

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of January 7, 2020

**SUBJECT: The Standard at Ann Arbor Site Plan for City Council
(405 South Main Street)
Project No. SP19-004**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve The Standard at Ann Arbor Site Plan and Development Agreement.

STAFF RECOMMENDATION

Staff recommends **approval** of the site plan because it complies with all applicable, local, state, and federal ordinances, standards and regulations; it will not cause a public or private nuisance; and it will not have a detrimental effect on public health, safety or welfare.

LOCATION

This site is located on the east side of South Main Street, south of East William Street and north of Packard Street, and is in the Downtown Development Authority district and the Allen Creek watershed.

DESCRIPTION OF PETITION

General Information – The site contains a two story brick office building and a surface parking lot, is zoned D2 (Downtown Interface), and is within the Main Street Character Overlay District. South Main and East William Streets are Primary streets and Packard Street is a Secondary street. The petitioner is seeking approval to demolish the existing building and construct a single building that is 10-stories on the northern third of the site and 5-stories on the remainder of the site. The building is proposed to be a 202,262 square foot apartment building containing 218 dwelling units (421 bedrooms) with 102 vehicle parking spaces including 2 shared spaces and 4 spaces for electric vehicles. Ninety parking spaces will be provided in two levels under the structure; one level will be at grade; the other level will be below grade. A total of 84 bicycle parking spaces are proposed (64 Class A and 20 Class C). A 6,524 square foot ground floor retail area at the north end of the building is proposed to be provided to accommodate two retail spaces along E William Street.

The unit types will include: 89 studios, 22 one-bedroom apartments (including 2 affordable units), 60 two-bedroom apartments, 12 three-bedroom apartments, and 35 four-bedroom apartments. On-site amenities include a health and fitness center, outdoor deck on the east side of the 2nd floor and an outdoor pool and deck on the west side of the 2nd floor.

The base allowable floor area is 101,146 square feet (200% FAR). Residential floor area premiums have been applied to earn an additional 75,859 square feet of floor area. A Green Building premium (LEED Silver) is also proposed to gain an additional 25,286 square feet (50% toward the FAR) of floor area. An affordable housing premium for 2 dwelling has also be proposed to provide an additional 6,000 square feet of floor area. A total floor area ratio of

399.9% is proposed (400% maximum allowed with residential, green building, and affordable housing premiums). The petitioner is proposing that 2 dwelling units be permanently available for individuals making 80% or less of the area median income. This project was submitted in early 2019 and is being reviewed under the premium standards established at that time. See History for more information about the Council initiated rezoning and text amendment to accommodate a 10-story tower on the northern third of the site.

Building Height – The petitioner is proposing a 10-story tower on the northern third of the site, which will be 120-foot tall. The remainder of the building will be 5-stories (60 feet) in height, which is consistent with the maximum building height in the D2 zoning district. The petitioner is proposing a project that meets LEED Silver standards and is proposing solar panels on a portion of roof area on the tower.

Parking – The project proposes to provide 102 private vehicle parking spaces. Ninety of the spaces are proposed to be provided in one of two parking levels under the building. One of those levels will be at grade, the other will be below grade. Both parking levels will be accessed from the alley on the east side of the site. Twelve open-air spaces are proposed to be located on the east side of the site. Two spaces are proposed to be car-share spaces which code allows to be counted as a total of 8 spaces. Four spaces are proposed to be electric vehicle charging spaces. Four spaces are proposed to be barrier free, and 24 spaces are proposed to be compact. The shared-use vehicle spaces will be addressed in the development agreement.

Bicycle Parking – 84 bicycle parking spaces are proposed which will include 64 Class A spaces in secured, dedicated bike storage rooms on the first floor and on the basement level and 20 exterior Class C (hoop style) spaces scattered along E. William and S. Main Streets in areas between the sidewalk and the street.

Pedestrian Access – Pedestrians will be able to access the building from primary entrances on S. Main and Packard Streets. Separate entrances will be provided for the retail spaces on E. William Street. Approximately 16 feet of pedestrian space is proposed to exist between the face of the building and the back of the curb along E. William Street. This includes a 7.5-foot wide permanent public access easement as shown on the site plan. Approximately 14.26 feet of pedestrian space will exist along S. Main Street.

Natural Features – No regulated natural features exist on the site. A Brownfield application will not be part of this petition.

Solid Waste – Solid waste is proposed to be stored within the building on the north side of the first floor. Solid waste will be placed into screened dumpsters along the north end of the alley on the east side of the site. Access to the solid waste area will be from the alley.

Traffic Impact Study – A traffic study was conducted by Midwestern Consulting, Inc. No mitigation measures are required. The summary of the study is as follows:

“Residents are expected to be comprised mostly of students, grad students, and young professionals who either go to the University of Michigan, work in the area, or wish to take advantage of the building’s proximity to the Main Street commercial district. The development is not anticipated to generate a significant amount of vehicular traffic given that there are only 102 vehicular on-site parking spaces, the close proximity to typical destinations for residents, and the proposed 84 bicycle spaces on site.”

“Vehicular access to the site is planned to occur in the alley to the east of the site. The existing driveway to South Main Street would be removed. The existing alley has an existing 16’ ROW and pavement width and currently operates with two-way traffic. There is an existing garage on the southern end of the alley that further constrains the width to 14 feet. The developer plans to widen the alley on the southern end of the site to 18’ (constrained width at the garage would then be 16’) to better facilitate two-way travel.”

“We do not anticipate any traffic capacity issues for this development as this site will not generate a significant amount of vehicle traffic, and additional pedestrian traffic did not significantly impact the vehicular delays at each intersection.”

Storm Water Detention – Storm water is proposed to be primarily handled by two storm water detention vaults in the basement level; one at the north end of the site and one at the south end. The detention system is proposed to be in vaults that are sized in accordance with Washtenaw County Water Resources Commission standards to accommodate the 100-year storm event. Each chamber will have a stone bottom to accommodate infiltration. Outlet flow restriction will be provided via outlet control structures.

Landscaping – Eleven new street trees are proposed to be installed along E. William and S. Main Streets. Three existing street trees are proposed to remain along Packard Street.

Open Space – A total of 6,020 square feet of open space is proposed on the ground level, primarily on the east side of the site. Additional private open spaces are provided on the 2nd floor of the building which includes an outdoor deck and the pool area.

Park Contribution – The petitioner has agreed to provide a \$148,750 park contribution in-lieu of a park dedication, as outlined in the Parks & Recreation Open Space Plan based on 218 residential units. The contribution will be used for improvements to nearby parks.

Sanitary Sewer – The City’s hydraulic model was used to analyze the impacts to the downstream sanitary sewer system from the proposed development. Results from the hydraulic modeling indicate sufficient capacity exists in the downstream local sanitary sewer system to support the proposed development. Capacity constraints during wet weather events have been identified in the trunkline sewers downstream from this development. As a result, the proposed development will need to comply with the City’s Developer Offset-Mitigation Program. The developer will be required to mitigate 168.8 gallons per minute for sanitary sewer offset mitigation.

Rooftop Solar Panels – The petitioner is proposing to provide approximately 1,250 square feet of rooftop solar panels on the tower portion of the building, which will meet approximately 1% of the building’s annual energy needs.

Building Materials – The petitioner proposes a combination of brick, steel panels, and glass as primary exterior building materials. The petitioner provided color renderings of the building elevations (attached).

Citizen Participation – The petitioner held a Citizen’s Participation meeting prior to submitting the site plan. The meeting took place on January 9, 2019 at the Michigan League on UM’s Central Campus. 1,788 postcard invitations were mailed. 16 individuals were in attendance.

In general, the discussion included the following items:

- Building materials
- Size of project
- Visual impact/appearance
- Vehicular access to the site
- Retail uses
- Details on the type of units – size, number of bedrooms

Development Agreement – A development agreement has been drafted to address the park contribution, LEED Silver attainment, shared car spaces, easements, and other issues. The draft document will be finalized prior to City Council approval.

DESIGN REVIEW BOARD

The petitioner presented the project to the Design Review Board on December 19, 2018. [Link to Design Review Board Staff Report](#), [Link to Design Review Board Recommendations](#)

In summary, the Board expressed an interest in breaking down the building's massing into smaller scale components. The Board recommended changing the South Main Street streetwall, which created cave like structures. The Board recommended that the Packard Street streetwall be redesigned as well, to create a stronger focal point. The Board also suggested that the main building entrance along South Main Street be more clearly defined.

Since the original DRB meeting, the developer hired a new architecture firm, Myefski Architects. Myefski Architects has addressed the main concerns that were raised at the DRB meeting by breaking up the façade into smaller components, completely revising the façade along S. Main Street to remove the cave like structures, and completely revised the façade along Packard Street so that it is now parallel with the sidewalk. Additionally the revised plan used building materials that are consistent with City code (brick, metal, and glass).

The petitioner presented revised plans to the DRB on November 13, 2019. The DRB provided comments on windows, materials, colors, access, and opportunity for public art. The petitioner addressed many of those comments by enlarging window openings, creating greater window contrast, creating more symmetrical window patterning, and agreeing to provide opportunities for public art.

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Office and Parking Lot	D1 (Downtown Core), Main Street Character Overlay
EAST	Residential and Substation	D1 (Downtown Core) Liberty/Division Character Overlay, R4C (Multiple Family Dwelling)
SOUTH	Residential	D2 (Downtown Interface), First Street Character Overlay
WEST	Gas Station, Ashley Terrace	PUD (Planned Unit Development), D1 (Downtown Core), Main Street Character Overlay

COMPARISON CHART

	EXISTING	PROPOSED	REQUIRED/PERMITTED
Base Zoning	D2 (Downtown Interface)	D2 (Downtown Interface)	D2 (Downtown Interface)
Gross Lot Area	50,573 sq ft	50,573 sq ft	No minimum
Max. Usable Floor Area in % of Lot Area	Approximately 125% (63,150 sq ft)	399.9% (253,915 sq ft)	200% MAX normal (101,146 sq ft MAX) Up to 400% MAX with residential, green building, and affordable housing premiums (202,271 sq ft MAX)
Character Overlay District	Main Street	Main Street	Main Street
Streetwall Height	2 stories	2 stories	2 stories MIN 4 stories MAX
Offset at Top of Streetwall	Not applicable	5 ft	5 ft MIN
Building Height	2 stories (24 ft)	10 stories (120 feet) MAX	2 stories MIN 120 ft MAX
Rear Setbacks	16.53 ft (east)	1.4 ft to 34 ft (east)	None
Building Frontages	Primary Streets: E. William and S. Main; Secondary Street: Packard	Primary Streets: E. William and S. Main; Secondary Street: Packard	Primary Streets: E. William and S. Main; Secondary Street: Packard
East William Street South Main Street Packard Street	162 ft (north) 10 ft (west) 25 ft (south)	0 ft to edge of access easement (north) 0 ft (west) 10 ft (south)	Primary Street 0-1 ft MIN Secondary Street: 0 ft MIN, 10ft MAX at streetwall
Parking	Special Parking District	Special Parking District	Special Parking District
Parking – Automobiles	40 spaces	102 spaces	101 spaces MIN for premium floor area
Parking – Bicycles	2	64 Class A 20 Class C	64 Class A spaces MIN 1 Class C space MIN

HISTORY

The site was originally rezoned as part of the A2D2 Zoning Initiative. However, on January 5, 2015, City Council rezoned the site from D1 to D2 and included a text amendment to allow a portion of the site (up to 150 feet from E. William Street) to accommodate a new building that

could be up to 120 feet in height. Significant portions of the existing building have been rented by DTE for decades.

PLANNING BACKGROUND

The Downtown Plan is based upon several guiding values which articulate the most fundamental elements of the downtown. These values include providing a diversity of uses and accommodating a diversity of users, and providing a viable economy, a “green” and energy-efficient built environment and transportation network and social and cultural opportunities. Dense land use and development patterns which draw people downtown and foster an active street life, contribute to its function as an urban neighborhood and support a sustainable transportation system is a goal expressed in the Plan (page 22) as well as encouraging a diversity of new downtown housing opportunities and expansion of the downtown resident population to strengthen downtown’s role as an urban neighborhood, continuing to seek a range of age groups and income levels in the downtown (page 24).

Ann Arbor Discovering Downtown (A2D2) – The site has been in the DDA since the DDA was established in 1983. In 2009, as part of the A2D2 planning effort, City Council approved the rezoning of land in the DDA from a variety of zoning districts to two primary districts: D1 and D2. At that time, this site was rezoned from C2B (Business Service) to D2 (Downtown Interface).

The Non-Motorized Transportation Plan recommends sidewalks and shared transportation facilities (sharrow) within E. Washington Street. East Washington Street now has a two-way bike lane on the north side of the street.

SERVICE UNIT COMMENTS

Planning – Staff supports the proposed site plan. The project is consistent with D2 zoning standards, responded to the recommendations from the DRB, and will be constructed to meet LEED Silver energy efficiency standards including solar panels on the roof. The project also proposes to provide new housing units downtown and near campus, improve pedestrian access along the streets fronting the site, provide under-structure parking spaces, provide a 2-space car share facility, provide 4 EV charging station spaces, and provide some new retail along E. Washington Street. The petitioner was particularly responsive to staff’s request to widen the sidewalk along E. William Street by providing an additional 7.5 foot wide access easement. This easement when combined with the existing 8.5 foot sidewalk will create a 16 foot wide sidewalk space that can accommodate a variety of pedestrian amenities, including the possibility for outdoor café seating.

Staff recommends that the petitioner either provide a few more EV charging stations or provide the conduit to conveniently accommodate future EV charging stations. Staff also recommends that the petitioner consider providing additional solar panels on the roof.

Public Services (Sanitary Capacity) – Booster pumps will be used for the building water service leads.

Prepared by Jeff Kahan
Reviewed by Brett Lenart
mg/
1/2/2020
1/27/2020 rev link

Attachments: Parcel and Zoning Map
Aerial Photo
[Site Plan](#)
[Elevation Plans](#)
[Citizen Participation Summary](#)
[Draft Development Agreement](#)

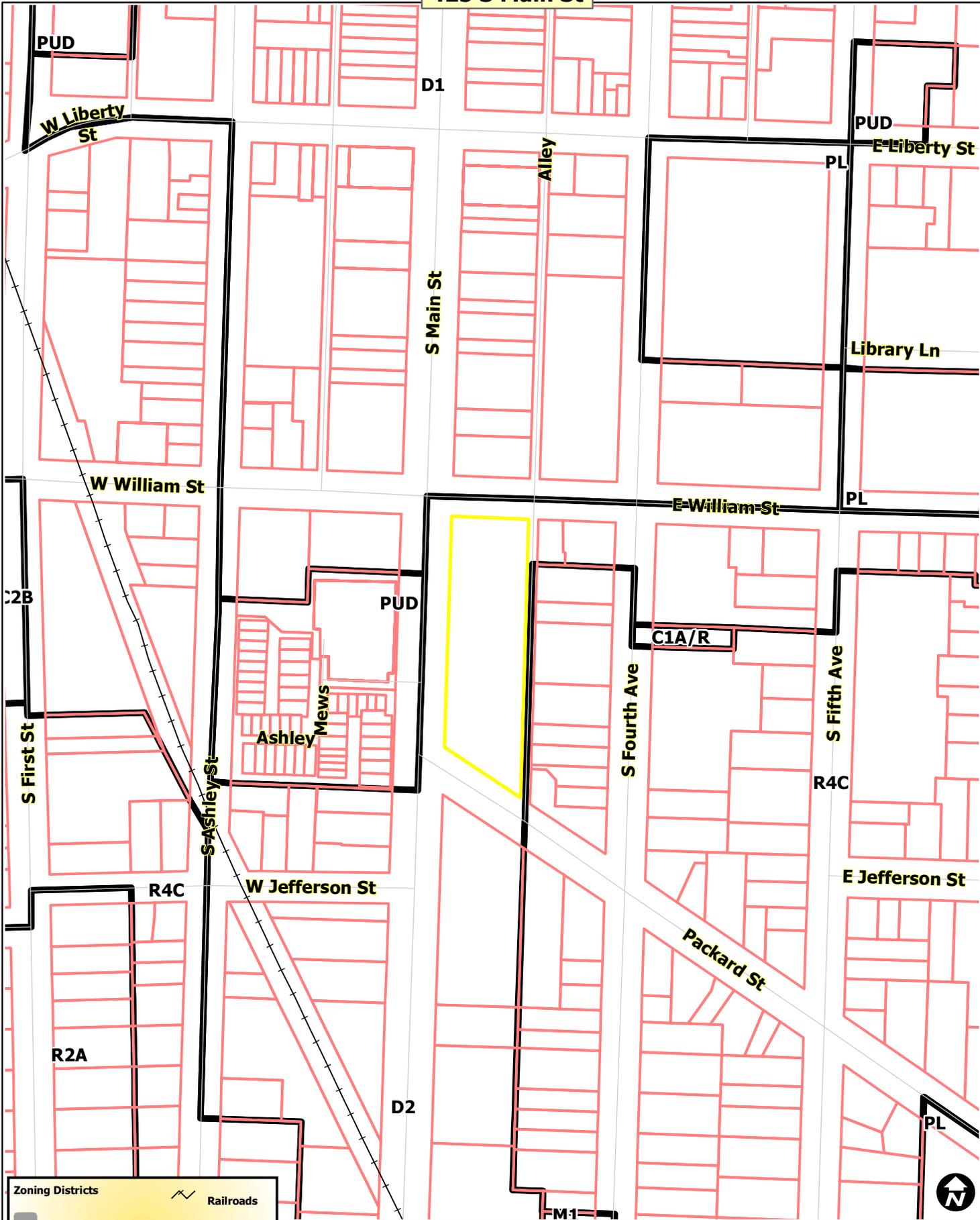
c: Petitioner: The Standard at Ann Arbor, LLC
315 Oconee Street
Athens, GA 30601

Petitioner's Agent: Scott Betzoldt
Midwestern Consulting, Inc.
3815 Plaza Drive
Ann Arbor, MI 48108

Owner: K.R.G. INVESTMENTS
Andrew K. Klein =, Managing Partner
1270 Rickett Road
Brighton, MI 48116

Systems Planning
Project Management
Project Nos. SP19-004, DR18-004

425 S Main St

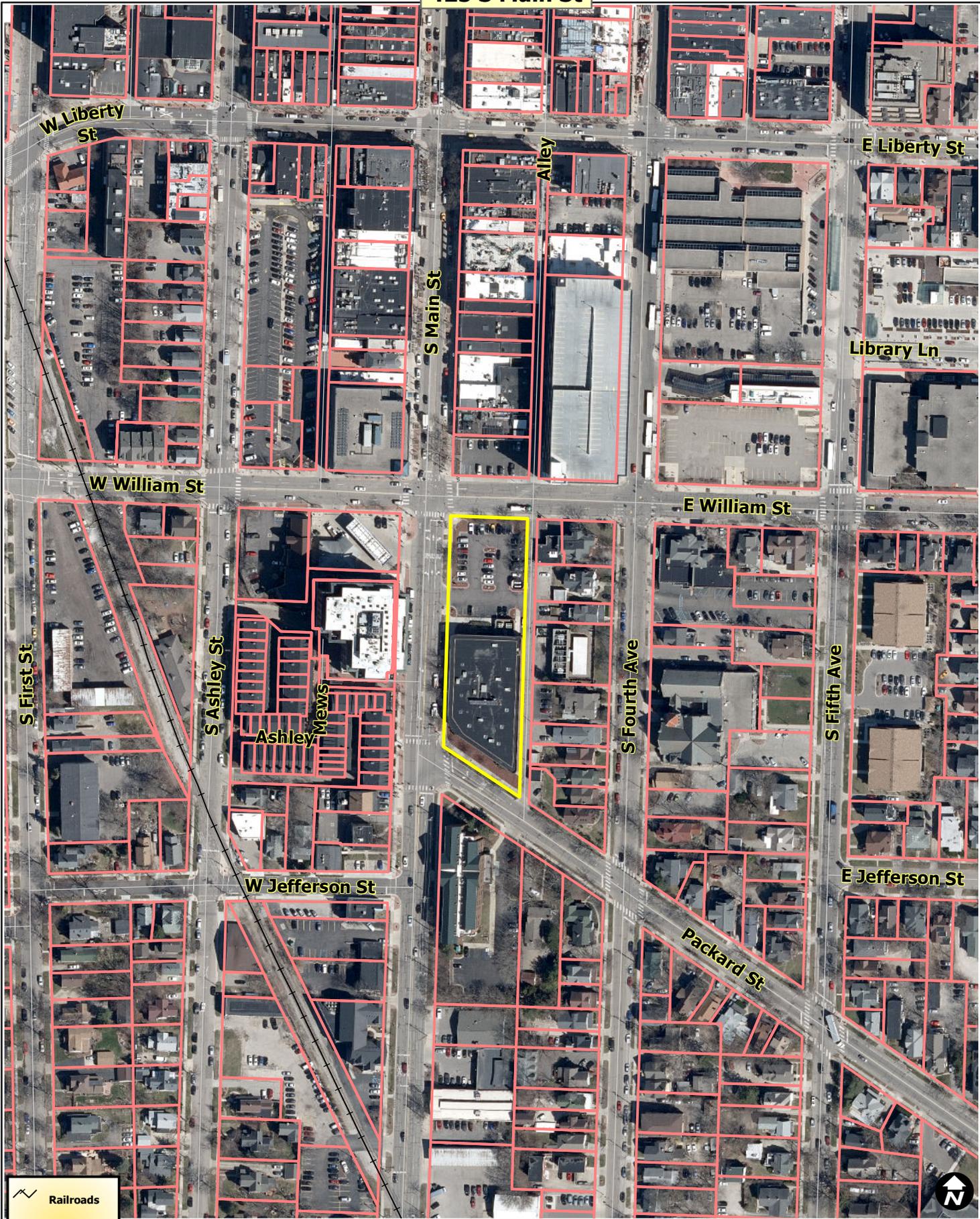


Zoning Districts	Railroads
Township Islands	Huron River
City Zoning Districts	Tax Parcels



Map date: 9/11/2018
 Any aerial imagery is circa 2018 unless otherwise noted
 Terms of use: www.a2gov.org/terms

425 S Main St



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 9/11/2018
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425 S Main St

W William St

E William St

S Main St

Ashley Mews

Alley

S Fourth Ave

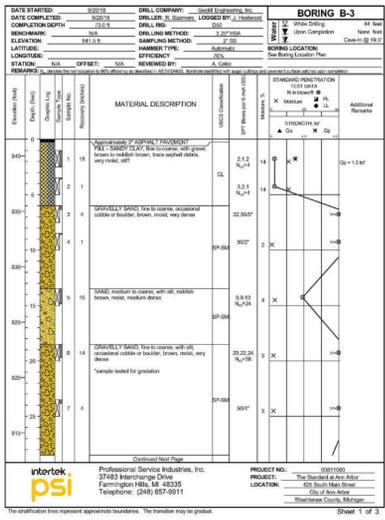
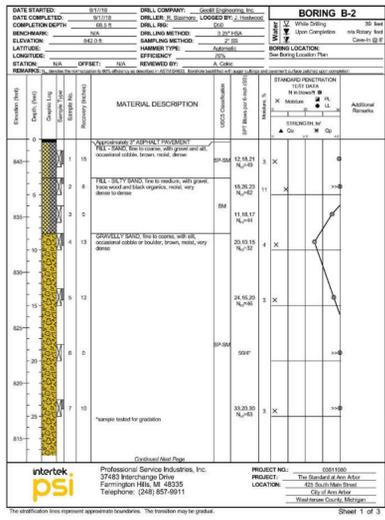
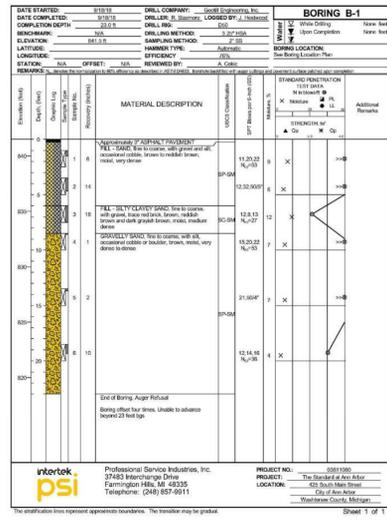
Packard St

 Railroads
 Huron River
 Tax Parcels

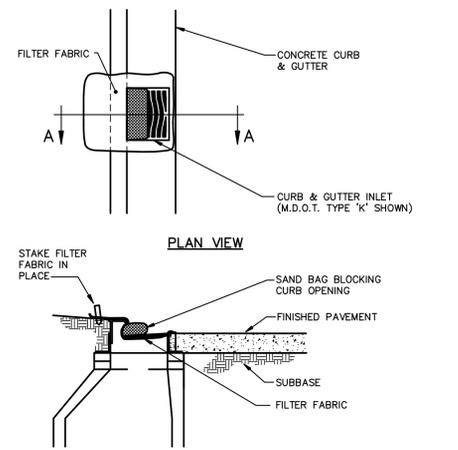


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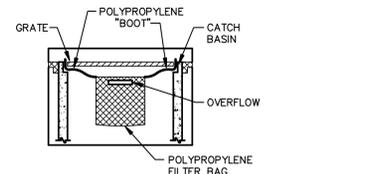




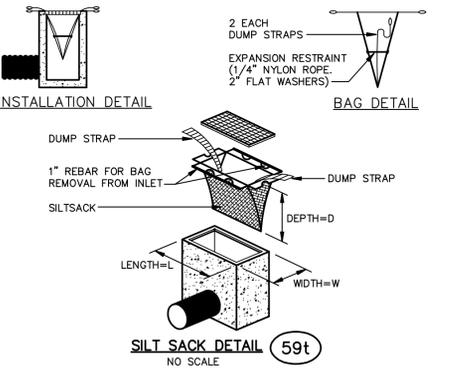
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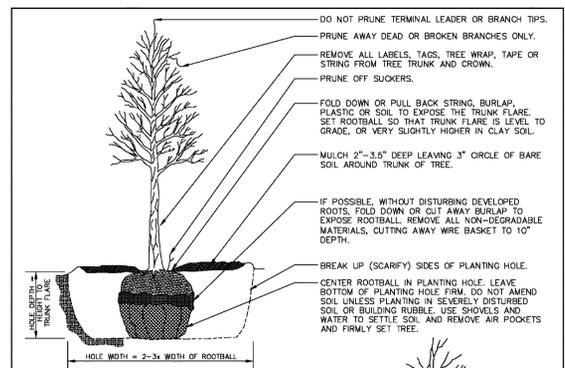
CURB & GUTTER INLET FILTER (58t)
AT EXISTING INLETS AND AT PROPOSED INLETS AFTER PAVING
NO SCALE



NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206-767-0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC.; (800-448-3636). CLEAN FILTER AS NEEDED.



SILT SACK DETAIL (59t)
NO SCALE



DO NOT STAKE UNLESS IN HEAVY CLAY SOIL, WINDY CONDITIONS, 3" OR GREATER DIAMETER TREE TRUNK OR LARGE CROWN. IF STAKING IS NEEDED DUE TO THESE CONDITIONS:

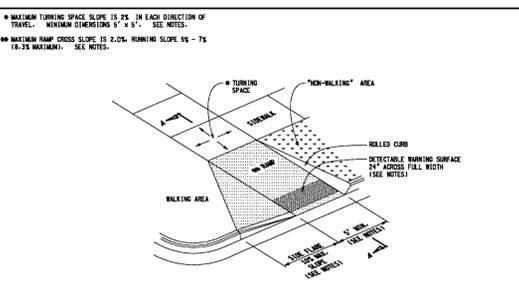
- STAKE WITH 2 x 2 HARDWOOD STAKES, OR APPROVED EQUAL, DRIVEN 6"-8" OUTSIDE OF ROOTBALL.
- LOOSELY STAKE TREE TRUNK TO ALLOW FOR TRUNK FLEXING.
- STAKE TREES JUST BELOW FIRST BRANCH WITH 2"-3" WIDE BELT-LIKE, NYLON OR PLASTIC STRAPS (2 PER TREE ON OPPOSITE SIDES OF TREE. CONNECT FROM TREE TO STAKE HORIZONTALLY. DO NOT USE ROPE OR WIRE THROUGH A HOSE.)
- REMOVE ALL STAKING MATERIALS AFTER 1 YEAR.

REVISIONS				REV. NO.	DATE	CHK BY	DATE

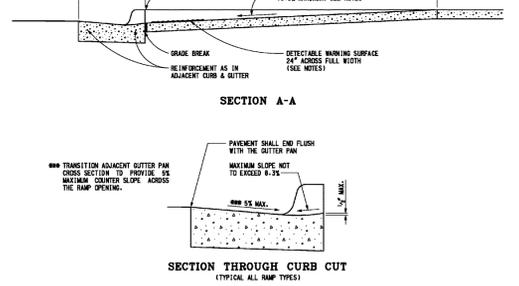
**PUBLIC SERVICES DEPARTMENT
CITY OF ANN ARBOR**

TREE PLANTING DETAIL

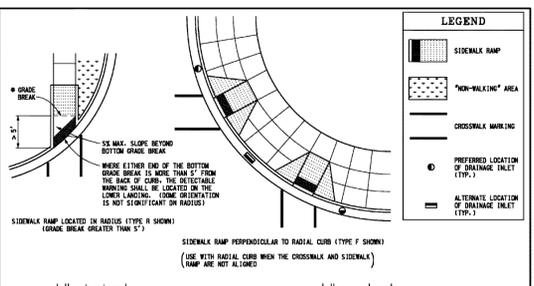
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INCH				SHEET NO. OF



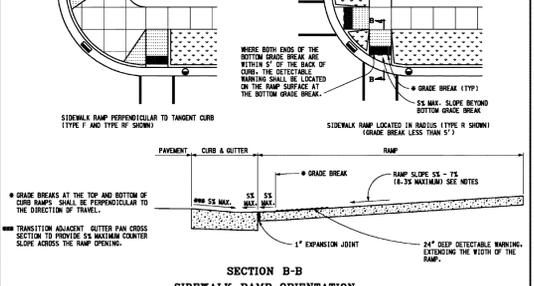
SIDEWALK RAMP TYPE RP
(ROLLED / FLARED TYPE)



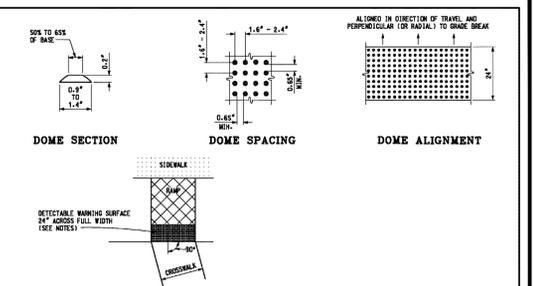
SECTION A-A
SECTION B-B
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS



LEGEND
DOME SECTION
DOME SPACING
DOME ALIGNMENT



SECTION THROUGH CURB CUT
(TYPICAL ALL RAMP TYPES)
SECTION B-B
SIDEWALK RAMP ORIENTATION
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS



SECTION THROUGH CURB CUT
(TYPICAL ALL RAMP TYPES)
SECTION B-B
SIDEWALK RAMP ORIENTATION
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

NOTE: DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS BY ALL PUBLIC AGENCIES AND BY ALL PRIVATE ORGANIZATIONS CONSTRUCTING FACILITIES FOR PUBLIC USE.

SIDEWALK RAMP ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMP WIDTH SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMP SHALL ALSO BE PROVIDED AT MARKED AND/OR UNMARKED MID-BLOCK CROSSINGS.

RAMP SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY A COARSE BROODING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE RAMP.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE EXISTING FORMS ARE USED, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAFFIC.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SHOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

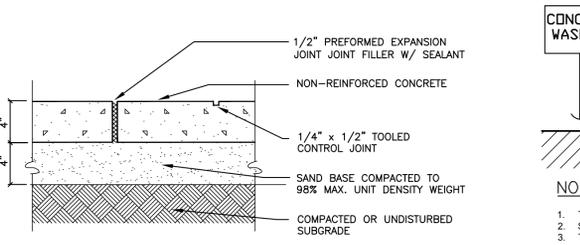
PROVIDE TURNING SPACES WHERE PEDESTRIAN TURNING MOVEMENTS ARE REQUIRED.

IF NEW MAINWAY WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND TURNING SPACES TO NOT LESS THAN 4'.

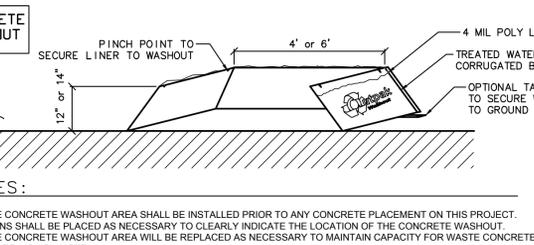
DETECTABLE WARNING SURFACE COVERAGE IS 24" WITHIN IN THE DIRECTION OF RAMP/PAVEMENT TRAVEL AND THE FULL WIDTH OF THE RAMP/PAVED SURFACE EXCEPT FOR FLARED CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE LONGEST OF THE DETECTABLE WARNING COP AS CONCRETE CROWN OF THE STAMPER IS ALLOWABLE.

DETECTABLE WARNING PLATES MAY BE INSTALLED USING FABRICATED OR FULLY CAST UNITS SET ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

SECTION THROUGH CURB CUT
(TYPICAL ALL RAMP TYPES)
SECTION B-B
SIDEWALK RAMP ORIENTATION
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS



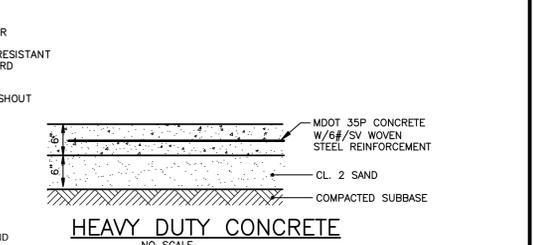
CONCRETE WALK DETAIL
NO SCALE



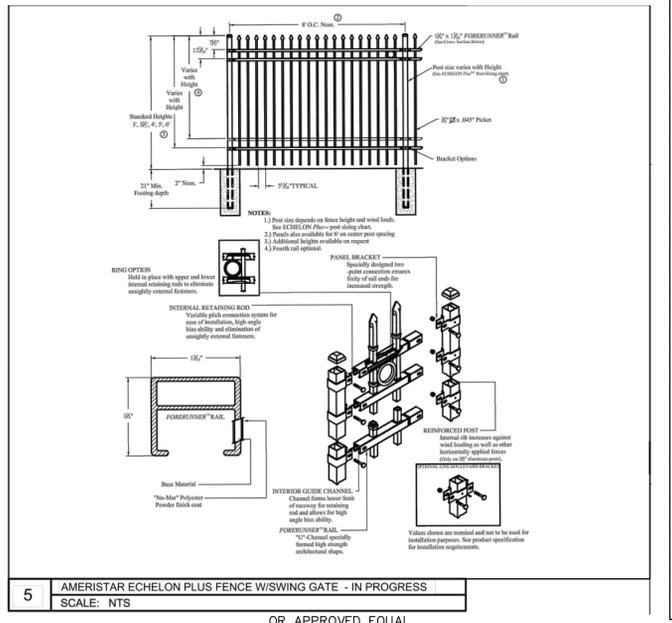
CONCRETE WASHOUT SYSTEM
NOT TO SCALE

NOTES:

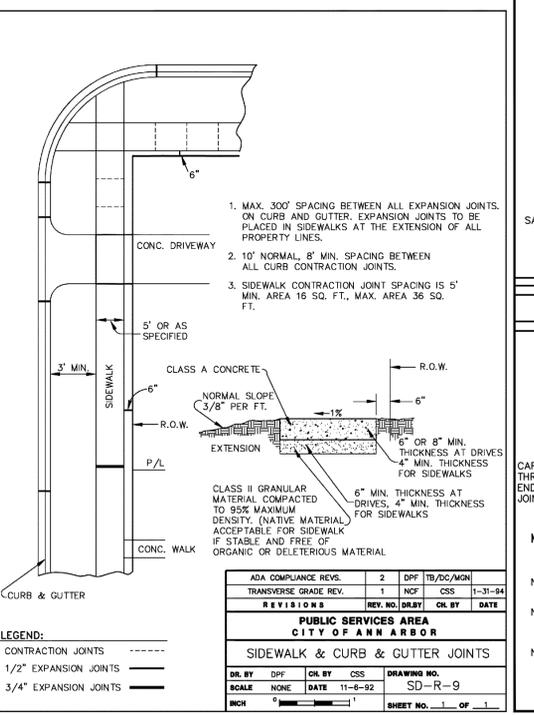
1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
2. SIGNS SHALL BE PLACED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
3. THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE AND OTHER LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
5. DO NOT MIX EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
6. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
7. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
8. LOCATE WASHOUT AREA AT LEAST 50' (15 METERS) FROM STORM DRAINS, OPEN DITCHES, OR WATERBODIES.
9. WASH OUT WASTES INTO THE OUTPAK WASHOUT AS SHOWN WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.



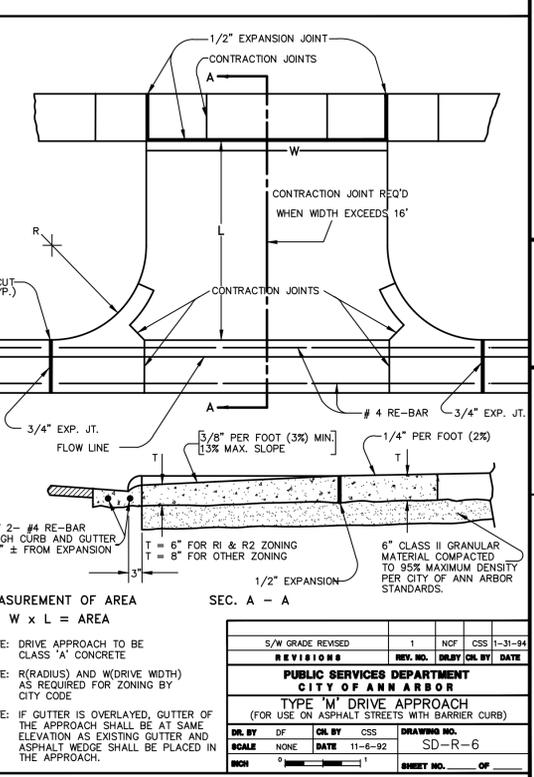
HEAVY DUTY CONCRETE
NO SCALE



5 AMERISTAR ECHELON PLUS FENCE W/SWING GATE - IN PROGRESS
SCALE: NTS
OR APPROVED EQUAL



CONCRETE CURB & GUTTER JOINTS



MEASUREMENT OF AREA
W x L = AREA
SEC. A - A

MIDWESTERN CONSULTING
3845 Plaza Drive Ann Arbor, Michigan 48108
(734) 995-0200 • www.midwesternconsulting.com
Land Development • Land Survey • Institutional • Municipal
Wireless Communications • Transportation • Landfill Services

CLIENT
W&A ENGINEERING
2470 DANIELLS BRIDGE ROAD, SUITE 161
ATHENS, GA 30606
ATTN: ELLEN RODGERS
706-310-0400

STANDARD AT ANN ARBOR
SITE PLAN
MISCELLANEOUS NOTES AND DETAILS

13

DATE: 07/31/2019
SHEET 13 OF 18
REV. DATE
4/8/19 CADD: JCA
10/17/19 ENG: JCA
11/05/19 PM: SWB
11/13/19 TECH: JCA
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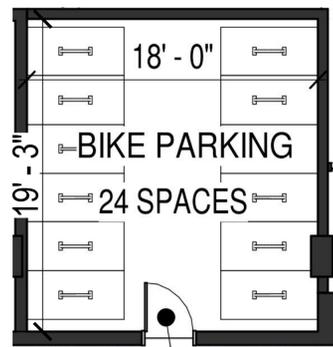
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REVISIONS	REV. NO.	DATE	CHK BY

**PUBLIC SERVICES DEPARTMENT
CITY OF ANN ARBOR**

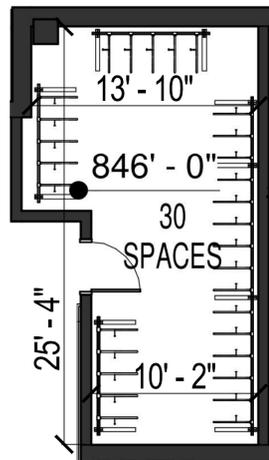
TYPE 'M' DRIVE APPROACH
(FOR USE ON ASPHALT STREETS WITH BARRIER CURB)

DR. BY	DF	CHK BY	CSS	DRAWING NO.
SCALE	NONE	DATE	11-6-92	SD-R-6
INCH				SHEET NO. OF

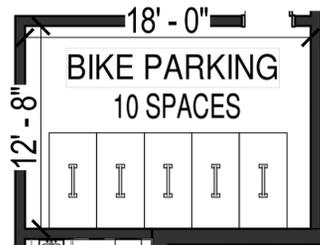
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**BICYCLE STORAGE ROOM 1
(GROUND LEVEL)**
NO SCALE



**BICYCLE STORAGE ROOM 2
(GROUND LEVEL)**
NO SCALE

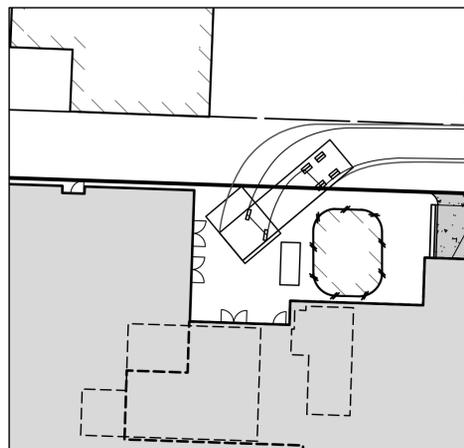


**BICYCLE STORAGE ROOM 3
(LOWER LEVEL)**
NO SCALE

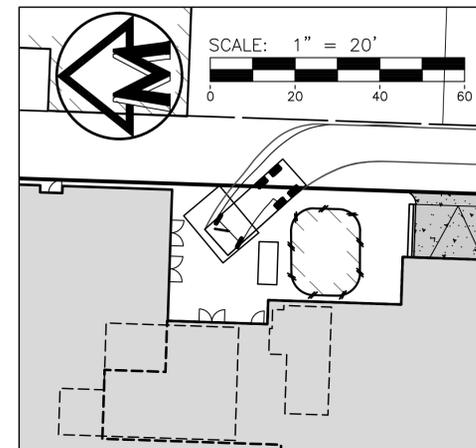
BICYCLE PARKING

Location	Class A	Class B	Class C	Subtotals
Interior: Ground Floor	54	0	0	54
Hoops	24			
Wall Mounted	30			
Interior: Lower Level	10	0	0	10
Hoops	10			
Wall Mounted	0			
Exterior	0	0	20	20
TOTAL	64	0	20	84

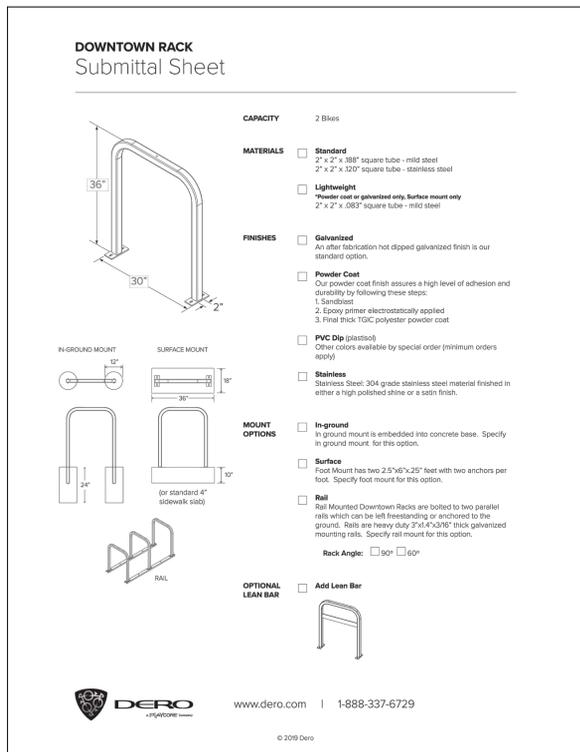
BICYCLE STORAGE TOTALS
NO SCALE



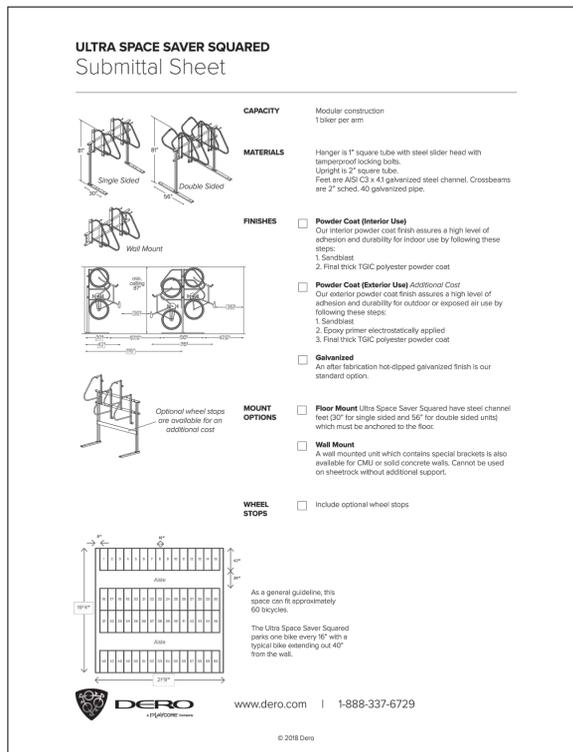
**NORTHBOUND ACCESS
RECYCLING TRUCK TURNING TEMPLATE**
SCALE: 1"=20'



**NORTHBOUND ACCESS
TRASH TRUCK TURNING TEMPLATE**
SCALE: 1"=20'



**STANDARD BIKE RACK DETAIL
(STORAGE ROOMS 1 AND 3)**
NO SCALE



**WALL-MOUNTED BIKE RACK DETAIL
(STORAGE ROOM 2)**
NO SCALE

GENERAL NOTES:

- A CLEAR SPACE MUST BE MAINTAINED DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE. THE CLEAR SPACE SHALL BE A MINIMUM OF FIFTY (50) FEET LONG BY THE WIDTH OF THE INSIDE DIMENSION OF THE ENCLOSURE PLUS FOUR (4) FEET ON BOTH SIDES. A MINIMUM VERTICAL CLEARANCE OF AT LEAST TWENTY-FIVE (25) FEET MUST BE PROVIDED ABOVE THIS AREA.
- INGRESS AND EGRESS ROUTES MUST BE DEVELOPED BASED ON SOLID WASTE SWEEP PATH REQUIREMENTS. A MINIMUM HORIZONTAL CLEARANCE OF TWO (2) FEET FROM THE EDGE OF THE SWEEP PATH AND A MINIMUM VERTICAL CLEARANCE OF AT LEAST FIFTEEN (15) FEET MUST BE PROVIDED ALONG THE ENTIRE ROUTE.
- GATES ON ENCLOSURES MUST BE DESIGNED TO OPEN A MINIMUM OF 120 DEGREES FROM THE CLOSED POSITION. THE GATES MUST NOT REDUCE THE REQUIRED ENCLOSURE OPENING WIDTH, BLOCK ADJACENT PARKING SPOTS, OR BE IMPEDED BY ADJACENT CURBS OR LANDSCAPING.
- GATES SHALL BE DESIGNED TO BE FREE STANDING WITHOUT A CENTER POLE. IF A CENTER POLE DESIGN IS NECESSARY, 12-INCHES SHALL BE ADDED TO THE OVERALL WIDTH OF THE ENCLOSURE.
- GATE DESIGN SHALL INCLUDE A RELIABLE MEANS TO SECURE THE DOOR IN BOTH THE OPEN AND CLOSED POSITIONS.
- THE CONCRETE SLAB IN FRONT OF THE BIN ENCLOSURE SHALL HAVE PAVEMENT MARKINGS TO INDICATE 'NO PARKING', AS APPROVED BY CITY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF NO PARKING SIGNS ALONG THE SOLID WASTE INGRESS/EGRESS ROUTE TO ENSURE THE ROUTE REMAINS FREE OF OBSTRUCTIONS.
- REFER TO ASSOCIATED STANDARD DETAILS FOR REQUIREMENTS ON SINGLE AND DOUBLE WIDE SOLID WASTE BIN ENCLOSURE LAYOUT AND DESIGN CRITERIA. THE CITY SHALL HAVE THE ABILITY TO MODIFY OR INTERPRET THESE DETAILS AS NECESSARY, TO ACCOMMODATE THE CITY OR CITY CONTRACTOR NEEDS IN REGARDS TO SOLID WASTE PICK-UP.
- SOLID WASTE ACCESS ROADS AND SERVICE AREA SURFACES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF COLLECTION TRUCKS WEIGHING UP TO 66,000 LBS GROSS VEHICLE WEIGHT (GVW) AND SHALL BE PROVIDED WITH AN APPROVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL SNOW AND ICE REMOVAL REQUIRED FOR SAFE ACCESS OF SOLID WASTE VEHICLES.
- THE SOLID WASTE COLLECTION LOCATION SHALL BE LOCATED A MINIMUM OF TEN (10) FEET AWAY FROM MAJOR ELECTRICAL EQUIPMENT, ABOVE GROUND UTILITY SERVICES, TREE BRANCHES, BALCONIES OR OTHER OVERHEAD OBSTRUCTIONS.

CITY OF ANN ARBOR PUBLIC SERVICES
301 EAST HURON STREET
P.O. BOX 9847
ANN ARBOR, MI 48107-0847
734-794-6410
www.a3gov.org

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REV. NO.	DATE	DRAWN BY	CHECKED BY

SOLID WASTE STANDARD DETAILS

DR. CHM | OH: CJE | DATE: 02/01/16 | DRAWING NO. | PAGE 5

GENERAL NOTES CONTINUED:

- IF FORWARD ACCESS TO THE PUBLIC STREET IS NOT AVAILABLE FOR THE SOLID WASTE TRUCK, THE SITE DEVELOPMENT LAYOUT MUST ACCOMMODATE A TURN-AROUND LOCATION.
- FOR SITES THAT CANNOT ACCOMMODATE A TURN-AROUND, THE FOLLOWING REQUIREMENTS MUST BE MET:
 - SOLID WASTE TRUCKS MUST BE ABLE TO SERVICE DUMPSTERS WITHOUT IMPEDING THE PUBLIC STREET OR SIDEWALK.
 - THE DUMPSTER COLLECTION LOCATION SHALL BE CLEARLY DELINEATED AND NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.
 - BOLLARDS OR ADEQUATE CLEAR SPACE MUST BE PROVIDED BEHIND THE LIFT POST SO THE DUMPSTERS ARE NOT POTENTIALLY PUSHED INTO ANY BUILDING OR ACCESS ROUTE.
 - ALL SWEEP-PATH CLEARANCE REQUIREMENTS PREVIOUSLY IDENTIFIED SHALL BE PROVIDED.
 - A VERTICAL CLEARANCE OF 25 FEET SHALL BE PROVIDED ABOVE THE COLLECTION LOCATION.
- FOR SITES THAT CANNOT ACCOMMODATE A STANDARD DUMPSTER ENCLOSURE, THE DUMPSTERS MAY BE ROLLED OUT OF A BUILDING OR ALTERNATE ENCLOSURE BY THE PROPERTY OWNER TO A PROPOSED COLLECTION LOCATION. A COLLECTION SCHEDULE FOR RECYCLING AND TRASH COLLECTION SHALL BE PROVIDED ON THE SITE PLAN.
- FOR SITES ADJACENT TO A PUBLIC ALLEY, SOLID WASTE TRUCKS ARE PERMITTED TO ACCESS THE PROPERTY THROUGH THE ALLEY IF SWEEP-PATH CLEARANCE REQUIREMENTS CAN BE PROVIDED.
- SOLID WASTE COLLECTION LOCATIONS MUST BE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTY.

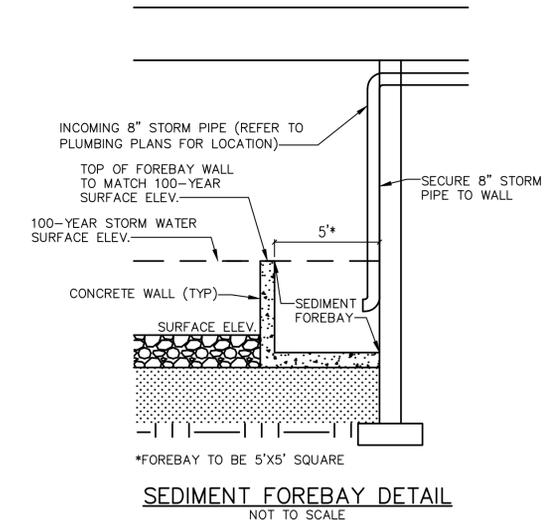
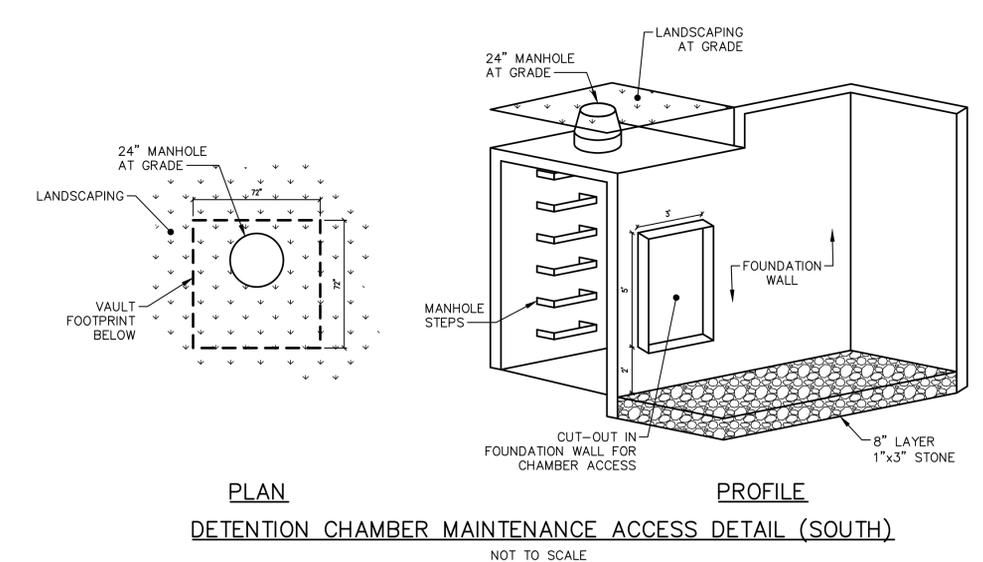
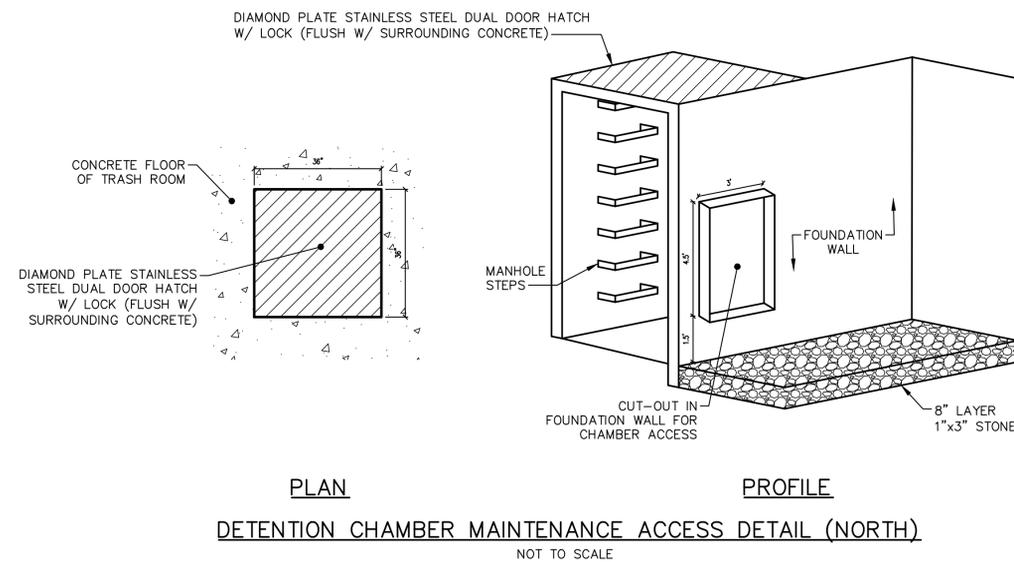
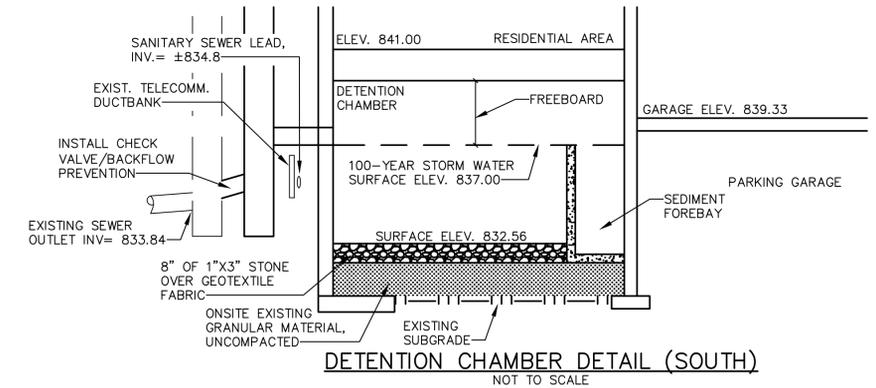
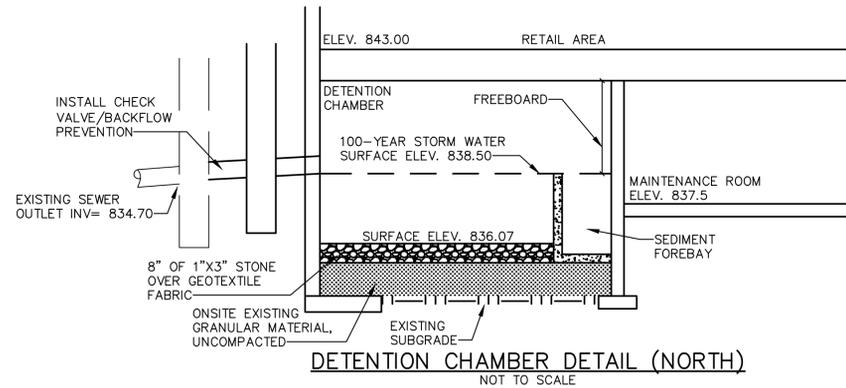
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SOLID WASTE STANDARD DETAILS

DR. CHM | OH: CJE | DATE: 02/01/16 | DRAWING NO. | PAGE 6

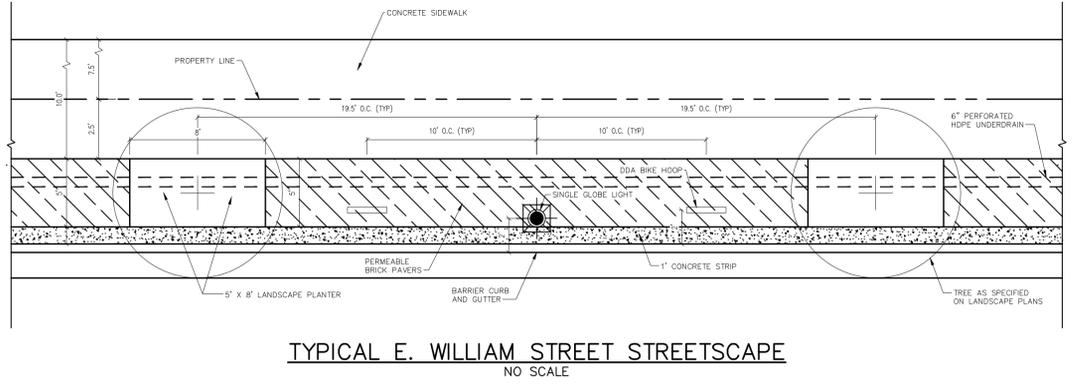
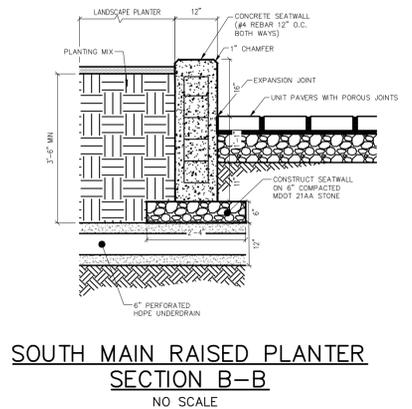
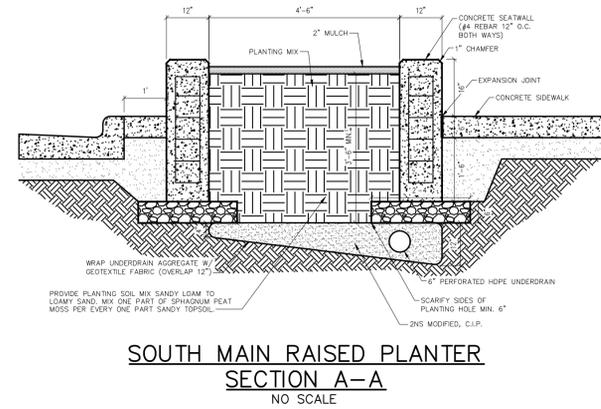
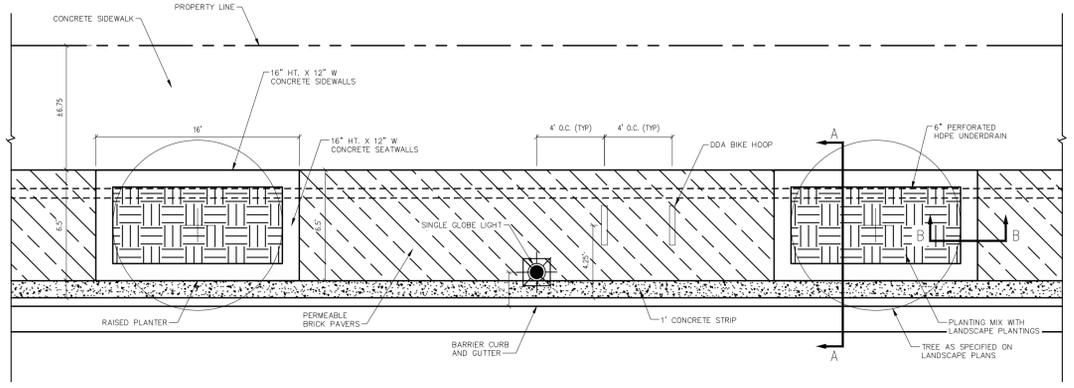
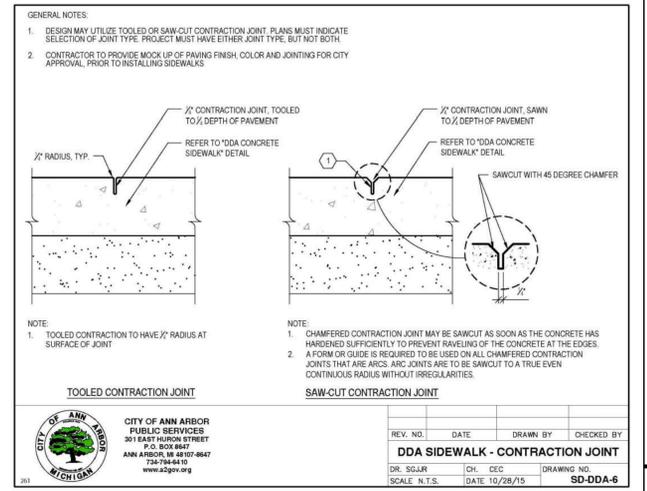
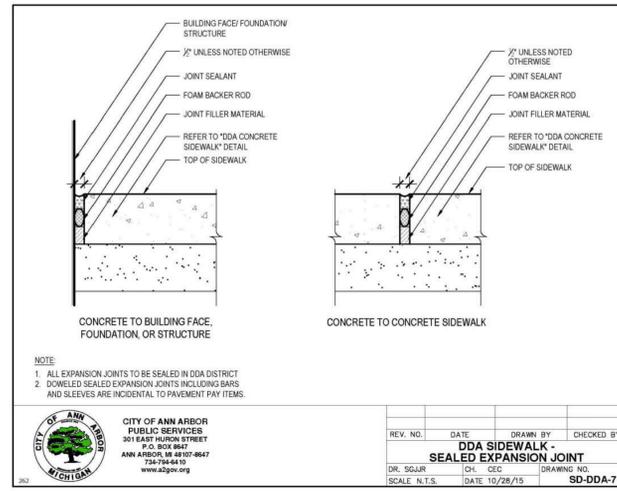
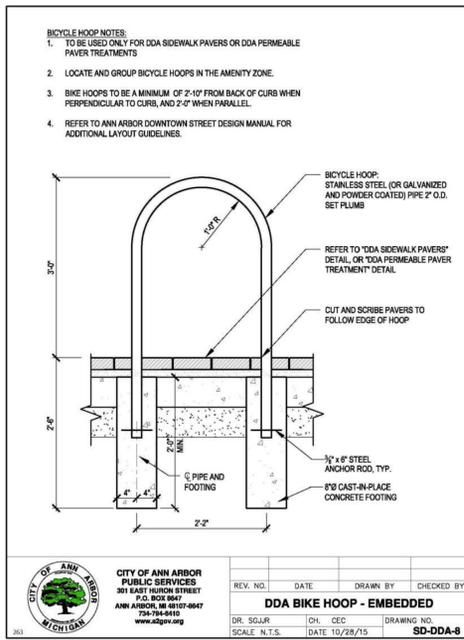
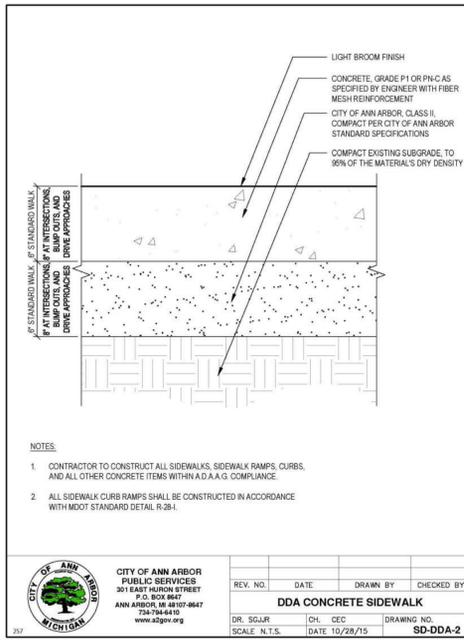
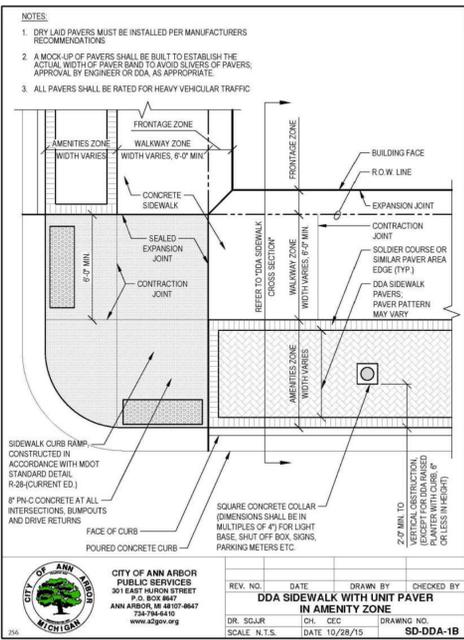
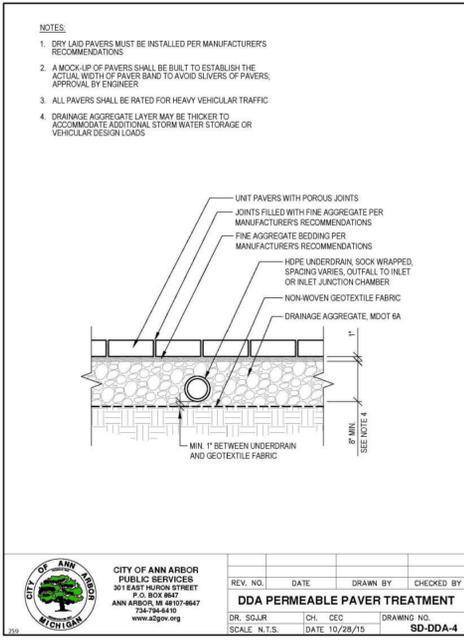
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		JOB No. 19228 DATE: 01/31/2019 SHEET 15 OF 18 REVISIONS: REV. DATE CADD: JMA 4/8/19 10/11/19 ENG: JCA 11/05/19 PM: SWB 11/13/19 TECH: SWB 11/27/19 19228012.dwg

STANDARD AT ANN ARBOR
 SITE PLAN
 MISCELLANEOUS NOTES AND DETAILS

15



NOTES:
 1. PAVER PATTERN IS TO BE DOUBLE BASKET WEAVE
 2. DDA BIKE HOOPS TO BE AS MANUFACTURED BY DERO, BLACK, OR APPROVED EQUAL

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STANDARD AT ANN ARBOR
 SITE PLAN
 DDA SIDEWALK DETAILS

16

JOB No. 19228
 DATE: 07/31/2019
 SHEET 16 OF 18
 REV. DATE 4/8/19 CADD: JMA
 10/17/19 ENG: JCA
 11/05/19 PM: SWB
 11/13/19 TECH: SWB
 11/27/19 1922802.dwg



SPECIFICATIONS/DATA 17" x 30" PG Style (Stackable) Assembly and 17" x 30" PD Style Assembly

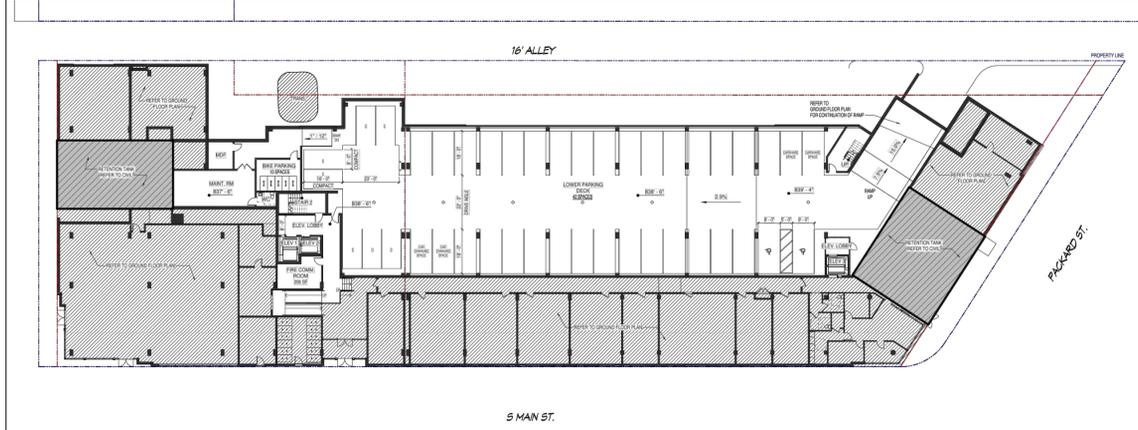
DESCRIPTION	PART NO.	WEIGHT #	DESIGN/TEST LOAD #	ANSI TIER*
W2 Bolts	PG1730CA00	52 (23.8 kg)	8,000 / 12,000	8
Gasketed w/2 Bolts	PG1730CG00	52 (23.8 kg)	8,000 / 12,000	8
No Bolts	PG1730WA00	52 (23.8 kg)	8,000 / 12,000	8
Heavy Duty w/2 Bolts	PG1730HA00	83 (37.8 kg)	15,000 / 22,500	15
Gasketed Heavy Duty w/2 Bolts	PG1730HQ00	83 (37.8 kg)	15,000 / 22,500	15
Extra Heavy Duty w/2 Bolts	PG1720HW00	83 (37.8 kg)	22,500 / 33,750	22

* Covers with meter lids available upon request. See page 12 of page 56 for meter lid cover load rating explanation.
* Gasketed covers and bolt grommets must be used with a gasketed base. Gaskets reduce the inflow of fluids but do not make the enclosure water tight.

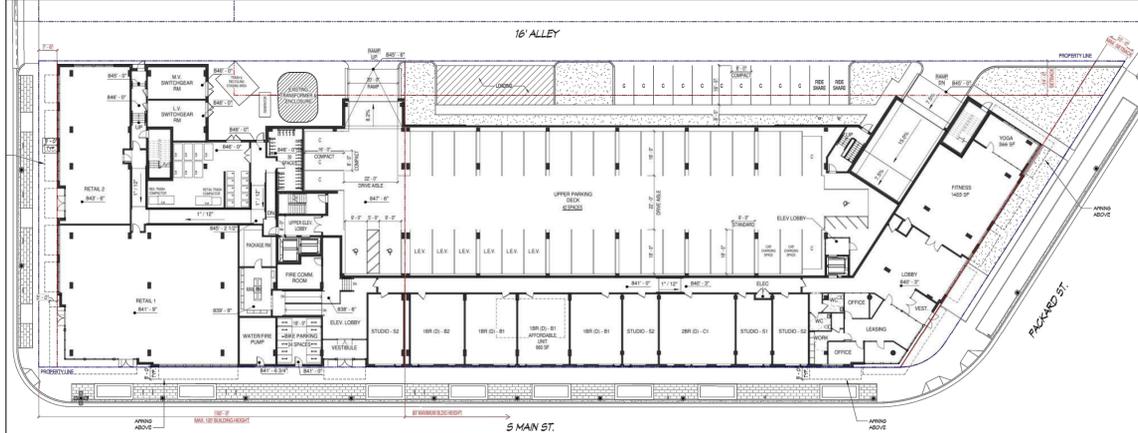
PG Boxes (Stackable with self-aligning, replaceable EZ Nut) **22" - 30" Deep boxes must be used as bottom of any stack.

DESCRIPTION	PART NO.	WEIGHT #	DIMENSION A	DIMENSION B	DIMENSION C	DESIGN/TEST LOAD #	ANSI TIER*
Open Bottom	PG1720BA12	67 (30.4 kg)	12" (305 mm)	10" (254 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA18	94 (42.6 kg)	18" (457 mm)	16" (406 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA24	108 (48.1 kg)	22" (559 mm)	20" (508 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA30	122 (55.3 kg)	24" (610 mm)	22" (559 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA36	126 (57.2 kg)	28" (711 mm)	26" (659 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA42	144 (65.3 kg)	30" (762 mm)	28" (711 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA48	158 (71.6 kg)	32" (813 mm)	30" (762 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA54	172 (77.9 kg)	36" (914 mm)	34" (863 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA60	186 (84.1 kg)	38" (965 mm)	36" (914 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA66	198 (89.8 kg)	40" (1016 mm)	38" (965 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA72	212 (95.7 kg)	42" (1067 mm)	40" (1016 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA78	226 (101.6 kg)	44" (1118 mm)	42" (1067 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA84	240 (108.9 kg)	46" (1168 mm)	44" (1118 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA90	254 (115.2 kg)	48" (1219 mm)	46" (1168 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA96	268 (121.4 kg)	50" (1270 mm)	48" (1219 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA102	282 (127.7 kg)	52" (1321 mm)	50" (1270 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA108	296 (133.9 kg)	54" (1372 mm)	52" (1321 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA114	310 (140.2 kg)	56" (1423 mm)	54" (1372 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA120	324 (146.4 kg)	58" (1474 mm)	56" (1423 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA126	338 (152.6 kg)	60" (1525 mm)	58" (1474 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA132	352 (158.9 kg)	62" (1576 mm)	60" (1525 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA138	366 (165.1 kg)	64" (1627 mm)	62" (1576 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA144	380 (171.4 kg)	66" (1678 mm)	64" (1627 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA150	394 (177.6 kg)	68" (1729 mm)	66" (1678 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA156	408 (183.9 kg)	70" (1780 mm)	68" (1729 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA162	422 (190.1 kg)	72" (1831 mm)	70" (1780 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA168	436 (196.4 kg)	74" (1882 mm)	72" (1831 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA174	450 (202.6 kg)	76" (1933 mm)	74" (1882 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA180	464 (208.9 kg)	78" (1984 mm)	76" (1933 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA186	478 (215.1 kg)	80" (2035 mm)	78" (1984 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA192	492 (221.4 kg)	82" (2086 mm)	80" (2035 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA198	506 (227.6 kg)	84" (2137 mm)	82" (2086 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA204	520 (233.9 kg)	86" (2188 mm)	84" (2137 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA210	534 (240.1 kg)	88" (2239 mm)	86" (2188 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA216	548 (246.4 kg)	90" (2290 mm)	88" (2239 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA222	562 (252.6 kg)	92" (2341 mm)	90" (2290 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA228	576 (258.9 kg)	94" (2392 mm)	92" (2341 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA234	590 (265.1 kg)	96" (2443 mm)	94" (2392 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA240	604 (271.4 kg)	98" (2494 mm)	96" (2443 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA246	618 (277.6 kg)	100" (2545 mm)	98" (2494 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA252	632 (283.9 kg)	102" (2596 mm)	100" (2545 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA258	646 (290.1 kg)	104" (2647 mm)	102" (2596 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA264	660 (296.4 kg)	106" (2698 mm)	104" (2647 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA270	674 (302.6 kg)	108" (2749 mm)	106" (2698 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA276	688 (308.9 kg)	110" (2800 mm)	108" (2749 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA282	702 (315.1 kg)	112" (2851 mm)	110" (2800 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA288	716 (321.4 kg)	114" (2902 mm)	112" (2851 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA294	730 (327.6 kg)	116" (2953 mm)	114" (2902 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA300	744 (333.9 kg)	118" (3004 mm)	116" (2953 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA306	758 (340.1 kg)	120" (3055 mm)	118" (3004 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA312	772 (346.4 kg)	122" (3106 mm)	120" (3055 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA318	786 (352.6 kg)	124" (3157 mm)	122" (3106 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA324	800 (358.9 kg)	126" (3208 mm)	124" (3157 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA330	814 (365.1 kg)	128" (3259 mm)	126" (3208 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA336	828 (371.4 kg)	130" (3310 mm)	128" (3259 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA342	842 (377.6 kg)	132" (3361 mm)	130" (3310 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA348	856 (383.9 kg)	134" (3412 mm)	132" (3361 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA354	870 (390.1 kg)	136" (3463 mm)	134" (3412 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA360	884 (396.4 kg)	138" (3514 mm)	136" (3463 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA366	898 (402.6 kg)	140" (3565 mm)	138" (3514 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA372	912 (408.9 kg)	142" (3616 mm)	140" (3565 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA378	926 (415.1 kg)	144" (3667 mm)	142" (3616 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA384	940 (421.4 kg)	146" (3718 mm)	144" (3667 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA390	954 (427.6 kg)	148" (3769 mm)	146" (3718 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA396	968 (433.9 kg)	150" (3820 mm)	148" (3769 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA402	982 (440.1 kg)	152" (3871 mm)	150" (3820 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA408	996 (446.4 kg)	154" (3922 mm)	152" (3871 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA414	1010 (452.6 kg)	156" (3973 mm)	154" (3922 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA420	1024 (458.9 kg)	158" (4024 mm)	156" (3973 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA426	1038 (465.1 kg)	160" (4075 mm)	158" (4024 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA432	1052 (471.4 kg)	162" (4126 mm)	160" (4075 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA438	1066 (477.6 kg)	164" (4177 mm)	162" (4126 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA444	1080 (483.9 kg)	166" (4228 mm)	164" (4177 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA450	1094 (490.1 kg)	168" (4279 mm)	166" (4228 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA456	1108 (496.4 kg)	170" (4330 mm)	168" (4279 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA462	1122 (502.6 kg)	172" (4381 mm)	170" (4330 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA468	1136 (508.9 kg)	174" (4432 mm)	172" (4381 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA474	1150 (515.1 kg)	176" (4483 mm)	174" (4432 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA480	1164 (521.4 kg)	178" (4534 mm)	176" (4483 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA486	1178 (527.6 kg)	180" (4585 mm)	178" (4534 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA492	1192 (533.9 kg)	182" (4636 mm)	180" (4585 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA498	1206 (540.1 kg)	184" (4687 mm)	182" (4636 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA504	1220 (546.4 kg)	186" (4738 mm)	184" (4687 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA510	1234 (552.6 kg)	188" (4789 mm)	186" (4738 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA516	1248 (558.9 kg)	190" (4840 mm)	188" (4789 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA522	1262 (565.1 kg)	192" (4891 mm)	190" (4840 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA528	1276 (571.4 kg)	194" (4942 mm)	192" (4891 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA534	1290 (577.6 kg)	196" (4993 mm)	194" (4942 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA540	1304 (583.9 kg)	198" (5044 mm)	196" (4993 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA546	1318 (590.1 kg)	200" (5095 mm)	198" (5044 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA552	1332 (596.4 kg)	202" (5146 mm)	200" (5095 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA558	1346 (602.6 kg)	204" (5197 mm)	202" (5146 mm)	1 1/4" (32 mm)	22,500 / 33,750	22
Open Bottom	PG1720BA564	1360 (608.9 kg)	206" (5248 mm)	204" (5197 mm)	1 1/4" (32 mm)	22,500	

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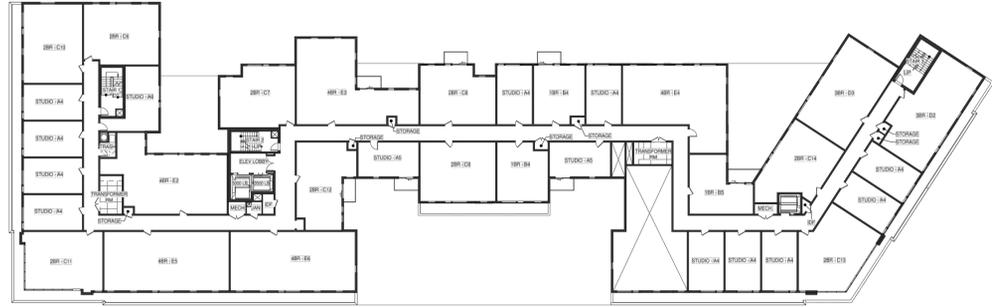
LOWER PARKING DECK PLAN
SCALE: 1/8" = 1'-0"



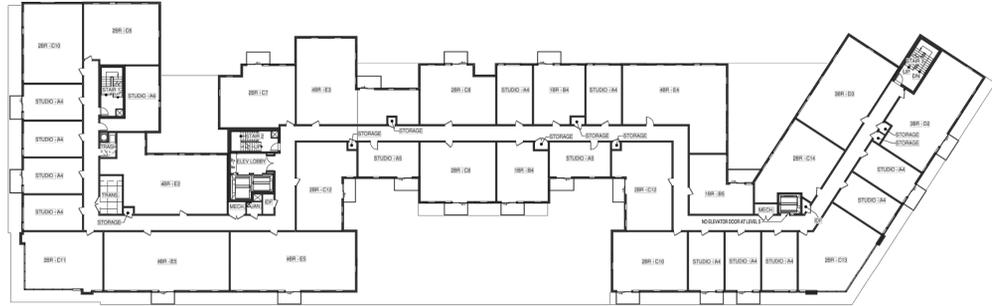
GROUND LEVEL PLAN
SCALE: 1/8" = 1'-0"



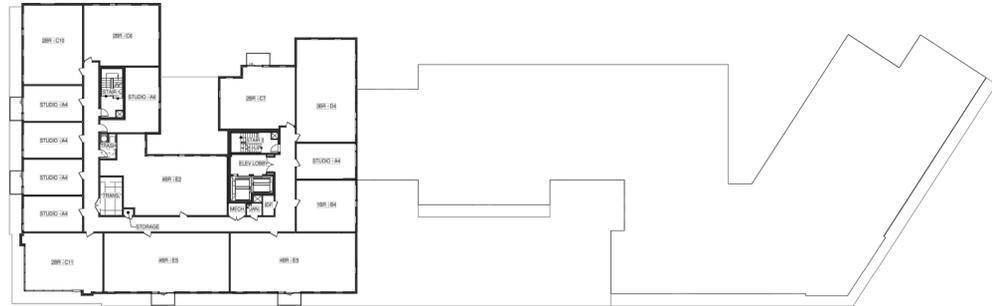
LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"



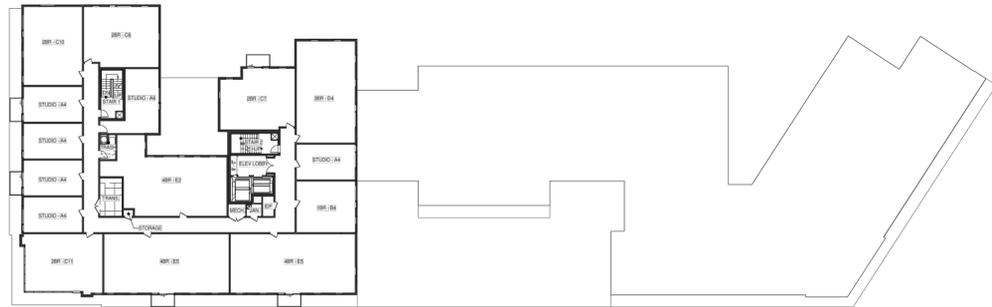
LEVEL 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEVEL 4&5 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEVEL 6 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEVELS 7-10 FLOOR PLAN
SCALE: 1/8" = 1'-0"

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STANDARD AT ANN ARBOR

SITE PLAN
ARCHITECTURAL FLOOR PLANS

18

JOB No. **19228**
DATE: 01/31/2019
SHEET 18 OF 18
REV. DATE 4/8/19
REV. DATE 10/17/19
REV. DATE 11/05/19
REV. DATE 11/27/19
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	JOB NO 18018
	DATE 11.26.2019

LOWER PARKING DECK
SP-01

EXISTING
D2 ZONING

EXISTING
R4C ZONING

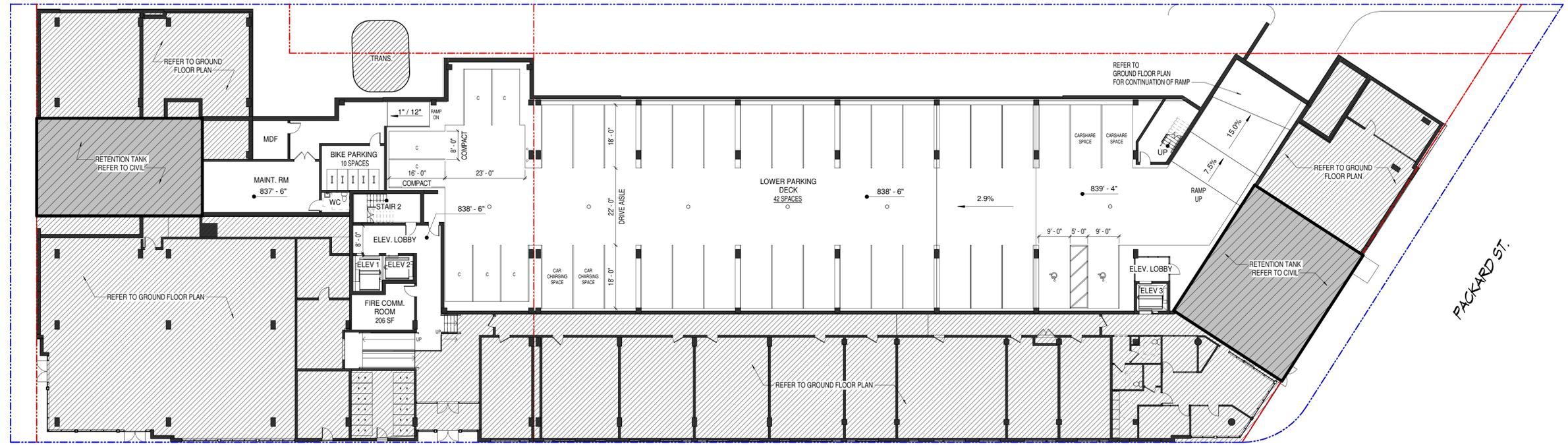
16' ALLEY

PROPERTY LINE

PACKARD ST.

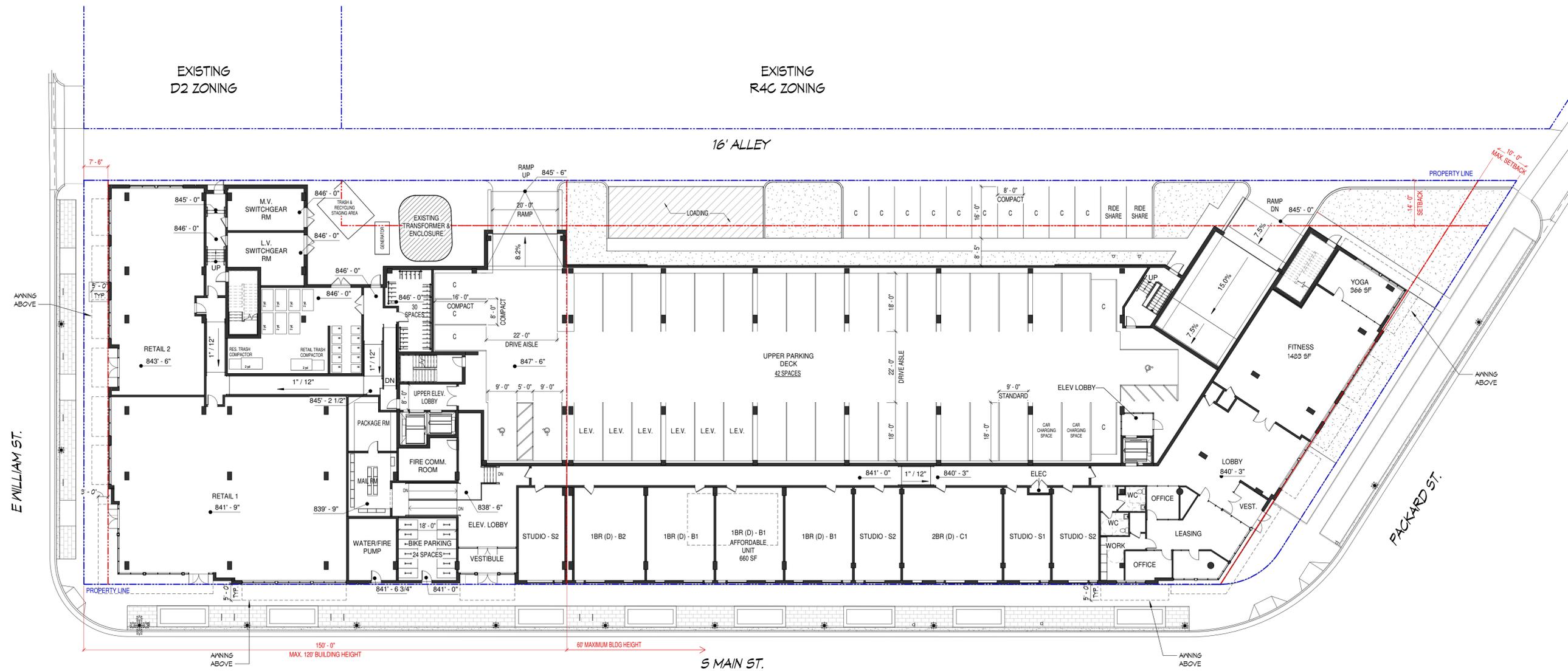
S MAIN ST.

E WILLIAM ST.



LOWER PARKING DECK PLAN

SCALE: 1/16" = 1'-0"



GROUND LEVEL PLAN

SCALE: 1/16" = 1'-0"

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GROUND FLOOR PLAN

SP-02



LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"

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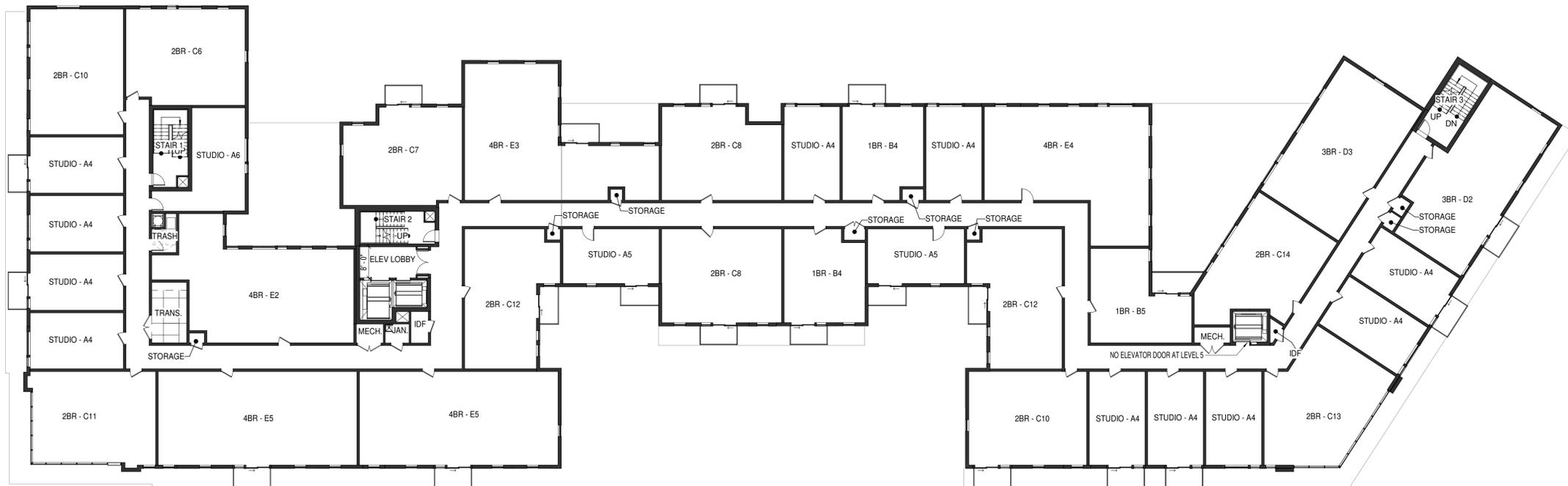
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LEVEL 2 FLOOR PLAN

SP-03



LEVEL 4&5 FLOOR PLAN

SCALE: 1/16" = 1'-0"

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ANN ARBOR, MI

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LEVEL 4 & LEVEL 5 FLOOR PLAN

SP-05

TOTAL FAR CALCULATIONS

LOWER PARKING DECK	1,010 SF
GROUND LEVEL	21,956 SF
LEVEL 02	30,867 SF
LEVEL 03	26,972 SF
LEVEL 04	28,421 SF
LEVEL 05	28,421 SF
LEVEL 06	12,923 SF
LEVEL 07	12,923 SF
LEVEL 08	12,923 SF
LEVEL 09	12,923 SF
LEVEL 10	12,923 SF

TOTAL FAR AREA* 202,262 SF

SITE AREA 50,573 SF
PROPOSED FAR** 399.9%

*Gross FAR excludes floor area used for required premium vehicular parking and required bicycle parking, stairwells (including landings), elevator shafts, ramps, vertical chases or chutes

****BASE FAR = 200% LOT AREA** 101,146 SF

- **RESIDENTIAL USE PREMIUM = .75SF OF FLOOR AREA IN EXCESS OF MAX FAR** 75,859 SF
- **GREEN BUILDING PREMIUM = 50% LOT AREA** 25,286 SF
- **2 ON-SITE AFFORDABLE HOUSING UNITS** 6,000 SF

- **RETAIL FROM RESID. USE PREMIUM** -6,020 SF

MAXIMUM ALLOWABLE FAR 202,271 SF (400%)

BUILDING COVERAGE (% LOT AREA)

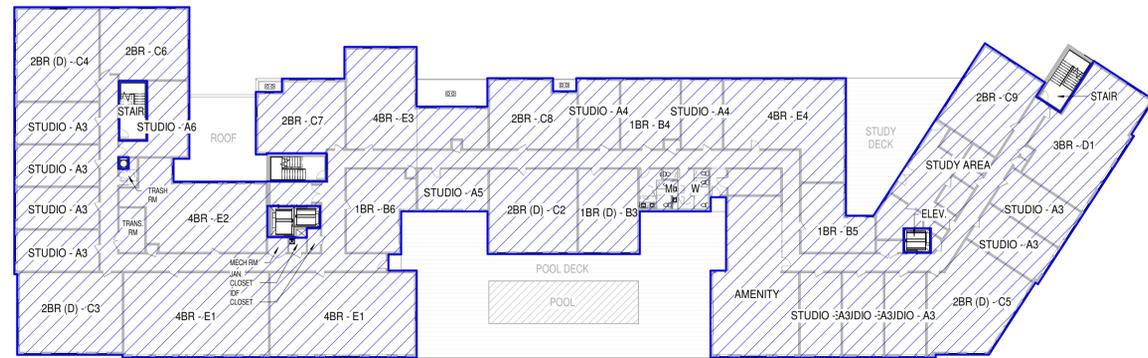
MAX COVERAGE 80%

PROPOSED BUILDING COVERAGE 76.7%

MIN OPEN SPACE (% LOT AREA)

MAX COVERAGE 10%

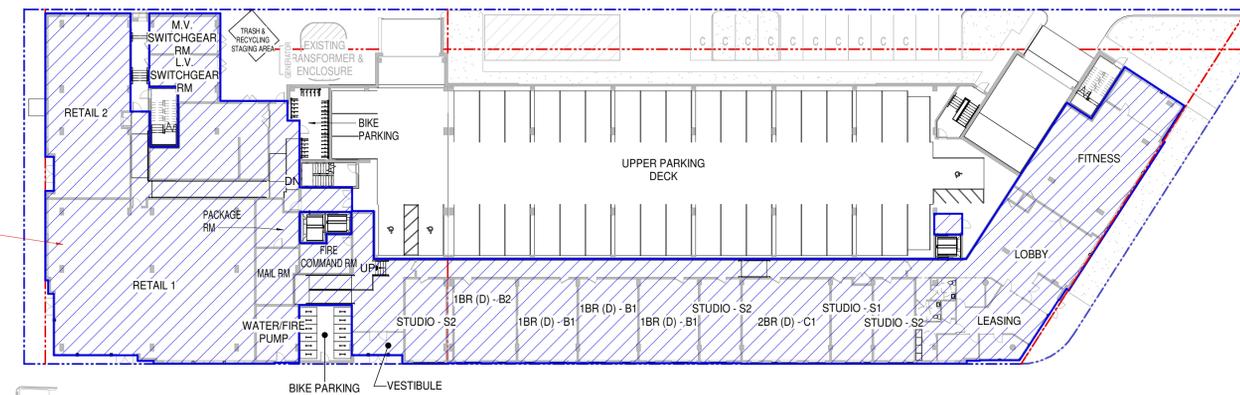
PROPOSED OPEN SPACE 6,030 SF 11.9%



LEVEL 2
SCALE: 1" = 30'-0"

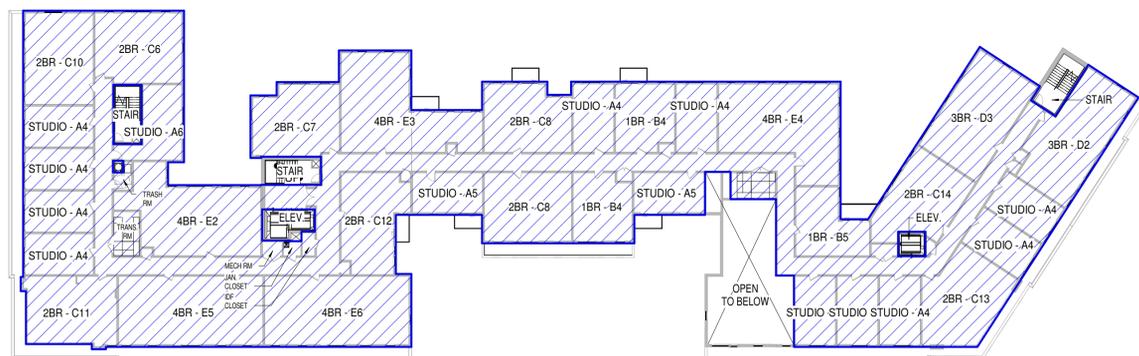
TOTAL FAR CALCULATIONS = 30,867 SF

6,020 SF OF RETAIL SUBTRACTED FROM RESIDENTIAL USE PREMIUM



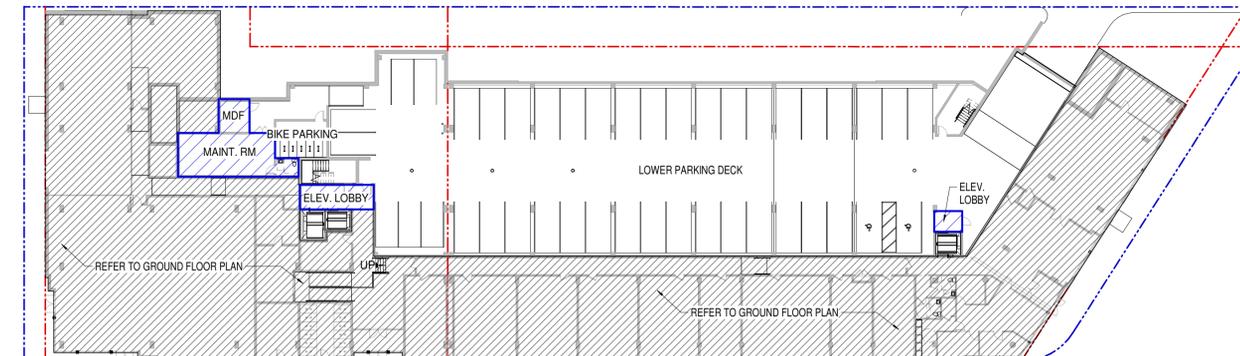
LEVEL 1
SCALE: 1" = 30'-0"

TOTAL FAR CALCULATIONS = 21,956 SF



LEVEL 3
SCALE: 1" = 30'-0"

TOTAL FAR CALCULATIONS = 26,972 SF



LOWER PARKING DECK
SCALE: 1" = 30'-0"

TOTAL FAR CALCULATIONS = 1,010SF

APPROVALS



MYEFSKI ARCHITECTS, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, NOR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF MYEFSKI ARCHITECTS, INC.

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

CLIENT: THE STANDARD AT ANN ARBOR, LLC
315 OCCOKEE STREET, ANN ARBOR, MI 48101
CONTACT: ERIC LEATH
PHONE: 734.963.9192 EMAIL: ERIC.LEATH@LANDMARKPROPERTIES.COM

ARCHITECT: MYEFSKI ARCHITECTS, INC.
400 NORTH MICHIGAN AVENUE, SUITE 400
CHICAGO, IL 60611
CONTACT: JON MYEFSKI
PHONE: 312.762.2400 EMAIL: JONMYEFSKI@MYEFSKI.COM

CIVIL ENGINEER: MCDONNELL CONSULTING
3815 PLAZA DRIVE
ANN ARBOR, MI 48106
CONTACT: SCOTT BETZOLDT
PHONE: 734.969.3200 EMAIL: SW@MCDONNELLCONSULTING.COM

STRUCTURAL ENGINEER: ROBERT DARVAS ASSOCIATES
400 SOUTH MAIN STREET
ANN ARBOR, MI 48101
CONTACT: NADIA WAKELIUP
PHONE: 734.779.8112 EMAIL: NADIA@ROBERTDARVAS.COM

MEP ENGINEER: BTR ENGINEERING
504 N. OAK PARK AVENUE, STE. 301
OAK PARK, IL 60301
CONTACT: DWAN KOLGIER
PHONE: 312.633.8331 EMAIL: ERIC@BTRENGINEERS.COM

INTERIOR DESIGNER: DESIGN ENVIRONMENTS, INC.
3025 CHATELAIN AVENUE, SUITE 200
MARIETTA, GA 30066
CONTACT: JULIE MCKINNEY
PHONE: 770.426.3200 EMAIL: JAMCKINNEY@DESIGNENVIRONMENTS.COM

LANDSCAPE DESIGN: HPA STUDIO
5328 ALPHA ROAD, SUITE 300
DALLAS, TX 75240
CONTACT: DANIEL ERLANDSON
PHONE: 972.707.9696 EMAIL: DAN@HPASTUDIO.COM

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THE STANDARD AT
ANN ARBOR

ANN ARBOR, MI

DRAWN BY	Author
CHECKED BY	Checker
PROJECT ARCH	Approver

NO	DATE	DESCRIPTION
1	10.11.19	SITE PLAN SUBMITTAL
2	11.27.19	REVISED SITE PLAN SUBMITTAL

JOB NO	18018
DATE	11.26.2019

FAR CALCULATIONS

SP-08



3 WILLIAM ST. ELEVATION
SP-10 SCALE: 1/16" = 1'-0"



2 PACKARD ST. ELEVATION
SP-10 SCALE: 1/16" = 1'-0"



1 MAIN ST. ELEVATION
SP-10 SCALE: 1/16" = 1'-0"

APPROVALS



MYEFSKI ARCHITECTS
312 N. WABASH ST. #1000
CHICAGO, IL 60611
PHONE: 312.543.1919 EMAIL: ENCL@MYEFSKI.COM

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

CLIENT
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BTR ENGINEERING
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OAK PARK, IL 60301
CONTACT: DWIGHT BOGGER
PHONE: 312.638.8331 EMAIL: ENCL@BTRENGINEERS.COM

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CONTACT: JULIE MCKINNEY
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CONTACT: DANIEL ERLANDSON
PHONE: 972.707.9698 EMAIL: DAN@HFASTUDIO.COM

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THE STANDARD AT
ANN ARBOR
ANN ARBOR, MI

DRAWN BY Author
CHECKED BY Checker

PROJECT ARCH Approver

NO	DATE	DESCRIPTION
1	10.11.19	SITE PLAN SUBMITTAL
2	11.27.19	REVISED SITE PLAN SUBMITTAL

JOB NO 18018
DATE 11.26.2019

EXTERIOR ELEVATIONS
SP-10

PROJECT NAME

The Standard at Ann Arbor

PROJECT NO.

10996-90

DATE OF MEETING

January 9, 2019

TIME

5:30-7:30PM

MEI

DISTRIBUTION

City of Ann Arbor Planning Dept.

Alexis DiLeo

VIA

Email

Eric Leath, The Standard at Ann Arbor, LLC

**Jason Doornbos, The Standard at Ann
Arbor, LLC**

Joe Greco, Lord Aeck Sargent

Luke Bonner, Bonner Advisory Group

FILE: \\190109-CPM-Meeting\190109-CPM-MeetingNotes.docx

COPY:

ITEMS

Meeting Summary

Date of meeting: January 9, 2019

Number of postcards mailed: 1,788

Date cards mailed: December 24, 2018

Number of cards returned: 0

Location/time of CPM: Michigan League, Kalamazoo Room, 5:30-7:30pm

Number of citizen attendees: 16

The Citizens Participation Meeting was the 5th neighborhood input meeting held for the Standard at Ann Arbor project. All others were held at 212 S. 5th Ave. Ann Arbor, MI. These meetings were coordinated by Bonner Advisory Group and were all attended by Eric Leath, Ben Ridderbos and Luke Bonner. Through these neighborhood meetings, project feedback from the neighborhood was taken and incorporated into the design of the building. In particular, issues were addressed involving:

- Building materials
- Façade design and color palates of the building
- Appearance of the alley side of the building
- The appearance of the Packard Street side of the building,
- Incorporating a prominent feature into the William and Main corner of the building



- Improved safety in the area from the new project's onsite management team. These previous neighborhood meetings led to a very productive formal Citizens Participation Meeting on January 9th.

These informal citizens' participation meetings were held on 10/16/18, 10/30/18, 11/13/18 and 11/28/18.

The official Citizens Participation Meeting started shortly after 5:30pm. The project team in attendance introduced themselves which included Luke Bonner of Bonner Advisory Group, Eric Leath of Landmark Properties, Ben Ridderbos, Joe Greco, and Adriaan Van Velden of Lord Aeck Sargent. Luke Bonner gave a recap of previous meetings as well as a brief review of the recent project design changes based on neighborhood feedback. Ben Ridderbos provided background on how the project design began by first exploring the site development constraints and zoning code requirements of the site. The massing of the building evolved from those constraints and the program of the development. Ben noted that the project is designed as a By-Right development per City of Ann Arbor 2018 Zoning Code. Eric Leath described the program of the overall development, including project stats such as 238 residential units proposed, which are mostly studio, 1 and 2 bedroom units. Additionally, Eric described the ground floor which consists of commercial retail spaces towards William and Main Streets, the amenity spaces for the residents, as well as the residential leasing offices on Main Street, and the design shifting towards residential units towards Packard Street to match context in the existing neighborhood. Joe Greco outlined how the design of the building has evolved from resident input, highlighting many of the design changes that resulted from neighborhood feedback.

The project team brought five exhibits to share with the attendees. One was an aerial view showing how the future building would fit within the context of the neighborhood and downtown area. A second exhibit showed the proposed site plan and streetscape plan. A third exhibit showed the Main Street and William Street rendering. A fourth exhibit showed the Packard Street and Main Street view rendered. Lastly, we showed a rendered view of the alleyway perspective from the southern end of the site. To present these exhibits, the project team broke out into groups at each exhibit and encouraged the resident attendees to move about the room to learn more about each aspect of the project that is proposed. The following is a list of comments and the responses that were discussed at the meeting.

1-9-19 Citizen Participation Comments

1. How large is the ground floor area of the project?
 - 41,000 s.f.
2. There were several comments about how the alley would be used and traffic flow in the alley.
 - The alley is a one way alley and is city right of way. It operates like all other alleys in the city. The Standard will have access to underground parking, as well as rideshare pick up and short term parking to help ensure traffic flow in the alley.
3. Adding more retail along South Main would help create a reason for people to go that way on Main Street.



- The project team has carefully considered the amount of demand for additional retail in this area and feels that our program is consistent with that.
- 4. The parking in downtown is difficult right now, will the project have an impact on downtown parking?
 - The project has roughly 100 underground parking spaces and 8 surface level parking spaces. Meeting the required parking from the City of Ann Arbor. Further, the Public Parking Deck at 4th and William is underutilized and offers additional parking options. The Standard will also provide ample bicycle parking for residents and City of Ann Arbor bus stops are located around the site.
- 5. A grocery store would be very much welcomed as a retail use.
 - Too premature to determine retail uses, which will come much later in the process.
- 6. Will the ground floor residential units be flexible for other uses?
 - Ground floor units offer flexibility towards other uses in the future if the market supports it.
- 7. Can there be more of a distinctive design along Packard? And how likely is it that a retail storefront can be on the corner of Packard and Main?
 - There has been a lot of consideration to the Packard design, both in terms of uses and design consideration. The Packard façade has been revised multiple times through feedback from the Neighbors and two trips to the Ann Arbor Design Review Board.
- 8. Why is there only one level of parking and not two?
 - Based on the Geotechnical Report, the underground condition on this site is not suitable for more than one below-grade level of parking.
- 9. At the William and Main corner, can you add something to the top of the tower that creates a "final exclamation point" at the top?
 - Design team will look into this request and has already worked diligently to enhance this corner.

Meeting concluded at 7:45.

Attachments:

- Postcard Meeting Notice
- Emails from citizens who could not attend the meeting
- Exhibits presented at the meeting
 - Aerial Image of 425 S. Main Massing with surrounding context
 - Site Plan
 - Rendering of Main St. and William St. corner
 - Rendering of Main St. and Packard St. corner
 - Rendering of Alley side of building



Notes from citizens that could not attend the meeting:

Email from Lucy Miller – 319 West Mosley:

Hi Lucy! Thank you for your input. It's very much appreciated. I also added you to our main contact list so you will receive emails for future meetings.

In terms of the building design, it's hard to design anything by committee. We tend to go with majority of opinions we hear repetitiously. We have had a lot of meetings with residents on that, and the project has changed several times based on that input. In terms of the retail, I do think it will be successful, I think Ashley Mews struggles at times because of the gas station, side of the street its on, and general inconvenience to walk there. The 4th street parking deck makes a big deal for retail at William and Main, on the east side of the street, and heading north on Main. That Southwest area of William and Main just seems to be in not the best spot, sort of no mans land.

If you want to discuss any more let me know. Thanks again for taking the time to send us this feedback.

Luke Bonner
CEO
Bonner Advisory Group
734-846-9746
Luke.Bonner@BonnerAG.com
www.BonnerAG.com

From: Lucy Miller <portmiller@sbcglobal.net>
Sent: Wednesday, January 9, 2019 9:39 AM
To: Luke Bonner <luke.bonner@bonnerag.com>
Subject: Re Citizen Participation Meeting.

Dear Mr. Bonner:

I am unable to attend the meeting this afternoon, but wanted to raise a couple of concerns.

I attended the Design Review Meeting regarding your project, but could not tell what you are envisioning regarding the retail spaces on the street level. As you are aware, the retail spaces across the street that were part of the Mews project have done poorly, with a large, initially lovely, space never leasing. I suspect problems are the rental fees and lack of parking. I would ask how you see these spaces being used, and what you are doing to make sure it goes well?

Regarding the building design, I am sure the architects would like to make it look nice. A building of this size and boxy massing is not likely to look friendly or beautiful. Imagine three separate buildings on this large important corridor. I also can't figure out what is going on with everyone needing their own workout space, and even a pool. Just doesn't sound like urban living, mingling at the Y, in the public square, etc. Nor does it tend towards affordable

I do hope for the best, especially that the world we are building now will be enjoyable for folks living here in the future.

Thank you for asking for input.

Regards,

Lucy Miller
319 West Mosley

Email from Ted Annis – 414 S. Main:

From: Luke Bonner
Sent: Wednesday, November 28, 2018 4:46 PM
To: Ted Annis
Cc: Sandra Andrade; Richard Merillat; Matt Morris; Eric Cappo; Evans, Jan; Moyer Jerry
Subject: Re: Midnight Madness Next Friday / 425 S. Main Site Development Mtg.

Hi Ted, nice to hear from you. I do recollect your comments from the DRB meeting. Thank you for sending them along. Short responses to your concerns: The building is not a student housing project as we said in the meeting. The Main Street market is not generally a market for that demographic. However, as you know it's likely students will rent there as part of a mixed demographic of residents. We can't dictate the rental profiles as that is not legally permissible in this kind of project. We do expect a variety of residents.

The height of the building to the peak roofline right now is 109 feet which is in line with The Ashley Mews office tower on the west side of Main Street. There are currently 100 parking spaces accounted for in the lower level parking garage. The studio units are 350-444 sf which is supported by the market data.

We have been working regularly with residents along the alley to understand their concerns and make sure we can address them to the best of our ability. The total square footage of the building is approximately 202,000 s.f.

As you know this property was significantly downzoned in or around 2015. Previous to that downzoning a building could have been up 17 stories or 180 feet. So you see this proposed project is well below that as a result of that downzoning at 10 stories and 109 feet. The proposed project is within the city's ordinance as a result. We are not and do not plan to vary from that ordinance.

We understand there are a variety of interests and opinions about new developments in downtown Ann Arbor. As there should be. And we do take them all into account during the design phase.

We encourage you to come and participate at our meetings as much as possible, although I know everyone is busy and it's not easy to make them.

As always don't hesitate to contact me with questions or concerns either by phone or email.

Thank you!

Luke Bonner

CEO

Bonner Advisory Group

Luke.Bonner@BonnerAG.com

734-846-9746

www.BonnerAG.com

On Nov 28, 2018, at 3:55 PM, Ted Annis <ted@annis.org> wrote:

Sandra,

Re tonight's meeting: I have objections to the proposed building. They are attached.

Basically, this is overly-dense student housing (235 units) in a large building, the north side of which is too tall.

I attended the City's Design Review meeting last month to deliver my objections. Be aware that other property owners adjacent to the site also were there and they made it clear that there will be a fight unless certain reductions and changes are made.

Regards,

Ted Annis

414 S. Main

.....

From: Sandra Andrade <sandra@mainstreetannarbor.org>

Sent: Tuesday, November 20, 2018 12:17 PM

To: Sandra Andrade <sandra@mainstreetannarbor.org>

Subject: Midnight Madness Next Friday / 425 S. Main Site Development Mtg.

Good Afternoon MSAA Members,

1 - Reminder Midnight Madness is next Friday, Nov. 30!

If you haven't already make sure to email me any specials and/or fun things you will be doing. And, please promote! Attached is an image for posting to your social media.

2 - 425 S. Main (corner of Main and William) Site Development Meeting

Nov. 28, 5:30 - 7:30 pm, at 212 S. 5th Ave. (the former Nutshell Offices)

This will be a public input session for the proposed building design of a 250,000 square foot mixed use building.

If you have any questions, comments, or concerns please contact:

Luke Bonner

CEO, Bonner Advisory Group

734-846-9746 / Luke.Bonner@BonnerAG.com

www.BonnerAG.com

Sandra Andrade

Executive Director

Main Street Area Association

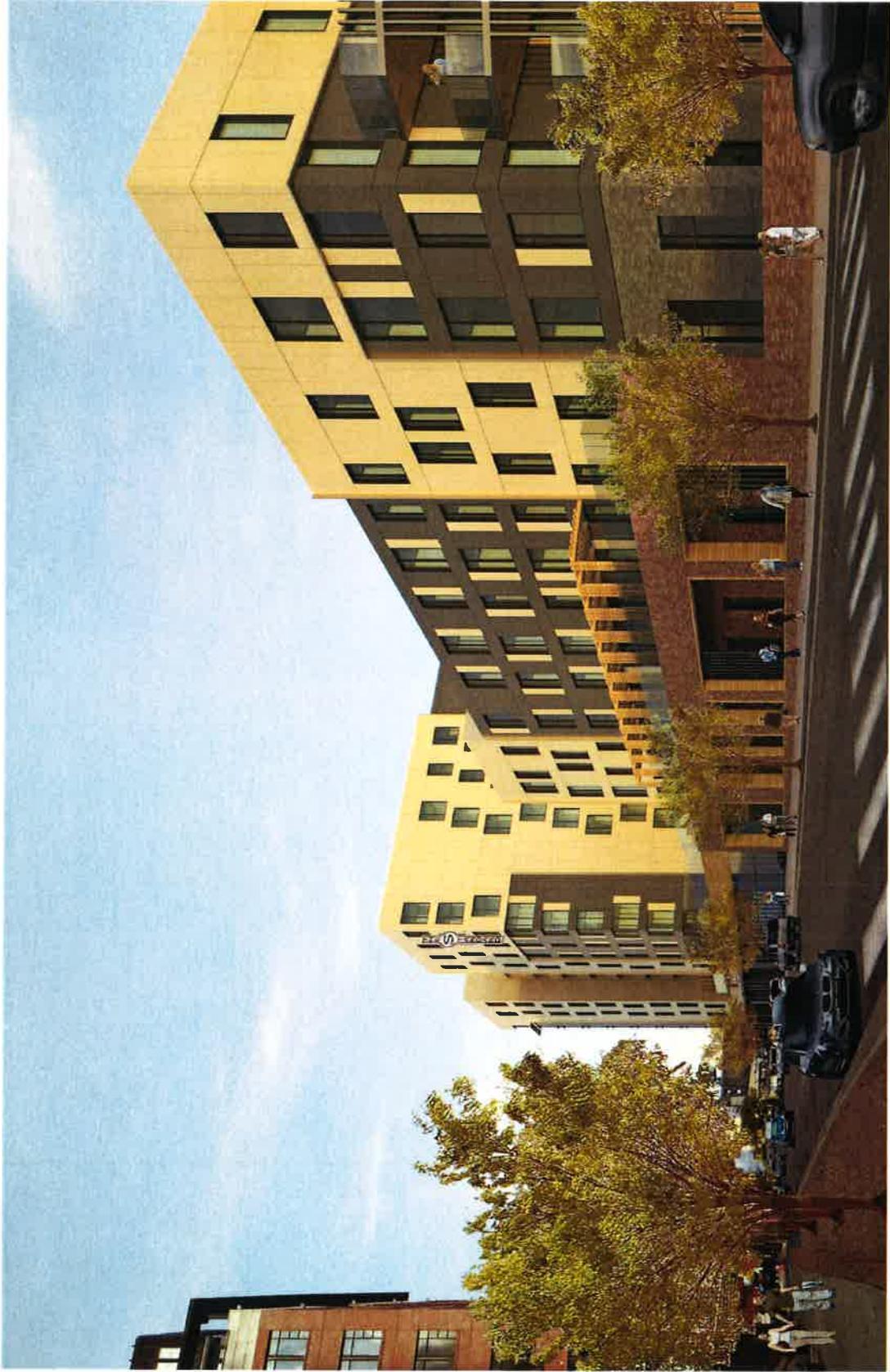
P.O. Box 7596, Ann Arbor, MI, 48107

734.668.7112 / ext. 222



MAIN ST & WILLIAM VIEW
THE STANDARD AT ANN ARBOR
405 S. Main St.
01/09/2019
LAS # 10996-90

**LORD
AECK
SARGENT**
A KATERRA COMPANY



MAIN ST & PACKARD VIEW
THE STANDARD AT ANN ARBOR
405 S. Main St.
01/09/2019
LAS # 10996-90



ALLEY VIEW
THE STANDARD AT ANN ARBOR
405 S. Main St.
01/08/2019
LAS # 10956-90

**LORD
AECK
SARGENT**
A KATERRA COMPANY



PACKARD VIEW
THE STANDARD AT ANN ARBOR
405 S. Main St.
01/09/2019
LAS # 10956-90

**LORD
AECK
SARGENT**
ARCHITECTS

NOTICE OF CITIZEN PARTICIPATION MEETING: Standard at Ann Arbor

Citizen Participation Meeting

Postcards are being sent to all property owners within 1,000 ft of the project site to give notice that a development petition will be submitted to the City of Ann Arbor on 1/31/19. A citizen participation meeting will be held to give you an opportunity to review plans, ask questions, and provide comments that will be considered by the developer to finalize plans and then incorporated into a report for the City Planning Commission.

Project Description

The proposed project is an urban Mixed-Use Residential project with ground-floor retail and amenity spaces. Project location is 425 S. Main Street in Downtown Ann Arbor. This project will follow current zoning regulations and design guidelines per City of Ann Arbor requirements.

Project Location



Meeting Logistics

Date: Wednesday, January 9, 2019

Time: 5:30 – 7:30 pm

Place: Michigan League – Kalamazoo Room
911 N. University Ave
Ann Arbor, MI 48104

Questions or Comments

Questions or comments may be directed to Luke Bonner at luke.bonner@bonnerag.com or during business hours at (734) 846-9746.

Persons with disabilities are encouraged to participate. Accommodations may be arranged by contacting Luke Bonner. Requests need to be received at least 24 hours in advance of the meeting.

Proposed Standard at Ann Arbor project

In accordance with the City of Ann Arbor's Citizen Participation Ordinance, you are being notified that a proposal for *Standard at Ann Arbor* will be submitted to the City of Ann Arbor's Planning Department. Details about a citizen participation meeting designed for you to learn about this project are described on the opposite side of this card. Visit www.a2gov.org/participation for more information about citizen participation in Ann Arbor.



Place address label here

THE STANDARD DEVELOPMENT AGREEMENT

THIS AGREEMENT, made this ____ day of _____, 20__, by and between the City of Ann Arbor, a Michigan municipal corporation, with principal address at 301 East Huron Street, Ann Arbor, Michigan 48107, hereinafter called the CITY; and The Standard at Ann Arbor, LLC, a Delaware Limited Liability Company, with principal address at 315 Oconee St., Athens, Georgia 30601, hereinafter called the DEVELOPER, witnesses that:

WHEREAS, the DEVELOPER owns certain land in the City of Ann Arbor, described below and site planned as The Standard, and

WHEREAS, the DEVELOPER has caused certain land in the City of Ann Arbor, described below to be surveyed, mapped and site planned as The Standard as *above*, and desires site plan and development agreement approval thereof, and

WHEREAS, the DEVELOPER desires to build or use certain Improvements with and without the necessity of special assessments by the CITY, and

WHEREAS, the CITY desires to ensure that all of the Improvements required by pertinent CITY ordinances and regulations be properly made, and that the DEVELOPER will install these Improvements prior to any permits being issued.

THE DEVELOPER(S) HEREBY AGREE(S):

(P-1) To prepare and submit to the CITY for approval plans and specifications ("the Plans") prepared by a registered professional engineer for construction of public water and sanitary sewer mains, private storm water management systems, sidewalks and streetlights ("the Improvements") provided that no work on said Improvements shall be commenced until the Plans have been approved by the City Administrator or designee, and until such other relevant information to CITY service areas as shall be reasonably required has been provided.

(P-2) To construct all Improvements set forth in Paragraph P-1 of this Agreement in accordance with the approved Plans and to repair all defects in the Improvements that occur within one year from the date of acceptance of the Improvements by the CITY, commencing on the latest date of the acceptance of any Improvements by the CITY. If the DEVELOPER fails to construct the Improvements, the CITY may send notice via first class mail to the DEVELOPER at the address listed above requiring it to commence and complete the Improvements in the notice within the time set forth in the notice. The CITY may cause the work to be completed at the expense of the DEVELOPER, if the DEVELOPER does not complete the work within the time set forth in the notice.

(P-3) To furnish, within 30 days of completion, an engineer's certificate that the construction of the public Improvements set forth in Paragraph P-1 above have been completed in accordance with the specifications of the CITY in accordance with the approved plans. The engineer's certificate will cover only those items the DEVELOPER'S engineer inspects.

(P-4) To provide and install such temporary warning signs during the construction period as are appropriate to protect the health, safety and welfare of the public.

(P-5) Prior to the issuance of building permits, to deposit with a mutually acceptable escrow agent fully executed documents in a form acceptable to the CITY, which will convey, upon delivery to the CITY, easements for the construction and maintenance of public utilities and public streets. The escrow agreement shall provide for delivery of the documents to the CITY solely upon the condition that the CITY has accepted the public improvement to be conveyed by the easement.

(P-6) To install all water mains, storm sewers, sanitary sewers and public streets, through the first course of asphalt, pursuant to CITY approved plans and specifications, necessary to connect the site with existing CITY systems adjacent to the site prior to the issuance of any building permits.

(P-7) To maintain the alley on the east side of the site, including snow and ice removal, if certificates of occupancy are finalized before the street Improvements have been accepted for maintenance by the CITY.

(P-8) To be included in a future special assessment district, along with other benefiting property, for the construction of additional Improvements to South Main, Packard, East William Streets and the public alley on the east side of the site such as street widening, storm sewers, curb and gutter, sidewalks, bike paths, street lights, and the planting of trees along South Main, Packard and East William Street frontages when such improvements are determined by the CITY to be necessary.

(P-9) Existing street trees shown on the site plan as trees to be saved shall be maintained by the DEVELOPER in good condition for a minimum of three years after acceptance of the public improvements by the CITY or granting of Certificate of Occupancy for the final unit. Existing street trees that are determined by the CITY to be dead, dying or severely damaged due to construction activity within three years after acceptance of the public improvements or granting of Certificate of Occupancy for the final unit, shall be replaced by the DEVELOPER as provided by the Unified Development Code.

(P-10) To convey to the CITY, prior to the issuance of any permits and subject to acceptance by the Ann Arbor City Council, a 7.5 foot wide public access easement along East William Street as shown on the approved site plan.

(P-11) To indemnify, defend and hold the CITY harmless from any claims, losses, liabilities, damages or expenses (including reasonable attorney fees) suffered or incurred by the CITY based upon or resulting from any acts or omissions of the DEVELOPER, its employees, agents, subcontractors, invitees, or licensees in the design, construction, maintenance or repair of any of the Improvements required under this Agreement and the approved site plan.

(P-12) To cause to be maintained General Liability Insurance and Property Damage Insurance in the minimum amount of \$1,000,000 per occurrence and naming the CITY as additional insured to protect and indemnify the CITY against any claims for damage due to public use of the public improvement(s) in the development prior to final written acceptance of the public improvement(s) by the CITY. Evidence of such insurance shall be produced prior to any construction of improvement and a copy filed with the City Clerk's Office and shall remain in

full force and effect during construction of the public improvement(s) and until notice of acceptance by the CITY of the Improvements.

(P-13) For the benefit of the residents of the DEVELOPER'S development, to make a park contribution of \$148,750 to the CITY Parks and Recreation Services Unit prior to the issuance of certificates of occupancy for Improvements to nearby parks or community wide parks.

(P-14) The following U.S. Green Building Council Leadership in Energy and Environmental Design ("LEED") requirement shall be met:

- (a) At the time of application for the first vertical building permit, DEVELOPER shall provide documentation from an independent, qualified professional verifying that the building design achieves a minimum of two (2) LEED points under the LEED Energy & Atmospheric Credit No. 1, V2009, using an industry standard software energy modeling tool (EQUEST or equivalent).
- (b) At the time an application is submitted for a first Certificate of Occupancy, DEVELOPER shall further provide documentation or verification from an independent, qualified professional that the Project has been designed and built to meet LEED Silver V.4 requirements.

(P-15) To deposit, prior to any building permits being issued, a street tree planting escrow account with the Parks and Recreation Services Unit in the form of a check payable to the City of Ann Arbor. The escrow amount shall be based on the CITY policy in effect at that time and is to include all on-site public streets. The City Administrator may authorize the DEVELOPER to install the street trees if planted in accordance with CITY standards and specifications. If the street trees are found to be acceptable by the CITY, the escrow amount will be returned to the DEVELOPER one year after the date of acceptance by the CITY.

(P-16) To construct, repair and/or adequately maintain on-site storm water management system. If the DEVELOPER fails to construct, repair and/or maintain the private storm water management system, the CITY may send notice via first class mail to the DEVELOPER at the address listed above, requiring it to commence and complete the items stated in the notice within the time set forth in the notice. The CITY may cause the work to be completed at the expense of the DEVELOPER if the DEVELOPER does not complete the work within the time set forth in the notice.

(P-17) To install a permanent electric vehicle charging station in the parking deck area as identified on the approved site plan for 4 vehicles that will also be permanently shared vehicles for the residents of The Standard.

(P-18) To provide 2 permanent affordable housing units as a condition to receiving additional 6,000 square feet of floor area and to enter into an affordable housing agreement with the CITY. The two dwelling units will be affordable to individuals with incomes of up to 80% of Area Median Income. The DEVELOPER will operate and comply with this requirement through execution of an Affordable Housing Agreement that identifies operational requirements, verification requirements, and penalties.

(P-19) After construction of the private on-site storm water management system, to commission an annual inspection of the system by a registered professional engineer evaluating

its operation and stating required maintenance or repairs, and to provide a written copy of this evaluation to the CITY Public Services Area.

(P-20) Prior to building permits being issued, to restrict, but not prohibit, by covenants and restrictions recorded with the Washtenaw County Register of Deeds, the use of lawn care chemicals and fertilizers in order to minimize the impacts on Allen Creek

(P-21) To prepare and submit to the Planning and Development Services Unit one copy of the Master Deed, along with the required review fee, prior to issuance of building permits.

(P-22) To design, construct, repair and maintain this development in accordance with the provisions of Chapter 119 (Noise Control) to ensure that any noise emanating from said development will not impact nearby residents or businesses. In addition, DEVELOPER shall review existing noise sources surrounding said development and incorporate necessary design and construction techniques to ensure that future tenants will not be exposed to noise sources in violation of Chapter 119.

(P-23) To submit signed and sealed drawings to the CITY reflecting the building elevations, setbacks, aesthetics, and materials approved by City Council and to construct all buildings consistent with said elevation drawings. If the DEVELOPER proposes any substantive changes to the approved building elevations, setbacks, aesthetics, or materials, that those changes be submitted to the Design Review Board for approval.

(P-24) To remove all discarded building materials and rubbish from the development at least once each month during construction of the development Improvements, and within one month after completion or abandonment of construction.

(P-25) To apply for and obtain, prior to issuance of any Certificates of Occupancy, Letters of Map Revision (LOMAR) from the Federal Emergency Management Agency for modifications in the floodplain elevations on the site, and to furnish to the CITY copies of the LOMAR and an Elevation Certificate for the building.

(P-26) Prior to application for and issuance of certificates of occupancy, to disconnect one footing drain, which is based upon the uses currently existing on the Property and those currently contemplated by the Site Plan in accordance with the City of Ann Arbor Developer Offset Mitigation Program as revised by City Council on June 15, 2015 (the "Guidelines"), or to provide an alternative method of mitigation that results in an equivalent amount of sanitary flow removal, in accordance with the Guidelines. In the event the actual intensity of uses contemplated by the Site Plan are either increased or decreased, CITY and DEVELOPER agree to adjust the number of footing drains to be disconnected, or the amount of alternative mitigation to be provided, in accordance with the Guidelines. DEVELOPER may be allowed to obtain partial certificates of occupancy for the development prior to the completion of all of the required footing drain disconnects on a prorated basis at the discretion of the CITY Public Services Area.

(P-27) As part of the application for the first building permit, to provide documentation from an independent, qualified professional that verifies the building has been designed to achieve a minimum of two points under the U.S. Green Building Council Leadership in Energy and Environmental Design (LEED) Energy & Atmosphere Credit No. 1, based on the most recent version in effect at the date of this agreement. Compliance with this requirement shall be verified and documented by the independent, qualified professional using an industry standard software energy modeling tool (EQUEST or equivalent). At the time an application is submitted

for a first Certificate of Occupancy, DEVELOPER shall further provide documentation or verification from an independent, qualified professional that the Project has been designed and built to meet LEED Silver V.4 requirements.

(P-28) Prior to issuance of building permits, to provide a management plan that indicates how the four car-sharing service parking spaces proposed as part of the development and contributing to the off-street parking requirements will be reserved, signed and enforced. Prior to request for or issuance of any certificate of occupancy, and consistent with Chapter 59, Section 5:167 of Ann Arbor City Code, to provide a recorded, off-site permanent parking easement for the two car-sharing spaces.. DEVELOPER shall provide the CITY with proof of the availability to residents of the car-sharing service within 15 days of request. DEVELOPER agrees and acknowledges that failure to maintain the car-sharing service will be a violation of the zoning ordinance regarding the minimum required number of parking spaces, consistent with Chapter 59, Section 5:167 of Ann Arbor City Code. In the event that DEVELOPER is unable to contract with a vendor to provide such car sharing services, or the full number of cars required herein, then DEVELOPER shall provide the minimum number of parking spaces on or off-site as required by City Code.

(P-29) Prior to the issuance of building permits, to dedicate to the CITY a 7.5 foot wide permanent public access easement along East William Street as shown on the approved site plan. This easement will allow permanent public access along this portion of the site.

(P-30) DEVELOPER is the sole title holder in fee simple of the land described below except for any mortgage, easements and deed restrictions of record and that the person(s) signing below on behalf of DEVELOPER has (have) legal authority and capacity to enter into this Agreement for DEVELOPER.

(P-31) Failure to construct, repair and/or maintain the site pursuant to the approved site plan and/or failure to comply with any of this approved Agreement's terms and conditions shall constitute a material breach of the Agreement and the CITY shall have all remedies in law and/or in equity necessary to ensure that the DEVELOPER complies with the approved site plan and/or the terms and conditions of the approved Agreement. The DEVELOPER shall be responsible for all costs and expenses including reasonable attorney fees incurred by the CITY in enforcing the terms and conditions of the approved site plan and/or Agreement.

(P-32) In addition to any other remedy set forth in this Agreement or in law or equity, if DEVELOPER fails to make a timely or full payments to the CITY as set forth elsewhere in the Agreement to the CITY in the agreed upon manner, any unpaid amount(s) shall become a lien, as provided under Ann Arbor City Code and recorded with the Washtenaw County Register of Deeds, against the land described below and may be placed on the CITY tax roll as a single lot assessment, or if the development is converted to condominium ownership, every owner of a portion of the property shall pay a pro-rata share of the amount of the payments attributable to each condominium unit. If the unpaid amount(s), in whole or in part, has been recorded as a lien on the CITY'S tax roll and with the Washtenaw County Register of Deeds, upon payment of the amount in full along with any penalties and interest, the CITY, upon request, will execute an instrument in recordable form acknowledging full satisfaction of this condition.

(P-33) To pay for the cost of recording this Agreement with the Washtenaw County Register of Deeds, and to pay for the cost of recording all documents granting easements to the CITY.

THE CITY HEREBY AGREES:

(C-1) In consideration of the above undertakings, to approve the *insert name of project*.

(C-2) To use the park contribution described above for Improvements to the *insert name of parks to be improved*.

(C-3) To provide timely and reasonable CITY inspections as may be required during construction.

(C-4) To record this Agreement with the Washtenaw County Register of Deeds.

(C-5) Other items as needed. Do not include any language about the City accepting the conveyance of property.

GENERAL TERMS

Both the DEVELOPER and the CITY agree as follows:

(T-1) This Agreement is not intended to create a contractual right for third parties.

(T-2) This Agreement and any of its terms, conditions, or provisions cannot be modified, amended, or waived unless in writing and unless executed by both parties to this Agreement. Any representations or statements, whether oral or in writing, not contained in this Agreement shall not be binding on either party.

(T-3) This Agreement and any of its terms or conditions shall not be assigned or transferred to any other individual or entity unless prior approval of the CITY is received. Such approval shall not be withheld unreasonably.

(T-4) The obligations and conditions on the DEVELOPER, as set forth above in this Agreement and in the approved site plan, shall be binding on any successors and assigns in ownership of the following described parcel:

City of Ann Arbor, Washtenaw County, Michigan

**LEGAL DESCRIPTION OF A PARCEL OF LAND LOCATED
IN THE SOUTHEAST ¼ OF SECTION 29, TOWN 2 SOUTH, RANGE 6 EAST,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN**

Land situated in the City of Ann Arbor, County of Washtenaw, and State of Michigan, described as:

Lots 1 through 7 inclusive, Block 4 South of Huron Street, Range 4 East, of the ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR, as recorded in Liber of Transcript, Pages 152 and 153, Washtenaw County Records.

EXCEPTING that part of Lot 6 conveyed to the City of Ann Arbor in Liber 5 of Miscellaneous Records, Page 402, Washtenaw County Records.

ALSO EXCEPTING that part of Lots 6 and 7 lying Southwest of the Northeast line of the Packard Street Right of Way (66 feet wide), Being more particularly described as:

BEGINNING at the Northwest corner of said Lot 1, said point being the intersection of the East line of South Main Street (82.5 feet wide) and the South line of Williams Street (66 feet wide); thence North 89 degrees 59 minutes 27 seconds East 124.95 feet along said South line of Williams Street; thence South 00 degrees 00 minutes 30 seconds West, 445.06 feet along the West line of a Public Alley (16 feet wide) to a point on the Northerly line of Packard Street (66 feet wide); thence North 57 degrees 19 minutes 10 seconds West, 136.38 feet along said Northerly line of Packard Street; thence 21.96 feet along the arc of a circular curve to the right, radius 21.96 feet, delta angle 57 degrees 19 minutes 10 seconds, chord bearing North 28 degrees 39 minutes 35 seconds West, 21.06 feet to a point on the East line of said South Main Street (82.5 feet wide); thence North 352.92 feet along said East line to the PLACE OF BEGINNING. Being a part of the Southeast $\frac{1}{4}$ of Section 29, T2S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 1.16 acres of land, more or less. Subject to easements and restrictions of record, if any.

(T-5) In addition to any other remedy in law or in equity failure to comply with all of the above paragraphs on the part of the DEVELOPER, or any part of the approved site plan, in part or in whole, shall give the CITY adequate basis and cause to issue a stop work order for any previously-issued building permits and shall be an adequate basis and cause for the CITY to deny the issuance of any building permits, certificates of occupancy, or any other permits unless and until the CITY has notified the DEVELOPER in writing that the DEVELOPER has satisfactorily corrected the item(s) the DEVELOPER has failed to perform.

(T-6) This Agreement shall be interpreted, enforced and governed under the laws of the State of Michigan and Ann Arbor City Code. DEVELOPER submits to the personal jurisdiction of any competent court in Washtenaw County, Michigan, for any action arising out of this Agreement. DEVELOPER also agrees that no action will be commenced against the City because of any matter arising out of this Agreement in any courts other than those in the County of Washtenaw, State of Michigan, unless original jurisdiction can be established in the United States District Court for the Eastern District of Michigan, Southern Division, the Michigan Supreme Court, or the Michigan Court of Appeals.

CITY OF ANN ARBOR, MICHIGAN
301 East Huron Street
Ann Arbor, Michigan 48107

By: _____
Christopher Taylor, Mayor

The foregoing instrument was acknowledged before me this _____ day of _____, 201__
by _____, of THE STANDARD AT ANN ARBOR, LLC, A Delaware Limited liability
company, on behalf of the _____.

NOTARY PUBLIC
County of _____, State of _____
My Commission Expires: _____
Acting in the County of _____

DRAFTED BY AND AFTER RECORDING RETURN TO:
Ann Arbor Planning & Development Services
ATTN: Brett Lenart
Post Office Box 8647
Ann Arbor, Michigan 48107
(734) 794-6265