

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of May 2, 2017

**SUBJECT: Circle K Site Plan and Landscape Modification for City Council Approval
(1420 East Stadium Boulevard)
File No. SP15-014**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the Circle K Site Plan, subject to approval of variances (driveway width, rear setback, landscape buffer) from the Zoning Board of Appeals.

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the proposed landscape modification in order to allow existing landscape elements to remain according to Chapter 62 (Landscape and Screening Ordinance), Section 5:608(2)(c)(iv).

STAFF RECOMMENDATION

Staff recommends that this petition be **approved**, because, with the requested variances, the development would limit the disturbance of natural features to the minimum necessary to allow a reasonable use of the land; comply with local, state and federal laws and regulations; would not cause a public or private nuisance; and would not have a detrimental effect on public health, safety or welfare.

LOCATION

The site is located on the southwest corner of East Stadium Boulevard and Packard Road (South Area, Mallets Creek Watershed).

DESCRIPTION OF PETITION

The petitioner seeks to demolish the existing 2,360 square foot gas station/convenience store building and construct a new 4,000 square foot, single-story gas station and convenience store with four gasoline dispensing pumps capable of servicing 8 cars. The gasoline pumps will be covered by a 24 foot by 95 foot building canopy. There will be 14 vehicle parking spaces provided for the convenience store, plus an additional 8 spaces for vehicles at the gas pumps. A total of 2 Class C bicycle spaces (1 bicycle hoop) will be located along the northeast side of the building and adjacent to the sidewalk leading to Packard. There are currently 4 curb cuts leading to the site, two curb cuts will be removed as a result of this project.

Based on the total of impervious surface on the site, the petitioner is required to provide first flush, bankfull and 100-year storm detention capacity. The storm water treatment system will be designed for infiltration and will be located under the parking lot along the East Stadium Boulevard frontage, in between the gas pumps and the front property line. There currently is no storm water management system for the site.

The underground storage tanks were replaced approximately 4 years ago and the petitioner was required to remediate any environmental contamination consistent with the standards of the Michigan Department of Environmental Quality.

There are eight landmark trees located on the site; three will be removed for construction. All trees removed will be mitigated as required. The petitioner is required to bring the site up to current landscaping standards. This will result in right-of-way buffer vegetation, a 30 inch high screening wall along the front property line, and additional landscape islands and site landscaping, including 40 new trees and numerous shrubs being added to the site.

The site currently has two zoning designations P (Parking) and C3 (Fringe Commercial). The western approximately one third of the site is zoned P. Due to deed restrictions filed with the existing gas station construction, this area can not contain a structure of any type and must remain parking until said deed restriction is released. As a result, the building and gas canopy must be constructed on the remaining eastern two thirds of the site which is zoned C3; no rezoning is required.

The site plan requires that several variances be granted from the Zoning Board of Appeals (ZBA). The first variance is for the driveway widths to East Stadium and Packard Road. The drives are designed wider than the maximum required width in order to allow for solid waste and gasoline tanker trucks to enter the site safely and most efficiently. A variance for the rear setback is also required. The petitioner has worked on several different designs for this site while working with staff and the neighborhood in order to minimize neighborhood impact and allow for safe and efficient vehicular and pedestrian traffic to the site. In February of 2017 the petitioner held a neighborhood meeting to discuss plan options for the site. The majority of neighborhood residents supported the current plan being considered including all required variances. Due to the unique constraints of the deed restriction for the western third of the site, neighborhood concerns, vehicle circulation, the petitioner feels the proposed location is the best to minimize impacts to the neighborhood and light pollution from the gas pump canopy.

A 15-foot wide Conflicting Land Use Buffer (CLUB) is required along the south and west property lines. A corner of the proposed building does encroach into the CLUB a maximum of eight feet for a total encroachment of 141 square feet. The encroachment is a triangle shape that decreases from a maximum encroachment of eight feet to zero feet, which provides the required 15-foot buffer. This encroachment is offset by an additional buffer area totaling 143 square feet adjacent. City Code does allow this offset encroachment, but only for existing buildings. Since the building is new, a variance from the CLUB standard is required. The petitioner will construct a new 8-foot high wood fence along the south and western property lines for additional screening to the adjacent neighborhoods.

A Landscape Modification is also required. The petitioner has requested permission to leave existing mature landscaping in place along approximately half of the south property line. Additional new trees screening the building and parking area will augment the existing mature landscaping. Chapter 62 (Landscaping and Screening) provides the Planning Commission (or

City Council, whichever is the approving body) may approve a modification to allow existing landscaping to remain in cases where the addition of landscaping will cause the removal of existing modification.

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Commercial	C3 (Fringe Commercial District)
EAST	Commercial	C3 (Fringe Commercial District)
SOUTH	Residential	R1C (Single-Family Residential District)
WEST	Residential	R1C (Single-Family Residential District)

COMPARISON CHART

	EXISTING	PROPOSED	REQUIRED	
Zoning	C3 (Fringe Commercial District) and P (Parking)	C3 (Fringe Commercial District) and P (Parking)	C3	
Gross Lot Area	37,589 sq ft	37,589 sq ft	6,000 sq ft MIN	
Floor Area in % of Lot Area	6.3% (2,360 sf)	10.6% (4,000 sf)	200% MAX	
Setbacks	Front (East Stadium)	45.85 ft	108.55 ft	10 ft MIN 25ft MAX
	Front (Packard)	44.90 ft	10 ft	10 ft MIN 25ft MAX
	Side(s)	119.95 ft	141.8 ft	0 ft MIN
	Rear	62.40 ft	8.13 ft MIN*	30 ft MIN (adjacent to res.)
Height	15 ft/1 story	19 ft/1 story	55 ft/4 stories MAX	
Parking - Automobiles	13 spaces	14 spaces 8 spaces (gas pumps)	17 spaces MIN	
Parking – Bicycles	None	2 spaces – Class C	2 spaces MIN total - Class C	

* Requires rear setback variance

HISTORY

The existing building was constructed in the mid-1950's and no site plan exists on file. The original version of this site plan was postponed at the March 15, 2016 Planning Commission meeting in order to allow the petitioner time to address concerns mentioned by the Planning

Commission. These concerns included the location of the building within the rear setback (variance required), site lighting, canopy structure, and the driveway proximity to the intersection of Packard and West Stadium intersection.

After that meeting, the petitioner revised the plan significantly and moved the building to the corner of Packard and East Stadium utilizing the minimum 10-foot setback along Packard. This plan eliminated the need for any variances, but placed the active part of the site including fuel pumps, parking and lighted canopy closer to the adjacent neighborhood and a large blank wall along Packard. The Planning Commission, staff, and neighborhood residents expressed numerous concerns involving safety, lighting and aesthetic design of the building front along Packard Road. The Planning Commission postponed the plan in September 2016 in order to have the petitioner revise the plan and address concerns stated.

The petitioner then met with staff and in February 2017 held an additional public meeting to discuss the existing plan that was developed in order to address concerns from Planning Staff, Planning Commission and neighborhood residents.

The petitioner presented the current plan in draft form at the March 7, 2017 Planning Commission meeting in order to obtain public and Planning Commission feedback. The plan was recommended for postponement at that meeting in order for the petitioner to have time to prepare the final plan in response to feedback obtained at the meeting.

PLANNING BACKGROUND

The City of Ann Arbor Master Plan: Land Use Element identifies this parcel as part of the South Area and recommends continued commercial uses. The plan contains design recommendations for commercial development, including the use of masonry, extensive landscaping, reduced setbacks along the street and public access linkage.

The Non-motorized Transportation Plan recommends eliminating unnecessary curb cuts and ensuring adequate non-motorized access to the site. Packard Road was recently resurfaced, as a result, there is a street cut moratorium in effect until 2018.

STAFF COMMENTS

Systems Planning (Forestry) - Staff has reviewed and supports the proposed landscape variance and modification, as it complies with the previously approved site plan and is consistent with the intent of Chapter 62(Landscape and Screening).

Systems Planning (Engineering) – Sanitary mitigation is not required for this project. Staff supports the driveway variances requested.

Planning – Staff does support the design as presented, including the requested variances. Over the last couple of years, the petitioner has worked through many different versions of the plan in order to address concerns of the neighborhood and city staff, while working with unique constraints of the proposed use and existing deed restriction. The building will be constructed with brick and masonry elements for a more residential style. The placement of the building to the rear helps to screen the neighborhood from headlights as well as some site lighting.

Site lighting, in particular canopy lighting, was a major concern for the adjacent neighbors. In order to address this concern, the petitioner has constructed the canopy as far away from the adjacent residential as possible. They have also submitted an extensive photometric plan. The lighting plan uses fixtures and screening to reduce off-site light trespassing; these elements are part of the submitted site plan and must be constructed as shown on the plan.

The petitioner also submitted a separate detailed sound study that evaluated sources of noise from the gas station and the surrounding environment. The summary result was that the wall proposed would have a favorable effect at reducing the overall noise level in the adjacent neighborhood.

The proposed site design and redevelopment is consistent with the Master Plan: Land Use Element retail design recommendations, including the use of masonry, pedestrian access, extensive landscaping, and reduced setbacks along the street. The site provides public access linkages from the public sidewalks to the proposed building.

Prepared by Matt Kowalski
Reviewed by Brett Lenart

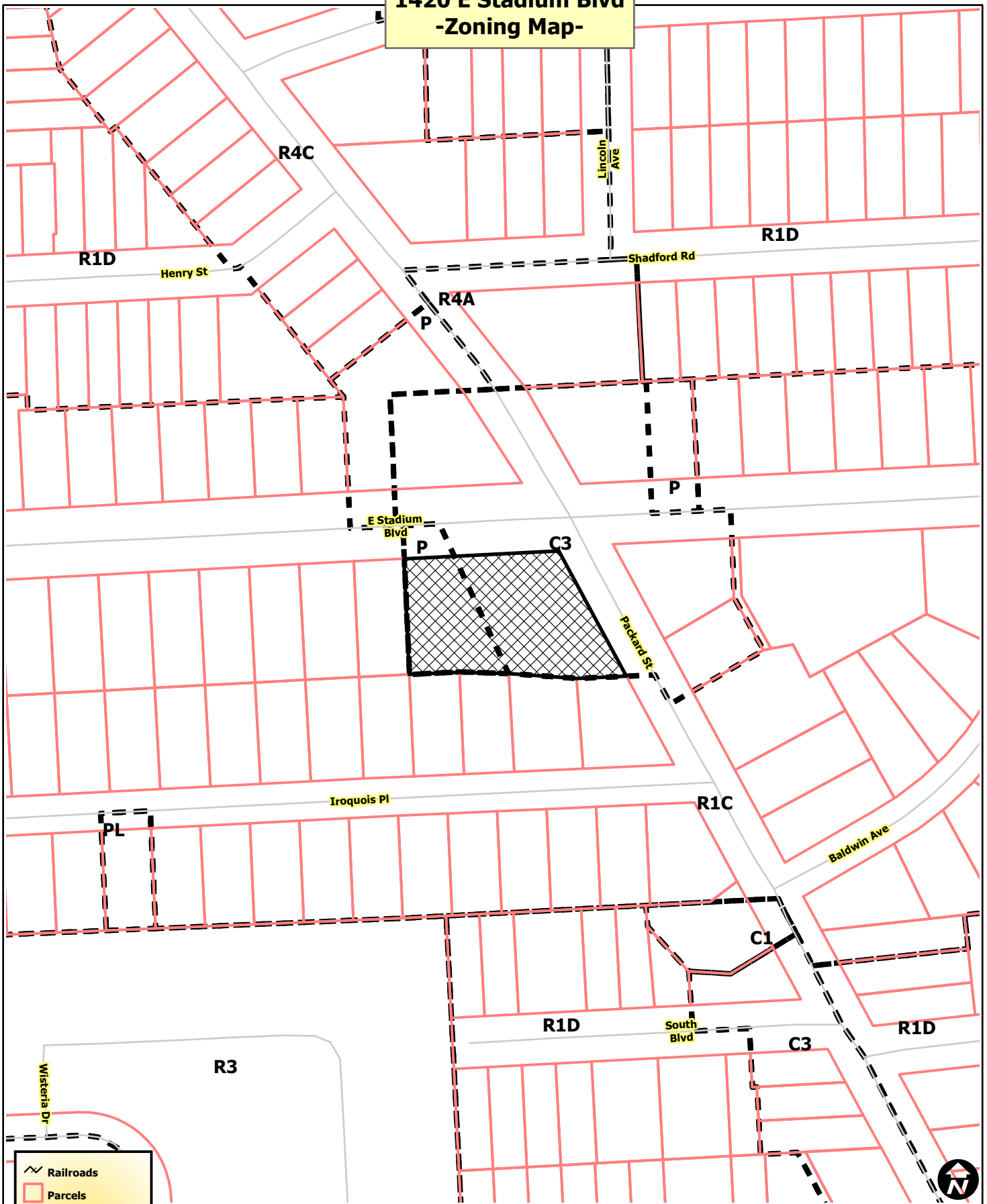
Attachments: Parcel/Zoning Map
Aerial Photo
Site Plan
Landscape Plan
Elevations

c: Petitioner: Todd Quatro
Quatro Construction LLC
201 North Park Street
Ypsilanti, MI 48198

Owner: Richard Lawrence
Circle K
1420 East Stadium
Ann Arbor, MI 48104

City Attorney
Systems Planning
File No. SP15-014

1420 E Stadium Blvd -Zoning Map-



Legend

- Railroads
- Parcels
- Zoning**
- Township Islands
- Zoning Districts
- Huron River



City of Ann Arbor Map Disclaimer:
 No part of this product shall be reproduced or transmitted in any form or by any means, electronic or mechanical, for any purpose, without prior written permission from the City of Ann Arbor.
 This map complies with National Map Accuracy Standards for mapping at 1 Inch = 100 Feet. The City of Ann Arbor and its mapping contractors assume no legal representation for the content and/or inappropriate use of information on this map.
 Map Created: 1/29/2014

1420 E Stadium Blvd -Aerial Map-

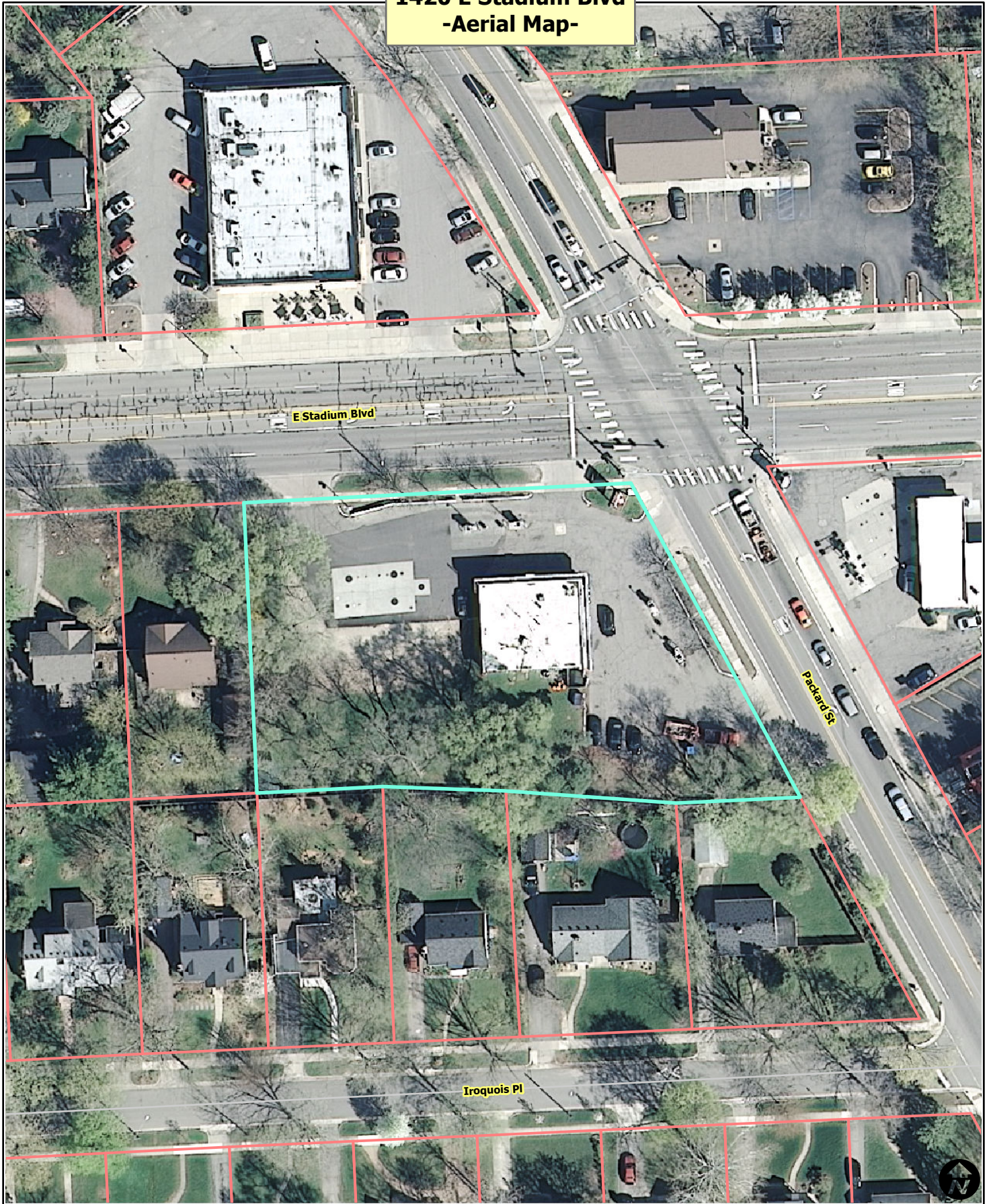


-  Railroads
-  Parcels
-  Huron River



City of Ann Arbor Map Disclaimer:
 No part of this product shall be reproduced or transmitted in any form or by any means, electronic or mechanical, for any purpose, without prior written permission from the City of Ann Arbor.
 This map complies with National Map Accuracy Standards for mapping at 1 Inch = 100 Feet. The City of Ann Arbor and its mapping contractors assume no legal representation for the content and/or inappropriate use of information on this map.
 Map Created: 1/29/2014

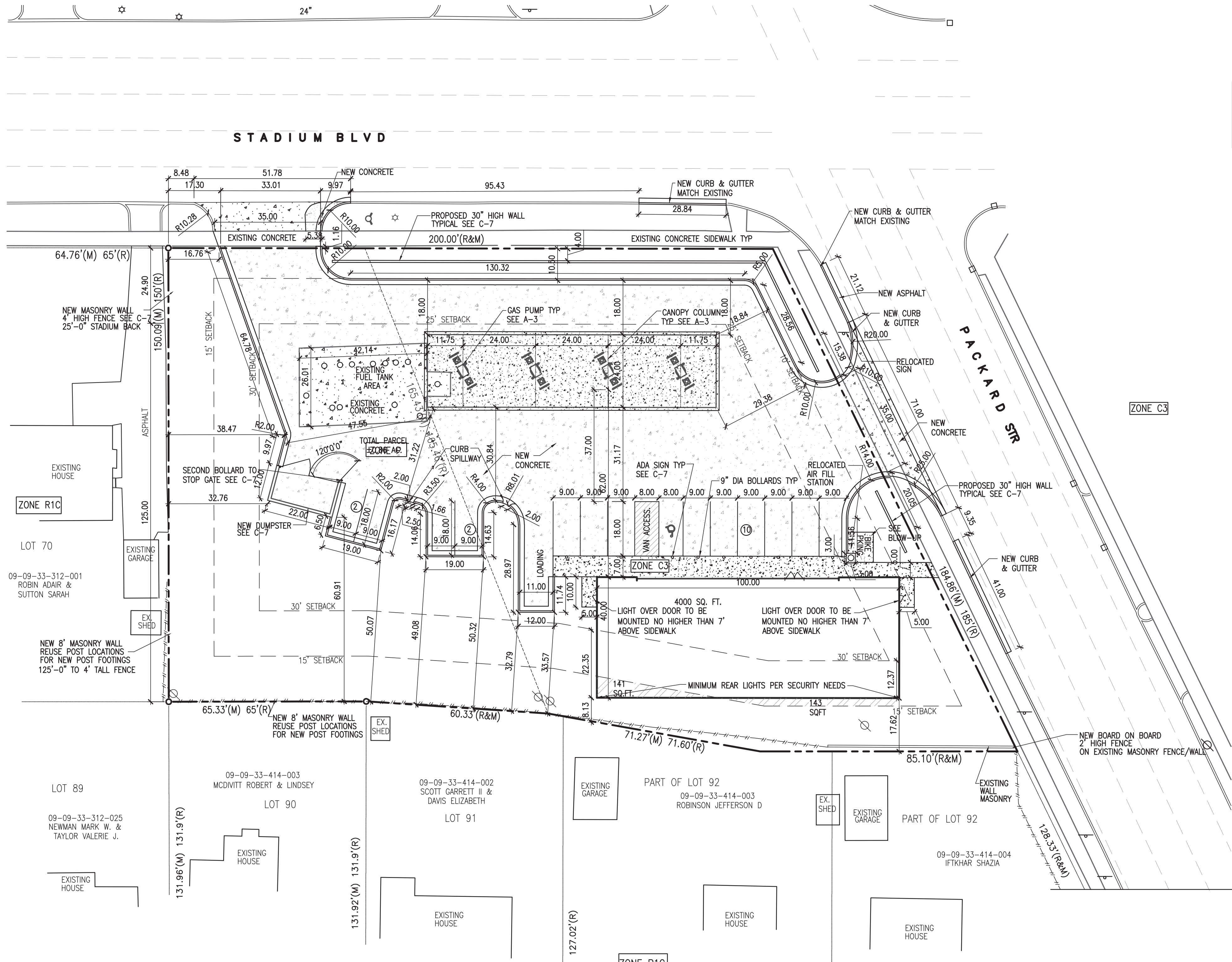
**1420 E Stadium Blvd
-Aerial Map-**



-  Railroads
-  Parcels
-  Huron River



City of Ann Arbor Map Disclaimer:
 No part of this product shall be reproduced or transmitted in any form or by any means, electronic or mechanical, for any purpose, without prior written permission from the City of Ann Arbor.
 This map complies with National Map Accuracy Standards for mapping at 1 Inch = 100 Feet. The City of Ann Arbor and its mapping contractors assume no legal representation for the content and/or inappropriate use of information on this map.
 Map Created: 1/29/2014



NOTES:
 1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS, WHICH ARE INCLUDED BY REFERENCE.
 2. THE OMISSION OF ANY STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR OF THEIR OBLIGATION TO CONSTRUCT ITEMS IN COMPLETE ACCORDANCE WITH THE PUBLIC SERVICE STANDARD SPECIFICATIONS.

NOTE:
 ALL EXTERIOR MUSIC OR AUDIO USE TO FOLLOW CITY ORDINANCE

NOTE:
 THE SIDEWALK AT THE DRIVE APPROACH SHALL "CARRY-THROUGH" THE APPROACH, AND NOT RAMP DOWN.

NOTE:
 PER CHAPTER 49, SECTION 4:58 OF THE CITY CODE, ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL C OF O FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

NOTE:
 SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN. DETAILED CONSTRUCTION PLANS FOR NEW SIDEWALK, INCLUDING BOTH LONGITUDINAL AND TRANSVERSE GRADES, AND SPECIFICALLY INFORMATION CONCERNING RAMPS, WILL BE SUBMITTED TO PROJECT MANAGEMENT FOR REVIEW AND APPROVAL AT THE CONSTRUCTION PLAN STAGE.
 MANY OF THE DETAILS CONCERNING GRADES WILL BE WORKED OUT DURING THE SITE PLAN STAGE IN ORDER TO GAIN GRADING PLAN APPROVAL.

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTE
ZONING	C3	P/C3	P/C3	
FRONT YARD-BLDG	10.00/25.00	45.85/44.90	108.55/10	
SIDE YARD	30.00	119.95	141.8	WEST ELEVATION
REAR YARD	30.00/30.00	119.95/62.40	VARIES 8.17-17.62	VARIANCE REQ.
PARKING	20	13 PK 8 PUMP	14 PK 8 PUMP	
PARKING SPACE	9x18	9x18	9x18	
HC PARKING	1	1	1	
PARKING AISLE	22.0	22.0	22-36	
BICYCLE PARKING	1C	0	2C	SERVICES 2 BIKES
MAXIMUM HEIGHT	55	15.4	19.2	
STORIES	4 MAX	1	1	
MIN SITE AREA	6000	37,589 SQFT	37,589 SQFT	
MAX FLOOR RATIO	200%	6.3%	10.6%	
MIN WIDTH	60	150	150	
BLD AREA		2360	4000	

PARKING CALCULATIONS:
 1 SPACE PER 200 SQ.FT. OF FLOOR AREA:
 4000/200 = 20 SPACES REQUIRED

HOURS OF OPERATION: 24 HR

PARCEL ID#09-09-33-414-006
 LEGAL DESCRIPTION:
 LOTS 71 & 72 FRISINGER LAND CO SECOND SUBD

PARKING CALCULATIONS:
 1 SPACE PER 200 SQ.FT. OF FLOOR AREA:
 4000/200 = 20 SPACES REQUIRED

HOURS OF OPERATION: 24 HR

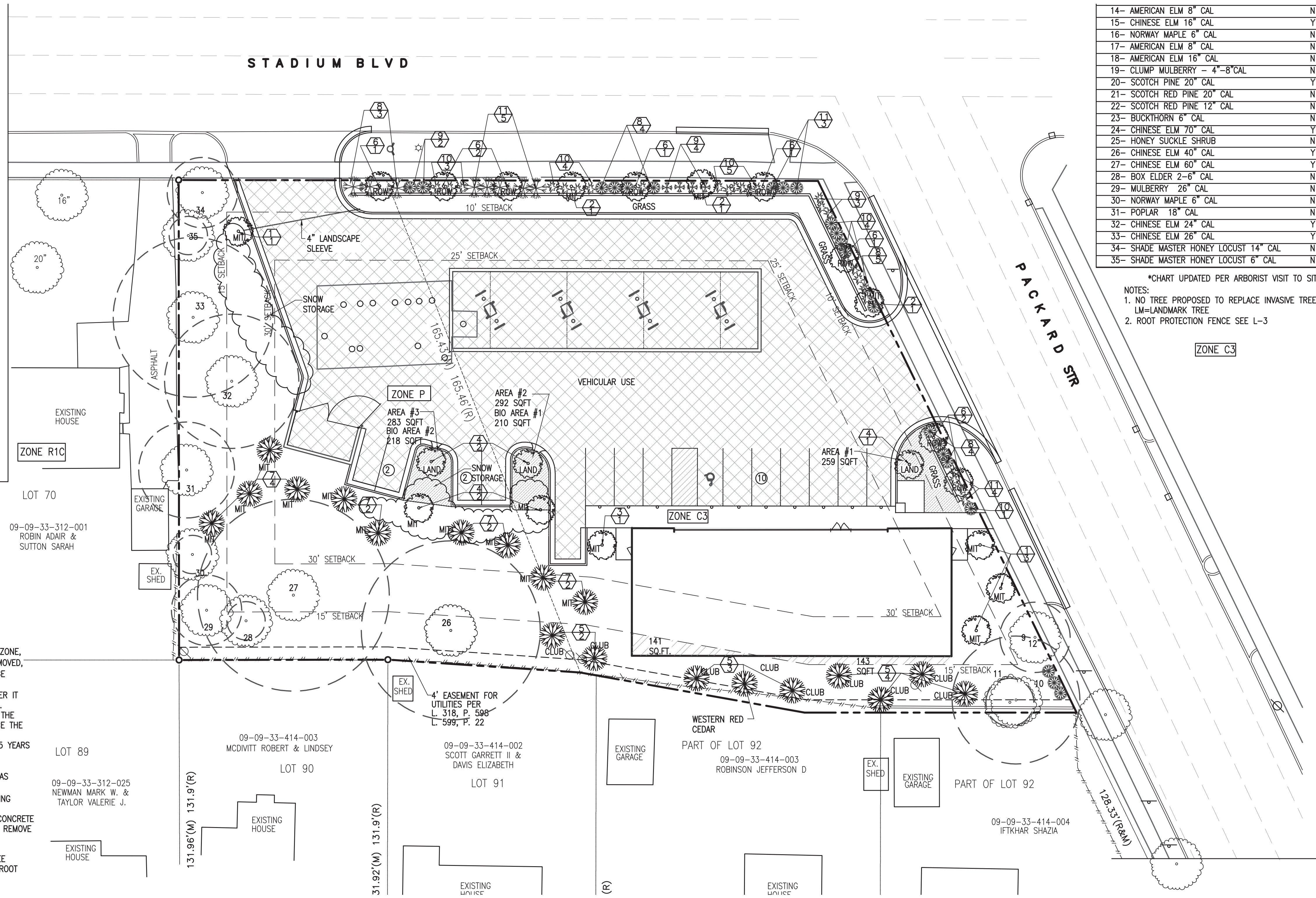
EXISTING TREES (DEC)
 MASONRY FENCE.
 L (8' & 10' TALL)
 ALL)
 TS LOCATIONS AS MUCH AS POSSIBLE TO NOT
 .)
 VEHICULAR PAVEMENT. UNDER 50,000 SQFT.
 ENT / 20 = 828 LANDSCAPE AREA REQUIRED.
 ER 250 SQFT. = DEC TREE REQ. = 3

EC TREE
 EC TREE
 EC TREE
 OK
 OF 828 = 414
 BH REMOVED: 20"/2" = 10" REQUIRED REPLACEMENT
 BH REMOVED: 19"/2" = 9.5" REQUIRED
 BH REMOVED: 18"/2" = 9" REQUIRED REPLACEMENT
 BH REMOVED: 32"/2" = 16" REQUIRED REPLACEMENT

SSUMING A 7' TALL CONIFER = ONE 2" CAL TREE)
 MODIFICATION REQUESTS SUBMITTED:
 / CURB CUT WIDTH STADIUM - 35'/51.78'
 / CURB CUT WIDTH PACKARD - 35'/71'
 REAR SETBACK VARIANCE - 8.17'-17.62'
 #1 - TO COUNT THE EXISTING 150 FEET
 RTY LINE, 120' ALONG THE SOUTHWEST
 NG THE SOUTHEAST PROPERTY LINE TOWARDS
 HILE ALSO REMOVING THE 50% CONIFER
 NG ONLY.

62 SECTION 5:607:
 ent of compacted soil on the entire site.
 ER COMPACTED SOIL AREAS SHALL BE
 OIL FOR NEW GRASS & VEGETATION.
 y media in landscaped areas.
 BE FILETERED TOPSOIL.
 WOOD, NON DYED FREE OF DEBRIS.
 storage areas including a statement that
 nto interior landscape islands unless
 W SHALL NOT BE PUSHED ONTO INTERIOR

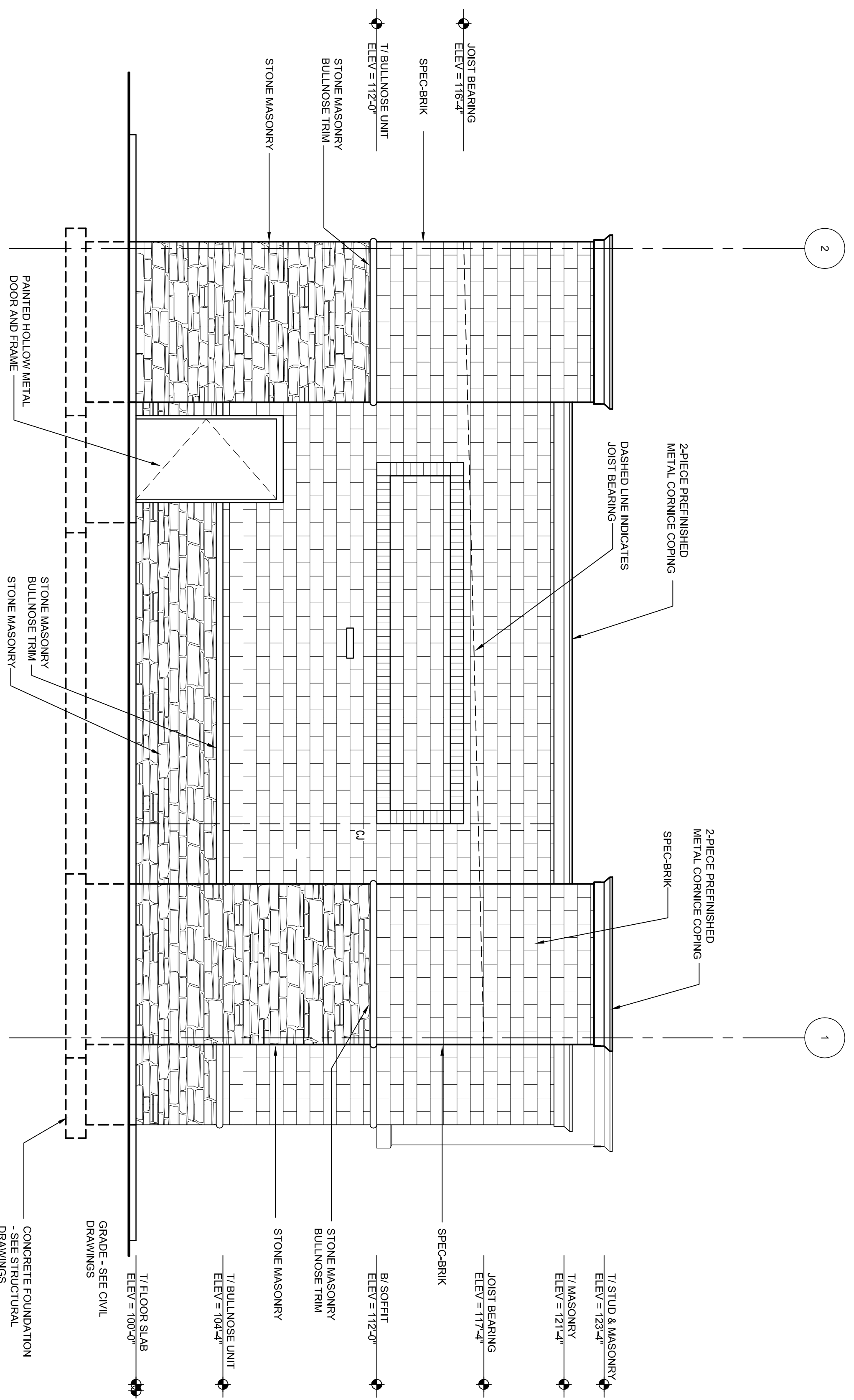
URE IMPACT
 LANDMARK TREE. (#15,20,24)
 ESS, WE ARE STAYING OUT OF THEIR CRITICAL ROOT ZONE,
 E #10 WE ARE MITIGATING AS IF IT WERE TO BE REMOVED,
 HOPES IT WILL SURVIVE CONSTRUCTION. (IT'S A LARGE
 EXISTING MASONRY WALL TO REMAIN)
 THE EXISTING TREES AS MUCH AS POSSIBLE, HOWEVER IT
 MMODATE ALL THE LANDMARK TREES AND THE CLIENT.
 R DRAINAGE UNDER THE NEW PAVEMENT TO REDUCE THE
 RING PROPERTIES WHICH LIMITS WHERE WE CAN PLACE THE
 NG TANKS THAT WERE REPLACED WITHIN THE PAST 5 YEARS
 E TO INCUR THE COST FOR RELOCATING
 NG R-O-W TREES #1-#8 AND WILL BE REPLACING AS
 R-O-W TREES REQUIRED)
 H PROPERTY MINUS #9,10,11,26,27,28 & 29 ARE BEING
 ARANTEE THEIR SURVIVAL DURING CONSTRUCTION. THE
 HESE TREES AND WITHIN THE DEMOLITION AND NEW CONCRETE
 T AROUND THE SITE AND FUTURE TREES WE HAD TO REMOVE
 HERN PROPERTY.
 E NOW BEING MET. WE DID KEEP AS MANY TREES AS
 ION REQUIREMENTS. THOUGH AS THE DEMOLITION TREE
 VE WERE CUTTING INTO TOO MUCH OF THE CRITICAL ROOT
 S.



14-	AMERICAN ELM 8" CAL	N	11.5"	FAIR
15-	CHINESE ELM 16" CAL	Y	19"	FAIR
16-	NORWAY MAPLE 6" CAL	N	6"	DEAD
17-	AMERICAN ELM 8" CAL	N	10"	FAIR
18-	AMERICAN ELM 16" CAL	N	9"	FAIR
19-	CLUMP MULBERRY - 4"-8" CAL	N	8"	GOOD
20-	SCOTCH PINE 20" CAL	Y	18"	GOOD
21-	SCOTCH RED PINE 20" CAL	N	16"	GOOD
22-	SCOTCH RED PINE 12" CAL	N	14"	GOOD
23-	BUCKTHORN 6" CAL	N	6"	POOR
24-	CHINESE ELM 70" CAL	Y	32"	GOOD
25-	HONEY SUCKLE SHRUB	N	SHRUB	
26-	CHINESE ELM 40" CAL	Y	28"	FAIR
27-	CHINESE ELM 60" CAL	Y	30"	FAIR
28-	BOX ELDER 2-6" CAL	N	2"	GOOD
29-	MULBERRY 26" CAL	N	11"	FAIR
30-	NORWAY MAPLE 6" CAL	N	6"	GOOD
31-	POPLAR 18" CAL	N	15"	GOOD
32-	CHINESE ELM 24" CAL	Y	21"	FAIR
33-	CHINESE ELM 26" CAL	Y	25"	FAIR
34-	SHADE MASTER HONEY LOCUST 14" CAL	N	11"	GOOD
35-	SHADE MASTER HONEY LOCUST 6" CAL	N	3"	GOOD

*CHART UPDATED PER ARBORIST VISIT TO SITE 9-28-15
 NOTES:
 1. NO TREE PROPOSED TO REPLACE INVASIVE TREES.
 LM=LANDMARK TREE
 2. ROOT PROTECTION FENCE SEE L-3

ZONE C3



B EAST ELEVATION
A4-01 1/4" = 1'-0"

EXTERIOR FINISHES:

- METAL COPING**
MANUFACTURER: METAL ERA
PRODUCT: CREATIVE DESIGN CORNICE
COLOR: DARK BRONZE
- MASONRY & MORTAR**
MANUFACTURER: OBERFELD
PRODUCT: SPEC-BRICK
COLOR: CONCORD BLEND
MORTAR: CEMEX RICH COLOR BASF-RIEDEL MORTAR ADMIXTURE W/ INTEGRAL WATER REPELLANT
COLOR: AS SELECTED BY ARCHITECT
- STONE MASONRY**
MANUFACTURER: NORTHFIELD BLOCK (OLDCASTLE)
COLOR: SUNSET BEIGE
PATTERN: ASHLAR
TRIM AND SILLS
MORTAR: CEMEX RICH COLOR BASF-RIEDEL MORTAR ADMIXTURE W/ INTEGRAL WATER REPELLANT
COLOR: AS SELECTED BY ARCHITECT
- EFS**
MANUFACTURER: DRIFT
PRODUCT: 2" THICK CUT INSULATION PLUS MD SYSTEM
COLORS: E-1 SW 6115 TOTALV TAN
E-3 SW481 SAFETY RED
- PAINTED HOLLOW METAL DOORS AND FRAMES**
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: 1) COCA SHERWIN WILLIAMS PROTECTIVE ENAMEL
SHERWIN WILLIAMS A-100 EXTERIOR ACRYLIC LATEX SATIN
COLOR: SW905 TONASTY
- GLAZING**
MANUFACTURER: OLYMPIA BUILDING ENVELOPE
PRODUCT: 1" INSULATING GLASS
EXTERIOR LITE: 1/4" PPG SOLARGRAY
INTERIOR LITE: 1/4" PPG SOLARGRAY ON CLEAR LOW-E #9
GLASS: 1/2" ANTI-TIL
- STOREFRONT**
MANUFACTURER: KAMBER OR APPROVED EQUAL
PRODUCT: 1" INSULATING GLASS
SAFETY GLASS
COLOR: DARK BRONZE ANNOXIZED.

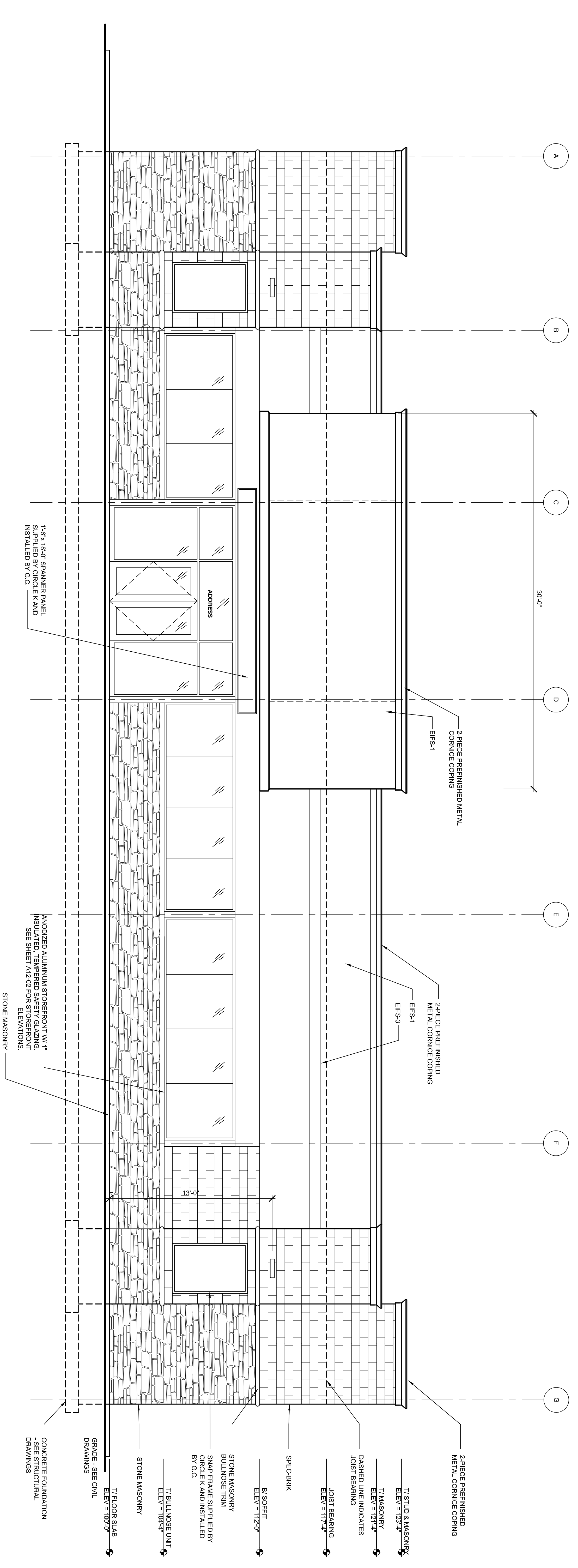
BUILDING MATERIAL CALCULATIONS:

EAST ELEVATION
TOTAL = 1297 S.F.
DOOR = 42 S.F. 3%
STONE MASONRY = 193 S.F. 15%
BRICK MASONRY = 1072 S.F. 82%

SOUTH ELEVATION
TOTAL = 2088 S.F.
STONE MASONRY = 1299 S.F. 62%
BRICK MASONRY = 1787 S.F. 83%

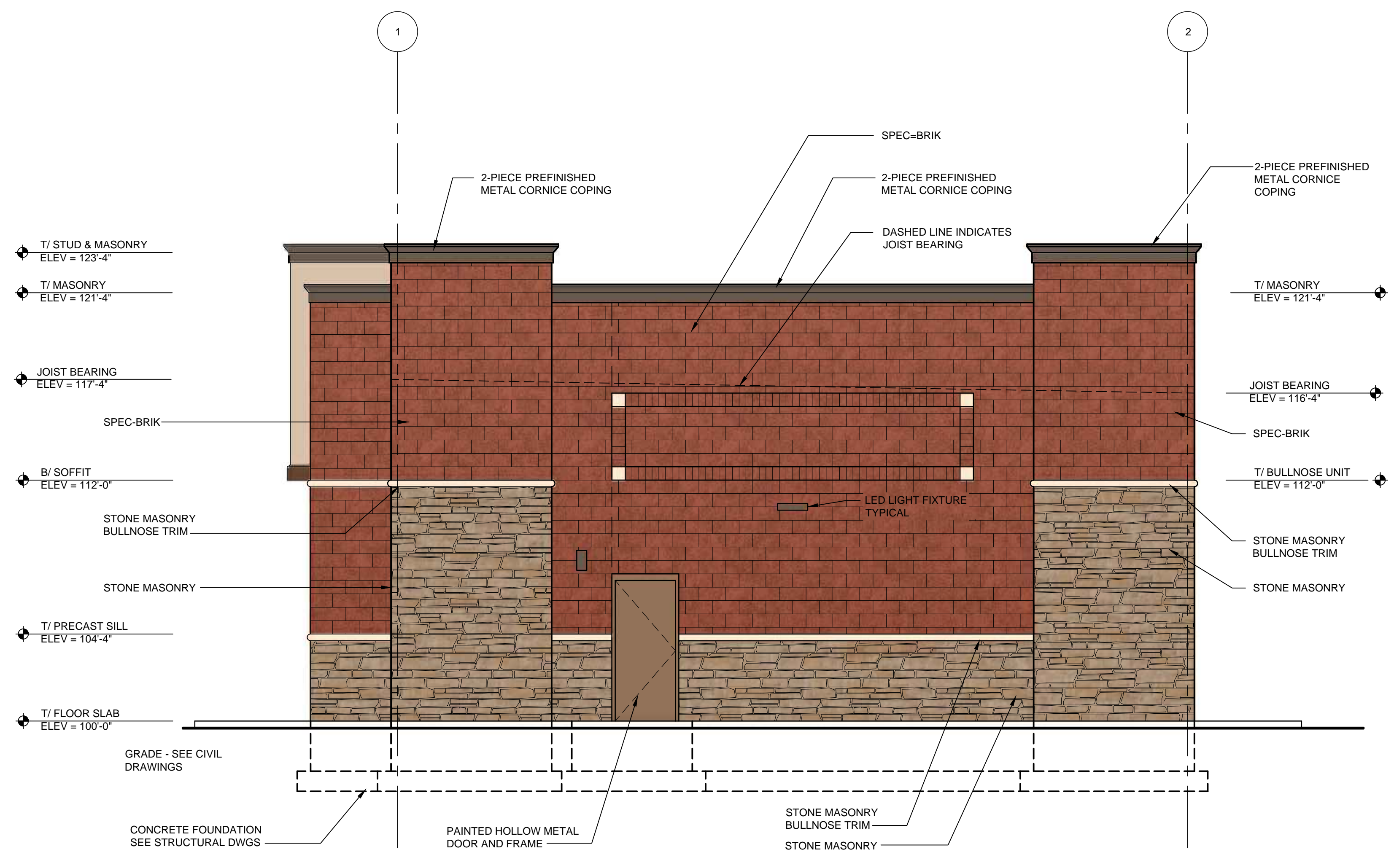
WEST ELEVATION
TOTAL = 1297 S.F.
DOOR = 42 S.F. 3%
STONE MASONRY = 193 S.F. 15%
BRICK MASONRY = 1072 S.F. 82%

NORTH ELEVATION
TOTAL = 2984 S.F.
STOREFRONT WINDOWS/DOORS = 425 S.F. 14%
EFS = 648 S.F. 22%
STONE MASONRY = 425 S.F. 14%
BRICK MASONRY = 435 S.F. 15%
TOTAL = 2984 S.F. 100%

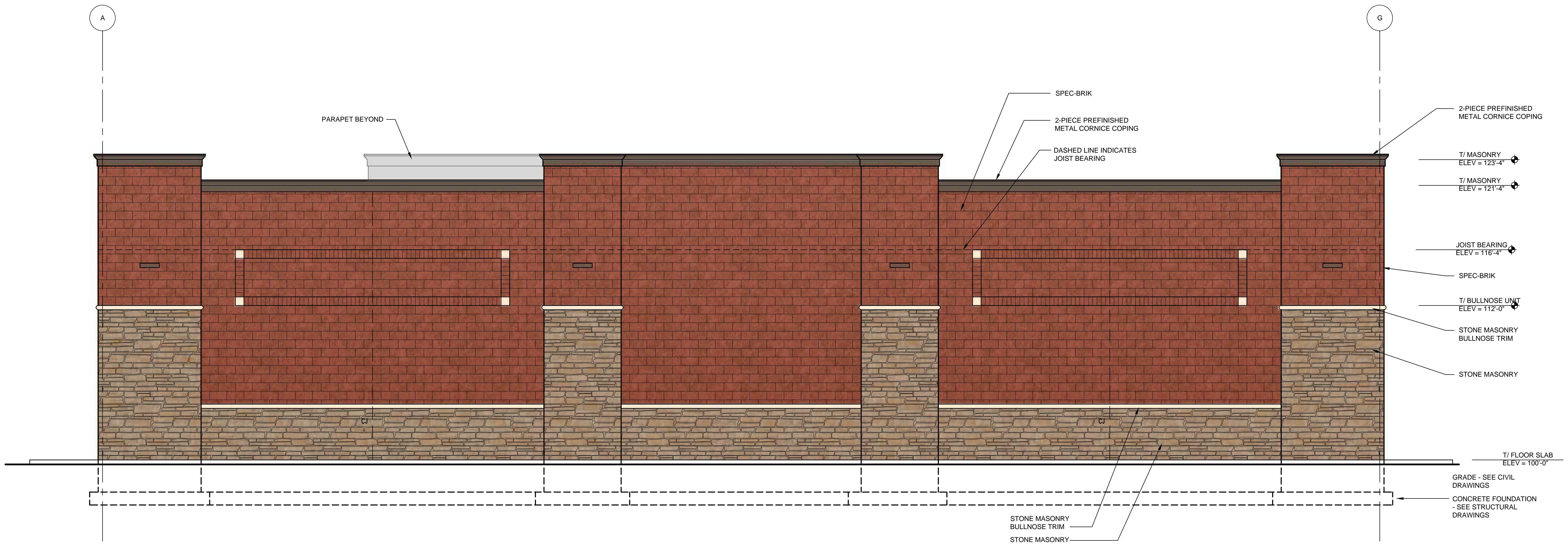


A NORTH ELEVATION
A4-01 1/4" = 1'-0"

<p>A4-01G</p>	<p>SCALE: 1/4" = 1'-0"</p>	<p>DRAWING TITLE STORE #6301 Ann Arbor EXTERIOR ELEVATIONS</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NUMBER</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR PLANNING</td> <td>XX-XX-2016</td> </tr> </tbody> </table>	NUMBER	DESCRIPTION	DATE	1	ISSUED FOR PLANNING	XX-XX-2016	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NUMBER</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NUMBER	DESCRIPTION	DATE				<p style="text-align: center;">NOT FOR CONSTRUCTION</p> <p style="text-align: center;">SEAL</p> <div style="text-align: center;"> <p>6060 Rockside Woods Blvd Cleveland, Ohio 441131 216.524.8400 phone 216.524.8401 fax www.cuparc.com info@cuparc.com</p> </div>	<p>PROJECT Circle K 6301 Ann Arbor 1420 East Stadium Blvd Ann Arbor, MI 48104</p> <p>CLIENT Circle K Great Lakes 935 East Tallmadge Ave Akron, OH 44310</p>
NUMBER	DESCRIPTION	DATE																
1	ISSUED FOR PLANNING	XX-XX-2016																
NUMBER	DESCRIPTION	DATE																



D WEST ELEVATION
A4-02 1/4" = 1'-0"



C SOUTH ELEVATION
A4-02 1/4" = 1'-0"

EXTERIOR FINISHES:

- METAL COPING**
MANUFACTURER: METAL ERA
PRODUCT: CREATIVE DESIGN CORNICE
COLOR: DARK BRONZE
- MASONRY & MORTAR**
MANUFACTURER: OBERFELDS
PRODUCT: SPEC-BRIK
COLOR: CONCORD BLEND
MORTAR: CEMEX RICH COLOR BASF RHEOPEL MORTAR
ADMIXTURE W/ INTEGRAL WATER REPELLANT.
COLOR: AS SELECTED BY ARCHITECT
- STONE MASONRY**
MANUFACTURER: NORTHFIELD BLOCK (OLDCASTLE)
PRODUCT: WATERFORD STONE
COLOR: SUNSET BEIGE
PATTERN: ASHLAR
PROVIDE CORNER RETURNS, STONE MASONRY BULLNOSE TRIM AND SILLS
MORTAR: CEMEX RICH COLOR BASF RHEOPEL MORTAR
ADMIXTURE W/ INTEGRAL WATER REPELLANT.
COLOR: AS SELECTED BY ARCHITECT
- EIFS**
MANUFACTURER: DRVIT
PRODUCT: 2" THICK OUTSULATION PLUS MD SYSTEM
COLORS: E-1 SW 6115 TOTALLY TAN
E-2 SW6090 JAVA
E-3 SW4081 SAFETY RED
- PAINTED HOLLOW METAL DOORS AND FRAMES**
MANUFACTURER: SHERWIN WILLIAMS
PAINT: (1) COAT SHERWIN-WILLIAMS PROCRYL UNIVERSAL ACRYLIC PRIMER AND TWO (2) COATS SHERWIN-WILLIAMS A-100 EXTERIOR ACRYLIC LATEX-SATIN
COLOR: SW6095 TOASTY
- GLAZING**
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
PRODUCT: 1" INSULATING GLASS
EXTERIOR LITE: 1/4" PPG SOLARGRAY
INTERIOR LITE: 1/4" PPG SOLARBAN 60 ON CLEAR LOW-E #3
CAVITY: 1/2" AIR FILL
- STOREFRONT**
MANUFACTURER: KAWNEER OR APPROVED EQUAL
PRODUCT: 1/2" INSULATING GLASS, THERMALLY BROKEN
FRAMING SYSTEMS WITH 1" INSULATED, TEMPERED
SAFETY GLASS.
COLOR: DARK BRONZE ANNOXIDIZED.

BUILDING MATERIAL CALCULATIONS:

EAST ELEVATION		
TOTAL	= 1297 S.F.	
DOOR	= 32 S.F.	2%
STONE MASONRY	= 193 S.F.	15%
BRICK MASONRY	= 1072 S.F.	83%

SOUTH ELEVATION		
TOTAL	= 2066 S.F.	
STONE MASONRY	= 329 S.F.	17%
BRICK MASONRY	= 1737 S.F.	83%

WEST ELEVATION		
TOTAL	= 1297 S.F.	
DOOR	= 25 S.F.	2%
STONE MASONRY	= 209 S.F.	16%
BRICK MASONRY	= 1063 S.F.	82%

NORTH ELEVATION		
TOTAL	= 2064 S.F.	
STOREFRONT WINDOWS/ DOORS	= 425 S.F.	20%
EIFS	= 648 S.F.	32%
STONE MASONRY	= 435 S.F.	21%
BRICK MASONRY	= 556 S.F.	27%

PROJECT
Circle K 6301 Ann Arbor
1450 East Tallmadge Blvd
Ann Arbor, MI 48104
CLIENT
Circle K Great Lakes
935 East Tallmadge Ave
Ann Arbor, MI 48106

SEAL
CUPKOVIC architecture llc
6060 Rockside Woods Blvd | 216.524.8400 phone | www.cupkovic.com
Cleveland, Ohio 44131 | 216.524.8401 fax | info@cupkovic.com

NOT FOR CONSTRUCTION

NUMBER	DATE	DESCRIPTION

NUMBER	DATE	DESCRIPTION
	XX-XX-2016	ISSUED FOR PLANNING

DRAWING TITLE
STORE #6301 Ann Arbor
EXTERIOR ELEVATIONS

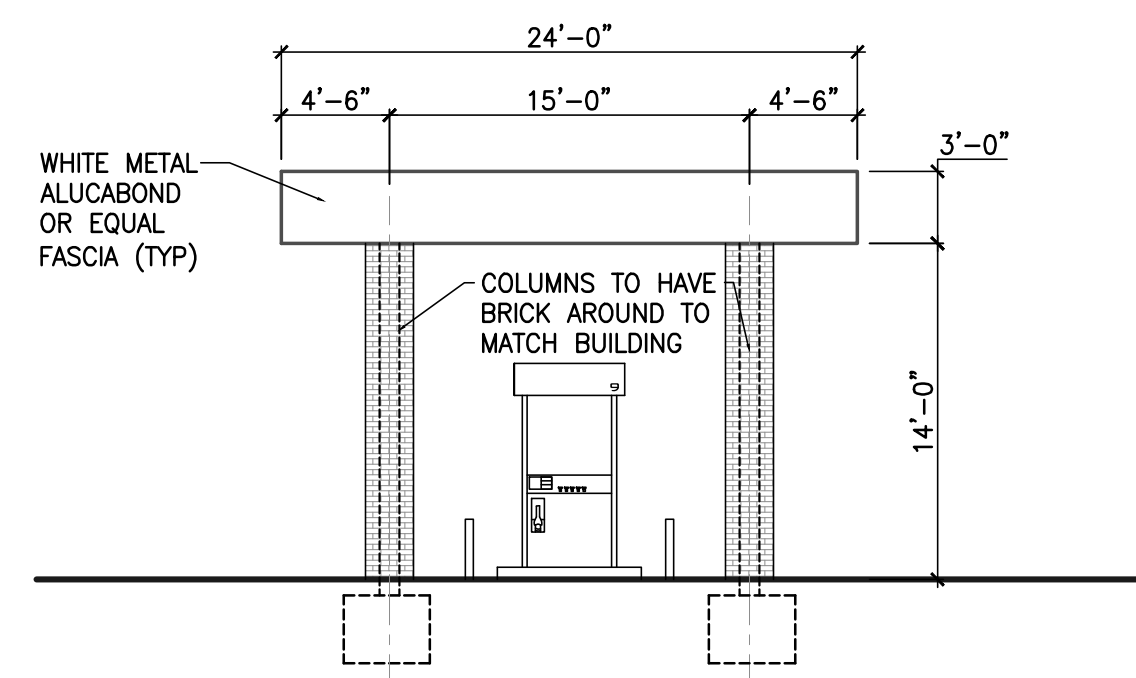
DRAWN BY SDM	CHECKED BY SDM
SCALE 1/4" = 1'-0"	
ISSUE DATE +	
JOB NUMBER +	
DRAWING NUMBER A4-02G	

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF QUATRO CONSTRUCTION LLC. USE, REPRODUCTION OR ALTERATION OF ANY KIND WITHOUT THE EXPRESSED WRITTEN PERMISSION OF QUATRO CONSTRUCTION LLC. IS PROHIBITED BY LAW.

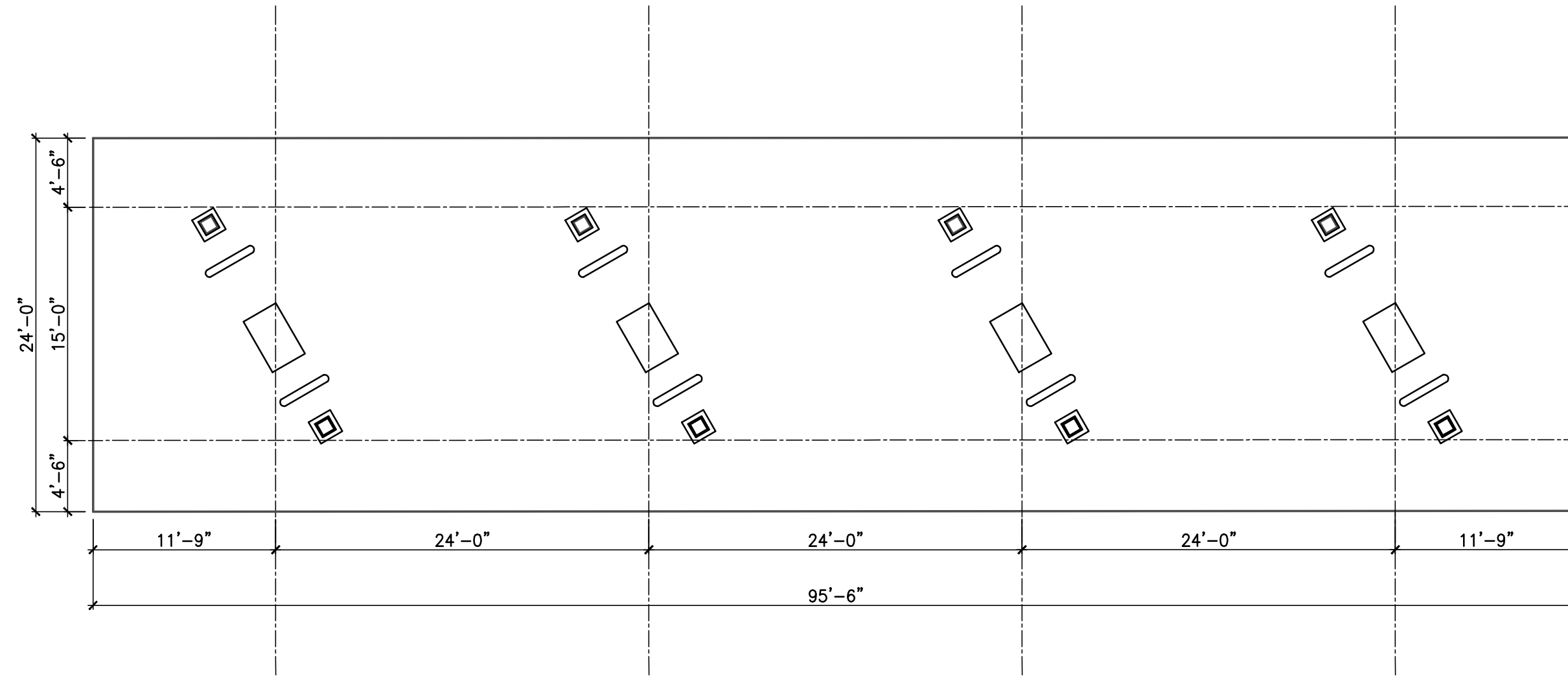
ROBERT NOE
ARCHITECTURE
9103 N. UNION #135
TECUMSEH, MI 48226
(734) 693-0852

QUATRO CONSTRUCTION LLC
DESIGN BUILD CONTRACTOR
COMMERCIAL/INDUSTRIAL/RESIDENTIAL
201 NORTH PARK STREET
YPSILANTI, MI 48198
PHONE (734) 485-7737, FAX (734) 485-7873

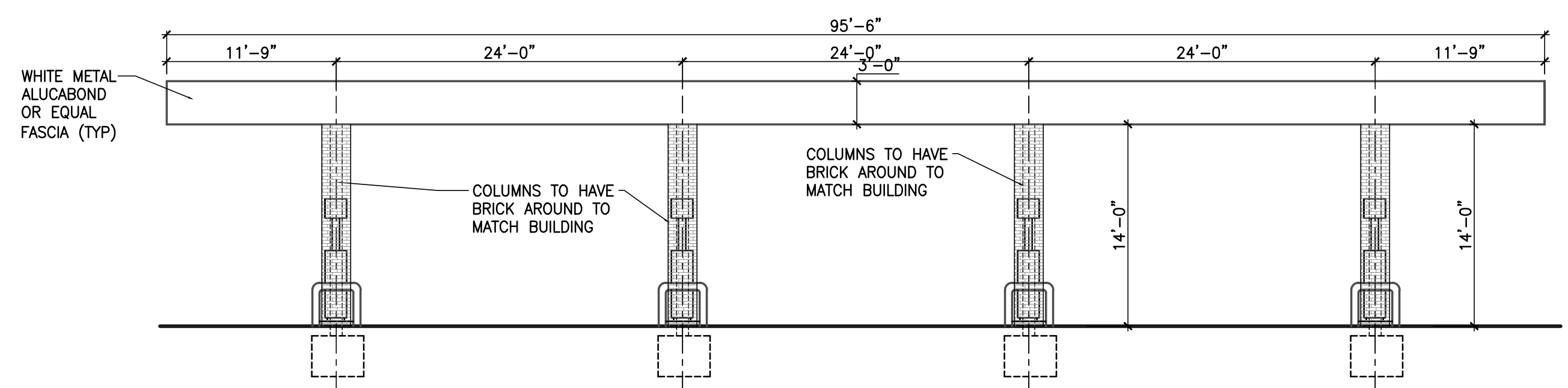
CIRCLE-K GAS STATION
1420 EAST STADIUM BLVD
ANN ARBOR, MI 48104



SOUTH & NORTH ELEVATION
SCALE: 1/8" = 1'-0"



CANOPY PLAN
SCALE: 1/8" = 1'-0"



WEST/EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: CANOPY LIGHTS RECESSED IN FASCIA TO 15'-0" A.F.G.

CERTIFIED CANOPY DRAWINGS TO BE SUPPLIED BY CANOPY CONTRACTOR

ISSUE DATE
04/05/17
03/17/17
07/12/16
05/05/16
03/10/16
09/30/15
08/07/15

DRAWN BY: R.S.
CHECKED BY: R.N.
APPROVED BY: R.N./T.Q.

ARCHITECTURAL SEAL:

PROJECT NO.: **2621**

SHEET TITLE:
CANOPY ELEVATIONS

SHEET NO.:
A-3