



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

# SOUTHTOWN BY 4M

## CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN SITE PLAN

### SITE SUMMARY NOTES

#### A. PETITION FOR SITE PLAN

REZONING IS REQUESTED FROM R4C TO C1A/R TO INCREASE THE DENSITY AND USE OF THE SITE. THE SOUTH AREA PLAN AS PART OF ANN ARBOR'S COMPREHENSIVE PLAN RECOMMENDS THE PARCELS ON STIMSON BE USED FOR RESIDENTIAL AND COMMERCIAL PURPOSES. BOTH R4C AND C1A/R INTEND TO BE CLOSE TO CAMPUS AND COMMERCIAL DISTRICTS. THE C1A AND C1A/R DISTRICTS HAVE THE LEAST DIMENSIONAL STANDARDS FOR MIXED USE ZONING IN THE UNIFIED DEVELOPMENT CODE. TO RESPOND TO THE CONTEXT OF THE SITE, ADDITIONAL CONDITIONS ARE PROPOSED INCLUDING A HEIGHT LIMIT OF 100', PARKING MAXIMUMS, BUILDING ELECTRIFICATION (NATURAL GAS LIMITATIONS) AND SHORT TERM RENTAL (STR) MAXIMUMS.

#### B. DEVELOPMENT PROGRAM

##### I. DESCRIPTION:

THE PROPOSED DEVELOPMENT WILL HAVE 216 RESIDENTIAL UNITS, REPLACING 38 EXISTING UNITS. THE UNITS WILL BE A MIX OF STUDIO, ONE, AND TWO BEDROOM. THE SITE HAS BEEN PLANNED TO UTILIZE THE ROOF OF THE GROUND FLOOR AS AN EXTENSION OF LANDSCAPING AND ACTIVE, OUTDOOR SPACE WITH EXTERIOR ACCESS THROUGH THE SOUTH, EAST, AND NORTH SIDEWALK CONNECTIONS OF THE SITE. ONE CURB CUT ON WHITE STREET WILL PROVIDE ENTRY TO THE GROUND FLOOR COVERED PARKING. ONE CURB CUT ON HENRY WILL PROVIDE AN AREA FOR SOLID WASTE PICKUP. ALL PARKING IS COVERED AND WITHIN THE INTERIOR OF THE GROUND FLOOR.

##### II. PROPOSED PHASING & PROBABLY CONSTRUCTION COSTS:

THE SITE IS TO BE DEVELOPED IN ONE PHASE, SCHEDULED TO BEGIN ONCE APPROVALS ARE SECURED. CONSTRUCTION COSTS ARE CURRENTLY ESTIMATED TO BE BETWEEN \$60-70 MILLION.

#### C. COMMUNITY ANALYSIS

##### I. IMPACT OF PROPOSED DEVELOPMENT ON AREA SCHOOLS:

THE PROPOSED SOUTHTOWN DEVELOPMENT WILL NOT IMPACT PUBLIC ELEMENTARY OR HIGH SCHOOLS.

##### II. RELATIONSHIP OF INTENDED USE TO NEIGHBORING USES:

THE PROPERTY TO THE NORTH OF THE SITE IS PUD FOR AFFORDABLE MULTI-FAMILY HOUSING. THE PROPERTY TO THE EAST OF THE SITE IS R4C AND R3 FOR MARKET RATE AND AFFORDABLE MULTI-FAMILY HOUSING. THE PROPERTY TO THE SOUTH OF THE SITE IS C3 SINGLE STORY COMMERCIAL RETAIL. THE PROPERTY TO THE WEST OF THE SITE IS PL PUBLIC LAND FOR THE UNIVERSITY OF MICHIGAN GOLF COURSE. THE MAJORITY OF THE SURROUNDING PROPERTY IS RESIDENTIAL NEIGHBORHOOD AND LOW DENSITY COMMERCIAL INCLUDING O OFFICE ZONING TO THE NORTH AND C3 COMMERCIAL FOR MUCH OF THE SOUTH AREA.

THE PROJECT WILL BE MARKETED PRIMARILY TO YOUNG PROFESSIONALS INTERESTED IN A CONVENIENT LOCATION TO DOWNTOWN ANN ARBOR AND THE UNIVERSITY OF MICHIGAN CAMPUS WITH MULTIMODAL TRANSPORTATION OPTIONS. THE PROPOSED DEVELOPMENT WILL NOT IMPACT PUBLIC SCHOOLS, AIR, OR WATER QUALITY, AND THERE ARE NO NATURAL FEATURES ON THE SITE. THERE ARE NO HISTORIC DISTRICTS, SITES, OR STRUCTURES NEAR OR ON THE SITE.

THE EXISTING BUILDINGS ARE PROPOSED TO BE REMOVED. THE PROPOSED DEVELOPMENT OF RESIDENTIAL AND COMMERCIAL WITH RETAIL AND OFFICE IS CONSISTENT WITH THE CURRENT USES IN THE NEIGHBORHOOD AND SURROUNDING AREA.

##### III. IMPACT OF ADJACENT USES ON THE PROPOSED DEVELOPMENT:

IMPACTS ARE LIMITED AS PROPOSED USES (OFFICE, RETAIL, DAYCARE AND RESIDENTIAL) ARE LIKE USES FOUND IN THE EXISTING NEIGHBORHOOD.

##### IV. IMPACT OF PROPOSED DEVELOPMENT ON AIR AND WATER QUALITY, AND ON THE EXISTING NATURAL FEATURES OF THE SITE AND NEIGHBORING SITES:

- THERE WILL BE NO NEGATIVE IMPACT TO AIR QUALITY.
- THE AREA THAT MAKES UP THIS PROJECT IS CURRENTLY DEVELOPED AND HAVE NO STORM WATER DETENTION FACILITIES. THE PROPOSED STORM WATER DETENTION SYSTEM IS DESIGNED TO PRE-TREAT, DETAIN, AND RELEASE THE RUNOFF AT A CONTROLLED RATE. WATER QUALITY CONTROLS WILL BE IMPLEMENTED TO ENSURE THAT RUNOFF DURING CONSTRUCTION IS CONTROLLED AND MANAGED.
- THE PROPOSED DEVELOPMENT REQUIRES THE REMOVAL OF LANDMARK TREES. ALTERNATIVE ANALYSIS WAS PERFORMED AND IS PROVIDED ON SHEET C-202.
- THERE ARE NO ENDANGERED SPECIES HABITATS, FLOODPLAINS, WATER COURSES, WETLANDS, STEEP SLOPES, OR WOODLANDS WITHIN THE PROJECT AREA. NO MITIGATION IS REQUIRED.

##### V. IMPACT OF THE PROPOSED USE ON HISTORIC SITES/STRUCTURES:

NO HISTORIC STRUCTURES EXIST ON-SITE. THE SITE ITSELF IS NOT HISTORIC.

##### VI. TRAFFIC STATEMENT:

THE PROPOSED SOUTHTOWN DEVELOPMENT (MULTI-FAMILY HOUSING [MID-RISE] PER ITE CODE 221) WILL INCLUDE 216 RESIDENTIAL UNITS.

- THE ESTIMATED TRIP GENERATION (PER ITE MANUAL) IS 1,137 TRIPS (WEEKDAY AVERAGE DAILY TRIPS)
- THE TOTAL AM PEAK HOUR = 98 (VPH)
- THE TOTAL PM PEAK HOUR = 97 (VPH)

##### VII. PUBLIC SIDEWALK MAINTENANCE STATEMENT

THE PROPOSED PUBLIC SIDEWALK ALONG S. STATE STREET, HENRY STREET, WHITE STREET AND STIMSON STREET SHALL BE KEPT & MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO & ABUTTING THE SAME SIDEWALK.

##### VIII. NATURAL FEATURES GENERAL DESCRIPTION AND IMPACTS:

IN ACCORDANCE WITH THE CITY OF ANN ARBOR LAND DEVELOPMENT REGULATIONS REGARDING SITE PLAN REQUIREMENTS, THE NATURAL FEATURES IMPACTS ARE AS FOLLOWS:

LIMITS OF SOIL DISTURBANCE: SEE GRADING PLAN (SHEET C-300).

BOUNDARY AND DESCRIPTION OF ENDANGERED SPECIES HABITAT: NOT APPLICABLE.

BOUNDARY AND ELEVATION OF ANY 100-YEAR FLOODPLAIN: NOT APPLICABLE.

LANDMARK TREES: SEE EXISTING CONDITIONS PLAN. THERE ARE PROPOSED IMPACTS TO LANDMARK TREES. SEE ALTERNATIVE ANALYSIS AND LANDSCAPE PLAN FOR MITIGATION (SHEET C-200 & C-204).

SEE ALTERNATIVE ANALYSIS AND LANDSCAPE PLAN FOR MITIGATION (SHEET C-200 & C-204).

STEEP SLOPES: NOT APPLICABLE.

WATER COURSES: THERE ARE NO EXISTING OR PROPOSED WATERCOURSES ON THIS SITE.

WETLANDS: THERE ARE NO EXISTING WETLANDS ON THIS SITE.

WOODLAND BASAL AREA: THERE ARE NO EXISTING WOODLAND AREAS ON THIS SITE.

#### D. PUBLIC PARK PLANNING

##### I. PARKS CONTRIBUTION REQUEST:

THE DEVELOPMENT TEAM HAS AGREED TO CONTRIBUTE FUNDS TOWARD THE CITY OF ANN ARBOR'S PUBLIC PARKLANDS TO IMPROVE THE SURROUNDING NEIGHBORHOOD PARKS. FUNDS WILL BE PROVIDED AT THE FOLLOWING RATE:

216 DWELLING UNITS x .0125 ACRES x \$50,000/ACRE = \$135,000



SITE PERSPECTIVE

### DEVELOPMENT SUMMARY & COMPARISON CHART

Zoning	Existing (R4C)	Required / Permitted (R4C)	Proposed (C1A/R)	Required / Permitted (C1 A/R)
Gross Lot Area (min)	72,148 sq. ft.	8,500 sq. ft.	72,148 sq. ft.	none
Min Lot Width (ft)	40.3'	60'	none	none
Min Open Space (% of Lot Area)	82%	40%	none	none
Max Short Term Rental (STR) Use	-	-	up to 30%	30% proposed max.
Building Area (sq. ft.)	13,065	-	221,633 (1)(2)	216,444 (224,444 with premium)
FAR (% of Lot Area)	18.11%	-	307.2% (1)(2)	300% Max + premium (311%)
FAR (units / acre)	22.9	20 units / acre	130.9	-
Premiums (sq. ft.)	none	none	5,189 (2)	8,000 max.
<b>Front Setbacks</b>				
State Street	24.2'	25'	5.1' min. 6.3' max.	10' min. (5' with 50% rule)
Stimson Street	N/A	25'	10.4' min. 48.5' max.	10' min. (5' with 50% rule)
White Street	18.4'	25'	9.5' min. 15.5' max.	10' min. (5' with 50% rule)
Henry Street	19.7'	25'	6.4' min. 53.9' max.	10' min. (5' with 50% rule)
Total Setback Area (square feet)	N/A	N/A	13,249 sq. ft.	10,135 sq. ft. min.
Building Height	30'	30'	85'	none (100' proposed max.)
<b>Vehicle Parking</b>				
Vehicle Parking (per dwelling unit)	-	none (was 1.5)	0.25	0.25 proposed max.
Vehicle Parking (per sq. ft. nonresidential)	-	none	1 per 600 sq. ft.	none
EV Parking	0	RESIDENTIAL: EV-C: 90% EV-I: 10%	RESIDENTIAL: EV-C: 45 EV-I: 8	RESIDENTIAL: EV-C: 90% EV-I: 10%
total	28	none	54 total (including 8 EV & 3 Accessible Spaces)	none
<b>Required Bicycle Parking</b>				
Space	1 per 5 dwelling units Class A: 50% Class B: 0% Class C: 50%	1 per 5 dwelling units Class A: 50% Class B: 0% Class C: 50%	1 per 1.1 dwelling units: 216 Class A: 40% : 124 Class B: 22% : 48 Class C: 38% : 44	1 per 5 dwelling units: 50 Class A: 50%: 25 Class B: 0% Class C: 50%: 25
Office (O)	N/A	N/A	1 per 2,100 sq. ft.: 8	1 per 3,000 sq. ft.: 7
total	0	8	224 total	57

(1) VARIANCE REQUIRED. A VARIANCE WAS GRANTED FROM THE PARKING FAR REQUIREMENTS BY THE ZBA AT THE MAY 24TH ZBA MEETING.  
(2) FLOOR AREA PREMIUM OPTION = PEDESTRIAN AMENITY PREMIUM OPTION - PLAZA



### LOCATION MAP

SCALE: 1 INCH = 1000 FT

### DESIGN TEAM CONTACTS

#### APPLICANT / OWNER

SOUTHTOWN BY 4M, LLC  
2082 S. STATE STREET  
ANN ARBOR, MI 48104  
P: 415.810.8124  
ATTN: MARGE POSCHER

#### CIVIL / LANDSCAPE ARCHITECT

NEDERVELD, INC.  
3037 MILLER RD.  
ANN ARBOR, MI 48103  
P: 734.929.6963  
ATTN: BRANDON CHANEY

#### ARCHITECT

SYNECDOCHE DESIGN STUDIO  
1342 N. MAIN STREET #11  
ANN ARBOR, MI 48104  
P: 734.926.5593  
ATTN: ADAM SMITH

#### STRUCTURAL

ASPECT STRUCTURAL ENGINEERS  
101-190 W. 3RD AVE  
VANCOUVER, BRITISH COLUMBIA V5Y1E9  
P: 604.762.7844  
ATTN: SHAWN KENNEDY

#### MECHANICAL / PLUMBING

GREENPATH DESIGN  
139 W. LIBERTY STREET  
PLYMOUTH, MI 48170  
P: 248.310.7286  
ATTN: KELLY SUGG

#### ELECTRICAL

ETS ENGINEERING  
418-1/2 S. WASHINGTON BOULEVARD  
ROYAL OAK, MI 48067  
P: 248.744.0360  
ATTN: SCOTT LEO

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www.nederveld.com  
800.222.1868  
ANN ARBOR  
3037 Miller Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963

CHICAGO  
COLUMBUS  
GRAND RAPIDS  
HOLLAND  
INDIANAPOLIS

### PREPARED FOR:

Southtown by 4M, LLC  
Marge Poscher

2082 S. State Street  
Ann Arbor, MI 48104

### REVISIONS:

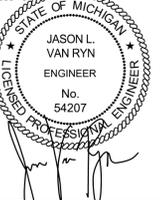
Title: Site Plan Submittal	Checked: BCJVR	Date: 10/21/2022
Drawn: WL/TG	Checked: BCJVR	Date: 10/21/2022
Title: Site Plan Resubmittal	Checked: BCJVR	Date: 02/22/2023
Drawn: WL/TG	Checked: BCJVR	Date: 02/22/2023
Title: Site Plan Resubmittal	Checked: BCJVR	Date: 04/24/2023
Drawn: WL/TG	Checked: BCJVR	Date: 04/24/2023
Title: Revised Layout Plan	Checked: BCJVR	Date: 05/10/2023
Drawn: WL/TG	Checked: BCJVR	Date: 05/10/2023
Title: Site Plan Resubmittal	Checked: BCJVR	Date: 05/25/2023
Drawn: WL/TG	Checked: BCJVR	Date: 05/25/2023
Title: Site Plan Resubmittal	Checked: BCJVR	Date: 06/13/2023
Drawn: WL/TG	Checked: BCJVR	Date: 06/13/2023

# SOUTHTOWN BY 4M

## Cover Sheet

Block surrounded by S. State, Henry, White, and Stimson Streets  
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

### STAMP:



PROJECT NO:  
21500282

SHEET NO:

# C-100

**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher

2082 S. State Street  
 Ann Arbor, MI 48104

**REVISIONS:**

Title: Site Plan Submittal	Checked: BC/JVR	Date: 10.21.2022
Drawn: WL/TC	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 02.22.2023
Drawn: WL/TC	Checked: BC/JVR	Date: 04.24.2023
Title: Revised Layout Plan	Checked: BC/JVR	Date: 05.10.2023
Drawn: WL/TC	Checked: BC/JVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 06.13.2023
Drawn: WL/TC	Checked: BC/JVR	Date: 06.13.2023

**SOUTHTOWN BY 4M**  
**Existing Site Conditions Plan - ALTA Survey**  
 Block surrounded by S. State, Henry, White, and Simson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
 STATE OF MICHIGAN  
 JASON L. VAN RYN  
 ENGINEER  
 No. 54207  
 LICENSED PROFESSIONAL ENGINEER

**PROJECT NO:**  
 21500282

**SHEET NO:**  
**C-200**



**LOCATION MAP**  
 NOT TO SCALE

**LEGEND**

	Benchmark / Control Point		Utility Pole
	Catch Basin - Square		Water Manhole
	Cleanout		Water Valve
	Deciduous Tree		Yard Drain
	Electric Manhole		Cable TV
	Electric Meter		Underground Electric
	Gas Meter		Gas
	Guy Anchor		Overhead Utility
	Hand Hole		Sanitary
	Hydrant		Storm
	Iron - Found		Underground Telephone
	Light Pole		Watermain
	Mailbox		Fence
	Miss Dig Flag - Cable		Railroad
	Miss Dig Flag - Gas		Zoning Setback
	Manhole		Asphalt
	Sign		Concrete
	Sanitary Sewer Manhole		Gravel
	Stormwater Manhole		Existing Building
	Telephone Manhole		Measured Dimension
	Transformer		Platted Dimension
	Traffic Light		

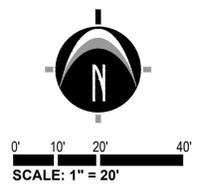
**BENCHMARKS**

- BENCHMARK #300 ELEV. = 839.56 (NAVD88)**  
 Steamer valve on South side of hydrant, located 6' +/- North of back of curb and 24' +/- West of catch basin at Northwest corner of Simson Street and White Street.
- BENCHMARK #301 ELEV. = 840.14 (NAVD88)**  
 Steamer valve on East side of hydrant, located 25' +/- West of centerline of White Street and 15' +/- South of catch basin at Southwest corner of Henry Street and White Street.
- BENCHMARK #302 ELEV. = 844.30 (NAVD88)**  
 Steamer valve on North side of hydrant, located 36' +/- East of centerline of State Street and 12' +/- North of Simson Street traffic light at Northeast corner of State Street and Simson Street.
- BENCHMARK #303 ELEV. = 843.71 (NAVD88)**  
 Northeast bolt on light pole base, located 15' +/- South of control point 203 and 30' +/- West of centerline of State Street at end of Henry Street.

**SOIL DESCRIPTION**

GENERAL SOILS DESCRIPTION: USDA CUSTOM SOIL RESOURCE REPORT FOR WASHTENAW COUNTY, MICHIGAN.

**MdA** MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES  
 LANDFORM: DRAINAGEWAYS ON OUTWASH PLAINS, DRAINAGEWAYS ON TERRACES, DRAINAGEWAYS ON GLACIAL DRAINAGE CHANNELS  
 DRAINAGE CLASS: SOMEWHAT POORLY DRAINED  
 RUNOFF CLASS: LOW  
 HYDROLOGIC SOIL GROUP: B/D



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**ZONED PL**  
 Parcel #: 09-09-32-400-002  
 Address: 500 E Stadium Blvd  
 Owner: University of Michigan

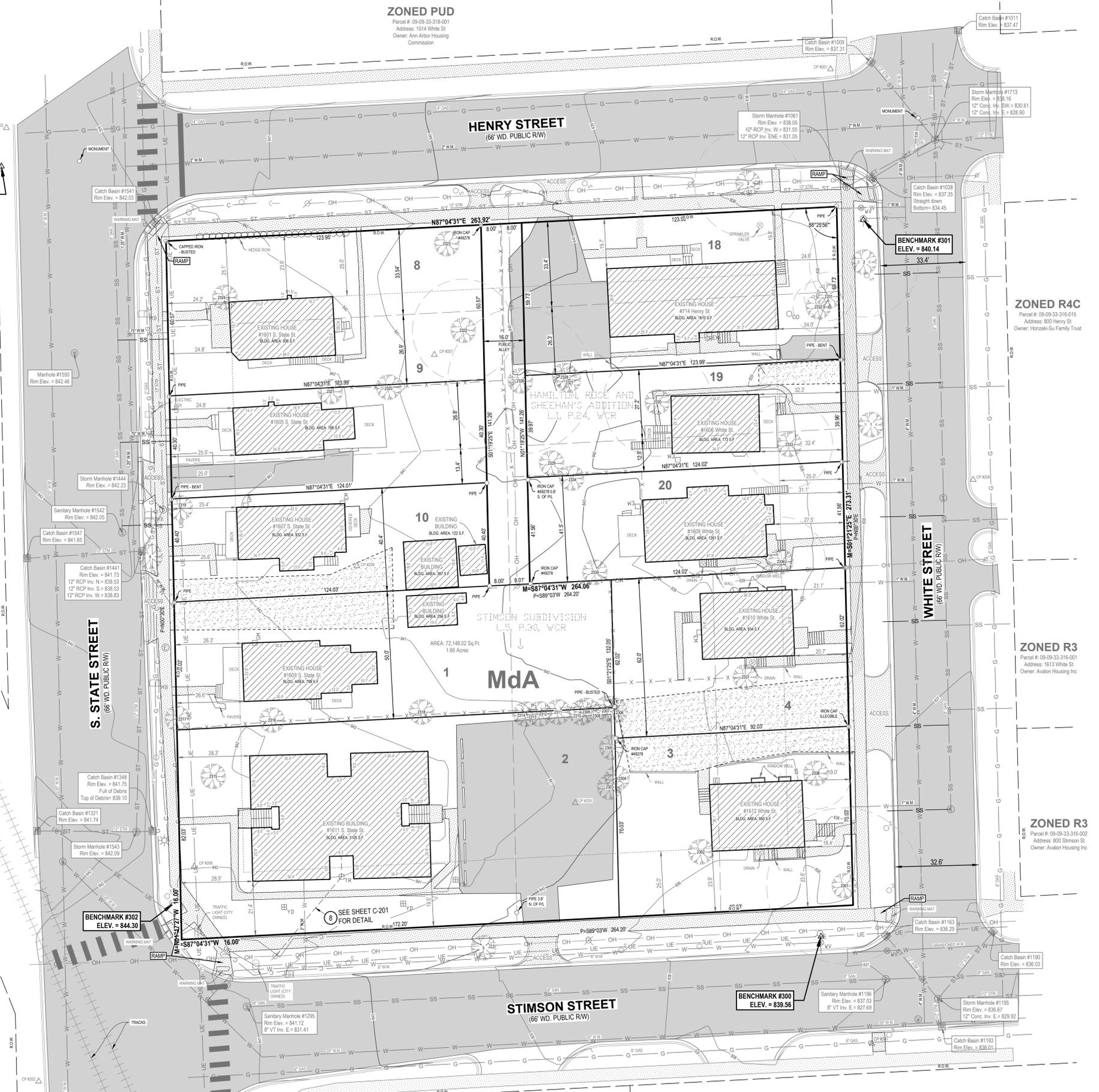
**ZONED PUD**  
 Parcel #: 09-09-33-318-001  
 Address: 1514 White St  
 Owner: Ann Arbor Housing Commission

**ZONED R4C**  
 Parcel #: 09-09-33-316-015  
 Address: 800 Henry St  
 Owner: Horzaki-Su Family Trust

**ZONED R3**  
 Parcel #: 09-09-33-316-001  
 Address: 1513 White St  
 Owner: Avalon Housing Inc

**ZONED R3**  
 Parcel #: 09-09-33-316-002  
 Address: 800 Simson St  
 Owner: Avalon Housing Inc

**ZONED C3**  
 Parcel #: 09-09-33-314-007  
 Address: 725 Simson St  
 Owner: The Salvation Army



**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3540, dated May 31, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3540

The land is described as follows: City of Ann Arbor, County of Washtenaw

The North 40.02 feet, excepting the North 20.15 feet thereof, of Lot(s) 18, Block 3, also the South 13.5 feet of Lot 18 and the North 26.7 feet of Lot 19, all in Block 3 of HAMILTON, ROSE AND SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR, according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 714 Henry St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3535, dated May 31, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3535

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 26.9 feet of Lot(s) 9 and the South 33.54 feet of Lot 8, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1601 S. State St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3536, dated June 03, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3536

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 26.8 feet of Lot 9 and the North 13.4 feet of Lot 10, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1605 S. State St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3537, dated June 06, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3537

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 40.3 feet of Lot(s) 10, Block 3 of HAMILTON ROSE & SHEEHAN'S ADDITION TO THE CITY OF ANN ARBOR according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1607 S. State St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, Commitment Number: 9966-6074453, Revision A, dated June 17, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3541

The land is described as follows: City of Ann Arbor, Washtenaw County, State of Michigan:

The South 27 feet of Lot(s) 19, and the North 13.2 feet of Lot 20, Block 3, according to the recorded plat of HAMILTON, ROSE & SHEEHAN'S ADDITION to the City of Ann Arbor, Washtenaw County, Michigan, according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑨ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1606 White St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3542, dated May 31, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3542

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 41.18 feet of Lot(s) 20, Block 3 of HAMILTON, ROSE & SHEEHAN'S ADDITION according to the plat thereof recorded in Liber 1 of Plats, Page 24 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1608 White St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, File No.: MIFA22-3538, dated May 31, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3538

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 50 feet of Lot(s) 1 and 2 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1609 S. State St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU File No.: MIFA22-3543, dated June 3, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3543

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The North 62 feet of Lot(s) 3 and 4 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1610 White St. Ann Arbor, MI 48104-4366

**SURVEYOR'S CERTIFICATION**

To First American Title Insurance Company; Southtown by 4M LLC; Land Services USA LLC; Northeast Bank; ROSS-Ann Arbor: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7(a), 7(b)(1), 8, 10, 11, 13, 16, 17, & 20 of Table A thereof. The fieldwork was completed on April 19, 2022.

Date of Plat or Map: July 21, 2022



Brandon G. Parrent  
Professional Surveyor No. 4001063096  
Nederveld, Inc.  
bparrent@nederveld.com

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, File No: MIFA22-3539, dated June 3, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3539

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 82 feet of Lot(s) 1 and 2 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement in favor of The Detroit Edison Company and the Michigan Bell Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1075, page 439. **The easement described in this document is a blanket easement.**

- ⑧ Agreement in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1076, page 518. **The easement route described in this document is shown on this survey. No width has been provided.**

- ⑨ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1611 S. State St. Ann Arbor, MI 48104-4366

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from First American Title Insurance Company, LSU#: MIFA22-3544, dated May 31, 2022.

**TITLE DESCRIPTION**

Issuing Office File Number: MIFA22-3544

The land is described as follows: City of Ann Arbor, County of Washtenaw:

The South 70 feet of Lot(s) 3 and 4 of STIMSON SUBDIVISION according to the plat thereof recorded in Liber 5 of Plats, Page 30 of Washtenaw County Records.

**SCHEDULE B - SECTION II NOTES**

- ⑦ Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. **Nothing to show.**

Commonly known as: 1612 White St. Ann Arbor, MI 48104-4366

**SURVEYOR'S NOTES**

- ALTA TABLE "A" ITEM NO. 1 - Existing and placed monuments at all major corners of the boundary of the property have been shown.
- ALTA TABLE "A" ITEM NO. 2 - Address of the surveyed property is 714 Henry Street, 1601, 1605, 1607, 1609, 1611 S. State Street, 1606, 1608, 1610, and 1612, Ann Arbor, MI 48104.
- ALTA TABLE "A" ITEM NO. 3 - Flood Zone Classification: **An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260213, Map Number 26161C0263E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X (subject to map scale uncertainty).**
- ALTA TABLE "A" ITEM NO. 4 - **Gross Land Area: 72,148.02 Square Feet / 1.66 Acres**
- ALTA TABLE "A" ITEM NO. 5 - Vertical relief shown per ground survey at 1' contour interval, NAVD88 Datum.
- ALTA TABLE "A" ITEM NO. 6(a) - A zoning letter or report has not been provided to the surveyor at this time. Zoning is shown per research performed by Nederveld and Henry Street Feasibility Study November 2021. See "Zoning Information".
- ALTA TABLE "A" ITEM NO. 6(b) - A zoning letter or report has not been provided to the surveyor at this time. Building setbacks are shown per research and interpretation performed by Nederveld and Henry Street Feasibility Study November 2021.
- ALTA TABLE "A" ITEM NO. 7(a) - **Exterior dimensions of all permanent buildings at ground level have been shown.**
- ALTA TABLE "A" ITEM NO. 7(b)(1) - **Building Area: 13,062 Square Feet (Total)**
- ALTA TABLE "A" ITEM NO. 8 - Substantial features observed in the process of conducting fieldwork have been shown.
- ALTA TABLE "A" ITEM NO. 10 - No division or party walls with respect to adjoining properties were observed in the process of conducting fieldwork.
- ALTA TABLE "A" ITEM NO. 11 - See Note 17 below.
- ALTA TABLE "A" ITEM NO. 13 - Names of adjoining owners have been shown according to current tax records.
- ALTA TABLE "A" ITEM NO. 16 - Evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork. **None observed.**
- ALTA TABLE "A" ITEM NO. 17 - Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork. **None observed.**
- Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- Basis of Bearing: NAD83 Michigan State Planes, South Zone, International Foot
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- Access to property is from S. State Street, Henry Street, White Street, and Stimson Street.
- The surveyed boundary shown hereon is contiguous with adjoining properties and/or rights of way without any gaps, gores, or overlaps.
- Survey includes a survey of the real property located at 1608 White Street, Ann Arbor, however this property is not part of the collateral in connection with that certain mortgage loan from ROSS-ANN ARBOR, LLC, a Delaware limited liability company, as lender, to South Town By 4M LLC, a Michigan limited liability company, as borrower, dated as of [ ].



**PREPARED FOR:**

Southtown by 4M, LLC  
Marge Poscher

2082 S. State Street  
Ann Arbor, MI 48104

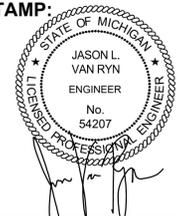
**REVISIONS:**

Title: Site Plan Submittal	Drawn: WL/TG	Checked: BC/JVR	Date: 10.21.2022
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 04.24.2023
Title: Revised Layout Plan	Drawn: WL/TG	Checked: BC/JVR	Date: 05.10.2023
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Drawn: WL/TG	Checked: BC/JVR	Date: 06.13.2023



**SOUTHTOWN BY 4M**  
**Existing Site Conditions Plan - ALTA Survey**  
 Block surrounded by S. State, Henry, White, and Stimson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
21500282

**SHEET NO:**  
**C-201**

**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher

**REVISIONS:**

Title: Site Plan Submittal	Checked: BCJVR	Date: 10.21.2022
Drawn: WL/G	Checked: BCJVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Checked: BCJVR	Date: 02.22.2023
Drawn: WL/G	Checked: BCJVR	Date: 04.24.2023
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Drawn: WL/G	Checked: BCJVR	Date: 05.10.2023
Title: Revised Layout Plan	Checked: BCJVR	Date: 05.10.2023
Drawn: WL/G	Checked: BCJVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Checked: BCJVR	Date: 05.25.2023
Drawn: WL/G	Checked: BCJVR	Date: 06.13.2023

**SOUTHTOWN BY 4M**  
**Natural Features Plan**  
 Block surrounded by S. State, Henry, White, and Stimson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R1E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
 STATE OF MICHIGAN  
 JASON L. VAN RYN  
 ENGINEER  
 No. 54207  
 PROFESSIONAL ENGINEER

**PROJECT NO:**  
 21500282  
**SHEET NO:**  
**C-202**

**TREE SURVEY**

Tree ID	Scientific Name	Common Name	DBH	Landmark	Notes	Remove
2301	Acer saccharinum	Silver Maple	30.5"	Yes		x
2302	Thuja occidentalis	Arborvitae	10"	No		x
2303	Ulmus pumila	Siberian Elm	27.5"	No		x
2304	Acer platanoides	Norway Maple	8"	No		x
2305	Ulmus pumila	Siberian Elm	13.6"	No	multi-stem	x
2306	Acer platanoides	Norway Maple	11"	No		x
2307	Ulmus pumila	Siberian Elm	9"	No		x
2308	Ulmus pumila	Siberian Elm	14"	No		x
2309	Ulmus pumila	Siberian Elm	16"	No		x
2310	Ulmus pumila	Siberian Elm	7.5"	No		x
2311	Ulmus pumila	Siberian Elm	9"	No		x
2312	Ulmus pumila	Siberian Elm	8"	No		x
2313	Ulmus pumila	Siberian Elm	17"	No		x
2314	Ulmus pumila	Siberian Elm	21.7"	No	multi-stem	x
2315	Acer platanoides	Norway Maple	13.5"	No		x
2316	Ulmus americana	American Elm	8.5"	No		x
2317	Acer platanoides	Norway Maple	24.5"	No		x
2318	Acer platanoides	Norway Maple	26"	No		x
2319	Acer platanoides	Norway Maple	19"	No		x
2320	Morus alba	Mulberry	25"	No		x
2321	Juglans nigra	Black Walnut	7"	No		x
2322	Acer saccharum	Sugar Maple	20"	Yes		x
2323	Ulmus pumila	Siberian Elm	23.5"	No		x
2324	Morus alba	Mulberry	15.6"	No	multi-stem	x
2325	Juglans nigra	Black Walnut	6"	No		x
2326	Juglans nigra	Black Walnut	28.5"	Yes		x
2327	Morus alba	Mulberry	24"	No		x
2328	Ulmus americana	American Elm	8"	No		x
2329	Prinos pensilvanica	Red Pine	21"	No		x
2330	Thuja occidentalis	Arborvitae	21.3"	Yes	multi-stem	x
2331	Juniperus virginiana	Eastern Red Cedar	9.5"	Yes		x
2332	Juniperus virginiana	Eastern Red Cedar	10"	Yes		x
2333	Thuja occidentalis	Arborvitae	17"	Yes	multi-stem	x
2334	Celtis occidentalis	Common Hackberry	7"	No		x
2335			14"	No	stump	x
2336	Thuja occidentalis	Arborvitae	17.5"	Yes	multi-stem	x
2337	Ulmus pumila	Siberian Elm	8"	No		x
2338	Thuja occidentalis	Arborvitae	14"	Yes	multi-stem	x
1	Acer nyctabae	Miyabe Maple	8"	No	Street Tree	
2	Acer saccharum	Sugar Maple	21.5"	Yes	Street Tree	
3	Acer saccharum	Sugar Maple	21"	Yes	Street Tree	
4	Acer platanoides	Norway Maple	10"	No	Street Tree	x
5	Acer platanoides	Norway Maple	16.5"	No	Street Tree	x

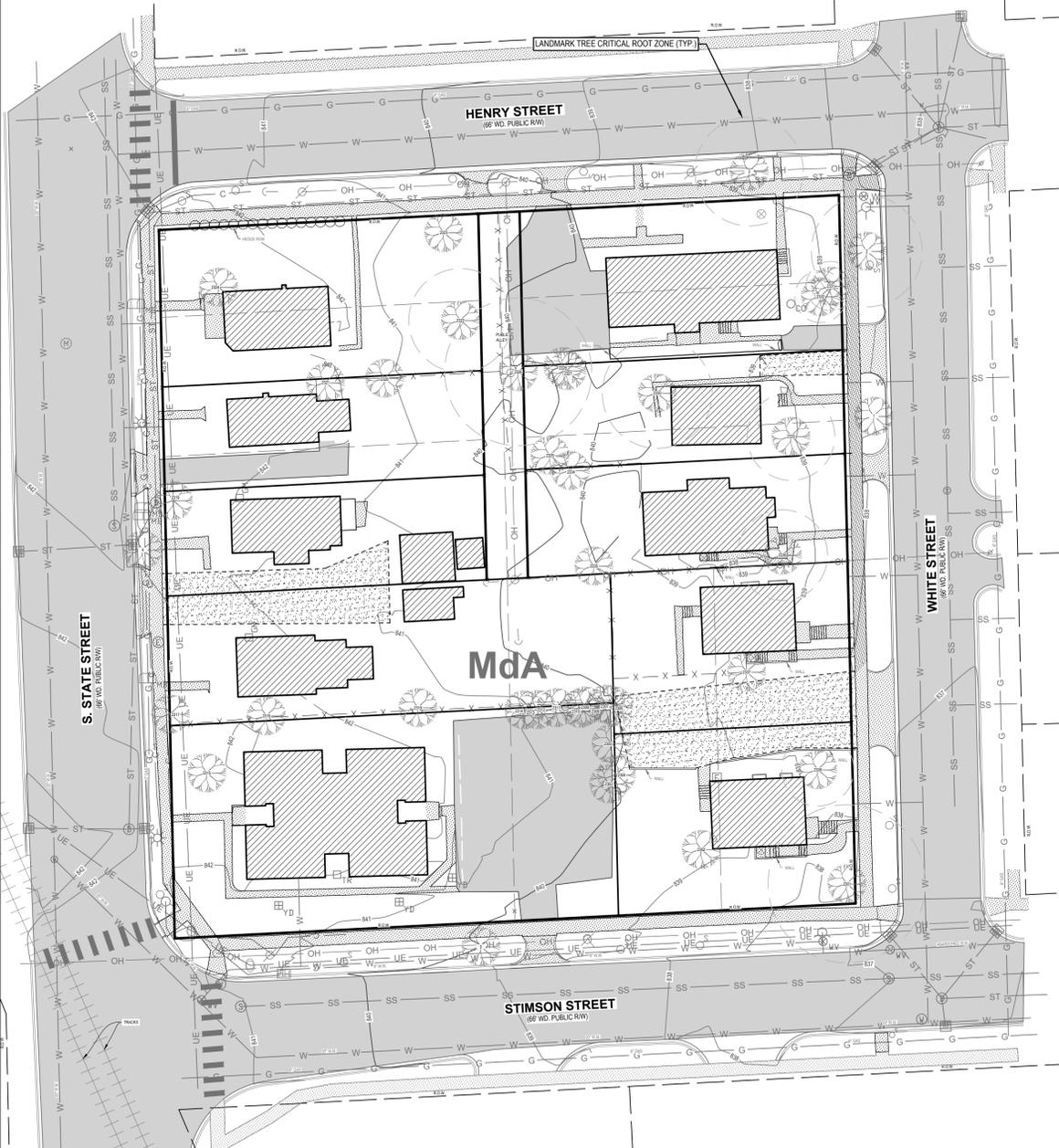
Tree survey performed April 21, 2022 by Wade Lohmann, ISA Certified Arborist, D# MI-45584  
 \*Multi-stemmed trees DBH calculated using the formula:  $\sqrt{4 \times \sum d^2}$

**LEGEND**

	EXISTING LANDMARK TREE		EXISTING GRADE CONTOUR
	EXISTING TREE		EXISTING STEEP SLOPES
	PROP. TREE PROTECTION FENCE		SOIL TYPE LIMITS
	Benchmark / Control Point		Utility Pole
	Catch Basin - Square		Water Manhole
	Cleanout		Water Valve
	Deciduous Tree		Yard Drain
	Electric Manhole		Cable TV
	Electric Meter		Underground Electric
	Gas Meter		Gas
	Guy Anchor		Overhead Utility
	Hand Hole		Sanitary
	Hydrant		Storm
	Iron - Found		Underground Telephone
	Light Pole		Waterman
	Mailbox		Fence
	Mass Dig Flag - Cable		Railroad
	Mass Dig Flag - Gas		Zoning Setback
	Manhole		Asphalt
	Sign		Concrete
	Sanitary Sewer Manhole		Gravel
	Stormwater Manhole		Existing Building
	Telephone Manhole		Measured Dimension
	Transformer		Platted Dimension
	Traffic Light		

**NATURAL FEATURES ANALYSIS NOTES:**

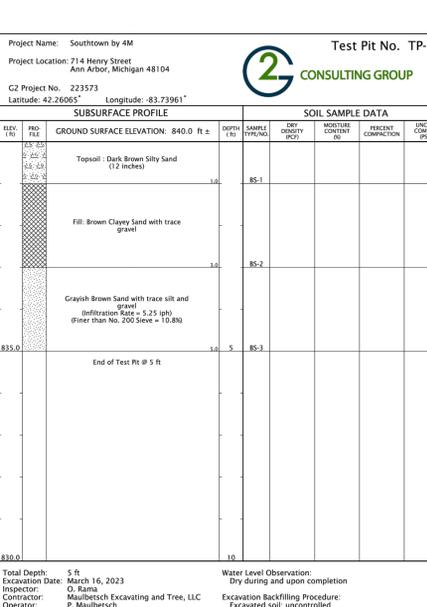
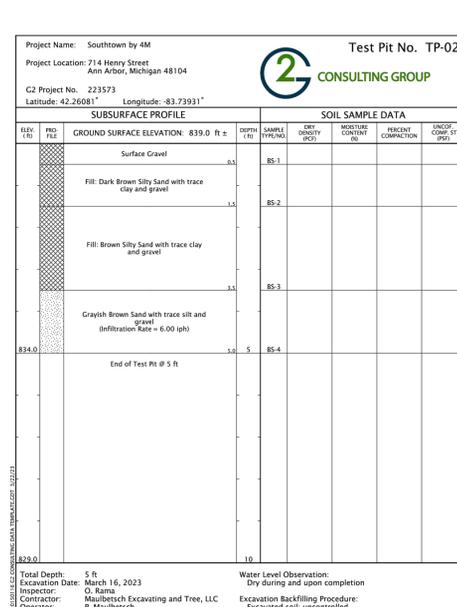
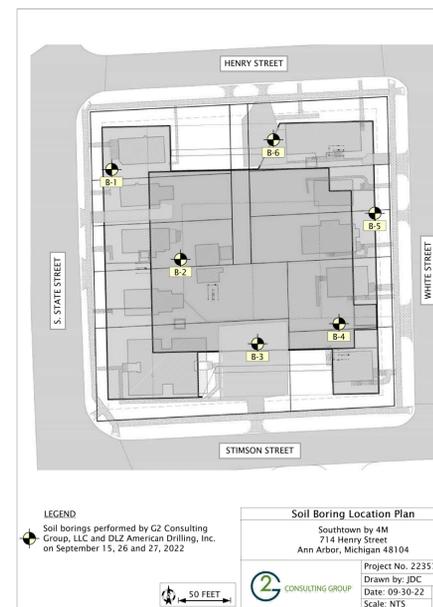
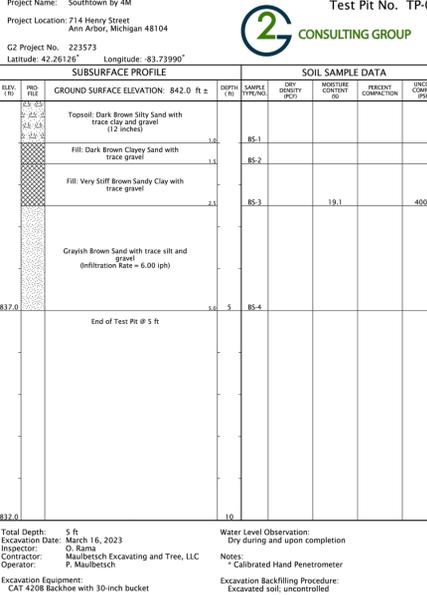
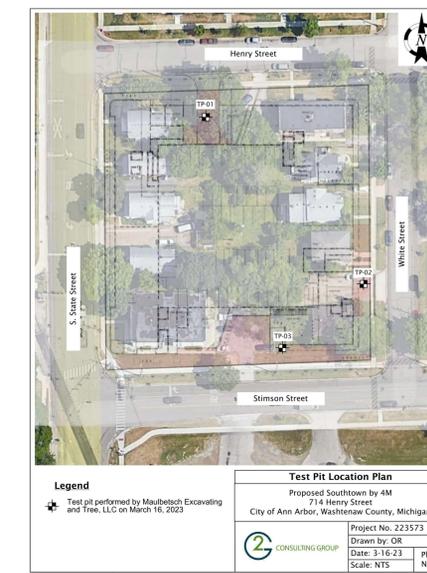
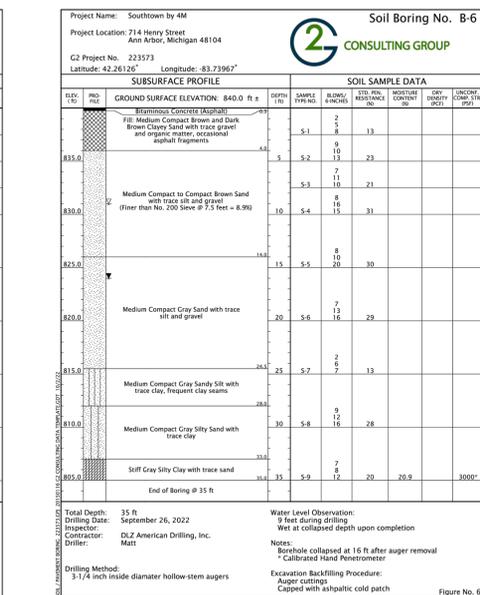
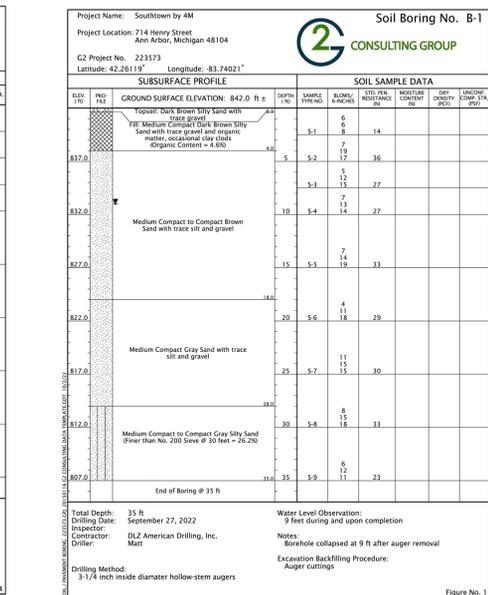
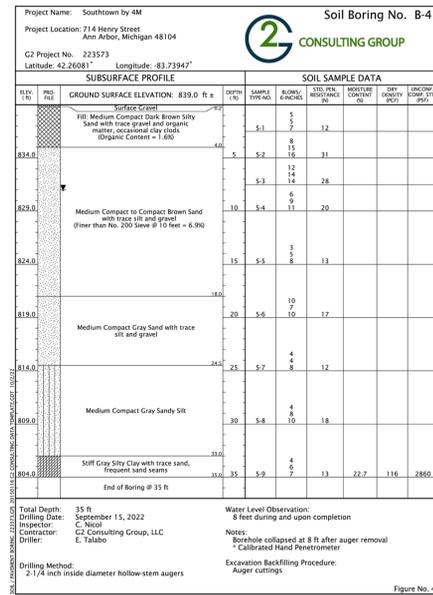
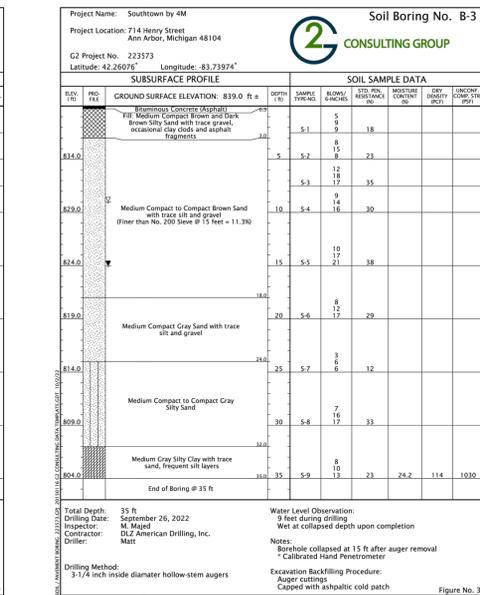
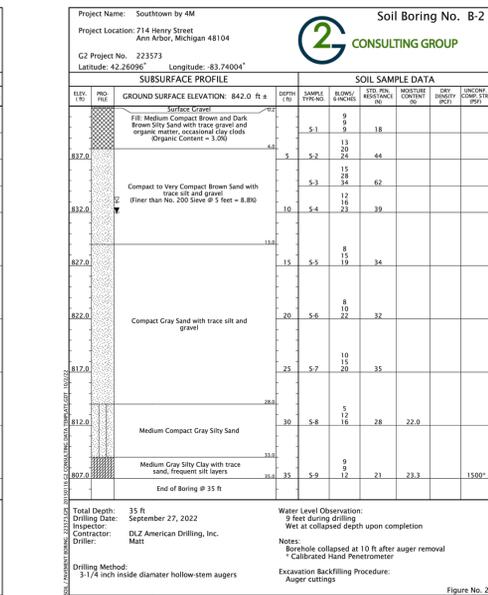
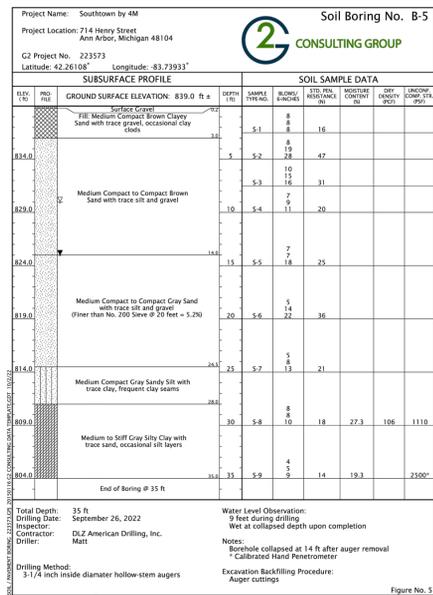
- 100-YEAR FLOODPLAIN: THERE IS NO FEMA MAPPED FLOOD PLAIN ON THE SITE.
- LANDMARK TREES: SEE NATURAL FEATURES PLAN (THIS SHEET) AND EXISTING TREE TABLE (SHEET C-203). THERE ARE TWO (2) LANDMARK TREES TO REMAIN WITHIN THE PROPOSED PROJECT SITE.
- STEEP SLOPES: THERE ARE NO STEEP SLOPES ON THE PROJECT SITE.
- EXISTING WATERCOURSE: THERE ARE NO WATERCOURSES ON THE SITE.
- BOUNDARY AND BASAL AREA ESTIMATE WOODLANDS: THERE ARE NO WOODLANDS ON THE SITE.
- BOUNDARY AND CHARACTER OF ALL WETLANDS: THERE ARE NO WETLANDS ON THE SITE.



**NATURAL FEATURES ANALYSIS**  
 SCALE: 1" = 30'



**NATURAL FEATURES OVERLAY**  
 SCALE: 1" = 30'



**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
 ANN ARBOR  
 3037 Miller Rd.  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963

CHICAGO  
 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher

2082 S. State Street  
 Ann Arbor, MI 48104

**REVISIONS:**

Title: Site Plan Submittal	Checked: BC/JVR	Date: 10.21.2022
Drawn: WJTG	Checked: BC/JVR	Date: 04.24.2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 05.10.2023
Drawn: WJTG	Checked: BC/JVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Checked: BC/JVR	Date: 06.13.2023
Drawn: WJTG	Checked: BC/JVR	Date: 06.13.2023

**SOUTHTOWN BY 4M**

**Soil & Infiltration Report**  
 Block surrounded by S. State, Henry, White, and Stinson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 03,



www.nederveld.com  
800.222.1868

**ANN ARBOR**  
3037 Miller Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963

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INDIANAPOLIS

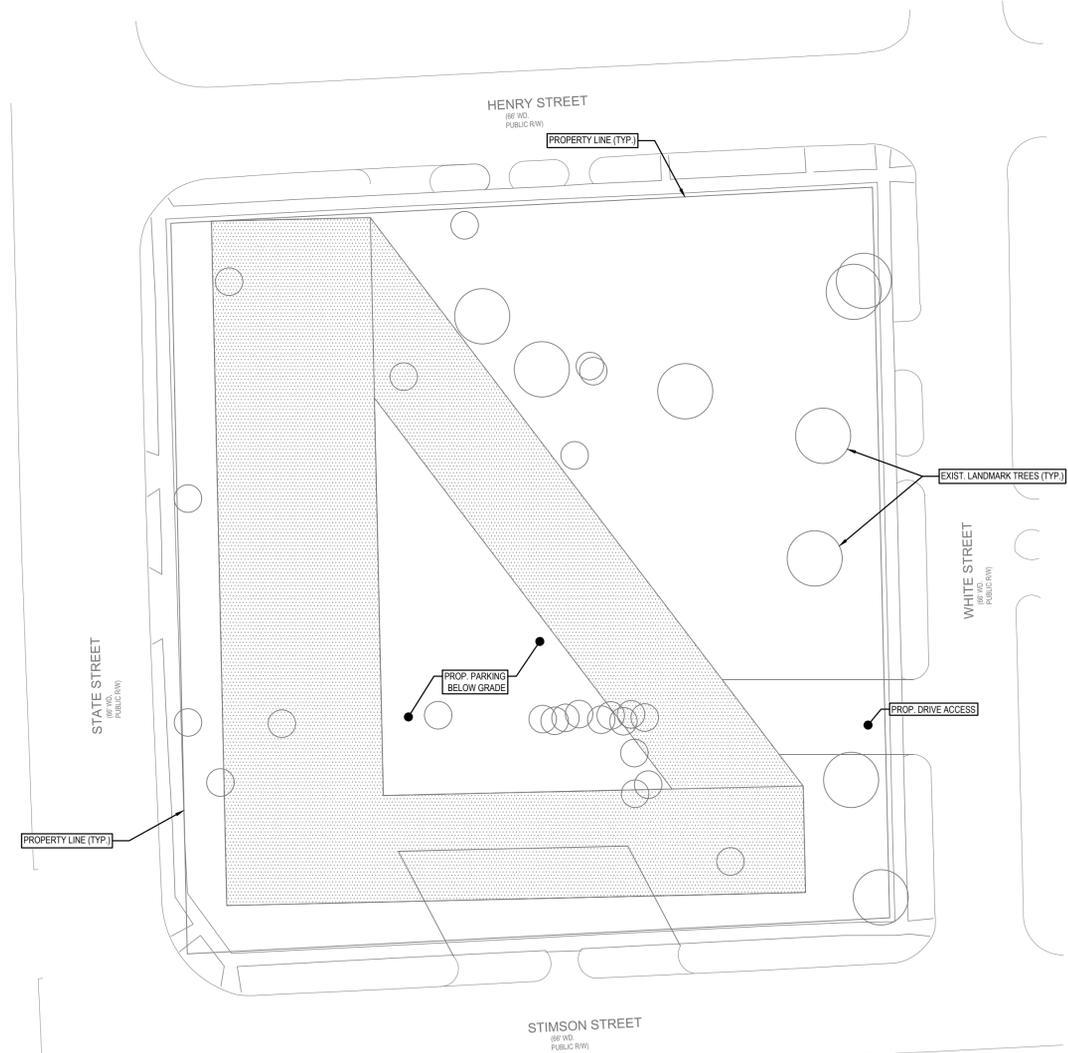
**PREPARED FOR:**

Southtown by 4M, LLC  
Marge Poscher

2082 S. State Street  
Ann Arbor, MI 48104

**REVISIONS:**

Title: Site Plan Submittal	Drawn: WJTG	Checked: BCJVR	Date: 10/21/2022
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Title: Revised Layout Plan	Drawn: WJTG	Checked: BCJVR	Date: 05/10/2023
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Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BCJVR	Date: 06/13/2023



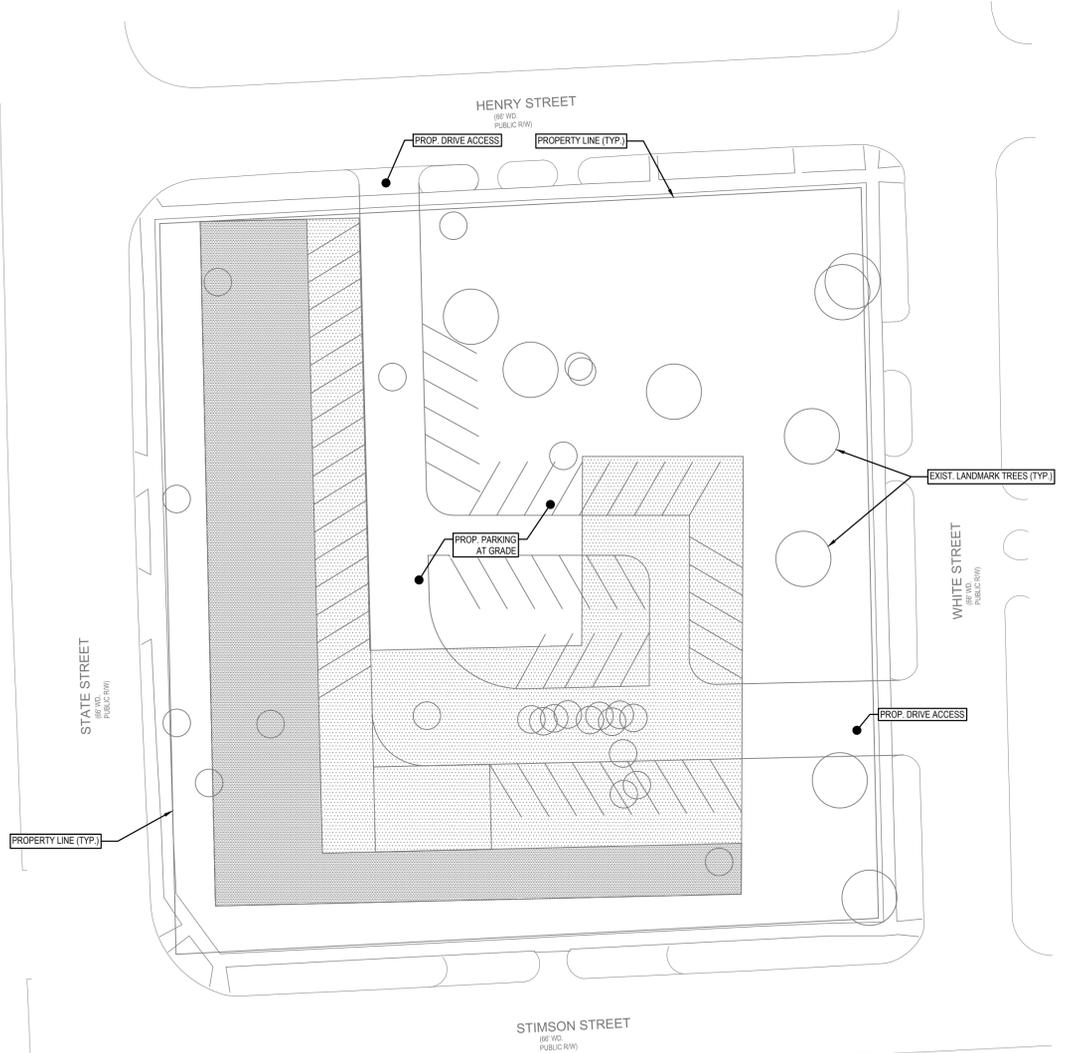
**ALTERNATIVE ANALYSIS #1**

8 STORIES (300 FAR)  
FLOOR 1: 18,000 SF  
FLOORS 2-8: 30,000 SF EACH  
PARKING BELOW GRADE

THIS PROPOSED CONCEPT WOULD GENERATE AN 8 STORY BUILDING FOR THE ENTIRE MASS WHICH WOULD CREATE LONG SHADOWS ACROSS THE NEIGHBORHOOD. MAKING OUT THE FAR CREATES A BUILDING THAT DOES NOT FIT IN THE CONTEXT OF THE NEIGHBORHOOD. THE PROPOSED BELOW GRADE PARKING WOULD BE HIGHLY COSTLY TO THE PROJECT SINCE THE GROUND WATER IN THIS AREA IS RELATIVELY HIGH. THE UNDERGROUND PARKING WOULD BE BELOW THE GROUND WATER LEVEL.

**LANDMARK TREE TABLE**

Alternative Analysis 1			
ID	Species	DBH	Landmark
2330	<i>Thuja occidentalis</i>	21.3	yes
2331	<i>Juniperus virginiana</i>	9.5	yes
2332	<i>Juniperus virginiana</i>	10	yes
2333	<i>Thuja occidentalis</i>	17	yes
2336	<i>Thuja occidentalis</i>	17.5	yes
		<b>75.3</b>	<b>total DBH saved</b>



**ALTERNATIVE ANALYSIS #2**

9 STORIES (300 FAR)  
FLOOR 1: 10,000 SF  
FLOORS 2-9: 28,000 SF EACH  
PARKING AT GRADE

CONCEPT # 2 UTILIZED PARKING AT GRADE WHICH WOULD ALSO BE UNDER PORTIONS OF THE BUILDING. PARKING AT GRADE REDUCES THE ABILITY FOR RESIDENTS TO USE OUTDOOR AREAS SINCE MOST OF IT WOULD BE SUBJECT TO VEHICULAR AREAS. THE BUILDING SHAPE BEING A SMALLER FOOTPRINT WOULD NEED TO BE 9 STORIES TALL IN ORDER TO MEET THE FAR. THIS GENERATES A STRUCTURE THAT IS OUT OF CHARACTER IN THE NEIGHBORHOOD AND CREATES LONG SHADOWS ONTO THE NEIGHBORS TO THE NORTH AND TO THE EAST.

**LANDMARK TREE TABLE**

Alternative Analysis 2			
ID	Species	DBH	Landmark
2301	<i>Acer saccharinum</i>	30.5	yes
2322	<i>Acer saccharum</i>	20	yes
2326	<i>Juglans nigra</i>	28.5	yes
2330	<i>Thuja occidentalis</i>	21.3	yes
2331	<i>Juniperus virginiana</i>	9.5	yes
2332	<i>Juniperus virginiana</i>	10	yes
2333	<i>Thuja occidentalis</i>	17	yes
2336	<i>Thuja occidentalis</i>	17.5	yes
2338	<i>Thuja occidentalis</i>	14	yes
		<b>168.3</b>	<b>total DBH saved</b>

**EARLY PROPOSED CONCEPT - SITE PLAN**

SCALE: 1" = 10'



**EARLY PROPOSED CONCEPT (#2) - SITE PLAN**

SCALE: 1" = 10'

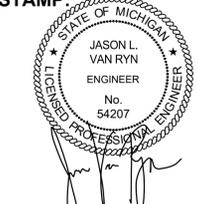


**SOUTHTOWN BY 4M**

**Alternative Analysis**

Block surrounded by S. State, Henry, White, and Stimson Streets  
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
21500282

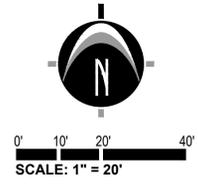
**SHEET NO:**  
**C-204**





**LEGEND**

	Benchmark / Control Point		Yard Drain
	Catch Basin - Square		Cable TV
	Cleanout		Underground Electric
	Deciduous Tree		Gas
	Electric Manhole		Overhead Utility
	Electric Meter		Sanitary
	Gas Meter		Storm
	Guy Anchor		Underground Telephone
	Hand Hole		Watermain
	Hydrant		Fence
	Iron - Found		Railroad
	Light Pole		Zoning Setback
	Mailbox		Asphalt
	Miss Dig Flag - Cable		Concrete
	Miss Dig Flag - Gas		Gravel
	Manhole		Existing Building
	Sign		M= Measured Dimension
	Sanitary Sewer Manhole		P= Platted Dimension
	Stormwater Manhole		PROPOSED PAVERS
	Telephone Manhole		PROPOSED BITUMINOUS (HEAVY DUTY)
	Transformer		PROPOSED CONCRETE (STANDARD DUTY)
	Traffic Light		PROPOSED CONCRETE (HEAVY DUTY)
	Utility Pole		PROPOSED GREENSPACE
	Water Manhole		PROPOSED DECKING
	Water Valve		PROPOSED SYNTHETIC TURF



**ZONED PL**  
 Parcel #: 09-09-32-400-012  
 Address: 500 E Stadium Blvd  
 Owner: University of Michigan

**SITE NOTES**

- STORAGE AREAS FOR CONSTRUCTION SHALL NOT INTERFERE WITH FIRE / EMERGENCY SITE ACCESS.
- ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OR BUFFER ZONES WITH THE FOLLOWING EXCEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR.
- THE MAINTENANCE OF THE DROP OFF LANE, LOCATED ALONG WHITE STREET, WILL BE THE RESPONSIBILITY OF THE OWNER, INCLUDING SNOW AND ICE REMOVAL.
- FIRE DEPARTMENT REQUIREMENT: THE BUILDING SHALL BE COMPLIANT WITH 2015 IFC 510 - EMERGENCY RESPONDER RADIO COVERAGE.
- ANY DAMAGES TO PUBLIC STREETS AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AS DIRECTED BY CITY ENGINEERING.
- IF A CRANE WILL BE USED IN THE RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN A TEMPORARY LICENSE AGREEMENT FROM THE CITY AS NEEDED.
- A LOGISTICS PLAN MUST BE SUBMITTED TO THE CITY FOR REVIEW IF ANY LONG TERM LANE CLOSURE OR SIDEWALK CLOSURE IS ANTICIPATED.
- NO PART OF STAIRS SHALL BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.
- ELECTRIC TRANSFORMER SHALL NOT BE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
- PAVERS SHALL NOT BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.

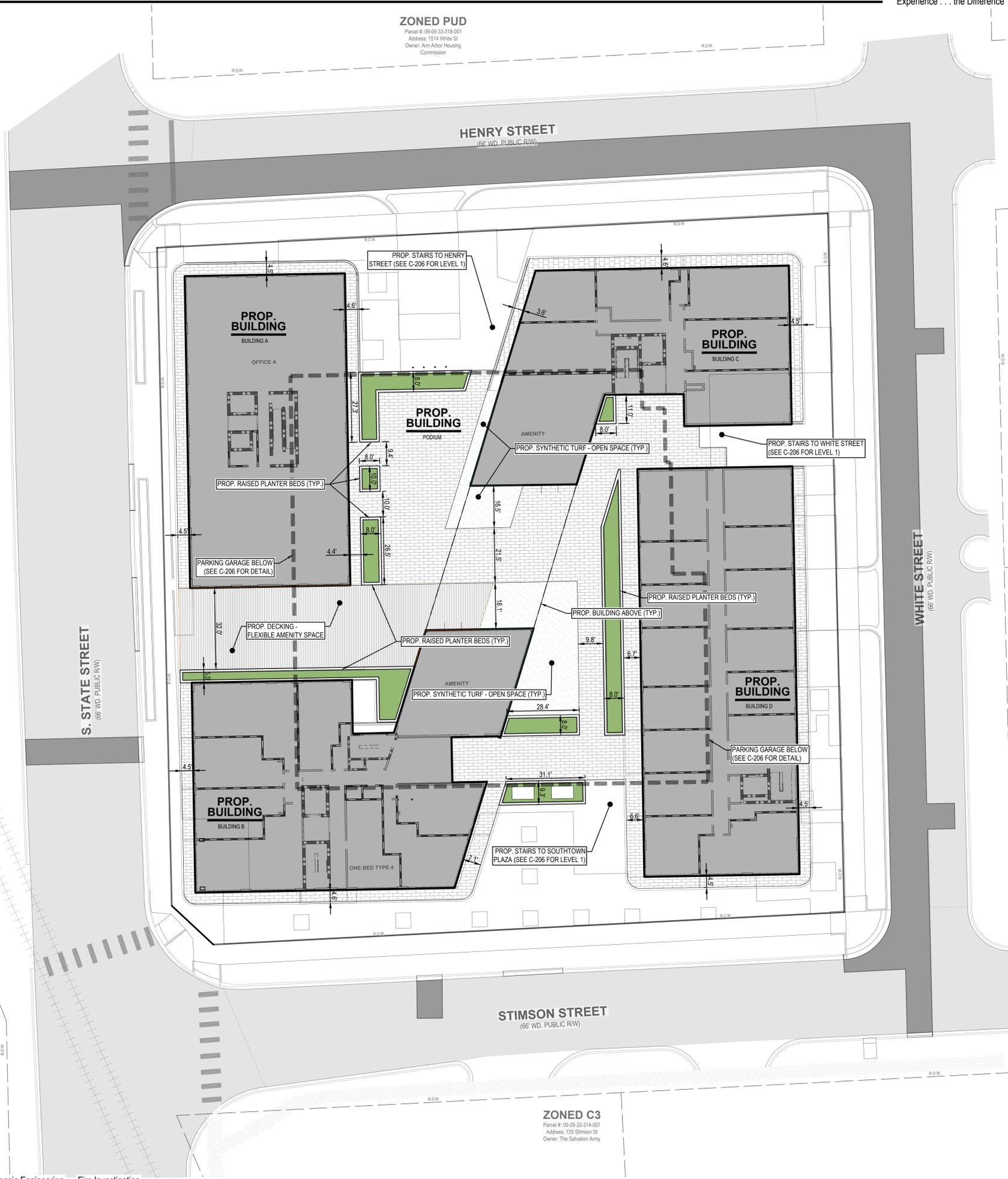
**ADA ACCESSIBILITY NOTES**

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE. IF THE SIDEWALK IS ADJACENT TO THE STREET, THE SIDEWALK GRADE MAY BE EQUAL TO THE GRADE OF THE STREET AND NOT BE CONSIDERED A RAMP.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RIGHT OF WAY THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK. IF THE SIDEWALK IS ADJACENT TO THE STREET, THE SIDEWALK GRADE MAY BE EQUAL TO THE GRADE OF THE STREET AND NOT BE CONSIDERED A RAMP.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.
- LEAD RAMPS SHALL CONNECT PERPENDICULAR TO THE SIDEWALK AND SHALL BE ADA COMPLIANT.

**SOLID WASTE NARRATIVE**

A TOTAL OF TWO (2) DUMPSTERS (1 FOR TRASH (8-YARD) AND 1 FOR RECYCLING (8-YARD)) WILL BE USED TO SERVICE THE SOUTHTOWN DEVELOPMENT. THE DUMPSTERS WILL BE LOCATED WITHIN A DOUBLE BIN ENCLOSURE AT THE NORTH END OF THE BUILDING. ACCESS TO THE ENCLOSURE WILL BE MADE FROM HENRY STREET AND ALL ACCESS CLEARANCES OUTLINED IN THE CITY OF ANN ARBOR SOLID WASTE STANDARDS ARE MET. IT IS ANTICIPATED THAT ONE (1) TRASH PICKUP BY THE CITY AND SIX (6) ADDITIONAL TRASH PICKUPS BY WASTE MANAGEMENT (AT THE PROPERTY OWNER'S EXPENSE) WILL BE REQUIRED PER WEEK. THE PROPERTY OWNER IS RESPONSIBLE FOR MANAGING SOLID WASTE ON-SITE. IT IS ALSO ANTICIPATED THAT TWO (2) RECYCLING PICKUPS BY THE CITY WILL BE REQUIRED (SEE SOLID WASTE CALCULATIONS BELOW).

SOLID WASTE CALCULATIONS:  
 PER ANN ARBOR'S SOLID WASTE RESOURCES MANAGEMENT PLAN FROM AUGUST 2019, WE USED A FACTOR OF 3.3 LBS OF SOLID WASTE PER PERSON PER DAY. OF THAT, APPROXIMATELY 80% IS TRASH AND 20% IS RECYCLED SOLID WASTE ACCORDING TO THE RESIDENTIAL SECTOR. WITH A TOTAL OF 216 UNITS (63 STUDIOS, 89 TWO BEDS, 74 TWO BEDS) FOR APPROXIMATELY 580 OCCUPANTS. THIS WOULD ACCOUNT FOR APPROXIMATELY 1500 POUNDS OF TRASH AND APPROXIMATELY 380 POUNDS OF RECYCLING PER DAY. THE 8-YARD DUMPSTERS CAN EACH HANDLE 1600 POUNDS AND WOULD ADEQUATELY SERVICE THE BUILDING LOAD.



**ZONED PUD**  
 Parcel #: 09-09-33-318-001  
 Address: 1514 White St  
 Owner: Ann Arbor Housing Commission

**ZONED R4C**  
 Parcel #: 09-09-33-316-015  
 Address: 800 Henry St  
 Owner: Horzaki-Su Family Trust

**ZONED R3**  
 Parcel #: 09-09-33-316-001  
 Address: 1613 White St  
 Owner: Avalon Housing Inc

**ZONED R3**  
 Parcel #: 09-09-33-316-002  
 Address: 800 Stimson St  
 Owner: Avalon Housing Inc

**ZONED C3**  
 Parcel #: 09-09-33-314-007  
 Address: 725 Stimson St  
 Owner: The Salvation Army

**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher

2082 S. State Street  
 Ann Arbor, MI 48104

**REVISIONS:**

Title: Site Plan Submittal	Drawn: WJTG	Checked: BC/JVR	Date: 10.21.2022
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BC/JVR	Date: 02.22.2023
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BC/JVR	Date: 02.22.2023
Title: Revised Layout Plan	Drawn: WJTG	Checked: BC/JVR	Date: 04.24.2023
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BC/JVR	Date: 05.10.2023
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BC/JVR	Date: 05.25.2023
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BC/JVR	Date: 06.13.2023

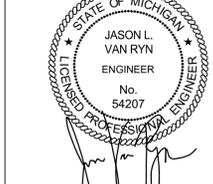


**SOUTHTOWN BY 4M**

**Fire Protection Plan**

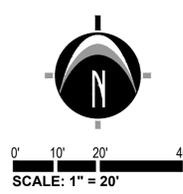
Block surrounded by S. State, Henry, White, and Stimson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**



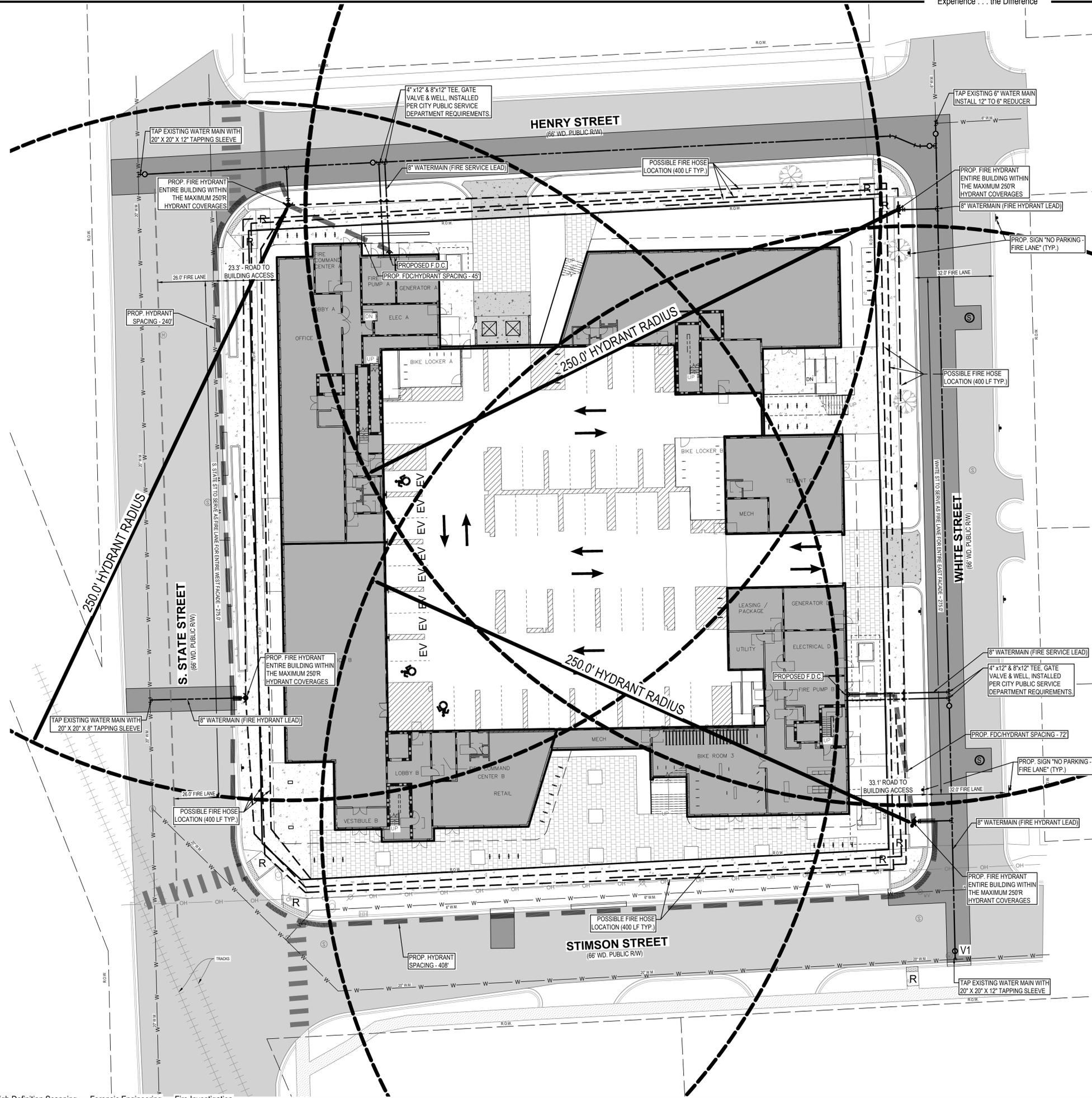
**PROJECT NO:**  
21500282

**SHEET NO:**  
**C-208**



**LEGEND**

	Benchmark / Control Point		Yard Drain
	Catch Basin - Square		Cable TV
	Cleanout		Underground Electric
	Deciduous Tree		Gas
	Electric Manhole		Overhead Utility
	Electric Meter		Sanitary
	Gas Meter		Storm
	Guy Anchor		Underground Telephone
	Hand Hole		Watermain
	Hydrant		Fence
	Iron - Found		Railroad
	Light Pole		Zoning Setback
	Mailbox		Asphalt
	Miss Dig Flag - Cable		Concrete
	Miss Dig Flag - Gas		Gravel
	Manhole		Existing Building
	Sign		Measured Dimension
	Sanitary Sewer Manhole		Platted Dimension
	Stormwater Manhole		PROPOSED PAVERS
	Telephone Manhole		PROPOSED BITUMINOUS (HEAVY DUTY)
	Transformer		PROPOSED CONCRETE (STANDARD DUTY)
	Traffic Light		PROPOSED CONCRETE (HEAVY DUTY)
	Utility Pole		PROPOSED GREENSPACE
	Water Manhole		PROPOSED DECKING
	Water Valve		PROPOSED SYNTHETIC TURF



**811** Know what's below.  
**CALL** before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

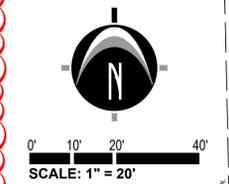
NOTE:  
 EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CAL	SIZE	QTY
	Bn (M)	Betula nigra	River Birch Multi-Trunk	B&B	3' min.	12' hgt. avg.	7
	Ca (M)	Carpinus caroliniana	American Hornbeam	B&B	3' min.		3
	Cf (M)	Cornus florida	Flowering Dogwood	B&B	3' min.		9
	Ma (S)	Maackia amurensis	Amur Maackia	B&B	2.5' min.		6
	Na (M)	Nyssa sylvatica	Tupelo	B&B	3' min.		5
	Pm (S)	Platanus x acerifolia 'Morton Circle'	Exclamation™ London Plane Tree	B&B	3' min.		15
	Qb (M)	Quercus bicolor	Swamp White Oak	B&B	3' min.		5

**PLANT LABEL LEGEND**

(M) MITIGATION PLANTINGS  
(S) STREET TREE PLANTINGS



**ZONED PL**  
Parcel #: 09-09-32-400-002  
Address: 500 E Stadium Bldg  
Owner: University of Michigan

**LANDSCAPE NOTES**

- PLANTING NOTES:**
- ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OR NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
  - SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
  - ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
  - PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
  - REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
  - FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGINGS.
  - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
  - PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
  - ALL SPECIES DEVIATION FROM THE APPROVED SITE PLAN MUST BE APPROVED PRIOR TO INSTALLATION BY THE CITY OF ANN ARBOR.
  - APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHORUS.

- TOPSOIL AND TURF NOTES:**
- WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
  - DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.

**LANDSCAPE CALCULATIONS**

**5.20.10 (B) STREET TREES REQUIRED:**

ONE STREET TREE OF THE MINIMUM SIZE AND SPECIES MEETING CITY STANDARDS SHALL BE PROVIDED FOR EVERY 45 LINEAR FEET OF PUBLIC STREET RIGHT-OF-WAY ABUTTING A SITE PLAN SITE. EXISTING TREES MEETING CITY STANDARDS MAY BE USED TO SATISFY ALL OR PART OF THIS REQUIREMENT.

REQUIRED: 264 FT (HENRY) - 25 FT (CURB CUTS) = 239 / 45 = 5.31 = 6 TREES  
 273 FT (WHITE ST) - 25 FT (CURB CUTS) = 249 / 45 = 5.53 = 6 TREES  
 264 FT (STIMSON) / 45 = 5.867 = 6 TREES  
 273 FT (STATE) / 45 = 6.067 = 6 TREES

PROPOSED: HENRY = 6 TREES (1 EXISTING AND 5 PROPOSED)  
 WHITE ST = 6 TREES (2 EXISTING AND 4 PROPOSED)  
 STIMSON = 6 TREES (6 PROPOSED)  
 STATE = 6 TREES (6 PROPOSED)

**5.23.6 (E) LANDMARK TREE MITIGATION:**

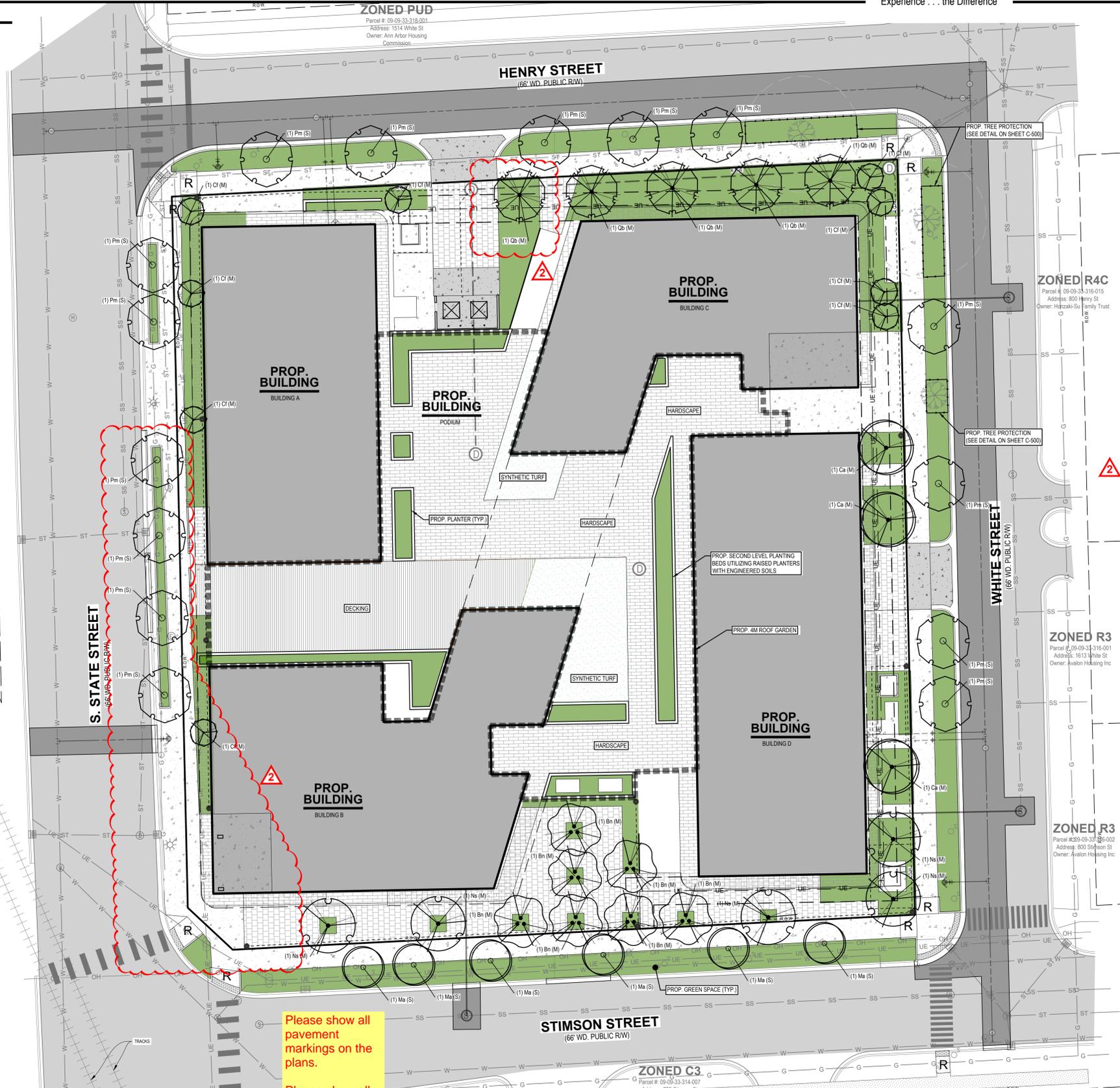
1) A REPLACEMENT TREE OR COMBINATION OF TREES OF A SPECIES NATIVE TO MICHIGAN SHALL BE PROVIDED TO EQUAL A MINIMUM OF 50% OF THE ORIGINAL DBH FOR EACH LANDMARK TREE THAT IS REMOVED.

REQUIRED: 84.15" DBH FOR PROPOSED REMOVAL OF 168.3" DBH OF EXISTING LANDMARK TREES  
 PROPOSED: 87" DBH REPLACEMENT

**LANDSCAPE MAINTENANCE SCHEDULE**

Perennial Beds Maintenance Task	January	February	March	April	May	June	July	August	September	October	November	December
Prune shade trees & summer flowering shrubs												
Remove mulch from around crown of perennials; remove winter mulch												
Fertilize Trees and Shrubs, planting beds												
Clean flower beds, remove winter weeds and dead plant material left for winter interest												
Apply double shredded bark mulch to tree/shrub beds and ground leaf compost to flower beds												
Pressurize irrigation system and perform spring audit												
Divide and replant summer and fall blooming perennials (when growth is 3-4in high), cut back if needed												
Replace dead/poor health perennials and grasses												
Prune spring blooming shrubs immediately after flowering												
Prune wither damaged branches or plants that have not begun to grow after last frost												
Replace mulch as necessary												
Prune/pinch back perennials and grasses for height control and shaping												
Inspect plants for pests and treat as necessary												
Clean up planting beds - remove yellowing foliage not left for winter interest, remove stakes/hoops												
Turn off irrigation system and flush out												
Winter mulch tender plants once ground is frozen												

**NOTE:**  
1. ALL DISEASED, DAMAGED OR DEAD MATERIAL BE REPLACED IN ACCORDANCE WITH CITY CODE BY THE END OF THE FOLLOWING PLANTING SEASON, AS A CONTINUING OBLIGATION FOR THE DURATION OF THE SITE PLAN.



**LEGEND**

	Benchmark / Control Point		Hand Hole		Sign		Water Valve		UT	Underground Telephone		PROPOSED PAVERS
	Catch Basin - Square		Hydrant		Sanitary Sewer Manhole		Yard Drain		W	Watermain		PROPOSED BITUMINOUS (HEAVY DUTY)
	Cleanout		Iron - Found		Stormwater Manhole		Cable TV		X - X	Fence		PROPOSED CONCRETE (STANDARD DUTY)
	Deciduous Tree		Light Pole		Telephone Manhole		UE	Underground Electric	-----	Railroad		PROPOSED CONCRETE (HEAVY DUTY)
	Electric Manhole		Mailbox		Transformer		G	Gas	-----	Zoning Setback		PROPOSED GREENSPACE
	Electric Meter		Miss Dig Flag - Cable		Traffic Light		OH	Overhead Utility	-----	Asphalt		PROPOSED DECKING
	Gas Meter		Miss Dig Flag - Gas		Utility Pole		SS	Sanitary	-----	Concrete		PROPOSED SYNTHETIC TURF
	Guy Anchor		Manhole		Water Manhole		ST	Storm	-----	Gravel		

Please show all pavement markings on the plans.

Please show all sight triangles on the plans.

**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
**ANN ARBOR**  
 3037 Miles Rd  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
**CHICAGO**  
**COLUMBUS**  
**GRAND RAPIDS**  
**HOLLAND**  
**INDIANAPOLIS**

**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher  
 2082 S. State Street  
 Ann Arbor, MI 48104

**REVISIONS:**

Title	Drawn	Checked	BC/JVR	Date
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**SOUTHTOWN BY 4M**  
 Landscape Plan  
 Block surrounded by S. State, Henry, White, and Stimson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R1E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

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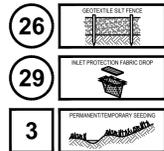
**PROJECT NO:**  
21500282

**SHEET NO:**  
**L-100**

SITE CONSTRUCTION SEQUENCE & TIMING	2024											
	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC		
INSTALL SOIL EROSION CONTROL MEASURES												
DEMOLITION & REMOVALS												
ROUGH GRADE SITE												
CONSTRUCT STORM WATER MANAGEMENT SYSTEM												
CONSTRUCT UTILITY LINES TO BUILDING												
CURBING AND FIRST COURSE OF ASPHALT PAVING												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESPREAD TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTHWORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESS AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESS MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



**GRADING NOTES:**

- ALL PROPOSED PAVING AND GRADING IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
  - CONTRACTOR SHALL REFERENCE AND ABIDE BY THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL EVALUATION PREPARED BY G2 CONSULTING, PROJECT NO. 223573, DATED OCTOBER 4, 2022.
  - ESTABLISH PERMANENT BENCH MARK ON-SITE PRIOR TO GRADING.
  - PROPOSED SPOT GRADES ARE TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.
  - EXISTING AND PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
  - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL. IF POOR SOIL IS ENCOUNTERED THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER.
- PRIOR TO MAKING ANY SOIL CORRECTIONS & SHALL PROVIDE UNIT COSTS IN THEIR BID FOR SUCH WORK.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
  - UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
  - CONTRACTOR TO FIELD VERIFY ALL INVERTS PRIOR TO START OF CONSTRUCTION.
  - CURBING AND FIRST COARSE OF ASPHALT NEEDS TO BE COMPLETED PRIOR TO VERTICAL CONSTRUCTION.
  - VERTICAL CONSTRUCTION CANNOT BEGIN UNTIL THE STORM WATER MANAGEMENT SYSTEM IS COMPLETED.

**MAINTENANCE TASKS & SCHEDULE**

TASKS	SYSTEM COMPONENTS							SCHEDULE
	PAVED AREAS	PERVIOUS AREAS	STORM DRAINAGE SYSTEM	CATCH BASIN INLET CASINGS	RESTRICTOR STRUCTURE	SEEDING	UNDERGROUND DETENTION AREA	
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	QUARTERLY
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION	X	X	X	X	X	X	X	WEEKLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X	X	X	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER
CLEAN DRIVES AND PARKING LOTS	X	X	X	X	X	X	X	WEEKLY OR AS DETERMINED BY PERMITTING AGENCY
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL	X	X	X	X	X	X	X	AS NEEDED
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	X	X	ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED	X	X	X	X	X	X	X	AS NEEDED

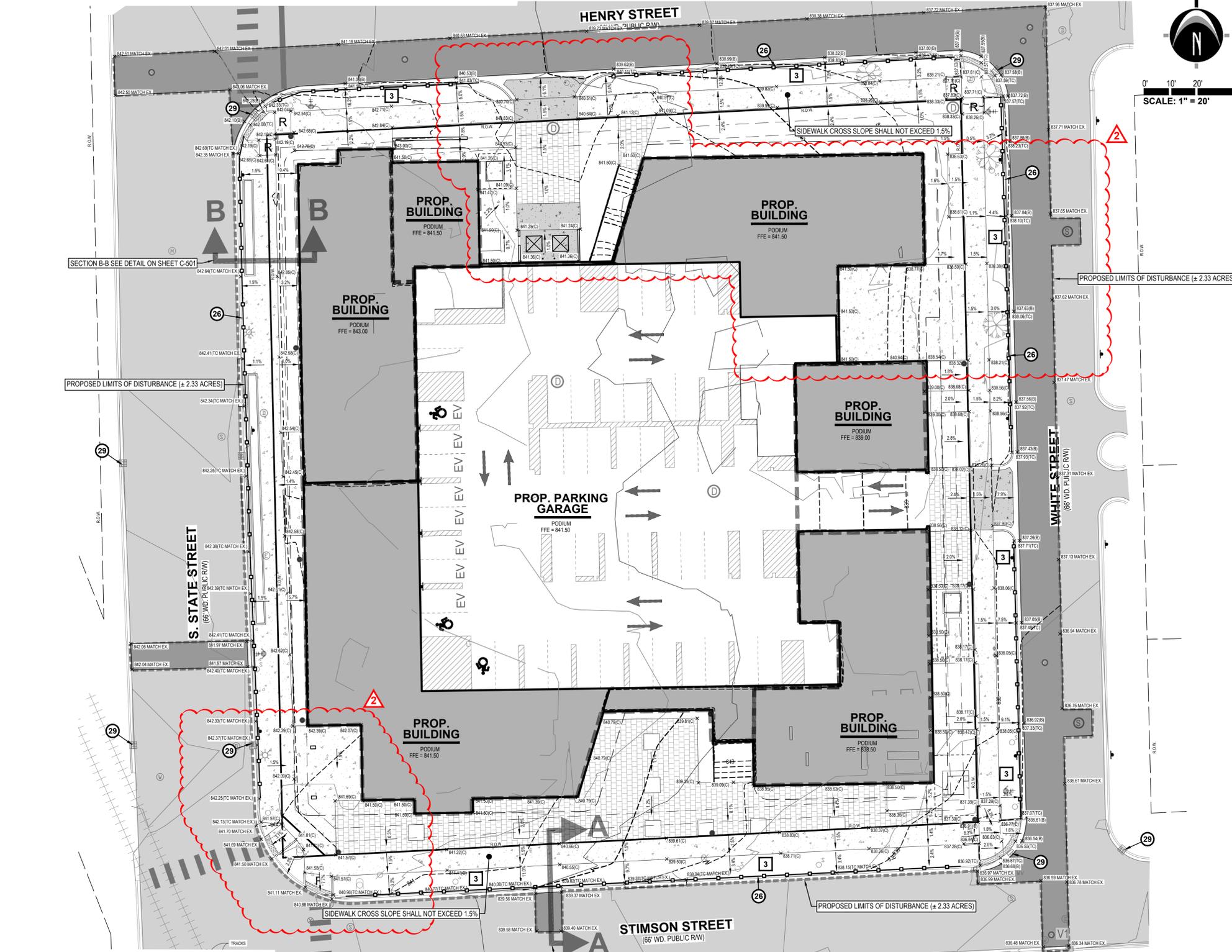
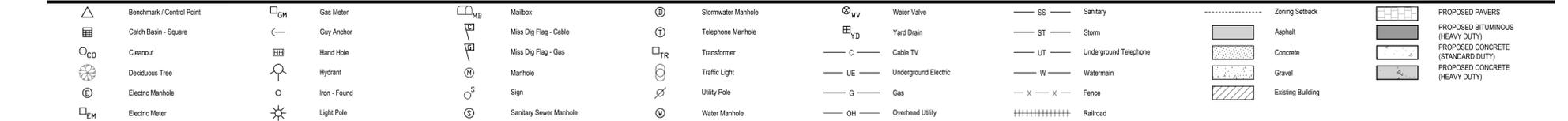
\*AS NEEDED\* MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

**PERMANENT LONG-TERM MAINTENANCE**

MAINTENANCE ACTIVITIES	SYSTEM COMPONENTS							SCHEDULE	BUDGET
	PAVED AREAS	PERVIOUS AREAS	STORM DRAINAGE SYSTEM	CATCH BASIN INLET CASINGS	RESTRICTOR STRUCTURE	SEEDING	UNDERGROUND DETENTION AREA		
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	SEMI-ANNUALLY AS NEEDED*	\$250.00
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	ANNUALLY AS NEEDED*	\$750.00
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	ANNUALLY	\$150.00
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	ANNUALLY	\$300.00
INSPECTION FOR EROSION	X	X	X	X	X	X	X	SEMI-ANNUALLY	\$100.00
CLEAN DRIVES AND PARKING LOTS	X	X	X	X	X	X	X	ANNUALLY	\$250.00
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	X	X	ANNUALLY	\$500.00
INSPECT INFILTRATION AREA FOLLOWING RAIN EVENTS OF 1 INCH OR MORE	X	X	X	X	X	X	X	AS NEEDED	\$500.00
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	X	X	AS NEEDED	\$500.00
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER	X	X	X	X	X	X	X	ANNUALLY	
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO PROPERTY OWNER	X	X	X	X	X	X	X	ANNUALLY	
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS	X	X	X	X	X	X	X	ANNUALLY	
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS	X	X	X	X	X	X	X	AS NEEDED	\$500.00

\*AS NEEDED\* MEANS INSPECTION AFTER EVERY STORM THAT TOTALS 1 INCH OF RAINFALL OR MORE, AND REMOVAL OF SEDIMENT WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH.

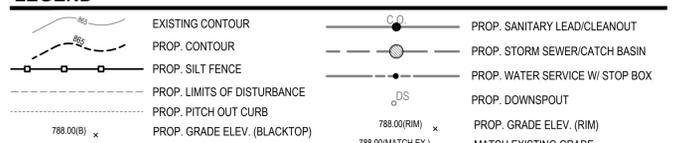
**LEGEND**



**SOIL EROSION CONTROL ESTIMATED COST**

ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
Silt fence	1,000	LF	\$2.50	\$2,500
Mud Mat	60	TN	\$15.00	\$900
Excavation & Fill	3,200	CY	\$4.00	\$12,800
Inlet/CB filter	15	EA	\$100.00	\$1,500
Dust Control	1	LS	\$2,000.00	\$2,000
Permanent seed & mulch	10,000	SF	\$0.70	\$7,000
<b>TOTAL COST =</b>				<b>\$26,700.00</b>

**LEGEND**



**BENCHMARKS**

**BENCHMARK #300** ELEV. = 839.56 (NAVD88)  
Steamer valve on South side of hydrant, located 6' +/- North of back of curb and 24' +/- West of catch basin at Northwest corner of Stimson Street and White Street.

**BENCHMARK #302** ELEV. = 844.30 (NAVD88)  
Steamer valve on North side of hydrant, located 36' +/- East of centerline of State Street and 12' +/- North of Stimson Street traffic light at Northeast corner of State Street and Stimson Street.

**BENCHMARK #301** ELEV. = 840.14 (NAVD88)  
Steamer valve on East side of hydrant, located 25' +/- West of centerline of White Street and 15' +/- South of catch basin at Southwest corner of Henry Street and White Street.

**BENCHMARK #303** ELEV. = 843.71 (NAVD88)  
Northwest bolt on light pole base, located 15' +/- South of control point 203 and 30' +/- West of centerline of Slate Street at end of Henry Street.

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**PREPARED FOR:**  
Southtown by 4M, LLC  
Marge Poscher  
2082 S. State Street  
Ann Arbor, MI 48104

**REVISIONS:**

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Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BCJVR	Date: 06/13/2023

**SOUTHTOWN BY 4M**  
**S.E.S.C. & Grading Plan**  
Block surrounded by S. State, Henry, White, and Stimson Streets  
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**

**PROJECT NO:**  
21500282  
**SHEET NO:**  
C-300

### SANITARY SEWER MITIGATION CALCULATIONS

Use the City of Ann Arbor "Table A" and "Michigan Criteria for Subsurface Sewage Disposal" Michigan Department of Public Health April 1994 & the "Ten States Standards"

Existing Site (Table A Designation)	Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow (gpd)	(gpm)
1601 S. State St (Apartment ≤ 600 sq. ft.)	3	Apartment	175	525	0.36
1605 S. State St (Apartment ≤ 600 sq. ft.)	3	Apartment	175	525	0.36
1607 S. State St (Apartment ≤ 600 sq. ft.)	3	Apartment	175	525	0.36
1609 S. State St (Apartment ≤ 600 sq. ft.)	3	Apartment	175	525	0.36
1611 S. State St (Apartment ≤ 600 sq. ft.)	10	Apartment	175	1,750	1.22
714 Henry St (Apartment ≤ 600 sq. ft.)	6	Apartment	175	1,050	0.73
1606 White St (Apartment ≤ 600 sq. ft.)	3	Apartment	175	525	0.36
1608 White St (Apartment ≤ 600 sq. ft.)	3	Apartment	175	525	0.36
1610 White St (Apartment ≤ 600 sq. ft.)	2	Apartment	175	350	0.24
1612 White St (Apartment ≤ 600 sq. ft.)	2	Apartment	175	350	0.24
<b>Total Existing Flow</b>				<b>6,650</b>	<b>4.62</b>

Sanitary Sewer Connection #1 (Building A)*	Quantity of Base Unit	Unit	Capita/Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow (gpd)	(gpm)
Proposed Site (Table A Designation)						
Uses:	Studio Apartment	Apartment	1	75	1,200	0.83
	2 Bedroom Apartment	Apartment	2	150	4,200	2.92
<b>Total Proposed Flow (Area A)</b>					<b>5,400</b>	<b>3.75</b>

Sanitary Sewer Connection #2 (Building BCD)*	Quantity of Base Unit	Unit	Capita/Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow (gpd)	(gpm)
Proposed Site (Table A Designation)						
Uses:	Studio Apartment	Apartment	1	75	2,775	1.93
	1 Bedroom Apartment	Apartment	1	75	6,825	4.74
	2 Bedroom Apartment	Apartment	2	150	6,600	4.58
<b>Total Proposed Flow (Area B)</b>					<b>16,200</b>	<b>11.25</b>

Sanitary Sewer Connection #3 (Area Podium)*	Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow (gpd)	(gpm)
Proposed Site (Table A Designation)					
Uses:	Non-Medical Office Space	sf	0.06	641	0.45
	Daycare (nursery & elementary)	30 Student	10	300	0.21
	Retail Store (no process water discharge)	1,587 Gross Floor	0.03	46	0.03
<b>Total Proposed Flow (Area C)</b>				<b>988</b>	<b>0.69</b>

Sanitary Sewer Connection #4 (Parking Structure)*	Quantity of Base Unit	Unit	Flow Rate For Given Use (gpd/unit)	Avg. Flow (gpd)	(gpm)
Proposed Site (Table A Designation)					
Uses:	Parking Structure	53 spaces	27.00	1,431	0.99
<b>Total Proposed Flow (Parking Structure)</b>				<b>1,431</b>	<b>0.99</b>

Sanitary Sewer Connection Area (A + BCD + Podium + Parking Structure)	Avg. Flow (gpd)	(gpm)
Proposed Site (Table A Designation)		
Uses:	<b>Total Proposed Flow (Building A)</b>	5,400 3.75
	<b>Total Proposed Flow (Building BCD)</b>	16,200 11.25
	<b>Total Proposed Flow (Building Podium)</b>	988 0.69
	<b>Total Proposed Flow (Parking Structure)</b>	1,431 0.99
<b>Total Proposed Flow Area</b>	<b>24,019</b>	<b>16.68</b>

Remove the .4 this is a math blunder.

### SANITARY SEWER BASIS OF DESIGN

Sanitary Flow Offset Mitigation Summary		
Proposed - Existing Flows	Proposed Site Average Flow (24019.4) - Existing Site Average Flow (6650)	= 17,369 gpd
	17369 gpd x 4 (Peaking Factor) x 1.1 (System Recovery Factor)	= 76,423 gpd
	76423 gpd x 1 day / 24 hrs x 1 hr / 60 min	= 53 gpm
	<b>53 gpm Peak Flow to be mitigated</b>	

### UTILITY NOTES

- GENERAL**
- CONSTRUCTION MUST CONFORM TO THE CITY OF ANN ARBOR STANDARD SPECIFICATIONS AND STANDARD DETAILS.
  - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION.
  - UTILITY TRENCHES WITHIN A 1 ON 1 INFLUENCE OF CITY OF ANN ARBOR R.O.W. SHALL BE BACKFILLED IN ACCORDANCE WITH THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR DATA CUT SHEETS FOR PIPE MATERIALS, VALVES, CASTINGS, STEPS, AND MANHOLE STRUCTURES FOR REVIEW.
  - MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SEWERS, AND A MINIMUM OF 5' HORIZONTAL AND 12" VERTICAL SEPARATION BETWEEN WATER AND OTHER UTILITIES.
  - SUMP PUMPS PROPOSED IN ELEVATOR PITS ONLY. SEE ARCHITECTURAL PLANS FOR DETAIL.

- WATER SERVICE**
- HYDRANTS SHALL BE IN SERVICE DURING CONSTRUCTION.
  - THE PROPOSED BUILDING WILL BE SERVICED BY A NEW 4" DUCTILE IRON WATER LINE AND 8" DUCTILE IRON FIRE SUPPRESSION SERVICE LINE.
  - WATER SERVICE LINE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
  - THE 4-INCH DOMESTIC WATER SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON AND INSTALLED BY THE CONTRACTOR UNDER CITY OF ANN ARBOR INSPECTION.
  - ALL WATER SERVICE PIPES MUST BE LAID WITH A MINIMUM OF FIVE AND ONE-HALF (5.5) FEET, OF FINAL EARTH GRADE COVER, TYPICAL.
  - WATER SERVICE METERING SHALL OCCUR AT THE POINT THE SERVICE LEAD ENTERS THE BUILDING.
  - A BOOSTER PUMP SHALL BE USED FOR BUILDINGS WATER SERVICE LEADS.
  - CONTACT CITY TO COORDINATE CONNECTION TO ASBESTOS CONCRETE WATERMAIN ON STIMPSON STREET. CONNECTION MUST BE MADE BY A CITY APPROVED CONTRACTOR.

- SANITARY SERVICE**
- SANITARY SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
  - THE PROPOSED SANITARY SEWER LEAD SHALL BE PVC SDR-23.5 OR PVC SCH 40 UNLESS OTHERWISE NOTED.
  - NO CONNECTION TO RECEIVING STORM WATER, SURFACE WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWER
  - NO FOOTING DRAINS SHALL BE CONNECTED TO THE BUILDING SANITARY SEWER.
  - THE INSTALLATION OF SANITARY LEAD AND TAP SHALL BE INSPECTED BY CITY STAFF.

- STORM WATER MANAGEMENT**
- STORM SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANN ARBOR ENGINEERING DESIGN STANDARDS.
  - AN AGREEMENT FOR OPERATION AND MAINTENANCE OF ALL DETENTION SYSTEMS MUST BE COMPLETED BY THE OWNER AND SUBMITTED TO THE CITY PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
  - STORM WATER RUNOFF GENERATED BY THE PROPOSED SITE IMPROVEMENTS WILL BE DETAINED ON-SITE, PER THE CITY OF ANN ARBOR REQUIREMENTS.
  - 12" STORM SEWER PIPE SHALL BE REINFORCED CONCRETE MEETING THE REQUIREMENTS OF ASTM C-76-III, UNLESS OTHERWISE NOTED. JOINTS SHALL BE TONGUE AND GROOVE PREMIUM JOINTS WITH RUBBER GASKETS.
  - 6" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-88 REQUIREMENTS.
  - ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTORS, CONFORMING TO ASTM C-923.
  - NO PART OF THE PRIVATE STORM SEWER STRUCTURES SHALL ENCRoACH INTO THE PUBLIC RIGHT-OF-WAY.
  - VERTICAL CONSTRUCTION CANNOT BEGIN UNTIL THE STORM WATER MANAGEMENT SYSTEM IS COMPLETED.
  - NO PRIVATE STORM SEWER SHALL BE LOCATED WITHIN THE RIGHT OF WAY.

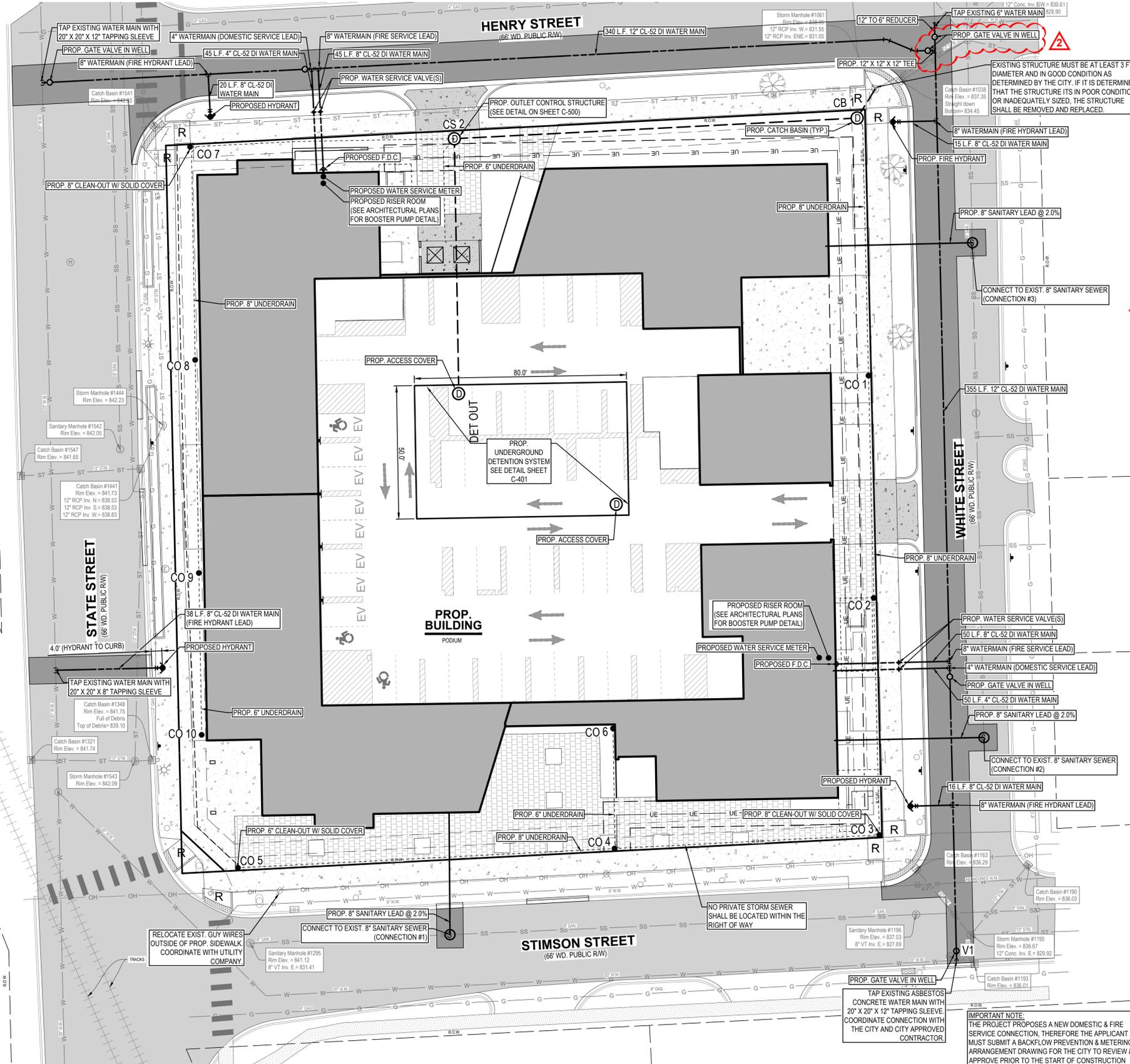
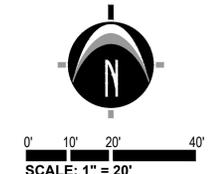
### LEGEND

- |                           |                       |                        |                      |                       |                   |                                   |
|---------------------------|-----------------------|------------------------|----------------------|-----------------------|-------------------|-----------------------------------|
| Benchmark / Control Point | Guy Anchor            | Miss Dig Flag - Gas    | Traffic Light        | Gas                   | Railroad          | PROPOSED PAVERS                   |
| Catch Basin - Square      | Hand Hole             | Manhole                | Utility Pole         | Overhead Utility      | Zoning Setback    | PROPOSED BITUMINOUS (HEAVY DUTY)  |
| Clearcut                  | Hydrant               | Sign                   | Water Manhole        | Sanitary              | Asphalt           | PROPOSED CONCRETE (STANDARD DUTY) |
| Deciduous Tree            | Iron - Found          | Sanitary Sewer Manhole | Water Valve          | Storm                 | Concrete          | PROPOSED CONCRETE (HEAVY DUTY)    |
| Electric Manhole          | Light Pole            | Stormwater Manhole     | Yard Drain           | Underground Telephone | Gravel            | PROPOSED GREENSPACE               |
| Electric Meter            | Mailbox               | Telephone Manhole      | Cable TV             | Watermain             | Existing Building | PROPOSED DECKING                  |
| Gas Meter                 | Miss Dig Flag - Cable | Transformer            | Underground Electric | Fence                 |                   | PROPOSED SYNTHETIC TURF           |



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NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "UNKNOWN" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO THEIR CONNECTIONS.



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**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher

2082 S. State Street  
 Ann Arbor, MI 48104

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  - Title: Site Plan Resubmittal Checked: BC/JVR Date: 06.13.2023
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**SOUTHTOWN BY 4M**

Utility Plan

Block surrounded by S. State, Henry, White, and Stimpson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**

STATE OF MICHIGAN  
 LICENSED PROFESSIONAL ENGINEER  
 JASON L. VAN RYN  
 ENGINEER  
 No. 54207

**PROJECT NO:**  
 21500282

**SHEET NO:**  
**C-400**



PREPARED FOR: Southtown by 4M, LLC Marge Poscher

2082 S. State Street Ann Arbor, MI 48104

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SOUTHTOWN BY 4M Storm Water Management Calculations Block surrounded by S. State, Henry, White, and Stimson Streets PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP: JASON L. VAN RYNN ENGINEER No. 54207

PROJECT NO: 21500282

SHEET NO: C-401

STORM WATER MANAGEMENT CALCULATIONS (SITE)

Design Basis: Use the Washtenaw County Water Resources Commission Rules and Ordinances, Revised: October 17, 2016

Table with columns: Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients. Includes sub-tables for Rational Method Variables, Proposed BMP, and Infiltration Requirements.

Table with columns: Pre-Development Bankfull Runoff Calculations (Vp,runoff), Post-Development Bankfull Runoff Calculations (Vp,runoff), and Infiltration Requirements.

Table with columns: Infiltration Requirements, Underground Detention Storage Volume, and Infiltration Requirements.

Table with columns: Determine Time of Concentration for Applicable Flow Types (Tc,runoff), Runoff Summary and Onsite Infiltration Requirement, and Infiltration Requirements.

Table with columns: Determine Applicable BMP and Associated Volume Credits, Proposed BMP, and Infiltration Requirements.

Table with columns: Natural Features Inventory, Existing Natural Resources, and Infiltration Requirements.

STORM WATER MANAGEMENT CALCULATIONS (BUILDING)

Design Basis: Use the Washtenaw County Water Resources Commission Rules and Ordinances, Revised: October 17, 2016

Table with columns: Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients. Includes sub-tables for Rational Method Variables, Proposed BMP, and Infiltration Requirements.

Table with columns: Pre-Development Bankfull Runoff Calculations (Vp,runoff), Post-Development Bankfull Runoff Calculations (Vp,runoff), and Infiltration Requirements.

Table with columns: Infiltration Requirements, Underground Detention Storage Volume, and Infiltration Requirements.

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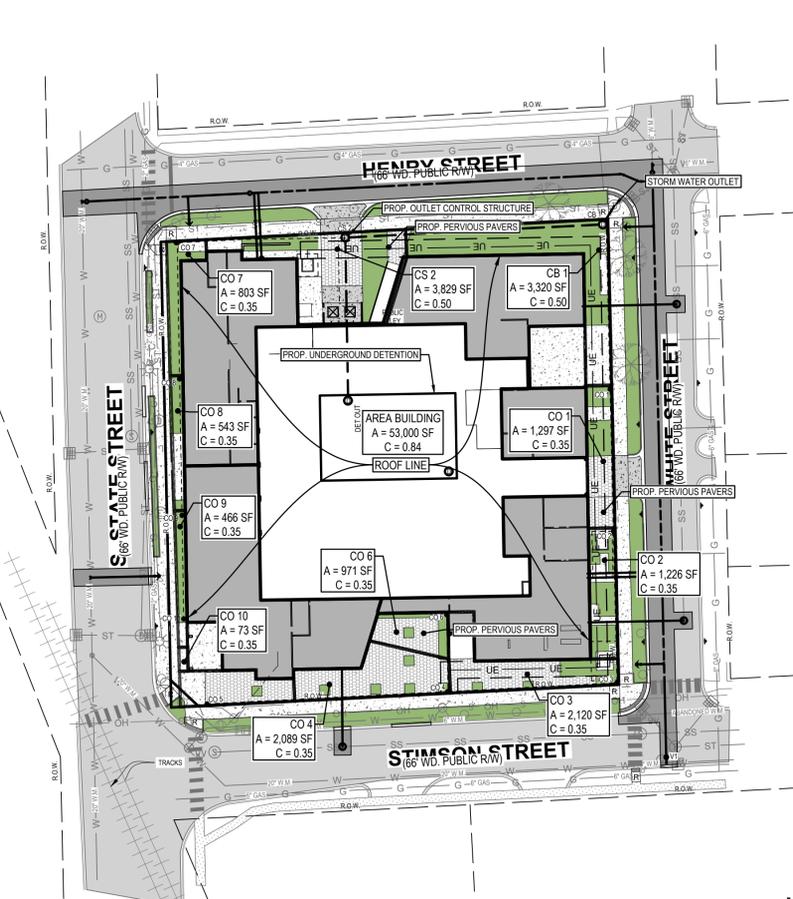
Table with columns: Natural Features Inventory, Existing Natural Resources, and Infiltration Requirements.

STORM SEWER STRUCTURE SCHEDULE

Table with columns: STR NUMBER, RIM, SIZE, DIRECTION & INVERT ELEVATION, STR DIA., CASTING/GRATE (OR APPROVED EQUAL).

STORM SEWER PIPE SCHEDULE

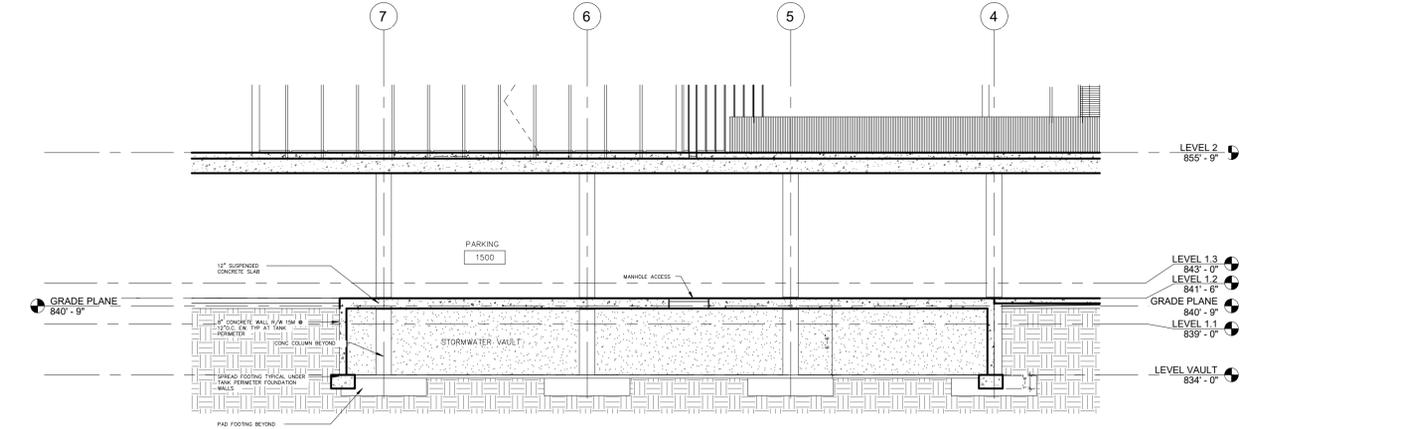
Table with columns: PIPE RUN, LENGTH OF LINE (FT), DIAM. OF PIPE (IN), SLOPE OF PIPE (%), PIPE MATERIAL.



SCALE: 1" = 50'

STORM SEWER PIPE SCHEDULE

Table with columns: PIPERUN, FROM STR, TO STR, INCREMENT AREA (SF), INCREMENT AREA (ACRES), HYDROLOGY, HYDRAULICS, H.G. ELEVATION, F.G. ELEVATION, INVERT ELEV.



UNDERGROUND DETENTION CROSS SECTION

NOT TO SCALE

STORM WATER MANAGEMENT PLAN NARRATIVE

THE EXISTING DEVELOPED SITE CONTAINS TEN (10) SEPARATE PARCELS THAT DRAIN FROM WEST TO EAST TOWARD THE EXISTING CITY OF ANN ARBOR STORM SEWER SYSTEM LOCATED WITHIN THE HENRY STREET RIGHT-OF-WAY AT THE NORTHEAST CORNER OF THE SITE. THIS CITY OWNED CATCH BASIN AND THE SUBSEQUENT DOWNSTREAM STORM SEWER SYSTEM DRAIN TO THE EAST AND CONNECT TO THE PITTSFORD #3 DRAIN BEFORE HEADING SOUTHEAST TOWARD MALLETS CREEK. THIS EXISTING DRAINAGE PATTERN WILL BE MAINTAINED, AND THE EXISTING CATCH BASIN WILL BE USED AS AN OUTLET TO THE PROPOSED UNDERGROUND DETENTION SYSTEM FOR THE PROPOSED PROJECT.

811 Know what's below. CALL before you dig. UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.



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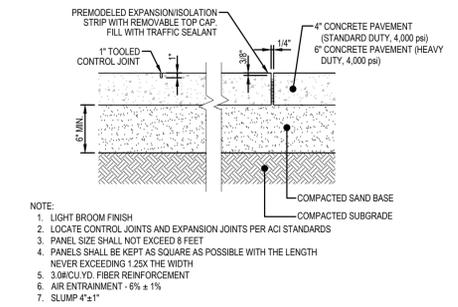
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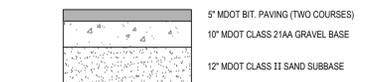
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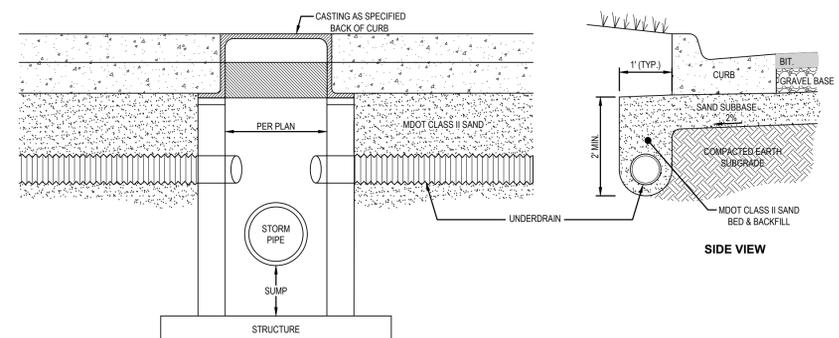
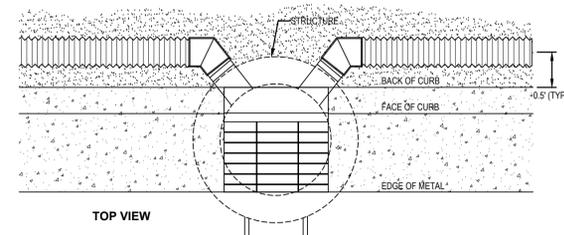
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Drawn: WLTG Checked: BC/JVR Date: 10.21.2022  
Title: Site Plan Resubmittal  
Drawn: WLTG Checked: BC/JVR Date: 02.22.2023  
Title: Site Plan Resubmittal  
Drawn: WLTG Checked: BC/JVR Date: 04.24.2023  
Title: Revised Layout Plan  
Drawn: WLTG Checked: BC/JVR Date: 05.10.2023  
Title: Site Plan Resubmittal  
Drawn: WLTG Checked: BC/JVR Date: 05.25.2023  
Title: Site Plan Resubmittal  
Drawn: WLTG Checked: BC/JVR Date: 06.13.2023



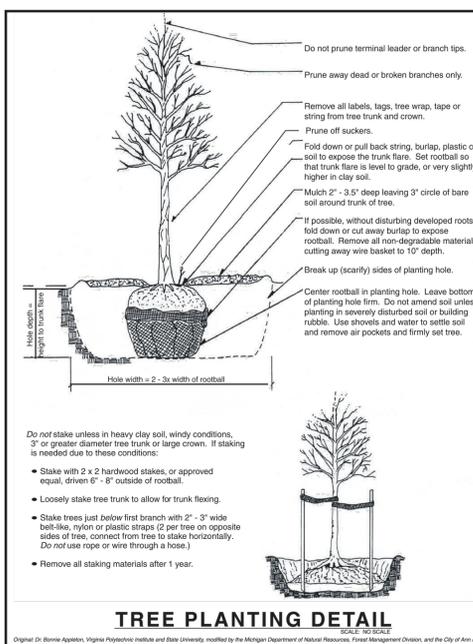
**CONCRETE PAVEMENT DETAIL**  
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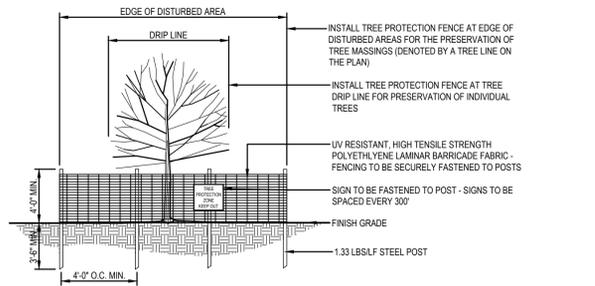
**HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL**  
N.T.S.



**UNDER DRAIN AT CURB DETAIL**  
N.T.S.

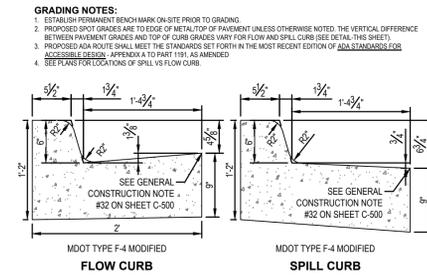


**TREE PLANTING DETAIL**  
SCALE: NO SCALE

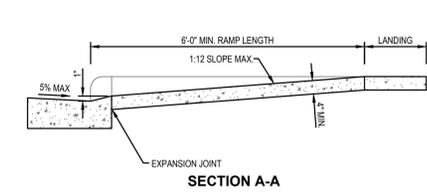
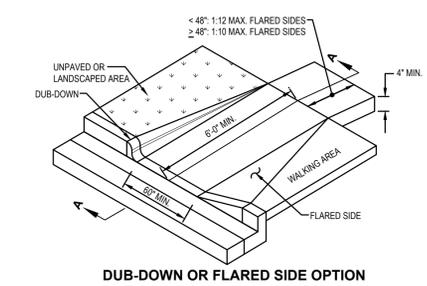


- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING AS ILLUSTRATED.
- THERE SHALL BE NO STORAGE OF MATERIAL OR EQUIPMENT WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
- TREE PROTECTION FENCINGS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- ALL TREE PROTECTION SHALL BE INSTALLED BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW CONSTRUCTION.

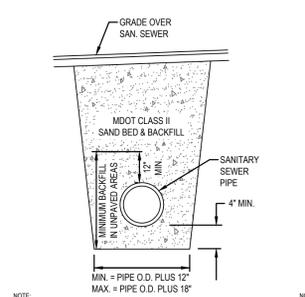
**TREE PROTECTION FENCING DETAIL**  
N.T.S.



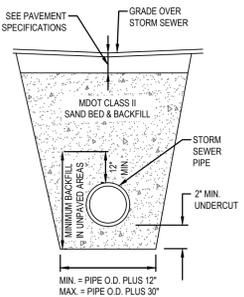
**24\"/>**



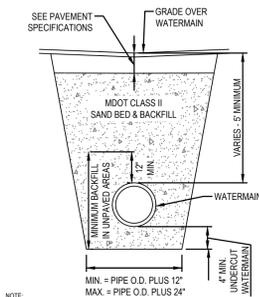
**SIDEWALK CURB RAMP DETAIL**  
N.T.S.



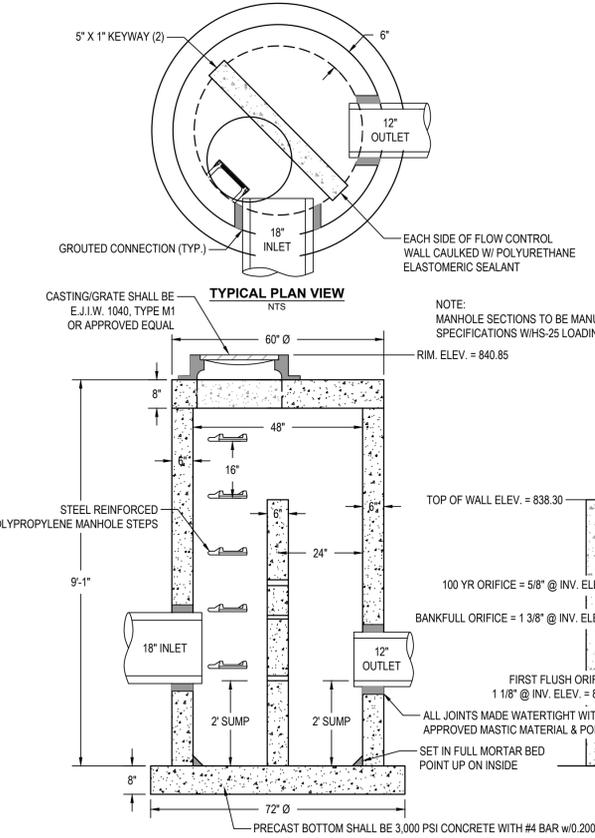
**SANITARY SEWER TRENCH AND BACKFILL DETAIL**  
N.T.S.



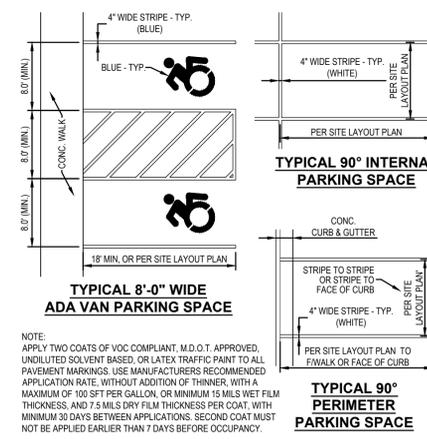
**STORM SEWER TRENCH AND BACKFILL DETAIL**  
N.T.S.



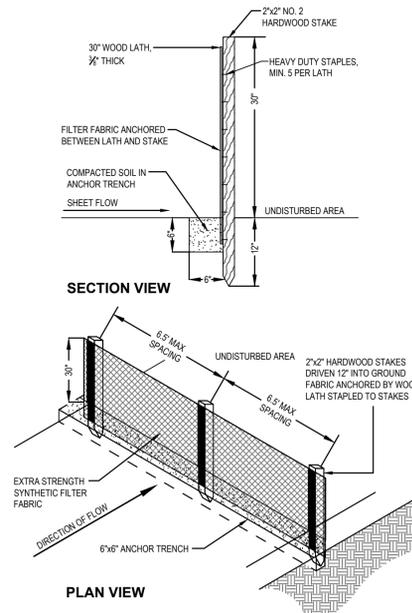
**WATER MAIN TRENCH AND BACKFILL DETAIL**  
N.T.S.



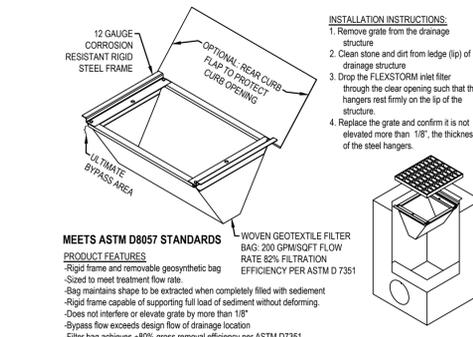
**48\"/>**



**PARKING SPACE MARKING DETAILS**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.

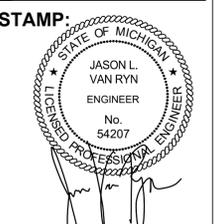


**FLEXSTORM INLET FILTER LITE DETAIL**  
N.T.S.

**SOUTHTOWN BY 4M**

**Details & Specifications**

Block surrounded by S. State, Henry, White, and Stimson Streets  
PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R2E,  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN



**PROJECT NO:**  
21500282

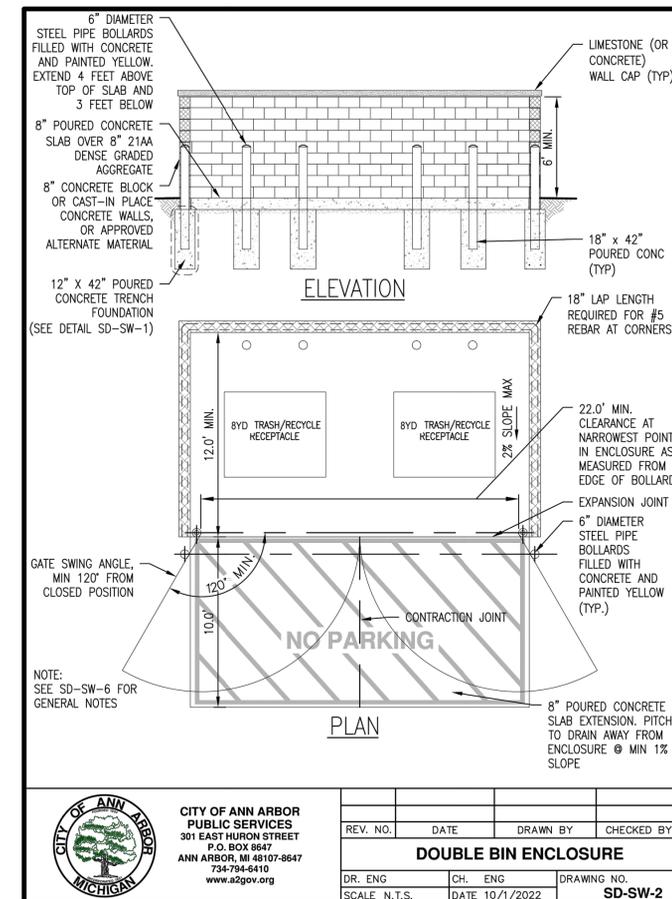
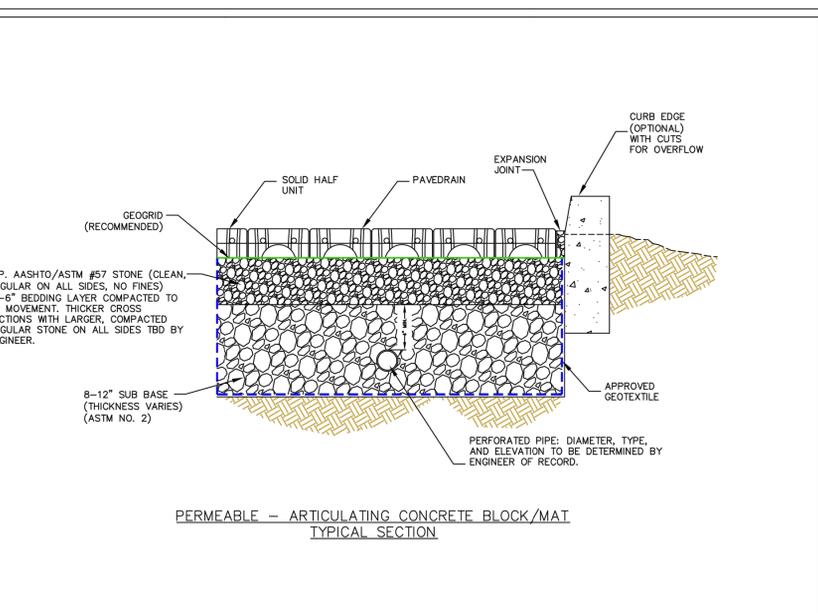
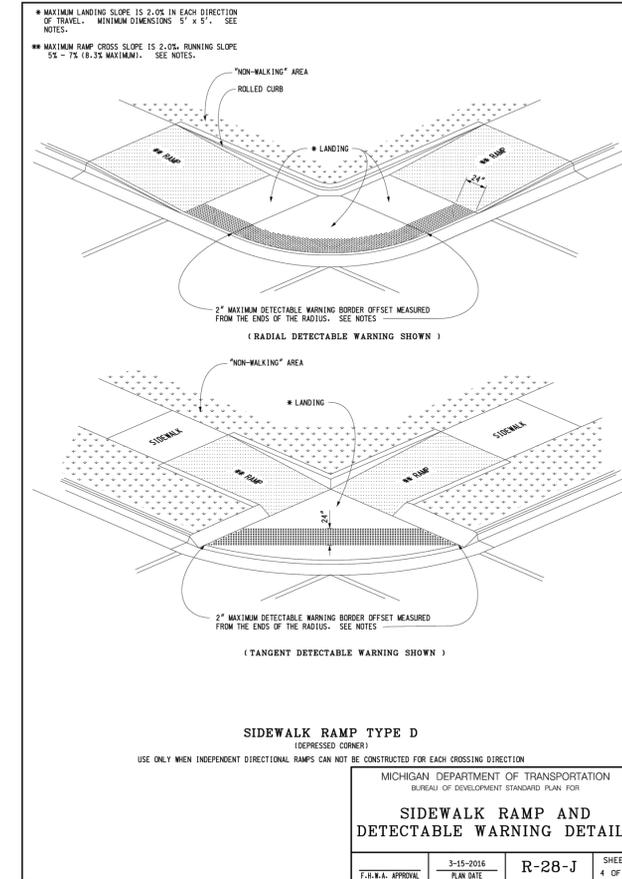
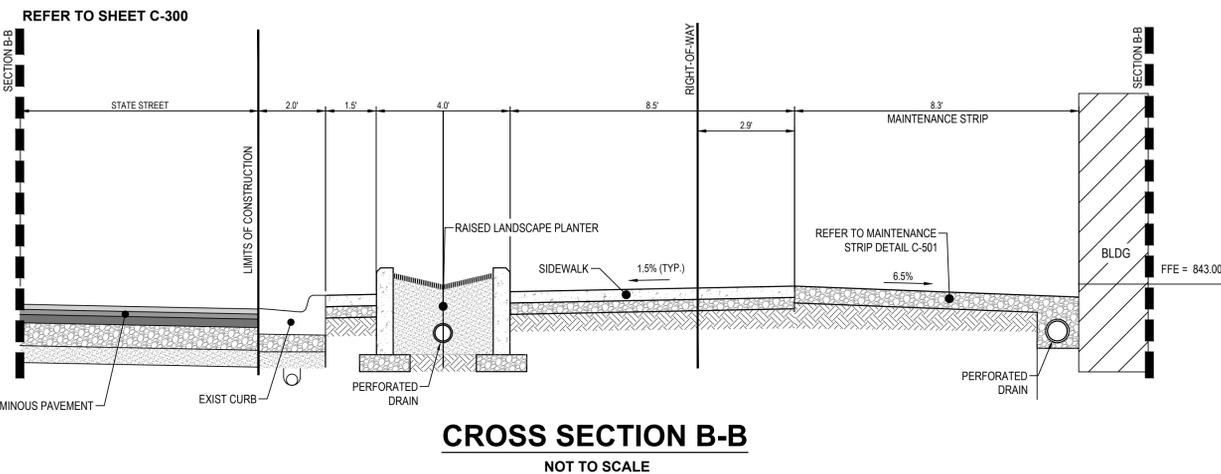
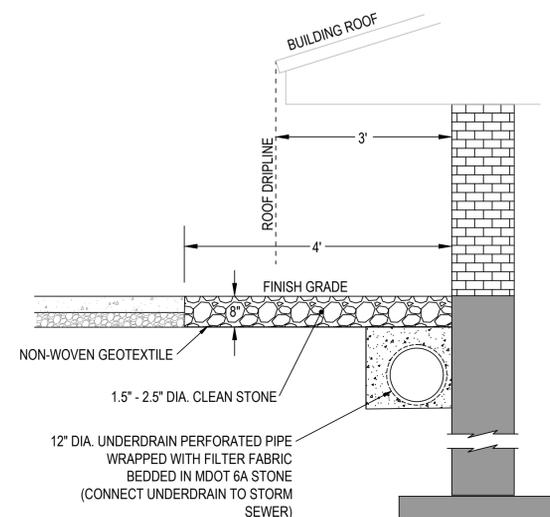
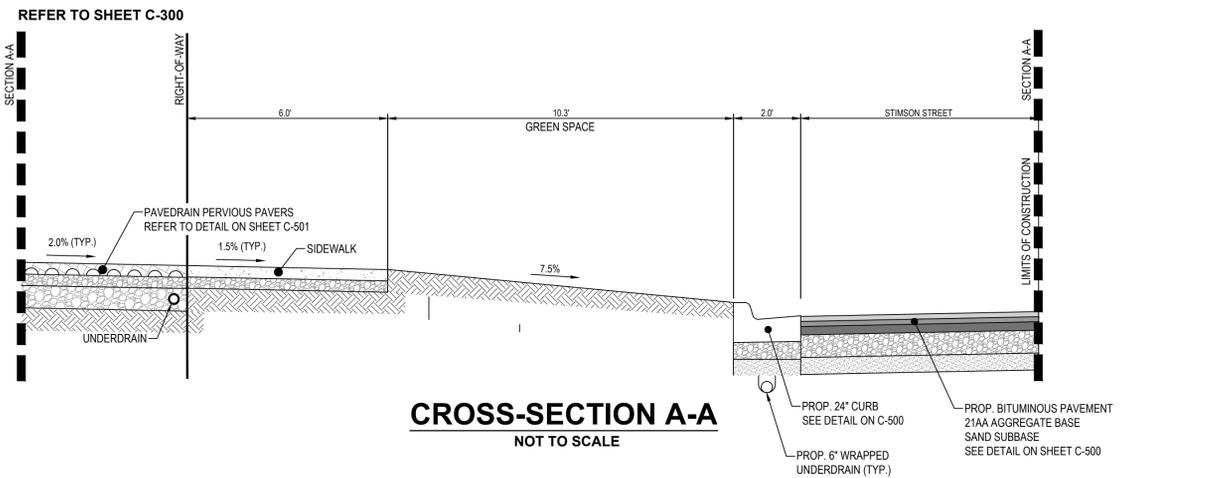
**SHEET NO:**  
**C-500**

**PREPARED FOR:**  
 Southtown by 4M, LLC  
 Marge Poscher

2082 S. State Street  
 Ann Arbor, MI 48104

**REVISIONS:**

Title: Site Plan Submittal	Drawn: WJTG	Checked: BCI/JVR	Date: 10/21/2022
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BCI/JVR	Date: 02/22/2023
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BCI/JVR	Date: 04/24/2023
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Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BCI/JVR	Date: 05/25/2023
Title: Site Plan Resubmittal	Drawn: WJTG	Checked: BCI/JVR	Date: 06/13/2023



**SOUTHTOWN BY 4M**  
**Details & Specifications II**  
 Block surrounded by S. State, Henry, White, and Stimson Streets  
 PART OF THE SOUTHWEST 1/4 OF SECTION 33, T2S, R9E,  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
 STATE OF MICHIGAN  
 JASON L. VAN RYN  
 ENGINEER  
 No. 54207  
 LICENSED PROFESSIONAL ENGINEER

**PROJECT NO:**  
 21500282

**SHEET NO:**  
**C-501**

CITY OF ANN ARBOR PUBLIC SERVICES 301 EAST HURON STREET P.O. BOX 8647 ANN ARBOR, MI 48107-8647 734-794-6410 www.a2gov.org			
REV. NO.	DATE	DRAWN BY	CHECKED BY
<b>DOUBLE BIN ENCLOSURE</b>			
DR. ENG.	CH. ENG.	DRAWING NO.	
SCALE: N.T.S.	DATE: 10/1/2022	SD-SW-2	

# SOUTHTOWN BY 4M

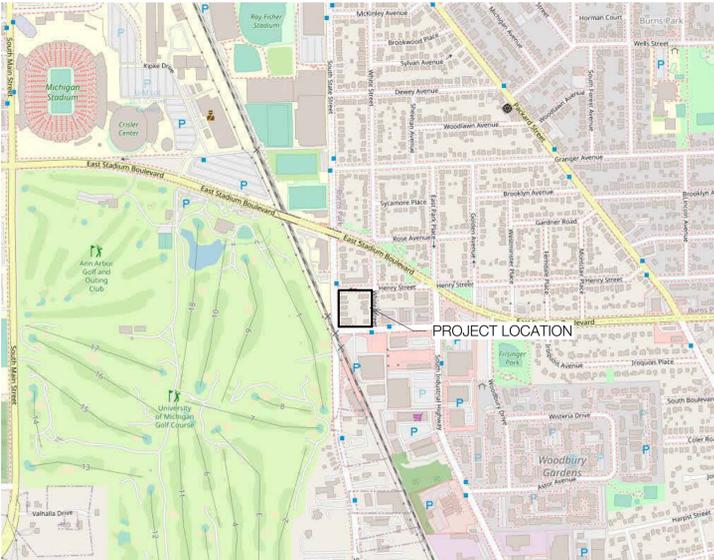


SYNECDOCHE

1342 N MAIN ST. #11  
ANN ARBOR, MI 48104  
HELLO@SYNECDOCHE.DESIGN

## PROJECT LOCATION

ANN ARBOR, MI 48104



**Architect**  
SYNECDOCHE  
ADAM SMITH, AIA  
1342 N. MAIN ST #11  
ANN ARBOR, MI 48104  
P: 734.926.5593  
E: ADAM@SYNECDOCHE.DESIGN

**Owner**  
SOUTHTOWN BY 4M, LLC  
MARGARET POSCHER  
2082 S STATE STREET  
ANN ARBOR, MI 48104

## APPLICABLE CODES

THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

- 2015 MICHIGAN BUILDING CODE
- \*2021 INTERNATIONAL BUILDING CODE, REFER TO CODE SUMMARY
- 2015 MICHIGAN MECHANICAL CODE
- 2018 MICHIGAN PLUMBING CODE
- 2017 MICHIGAN ELECTRICAL CODE
- 2015 INTERNATIONAL ENERGY CODE
- 2009 ICC/ANSI + MICHIGAN BARRIER FREE CODE
- 2015 INTERNATIONAL FIRE CODE
- 2013 NFPA FIRE ALARM CODE

UNIFIED DEVELOPMENT CODE ANN ARBOR (JANUARY 30 2022 AMENDMENTS)

## ZONING COMPLIANCE

CITY ZONING: C1/AR  
REFERENCE SITE PLAN: SP22-2017

REQUIRED SETBACKS  
FRONT MIN: 10'-0"  
- EXCEPTION 5.183c "MIXED USE DISTRICTS (C1AR) MINIMUM MAY BE DECREASED UP TO 50% WHEN ANOTHER SETBACK IS INCREASED"  
- SEE SHEET CIVIL FOR DIAGRAM

REQUIRED BUILDING HEIGHT: 100'-0" AND 8 STORIES  
PROPOSED BUILDING HEIGHT: 85'-0" AND 8 STORIES

FOR VEHICLE AND BICYCLE PARKING - REFER TO CIVIL  
FAR CALCULATIONS REFER TO TABLE BELOW + SHEETS A006 + A007

FAR CALCULATIONS	
SITE AREA	72,148 SF
MAX FAR AREA (300% PER C1/AR)	216,444 SF
TOTAL MAX FAR AREA - W/ 8000 SF PREMIUM	224,444 SF
* GROSS FAR EXCLUDES FLOOR AREA USED FOR REQUIRED PREMIUM VEHICULAR PARKING AND REQUIRED BICYCLE PARKING, STAIRWELLS (INCLUDING LANDINGS), ELEVATOR SHAFTS, RAMPS, AND VERTICAL CHASES OR CHUTES. ** COVERED VEHICULAR PARKING NOT INCLUDED - REFERENCE ZBA23-0012	

FAR BUILDING AREA	
LEVEL 1	23,586 SF
LEVEL 2	32,486 SF
LEVEL 3	31,422 SF
LEVEL 4	36,314 SF
LEVEL 5	36,526 SF
LEVEL 6	26,218 SF
LEVEL 7	18,402 SF
LEVEL 8	16,680 SF
Building Area Total	221,633 SF

## SCOPE OF WORK

NEW CONSTRUCTION OF FULL BLOCK BOUND BY S. STATE STREET, WHITE STREET, STIMSON STREET, AND HENRY STREET. THREE FIRE-SEPARATED BUILDINGS. CONCRETE PODIUM AT LEVEL 1 HORIZONTALLY FIRE-SEPARATED (3-HOURS) FROM SEVEN LEVELS ABOVE OF MASS TIMBER TYPE IV-C CONSTRUCTION TYPE. 216 RESIDENTIAL UNITS AND 20,000 SF BUSINESS AREA. ACTIVE OPEN SPACE COVERING 54 VEHICLE PARKING SPACES. FULLY ELECTRIFIED MECHANICAL + PLUMBING SYSTEMS THROUGHOUT.

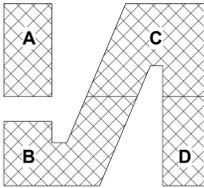
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

NEDERVELD  
3037 MILLER RD  
ANN ARBOR, MI 48103  
734.929.6963

ASPECT STRUCTURAL ENGINEERS  
101-190 W 3RD AVE  
VANCOUVER, BC V5Y 1E9  
HELLO@ASPECTENGINEERS.COM  
604.762.7844

GREENPATH DESIGN  
139 W LIBERTY STREET  
PLYMOUTH, MI 48170  
INFO@GREENPATH.DESIGN  
734.926.5593

ETS ENGINEERING, INC.  
P.O. BOX 11116  
ROYAL OAK, MI 48068  
248.744.0360



No.	Description	Date
	SCHEMATIC DESIGN	01/03/23
	SITE PLAN RESUB.	04/24/23
	SITE PLAN RESUB.	05/25/23
	SITE PLAN RESUB.	06/13/23

1610 WHITE STREET  
ANN ARBOR, MI 48104

SOUTHTOWN  
TITLE

PROJECT NUMBER 202121  
DATE 04/24/2023

G000  
SCALE 1/4" = 1'-0"



SYNECDOCHE

SOUTHTOWN BY 4M



SYNECDOCHE

SOUTHTOWN BY 4M





SYNECDOCHE

1342 N MAIN ST. #11  
ANN ARBOR, MI 48104  
HELLO@SYNECDOCHE.DESIGN

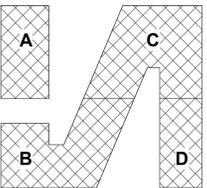
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P.O. BOX 11116  
ROYAL OAK, MI 48068  
248.744.0360



No.	Description	Date
	SITE PLAN RESUB.	04/24/23
	SITE PLAN RESUB.	05/25/23
	SITE PLAN RESUB.	06/13/23

1610 WHITE STREET  
ANN ARBOR, MI 48104

# SOUTHTOWN FAR CALCULATIONS

PROJECT NUMBER 202121  
DATE 04/24/2023

## A008

SCALE 1/32" = 1'-0"

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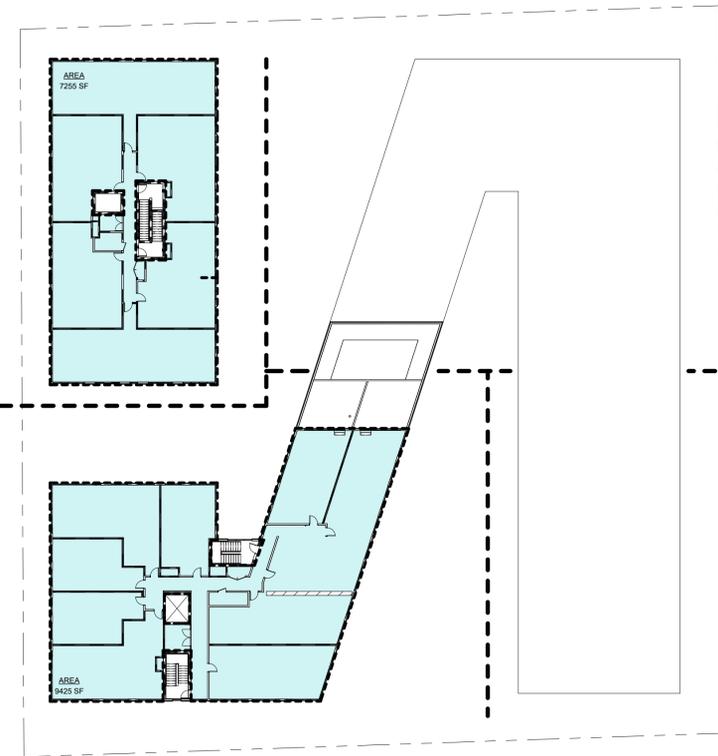
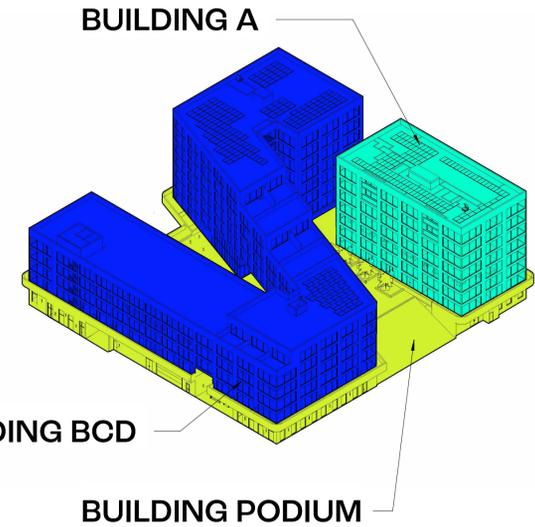
### FAR CALCULATIONS

SITE AREA	72,148 SF
MAX FAR AREA (300% PER C1/AR)	216,444 SF
TOTAL MAX FAR AREA - W/ 8000 SF PREMIUM	224,444 SF

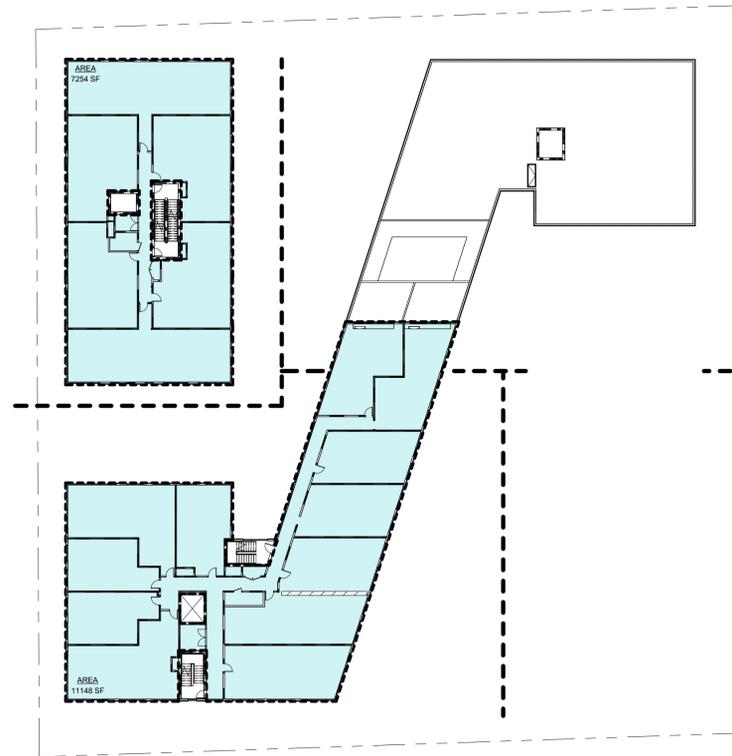
\* GROSS FAR EXCLUDES FLOOR AREA USED FOR REQUIRED PREMIUM VEHICULAR PARKING AND REQUIRED BICYCLE PARKING, STAIRWELLS (INCLUDING LANDINGS), ELEVATOR SHAFTS, RAMPS, AND VERTICAL CHASES OR CHUTES.  
\*\* COVERED VEHICULAR PARKING NOT INCLUDED - REFERENCE ZBA23-0012

### FAR BUILDING AREA

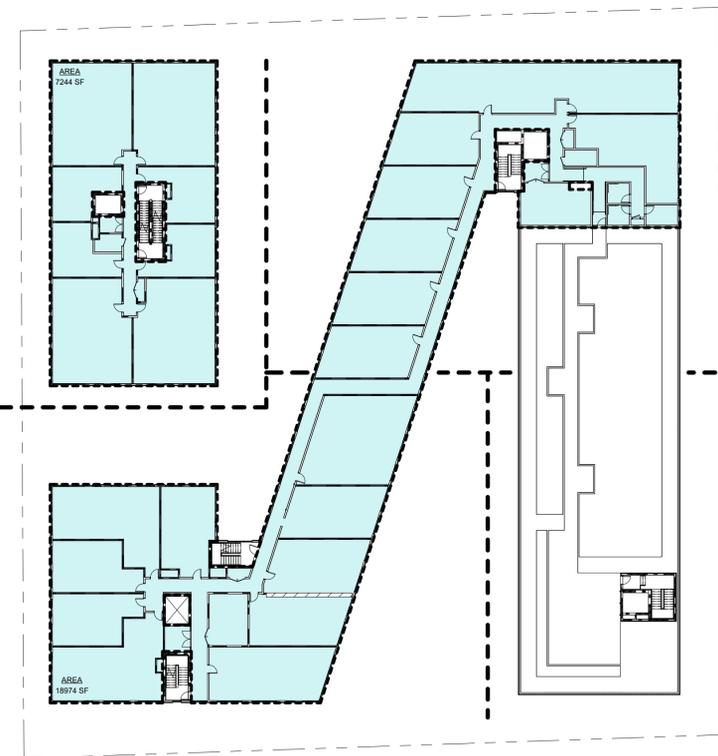
LEVEL 1	23,586 SF
LEVEL 2	32,486 SF
LEVEL 3	31,422 SF
LEVEL 4	36,314 SF
LEVEL 5	36,526 SF
LEVEL 6	26,218 SF
LEVEL 7	18,402 SF
LEVEL 8	16,680 SF
Building Area Total	221,633 SF



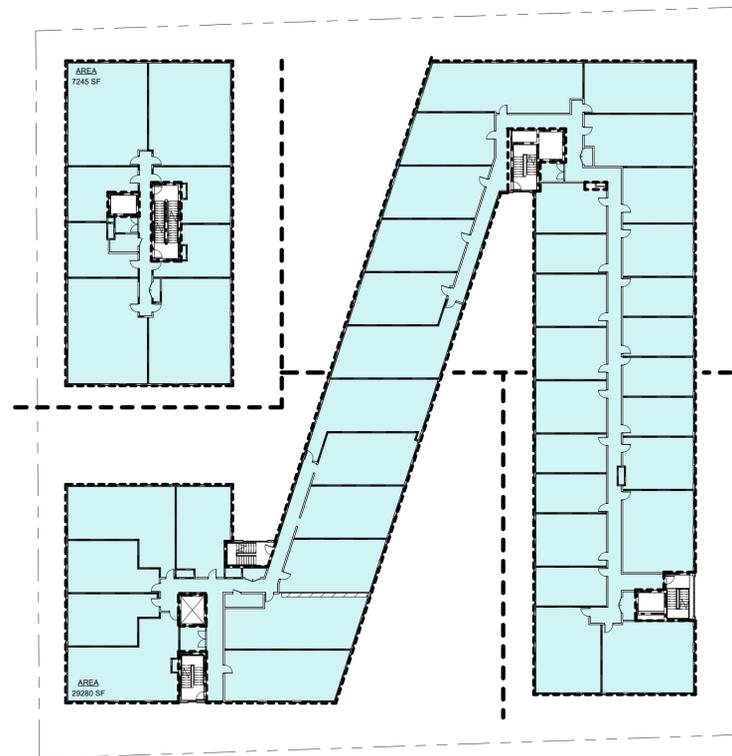
4 LEVEL 8 FAR DIAGRAM  
1/32" = 1'-0"



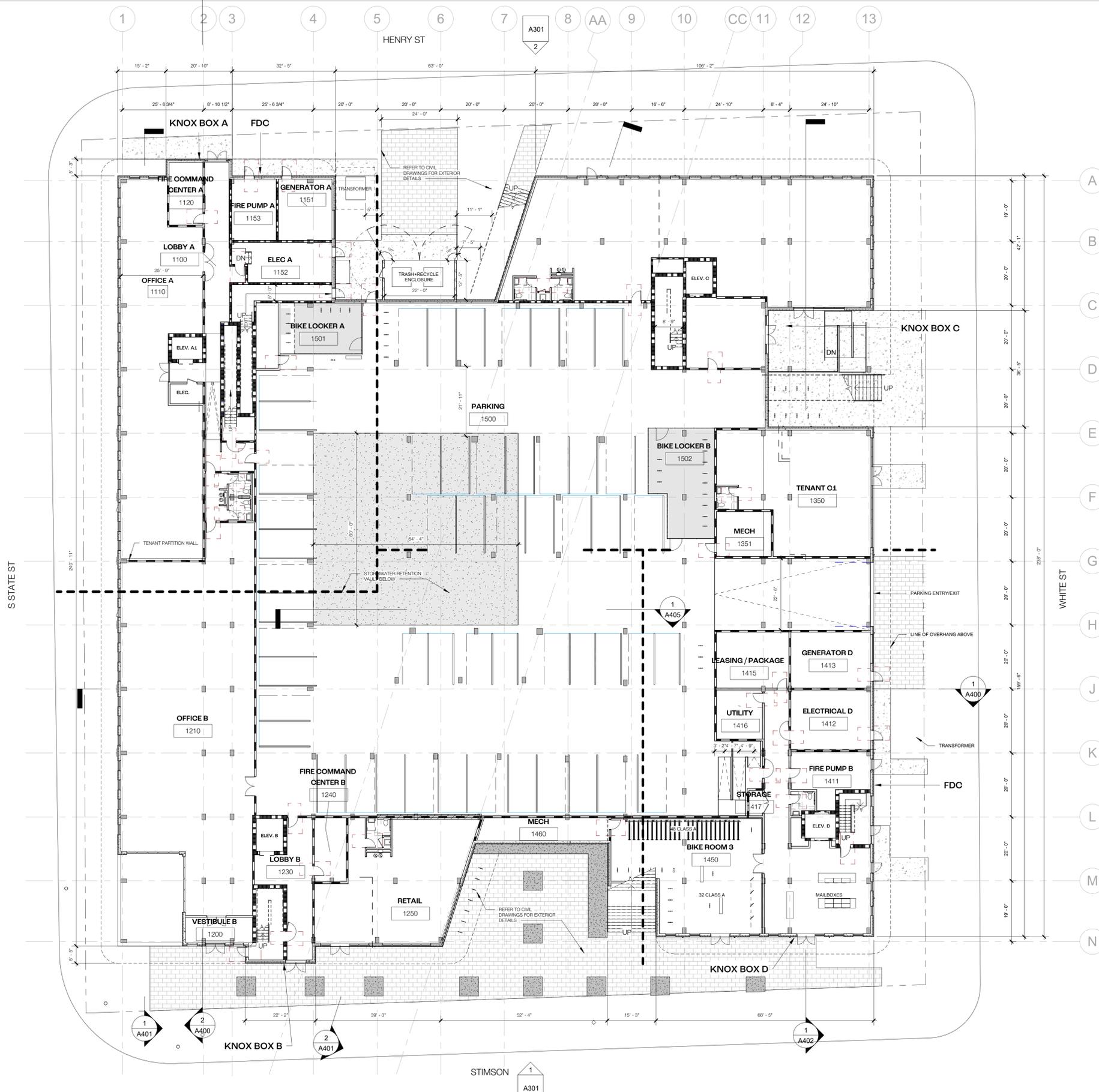
3 LEVEL 7 FAR DIAGRAM  
1/32" = 1'-0"



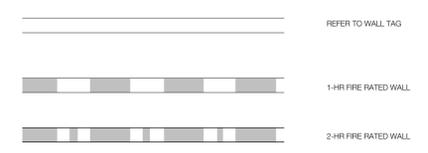
2 LEVEL 6 FAR DIAGRAM  
1/32" = 1'-0"



1 LEVEL 5 FAR DIAGRAM  
1/32" = 1'-0"



**PLAN NOTES**



**SYNECDOCHE**

1342 N MAIN ST. #11  
ANN ARBOR, MI 48104  
HELLO@SYNECDOCHE.DESIGN

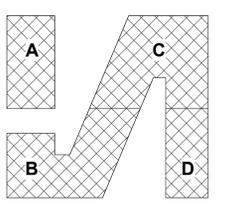
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3037 MILLER RD  
ANN ARBOR, MI 48103  
734.929.6963

ASPECT STRUCTURAL ENGINEERS  
101-190 W 3RD AVE  
VANCOUVER, BC V5Y 1E9  
HELLO@ASPECTENGINEERS.COM  
604.762.78444

GREENPATH DESIGN  
139 W LIBERTY STREET  
PLYMOUTH, MI 48170  
INFO@GREENPATH.DESIGN  
734.926.5593

ETS ENGINEERING, INC.  
P.O. BOX 1116  
ROYAL OAK, MI 48068  
248.744.0360



No.	Description	Date
1	SCHEMATIC DESIGN	01/03/23
2	SITE PLAN RESUB.	04/24/23
3	SITE PLAN RESUB.	05/25/23
4	SITE PLAN RESUB.	06/13/23

1610 WHITE STREET  
ANN ARBOR, MI 48104

**SOUTHTOWN**  
**LEVEL 1 -**  
**OVERALL PLAN**

PROJECT NUMBER 202121  
DATE 04/24/2023

**A101**

SCALE As indicated

1 FIRST FLOOR PLAN  
1/16" = 1'-0"

6/12/2023 4:46:38 PM



SYNECDOCHE

1342 N MAIN ST. #11  
ANN ARBOR, MI 48104  
HELLO@SYNECDOCHE.DESIGN

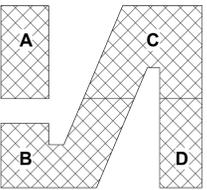
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No.	Description	Date
1	SCHEMATIC DESIGN	01/03/23
2	SITE PLAN RESUB.	04/24/23
3	SITE PLAN RESUB.	06/13/23

1610 WHITE STREET  
ANN ARBOR, MI 48104

SOUTHTOWN  
LEVEL 2 -  
OVERALL PLAN

PROJECT NUMBER 202121  
DATE 04/24/2023

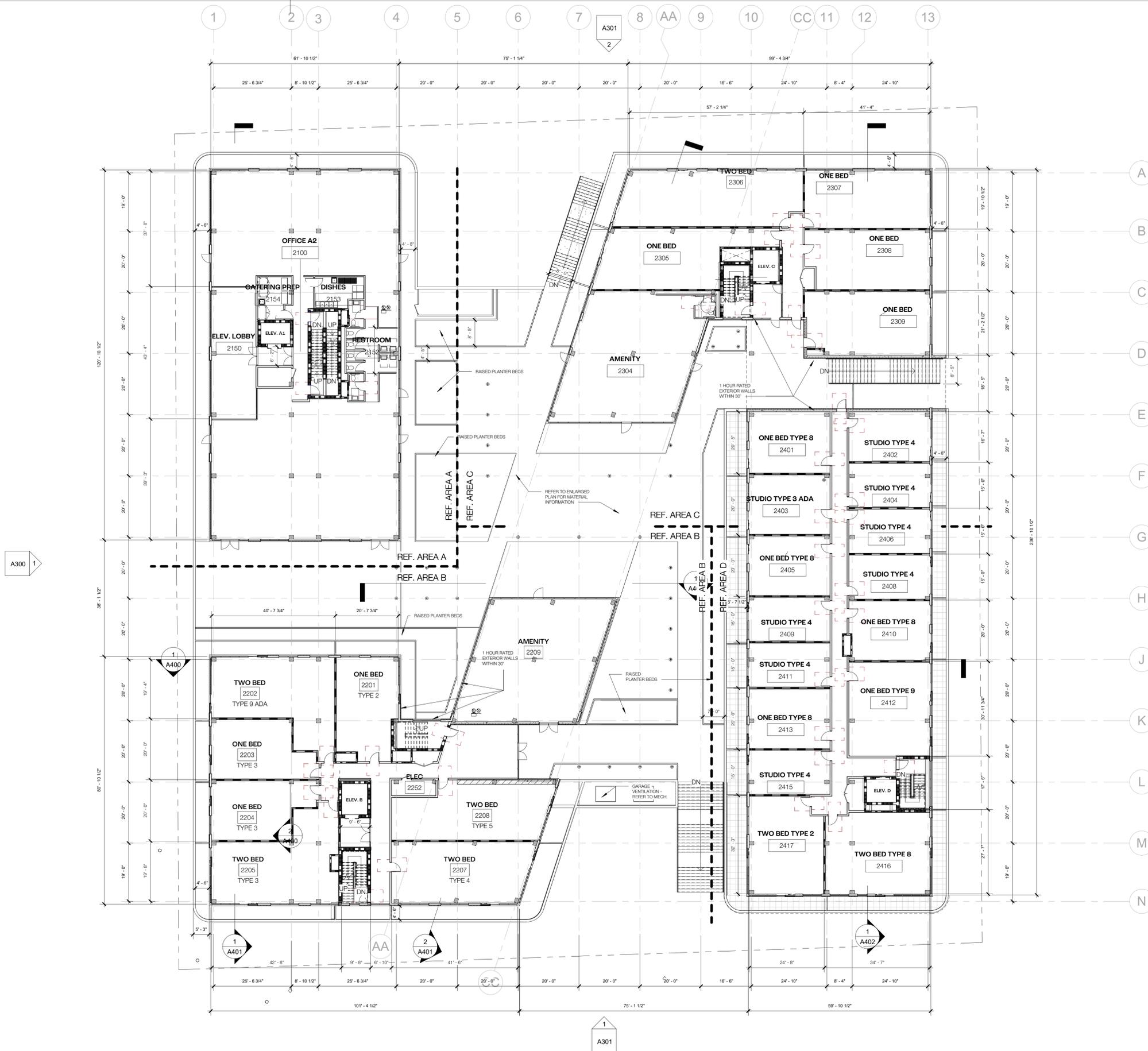
A102

SCALE As indicated

6/13/2023 4:54:59 PM

PLAN NOTES

- REFER TO WALL TAG
- 1-HR FIRE RATED WALL
- 2-HR FIRE RATED WALL



LEVEL 2  
1/16" = 1'-0"

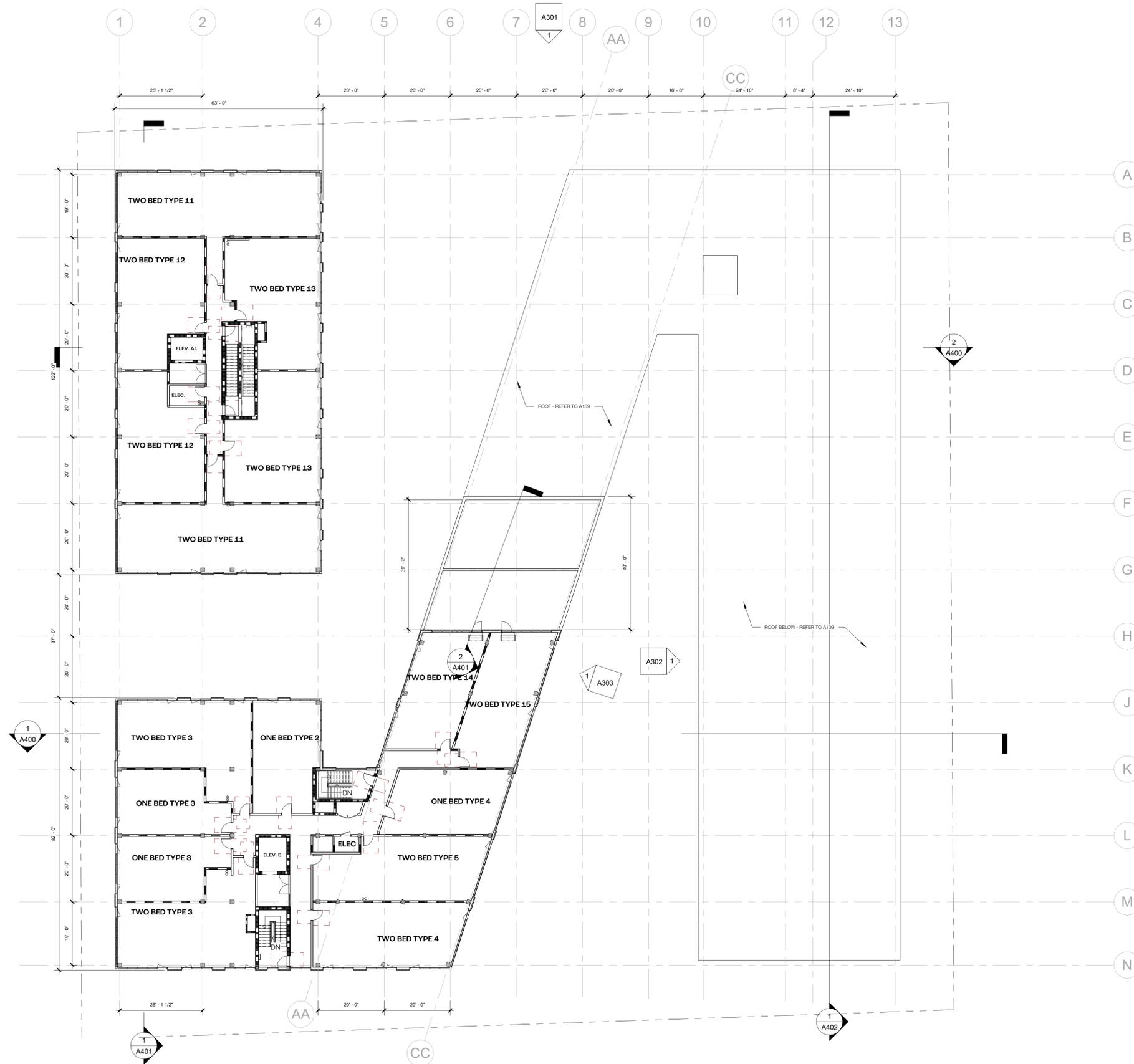












**PLAN NOTES**

- 2X MIL STUD @ 1/8" O.C. NON-LOAD BEARING PARTITION WALL, W/ SAFEN'SOUND 3"
- 1-HR FIRE RATED WALL - SEE DETAIL 06/A600 FOR ASSEMBLY
- 2-HR FIRE RATED WALL - 12" REINFORCED CONCRETE WALLS, REFER TO STRUCTURAL - HWT CHANNEL AND 5/8" GYP @ 1 SIDE



**SYNECDOCHE**

1342 N MAIN ST, #11  
ANN ARBOR, MI 48104  
HELLO@SYNECDOCHE.DESIGN

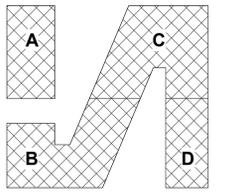
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P.O. BOX 1116  
ROYAL OAK, MI 48068  
248.744.0360



No.	Description	Date
	SCHEMATIC DESIGN	01/03/23
	SITE PLAN RESUB.	04/24/23

1610 WHITE STREET  
ANN ARBOR, MI 48104

**SOUTHTOWN**  
**LEVEL 8**

PROJECT NUMBER 202121  
DATE 04/24/2023

**A108**  
SCALE As indicated

1 LEVEL 8  
1/16" = 1'-0"

4/24/2023 1:44:11 PM













SYNECDOCHE

1342 N MAIN ST, #11  
ANN ARBOR, MI 48104  
HELLO@SYNECDOCHE.DESIGN

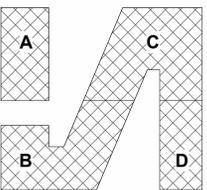
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FOR REVIEW ONLY

NEDERVELD  
3037 MILLER RD  
ANN ARBOR, MI 48103  
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GREENPATH DESIGN  
139 W LIBERTY STREET  
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INFO@GREENPATH.DESIGN  
734.926.5593

ETS ENGINEERING, INC.  
P.O. BOX 11116  
ROYAL OAK, MI 48068  
248.744.0360



No.	Description	Date
	SCHEMATIC DESIGN	01/03/23
	SITE PLAN RESUB.	04/24/23

1610 WHITE STREET  
ANN ARBOR, MI 48104

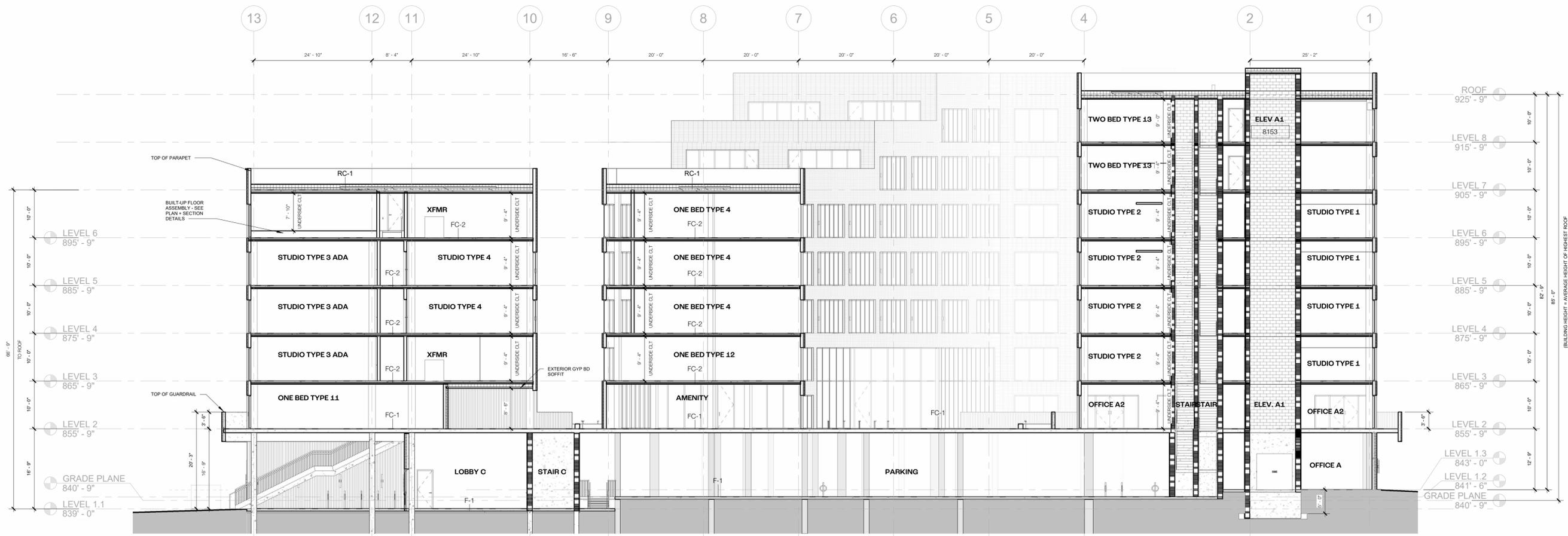
### SOUTHTOWN BUILDING SECTIONS

PROJECT NUMBER 202121  
DATE 04/24/2023

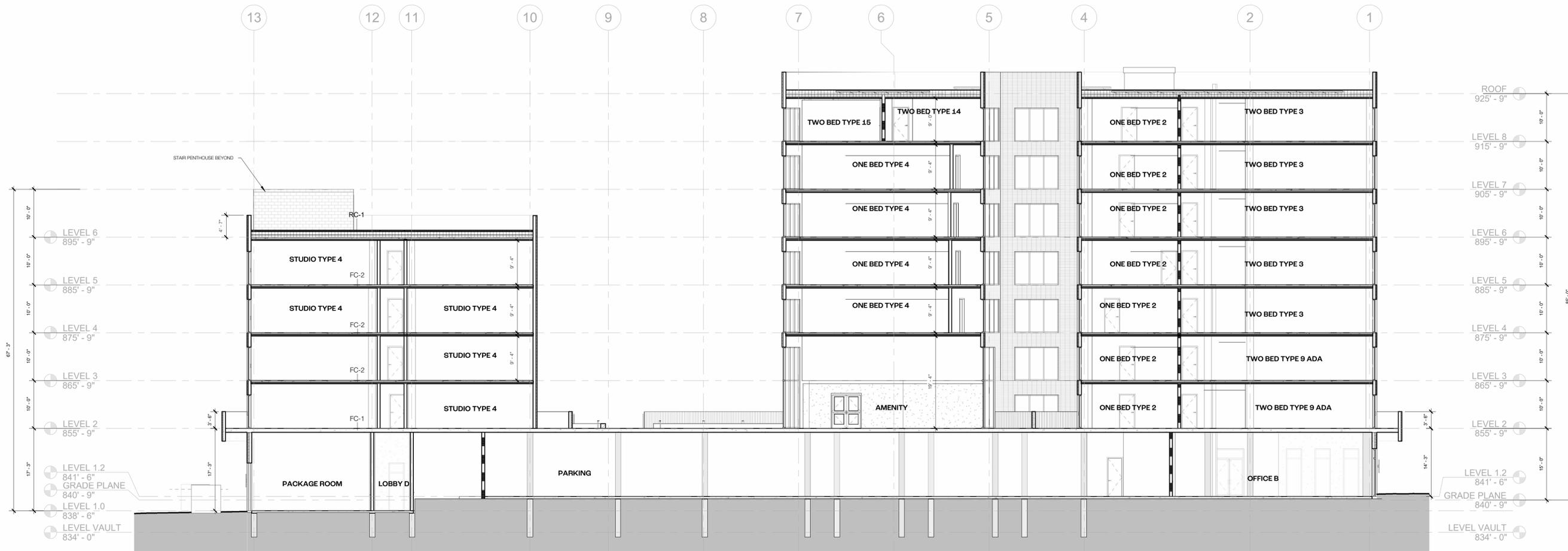
# A400

SCALE 3/32" = 1'-0"

4/24/2023 1:46:38 PM



2 E/W SECTION 2 - LOOKING SOUTH  
3/32" = 1'-0"



1 E/W SECTION - LOOKING SOUTH  
3/32" = 1'-0"











