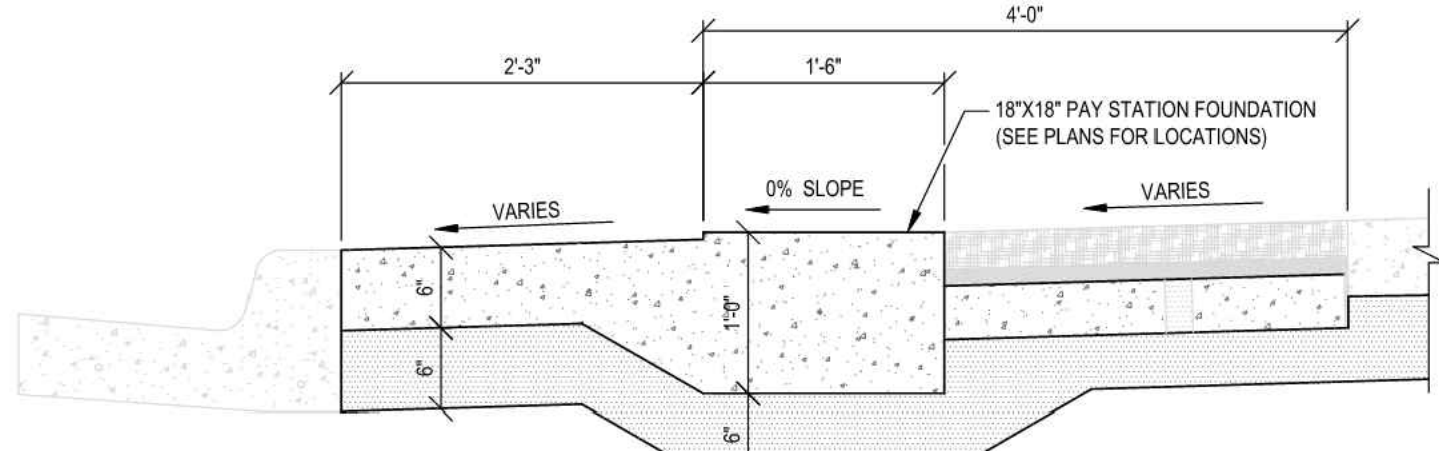


11 PARKING PAY STATION FOUNDATION

NOTES:

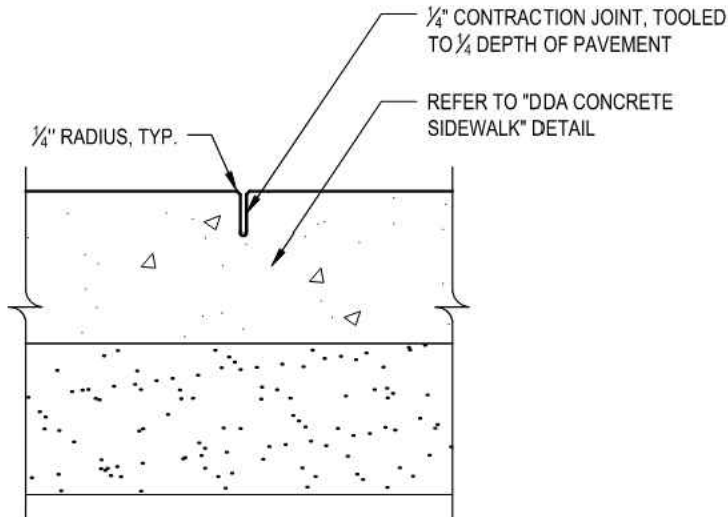
1. THICKENED PAVEMENT AS ILLUSTRATED HERE IS CONSIDERED INCIDENTAL, AND SHALL NOT BE PAID FOR SEPARATELY.

SECTION



7 DDA SIDEWALK - CONTRACTION JOINT

TOOLED CONTRACTION JOINT

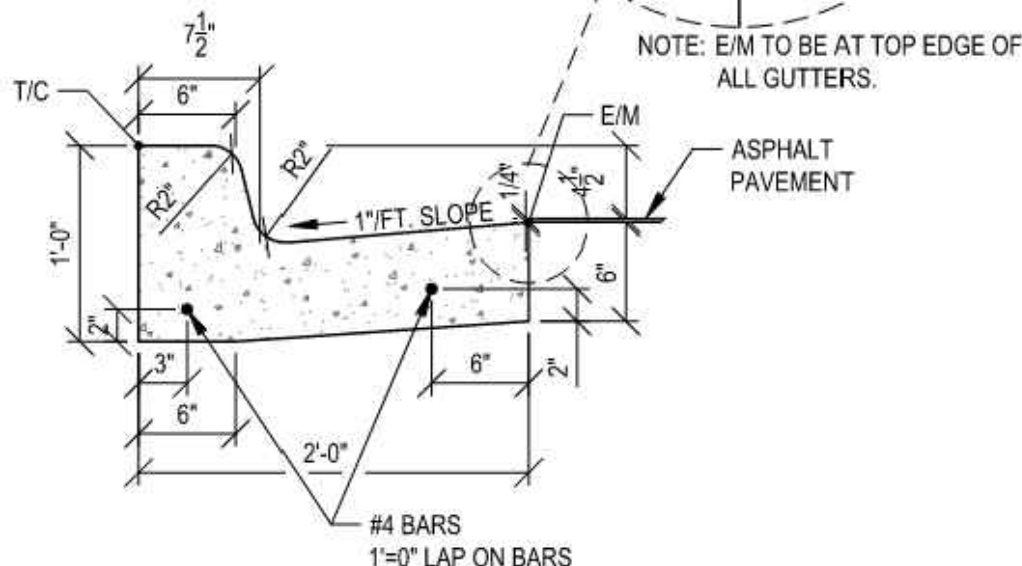


NOTE:

1. TOOLED CONTRACTION TO HAVE  $\frac{1}{2}$ \"/>

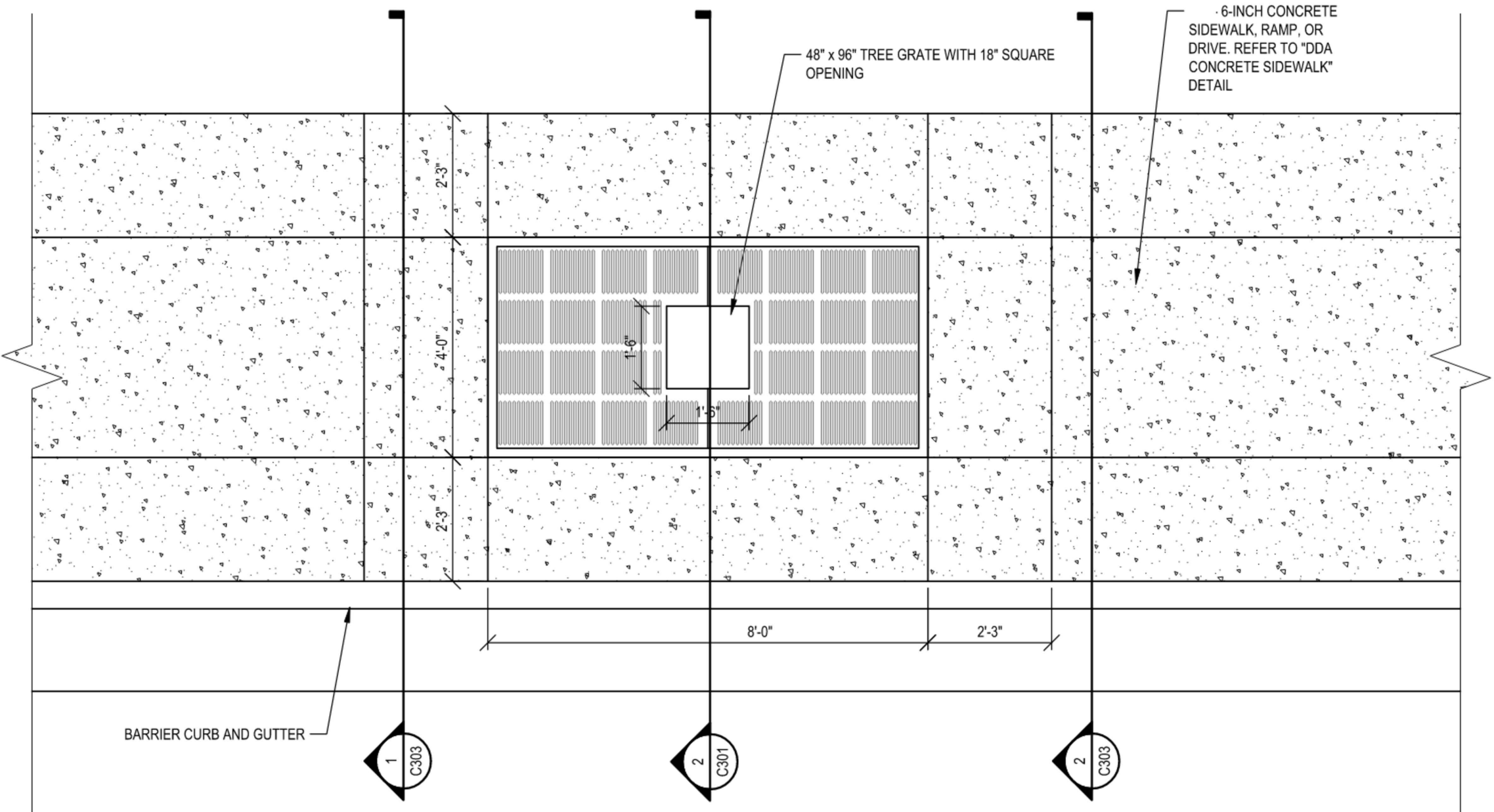
1 BARRIER CURB AND GUTTER

SCALE: 1\"/>

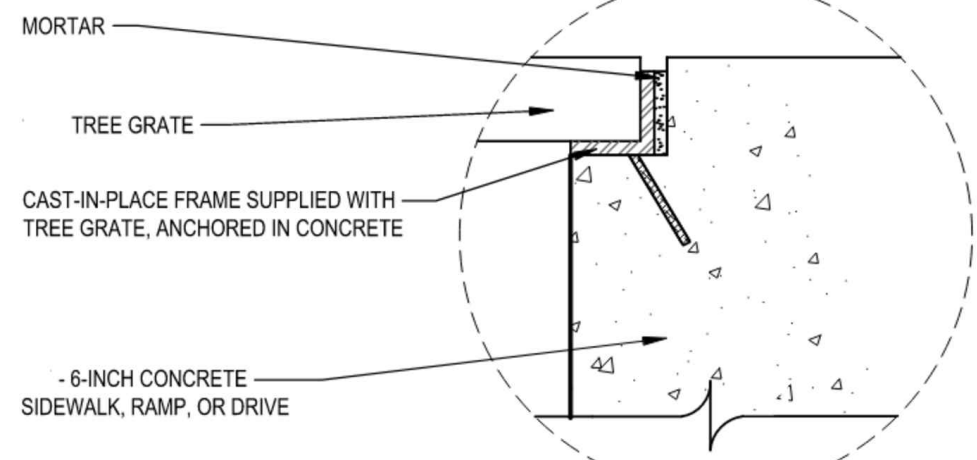


ALL BARRIER CURB AND GUTTER TO HAVE 6\"/>

1 TYPICAL TREE GRATE SECTION



FRAME INSTALLATION DETAIL



The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

JOB No. 23047

REVISIONS:

PER CITY REVIEW

REVISED SITE PLAN

PER CITY REVIEW

DATE: SHEET 13 OF 15

REV. DATE

12/17/24

CADD: JAV

ENG: JCA

12/17/24

ENG: JCA

PM: SWB

TECH: JCA

12/17/24

PER CITY REVIEW

REVISED SITE PLAN

PER CITY REVIEW

ANN ARBOR - GALLERIA

SITE PLAN FOR PLANNING COMMISSION

DDA STANDARD DETAILS

CLIENT

LMP GALLERIA PROPERTY OWNER, LLC

315 O'CONNOR STREET

ATHENS, GA 30601

ATTN: TUCKER SNIPES

706-537-4720

MIDWESTERN

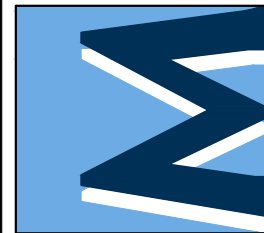
CONSULTING

3845 Plaza Drive Ann Arbor, Michigan 48108

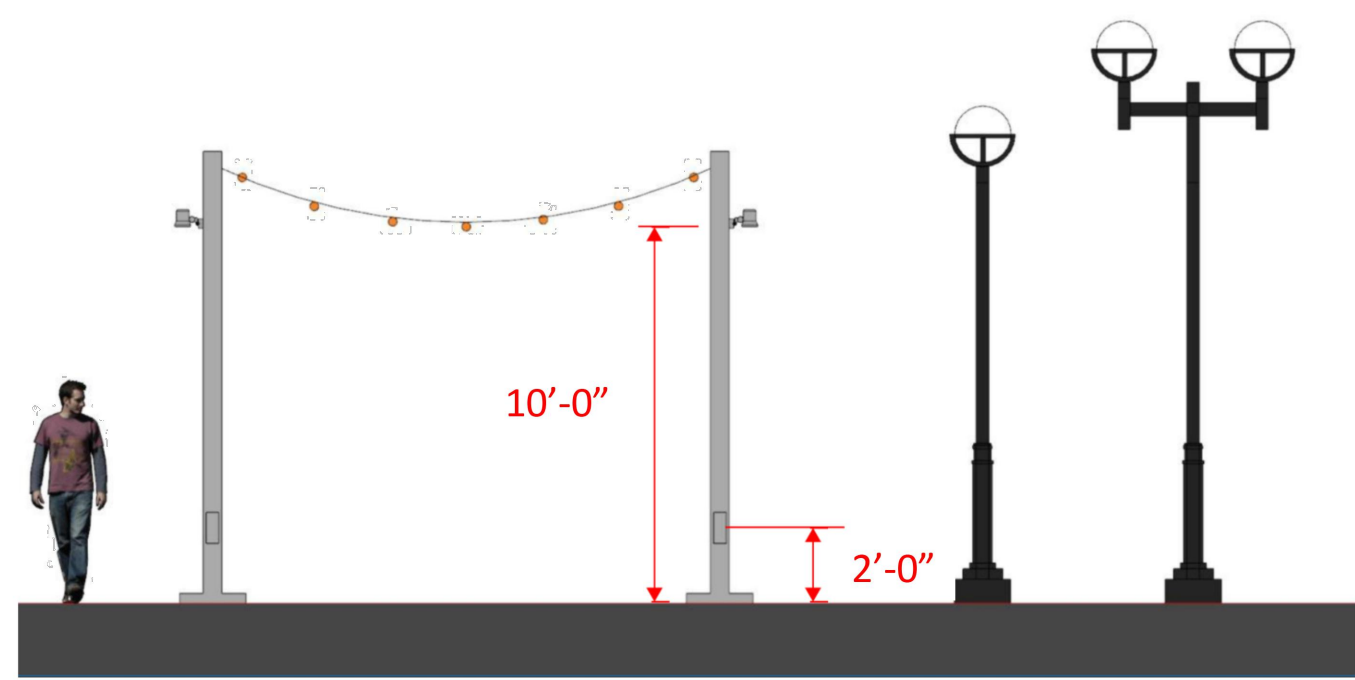
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Land Development • Land Survey • Institutional • Municipal

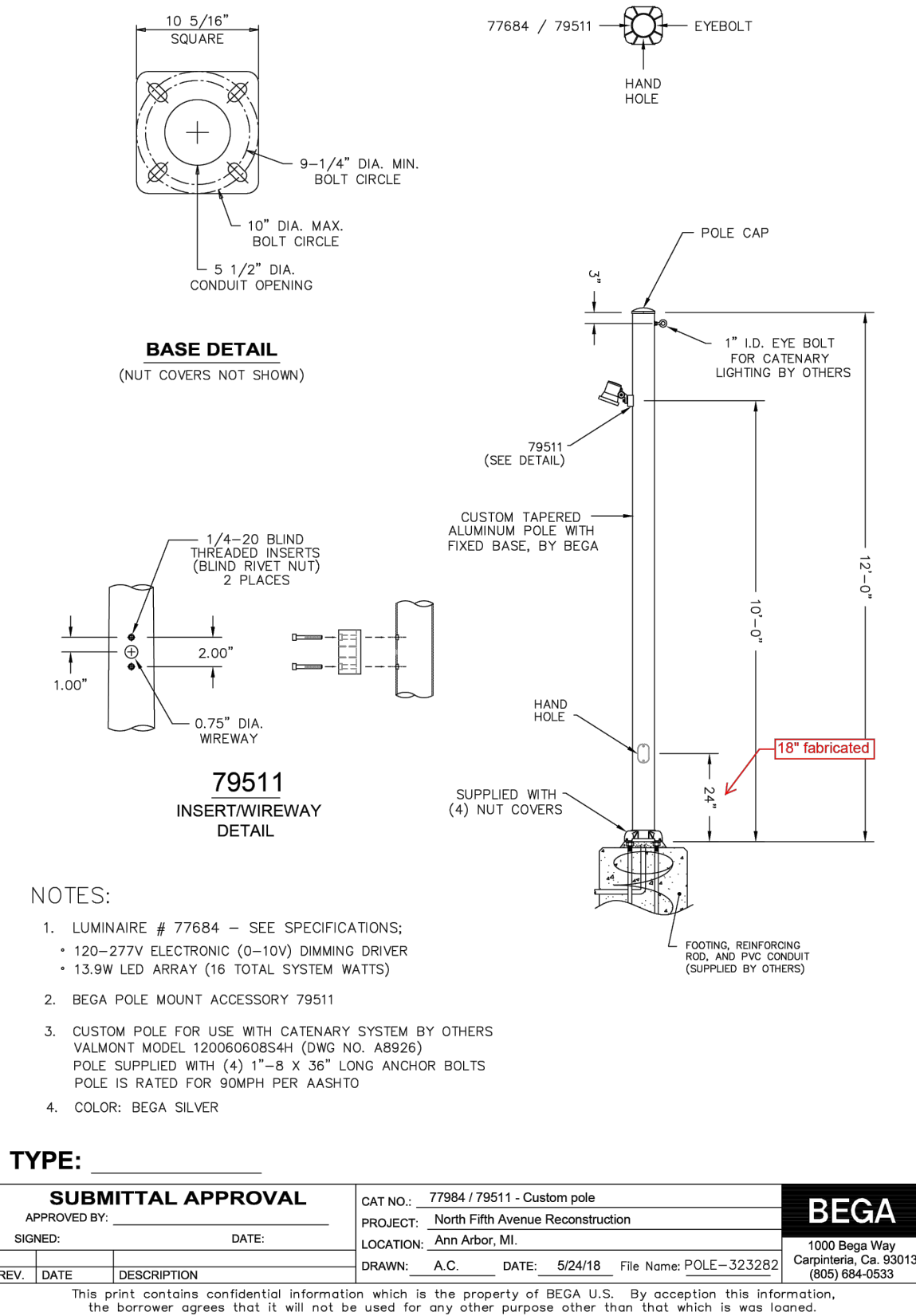
Wireless Communications • Transportation • Landfill Services



\\civ\134\_P\01\2023\35047\514p\en\3507D002.dwg, 5/30/2025 1:28 PM, Jim Ahnert, DDA STANDARD DETAILS (3) - MCLLC PDF -p-3  
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SMITHGROUPJJR  
ALTERNATE LIGHT POLE FOR PLAZA AREA  
NOT TO SCALE



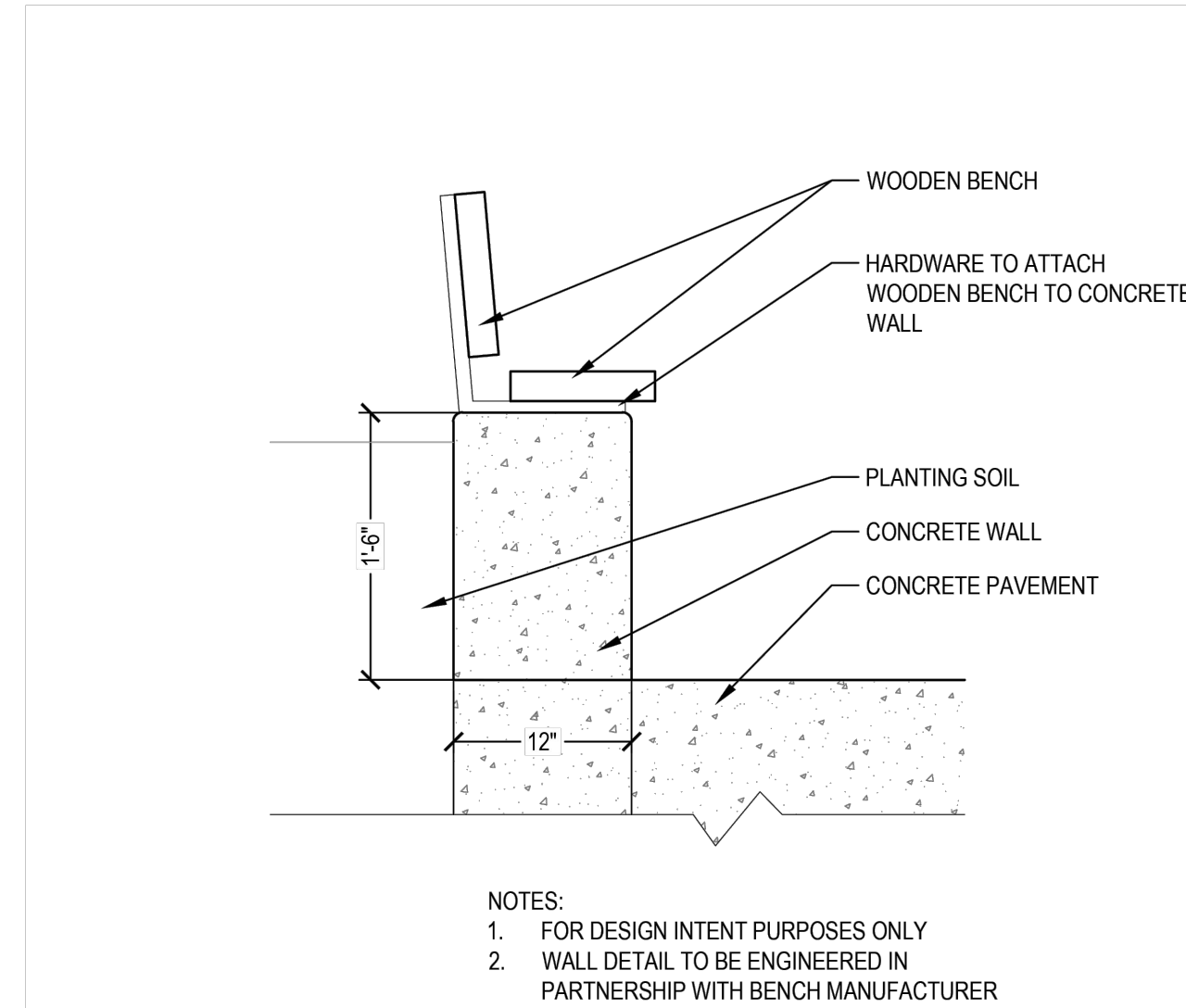
- NOTES:
- LUMINAIRE # 77684 - SEE SPECIFICATIONS.
    - 120-277V ELECTRONIC (0-10V) DIMMING DRIVER
    - 13.9W LED ARRAY (16 TOTAL SYSTEM WATTS)
  - BEGA POLE MOUNT ACCESSORY 79511
  - CUSTOM POLE FOR USE WITH CATENARY SYSTEM BY OTHERS VALMONT MODEL 1200608054H (DWG NO. A8926) POLE SUPPLIED WITH (4) 1"-8 X 3/8" LONG ANCHOR BOLTS POLE IS RATED FOR 50MPH PER AASHTO
  - COLOR: BEGA SILVER

TYPE:

SUBMITTAL APPROVAL		CAT NO.: 77684 / 79511 - Custom pole	BEGA
APPROVED BY:	DATE:	PROJECT: North Fth Avenue Reconstruction	
SIGNED:	DATE:	LOCATION: Ann Arbor, MI	
REV:	DATE:	DRAWN: A.C. DATE: 5/24/18 File Name: POLE-323282	

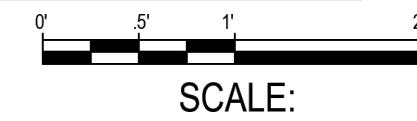
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## Schematic Design - Bench



- NOTES:
- FOR DESIGN INTENT PURPOSES ONLY
  - WALL DETAIL TO BE ENGINEERED IN PARTNERSHIP WITH BENCH MANUFACTURER

## PLANTER SEAT WALL FOR PLAZA AREA



Submitted by Michigan Lighting Systems West

**Job Name:** Ann Arbor South State Street Reconstruction

**Catalog Number:** AS-ZOZO-RND-24'-27K-GSF-DM-WET-135-AS-ZOZO-PP-AS-ZOZO-EC-AS-ZOZO-AC-18-150'

**Type:** ML522-110554

**ALUZ**

**A5 Series | String / Festoon**  
ZOZO Round (AS-ZOZO-RND)

**TYPE**

**DESIGN GUIDELINES**  
Straight Run  
Swayed Run

**INSTALLATION RECOMMENDATIONS**  
Determine weight of string light that will be used.  
Determine length of string light and multiply by weight.  
An engineer must choose the proper aircraft cable to handle the tension, based on length and weight to prevent product from sagging.  
An engineer must determine the strength of the structure where the cable will attach, based on tension calculation from previous step.  
If installing on a pole, check with pole manufacturer to confirm the pole can handle the tension.  
String light is hung to the above aircraft cable using the hooks. Secure hooks to aircraft cable by crimping or using stainless steel tie wraps.  
The supplied aircraft cable is designed to prevent strain on the wire.  
An additional aircraft cable is required to hang string light.

**WEIGHT PER FOOT**

Series	Spacing Selection	Approximate Weight
ZOZO Round Canopy (AS-ZOZO-RND)	12' on Center (12')	0.50 lbs per foot
	18' on Center (18')	0.37 lbs per foot
	24' on Center (24')	0.31 lbs per foot
	36' on Center (36')	0.24 lbs per foot
	48' on Center (48')	0.21 lbs per foot
60' on Center (60')	0.18 lbs per foot	

1170 North Red Gum Street, Anaheim, CA 92806

aluz.lighting ES info@aluz.lighting 866.ALUZ.LTG | 714.535.7900

Specification Submittal Page 1 of 4 3 / 11 / 2022 / Rev 6

Submitted by Michigan Lighting Systems West

**Job Name:** Ann Arbor South State Street Reconstruction

**Catalog Number:** AS-ZOZO-RND-24'-27K-GSF-DM-WET-135-AS-ZOZO-PP-AS-ZOZO-EC-AS-ZOZO-AC-18-150'

**Type:** ML522-110554

**ALUZ**

**A5 Series | String / Festoon**  
ZOZO Round (AS-ZOZO-RND)

**TYPE**

**LAMP OPTIONS**

Lamp Name & Product Code	G-Shape Lamp (GSFL)	G-Shape Filament Lamp (GSFL)	S-Shape Lamp (SSFL)	S-Shape Clear Lamp (SSCL)
Lamp Type	Standard LED	Filament LED	Standard LED	Standard LED
Material	Polymer Plastic	Glass	Polymer Plastic	Polymer Plastic
Lamp Life	20,000 hrs.	20,000 hrs.	20,000 hrs.	20,000 hrs.
Lumens	42	256	42	42
Beam Angle	360°	360°	360°	360°
Appearance	Frosted	Clear	Frosted	Clear, Textured
CCT & Colors	27K, 50K, R, G, B, A	24K, 27K, 30K, 50K	27K, 50K, OR	27K, 50K, R, G, B, A
Lamp Watts	1W	3W	1W	1W

**SPECIFY PRODUCT CODE | CHOOSE FROM DROP DOWNS**

Series	Spacing	Lamp	Dimming	Listing	Canopy Finish Inside	Canopy Finish Outside	Luminaire Length
AS-ZOZO-RND	12' on Center (12')	2700K, G-Shape (27K-GSF)	Forward Phase (DM)	Indoor (DRY)	Natural Silver (NA)	Natural Silver (NA)	Specify Length in Feet Example: 100'
		5000K, G-Shape (50K-GSF)	Leave Blank for Non-Dimming	Outdoor (WET)	Polished (PA)	Polished (PA)	
	18' on Center (18')	Red, G-Shape (R-GSF)			White (WH)	Black (BK)	
		Green, G-Shape (G-GSF)			Black (BK)	Black (BK)	
	24' on Center (24')	Blue, G-Shape (B-GSF)			Green (GN)	Bronze (BR)	
		Amber, G-Shape (A-GSF)			Silver (SR)	Silver (SR)	
	36' on Center (36')	2700K, G-Shape Filament (27K-GSFL)			Red (RD)	Red (RD)	
		5000K, G-Shape Filament (50K-GSFL)					
	48' on Center (48')	2700K, S-Shape Frosted (27K-SSF)					
		5000K, S-Shape Frosted (50K-SSF)					
60' on Center (60')	2700K, S-Shape Clear (27K-SSC)						
	5000K, S-Shape Clear (50K-SSC)						
	Red, S-Shape Clear (R-SSC)						
	Green, S-Shape Clear (G-SSC)						
	Blue, S-Shape Clear (B-SSC)						
	Amber, S-Shape Clear (A-SSC)						

1170 North Red Gum Street, Anaheim, CA 92806

aluz.lighting ES info@aluz.lighting 866.ALUZ.LTG | 714.535.7900

Specification Submittal Page 2 of 4 3 / 11 / 2022 / Rev 6

Submitted by Michigan Lighting Systems West

**Job Name:** Ann Arbor South State Street Reconstruction

**Catalog Number:** AS-ZOZO-RND-24'-27K-GSF-DM-WET-135-AS-ZOZO-PP-AS-ZOZO-EC-AS-ZOZO-AC-18-150'

**Type:** ML522-110554

**ALUZ**

**A5 Series | String / Festoon**  
ZOZO Round (AS-ZOZO-RND)

**TYPE**

**ACCESSORIES (Sold Separately)**

Vinyl Plastic End Cap  
7-1/2" Diameter (AS-ZOZO-EC)

120V Power Plug  
Rubber Casing (AS-ZOZO-PP)

**MOUNTING OPTIONS (Sold Separately - Click image to see cut sheet, if applicable)**

Mounting Plate  
Stainless Steel (AS-ZOZO-MP)

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Specification Submittal Page 3 of 4 3 / 11 / 2022 / Rev 6

Submitted by Michigan Lighting Systems West

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Specification Submittal Page 4 of 4 3 / 11 / 2022 / Rev 6

## STRING LIGHTS FOR PLAZA AREA

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

## ANN ARBOR - GALLERIA

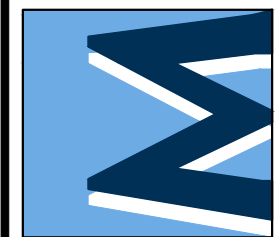
SITE PLAN FOR PLANNING COMMISSION  
DDA STANDARD DETAILS

14

JOB No.	23047	DATE:	14 OF 15
REVISIONS:		REV. DATE:	
PER CITY REVIEW		3/07/25	
		CADD: JCA	
		ENG: JWB	
		PM: SWB	
		TECH: JCA/DAB	
		FILE	

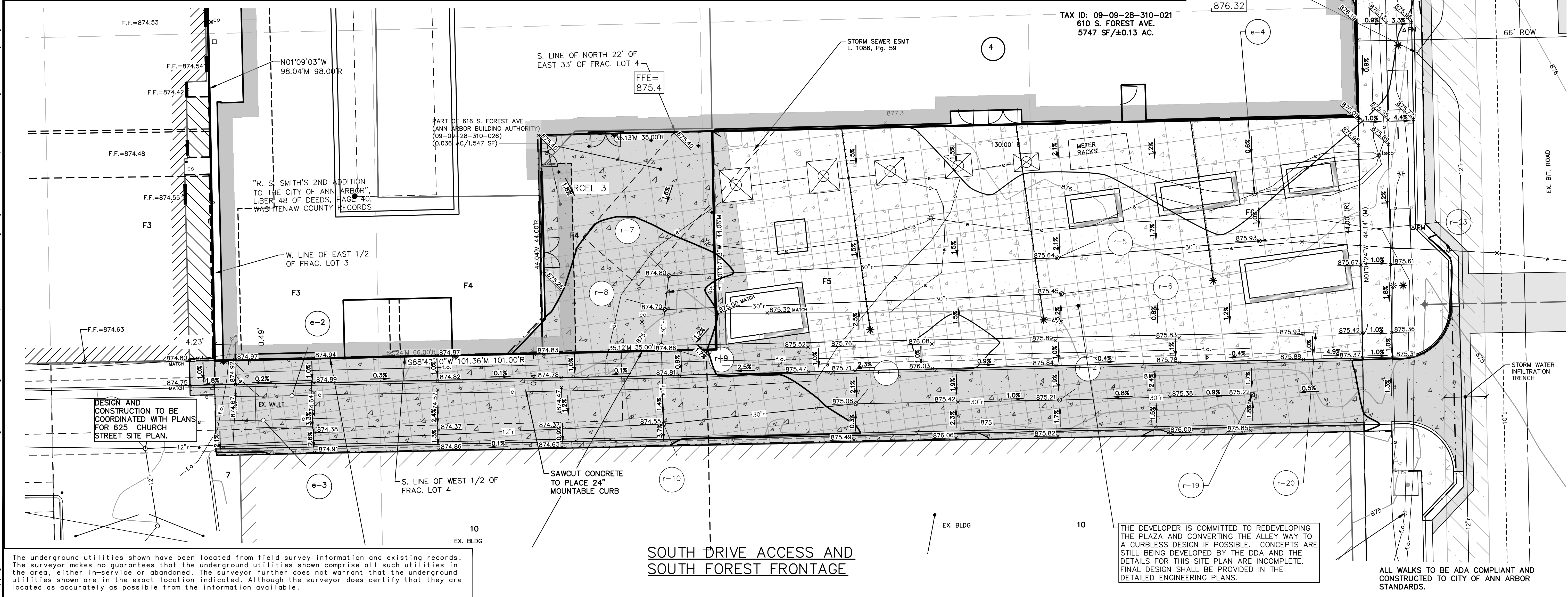
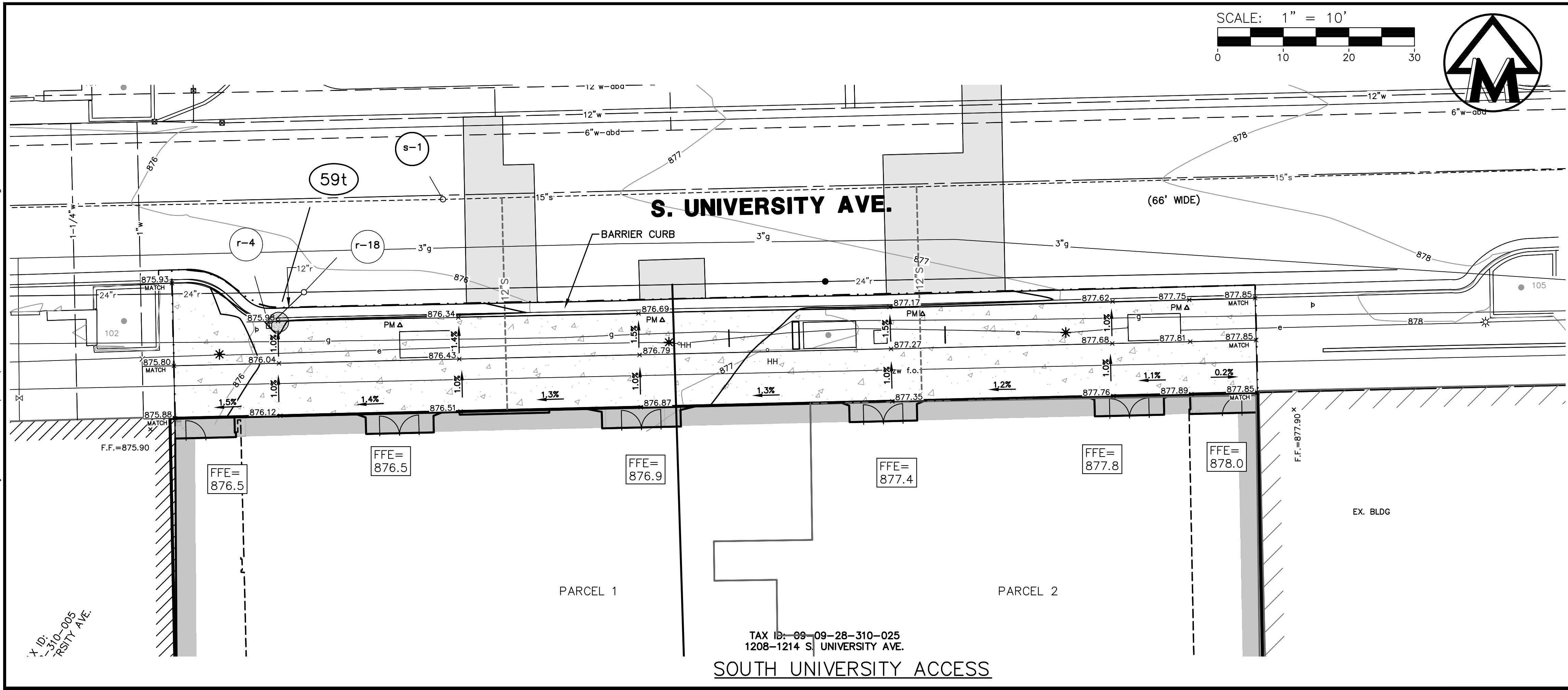
CLIENT  
LMP GALLERIA PROPERTY OWNER, LLC  
315 O'CONNOR STREET  
ATHENS, GA 30601  
ATTN: TUCKER SNIPES  
706-537-4702

MIDWESTERN CONSULTING  
3845 Plaza Drive Ann Arbor, Michigan 48108  
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\\Midwestern\3307\Siteplan\2023\3307\Siteplan\2023\3307\Siteplan.dwg, 5/30/2025 1:28 PM, Jim Ahern1, Sidewalk, MLLC PDF, p.3  
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THE DEVELOPER IS COMMITTED TO REDEVELOPING THE PLAZA AND CONVERTING THE ALLEY WAY TO A CURBLESS DESIGN IF POSSIBLE. CONCEPTS ARE STILL BEING DEVELOPED BY THE DDA AND THE DETAILS FOR THIS SITE PLAN ARE INCOMPLETE. FINAL DESIGN SHALL BE PROVIDED IN THE DETAILED ENGINEERING PLANS.

ALL WALKS TO BE ADA COMPLIANT AND CONSTRUCTED TO CITY OF ANN ARBOR STANDARDS.

JOB No. 23047

DATE: 5/23/24  
SHEET 15 OF 15

REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE
5/23/24	5/23/24	5/23/24	5/23/24	5/23/24
5/23/24	5/23/24	5/23/24	5/23/24	5/23/24
5/23/24	5/23/24	5/23/24	5/23/24	5/23/24
5/23/24	5/23/24	5/23/24	5/23/24	5/23/24

ANN ARBOR - GALLERIA  
SITE PLAN FOR PLANNING COMMISSION  
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