

ANN ARBOR HISTORIC DISTRICT COMMISSION**Staff Report****ADDRESS:** 628 S First Street, Application Number HDC17-057**DISTRICT:** Old West Side Historic District**REPORT DATE:** May 5, 2017**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator**REVIEW COMMITTEE DATE:** Monday, May 8, 2017

	OWNER	APPLICANT
Name:	Jessica Hoard	Blake Woodrooffe Contract Services
Address:	628 S First Street Ann Arbor, MI 48103	419 Pearl St Ypsilanti, MI
Phone:	(517) 677-1812	(734) 945-0257

BACKGROUND: This tiny two-story I-house features a full-width front porch and gable corner returns. It appears in the 1894 Polk City Directory as the Fiegal home at 126 South First, but its construction date is unknown. The two-story front and one-story rear wings appear on the 1925 and 1948 Sanborn Maps, but the shed roof addition does not.

LOCATION: The site is on the west side of South First Street, just north of West Mosley Street.

APPLICATION: The applicant seeks HDC approval to remove an existing rear shed-roofed lean-to and replace it with a mudroom and bathroom of approximately the same size.

APPLICABLE REGULATIONS:**From the Secretary of the Interior's Standards for Rehabilitation:**

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

New Additions

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Designing new additions in a manner that makes clear what is historic and what is new.

Locating the attached exterior addition at the rear or on an in-conspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

From the City of Ann Arbor Design Guidelines:

Guidelines for All Additions

Appropriate: Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition should exceed neither half of the original building's footprint nor half of the original building's total floor area.

STAFF FINDINGS:

1. The existing lean-to on the back of the house is not conditioned living space. It was added to the house sometime after 1948. As such, it is a modern addition that does not contribute to the historic character of the house.
2. The proposed addition is narrower than the current lean-to and would preserve both rear corners of the house. The footprint is approximately 113 square feet, or 11'6" x 9'10".
3. Materials on the addition would include fiber cement or composite siding with 6" trim on the corners, around windows and doors, and beneath the eaves. The siding material and trim dimensions distinguish the new work from the old. The window proportions are compatible, and while extending the existing ridge is usually not appropriate, the side insets and small footprint make it acceptable.
4. Staff's opinion is that the addition does not destroy historic materials features, spaces, or

spatial relationships that characterize the property; that the new addition is differentiated from the old and compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding neighborhood.

MOTION

(Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 628 S First Street, a contributing property in the Old West Side Historic District, to remove an existing rear shed-roofed lean-to and replace it with a mudroom and bathroom, as proposed. The work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets the *City of Ann Arbor Historic District Design Guidelines for All Additions*, and *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for New Additions and District or Neighborhood Setting.

MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at 628 S First St in the Old West Side Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, photos, drawings, materials details

628 S First Street, May 2008 survey photos





HDC17-057
4/19/17

City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES

301 E. Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information	
Address of Property:	<u>628 S. 1st Street</u>
Historic District:	<u>Yes Old Vestside</u>
Name of Property Owner (If different than the applicant):	<u>Jessica Hoard</u>
Address of Property Owner:	<u>628 S 1st Street</u>
Daytime Phone and E-mail of Property Owner:	<u>Jessicahoard@gmail.com 517-677-1812</u>
Signature of Property Owner:	<u>[Signature]</u> Date: <u>4/14/2017</u>
Section 2: Applicant Information	
Name of Applicant:	<u>Blake H Woodroffe Contract Services</u>
Address of Applicant:	<u>419 Pearl St Ypsilanti</u>
Daytime Phone:	<u>(734) 945-0257</u> Fax: ()
E-mail:	<u>bhwcontractservices@gmail.com</u>
Applicant's Relationship to Property:	<input type="checkbox"/> owner <input type="checkbox"/> architect <input checked="" type="checkbox"/> contractor <input type="checkbox"/> other
Signature of applicant:	<u>[Signature]</u> Date: <u>4/16/17</u>
Section 3: Building Use (check all that apply)	
<input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multiple Family <input type="checkbox"/> Rental <input type="checkbox"/> Commercial <input type="checkbox"/> Institutional	
Section 4: Stille-DeRossett-Hale Single State Construction Code Act (This item MUST BE INITIALED for your application to be PROCESSED)	
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."	
Please initial here: <u>BHW</u>	

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. Removal of existing
Lean-to Replaced with mudroom/Bathroom to match
existing Building

2. Provide a description of existing conditions. lean-to on slab

3. What are the reasons for the proposed changes? to add Bathroom and
heated living space

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC
Project No.: HDC Fee Paid: _____
Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____
Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial
Staff signature: _____ _____ HDC NTP _____ Staff COA
Comments:

HOARD ADDITION/REMODEL

628 S. 1ST STREET
ANN ARBOR, MI 48103

6" Trim

OWNER

MR & MRS. HOARD
628 S. 1ST ST.
ANN ARBOR MI 48103

ARCHITECT

RIANNA SZATKOWSKI
14348 FAIRWAY DRIVE
CHELSEA MI 48118

CONTRACTOR

TBD

SHEET INDEX

NO.	DESCRIPTION	DATE
1	BLD SUBMIT 4-7-17	
2	BLD SUBMIT 4-28-17	
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CODE CONFORMANCE CHART

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTE
ZONING	R2A	R2A	R2A	NO CHANGE
FRONT YARD-BLDG	23.00/NA	23.00	23.00	NO CHANGE
FRONT YARD	5.00	23.50/18.00	23.50/18.00	NO CHANGE
REAR YARD	NA	55.50	55.00	NO CHANGE
IC PARKING	NA	NA	NA	NO CHANGE
MAXIMUM HEIGHT	30	~23.00	~23.00	ADDITION ~13'-8"
STORIES	3	2	2	ADDITION 1 STORY
MIN SITE AREA	6,500	9792.62	9792.62	NO CHANGE
MAX FLOOR BATH	---	---	---	NO CHANGE
MIN WIDTH	60	66	66	NO CHANGE
BLD AREA	NA	920	918	NO CHANGE

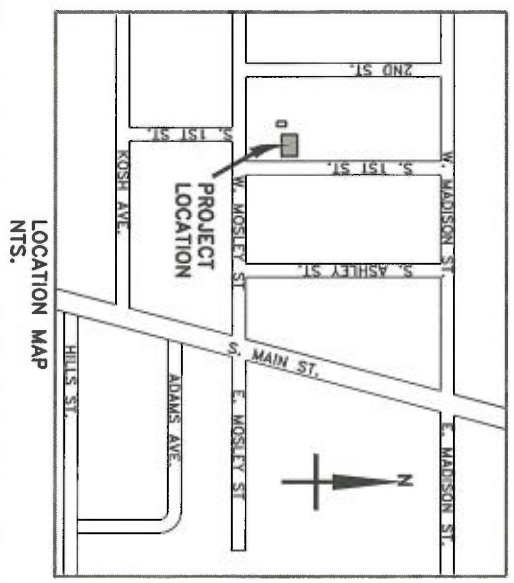
CODE COMPLIANCE

ALL DRAWINGS WERE PREPARED UNDER THE FOLLOWING CODES
2012 MICHIGAN RESIDENTIAL CODE FOR EXISTING BUILDINGS

USE: RESIDENTIAL
ZONED: R2A-0929-SW
TAXID#: 09-09-29-330-009
HISTORIC DISTRICT: YES
OLD WEST SIDE HISTORIC

SCOPE

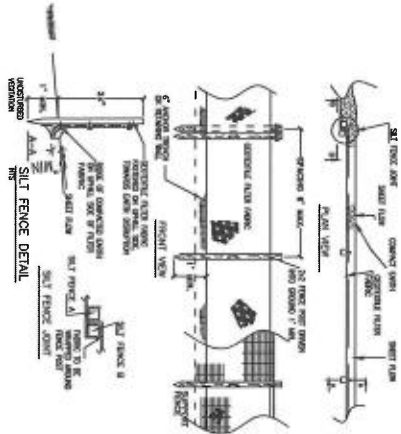
EXISTING BUILDING HAS A CLOSED IN LEAN-TO ROOF ATTACHED TO THE MAIN HOUSE. OWNERS ARE LOOKING TO REMOVE EXISTING THIN WALLS, ROOF AND EXISTING SLAB. ~115 SQ. FT. REPLACING IT WITH A NEW MUD ROOM ENTRANCE AND HALF BATH. ~113 SQ. FT. NEW ADDITION SHALL BE DESIGNED TO MATCH THE EXISTING HOUSE IN STYLE, WHILE ENSURING PROPER INSULATION, FRAMING AND FOUNDATION ARE INSTALLED.



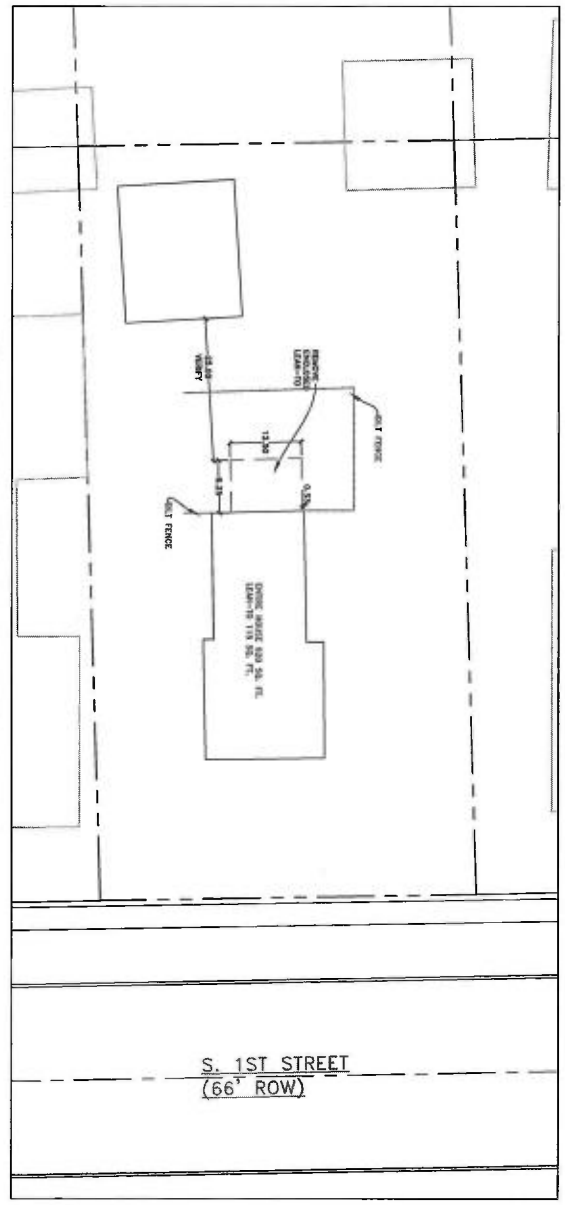
HD-17-057

CODE CONFORMANCE CHART

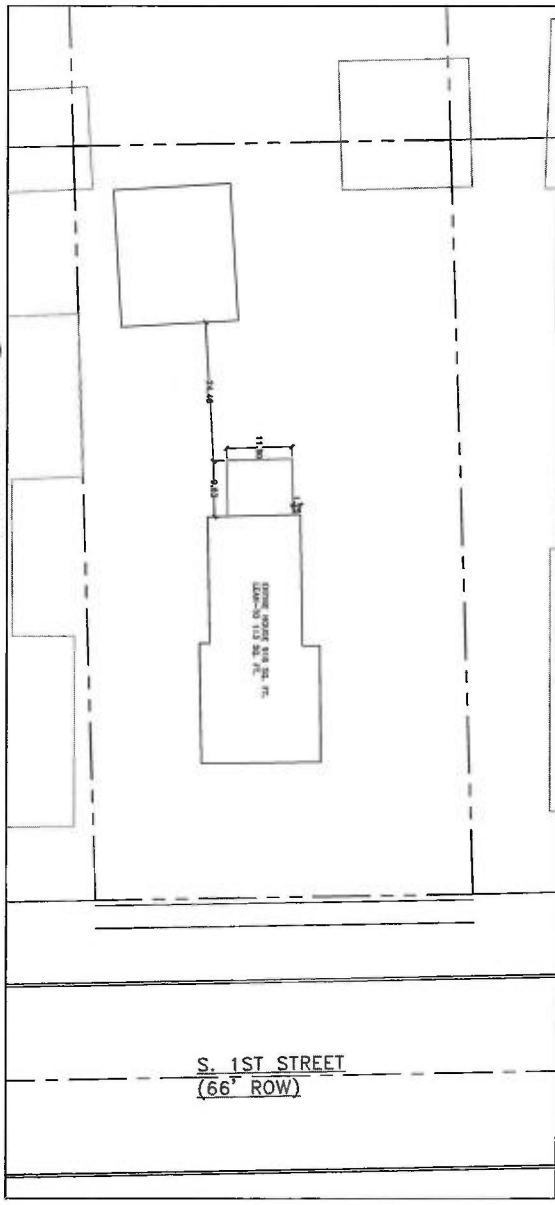
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTE
ZONING	RES	RES	RES	NO CHANGE
LAND-USE	RES	RES	RES	NO CHANGE
SETBACK	5.00	25.00/17.00	25.00/17.00	NO CHANGE
MAX VARIO	30.00	25.00	50.00	NO CHANGE
MIN FRONT YIELD	NA	NA	NA	NO CHANGE
MIN SIDE YIELD	3	3	3	ADDITION - 13'-0"
MIN REAR YIELD	3	3	3	ADDITION - 13'-0"
MIN FRONT SETBACK	5.00	5.00	5.00	NO CHANGE
MIN REAR SETBACK	5.00	5.00	5.00	NO CHANGE
MIN SIDE SETBACK	5.00	5.00	5.00	NO CHANGE
MIN AREA	NA	50	50	NO CHANGE
MAX AREA	NA	50	50	NO CHANGE



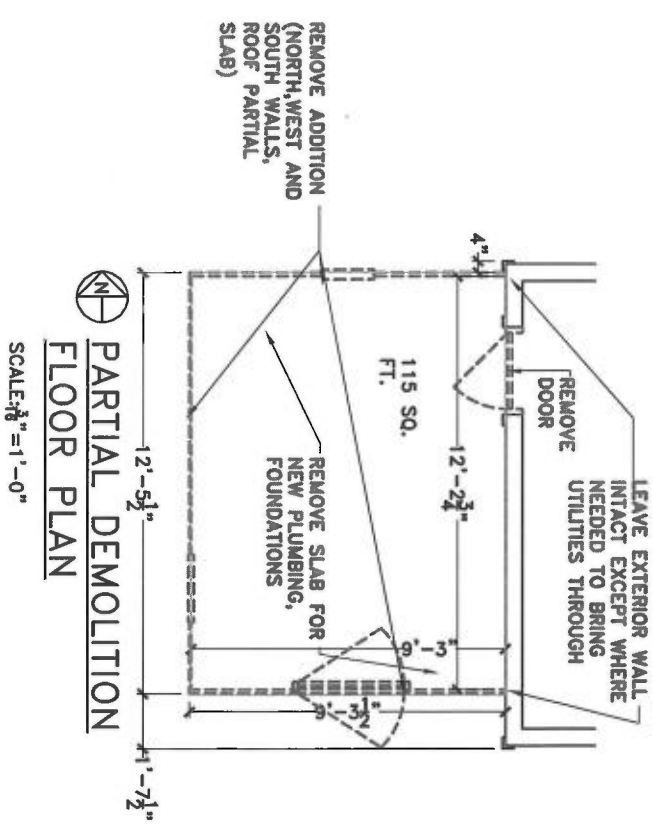
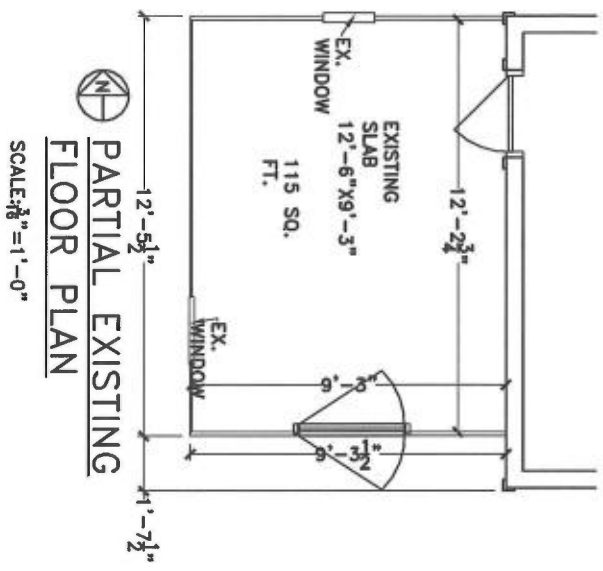
SILT FENCE
 DETAIL: SILT FENCE IS A BARBED WIRE FENCE WITH A 2x4 WOODEN BEAM AND A 1/2" THICK CONCRETE CAP ON TOP. THE WALL IS 12" HIGH AND 12" DEEP. THE WALL IS SUPPORTED BY A 12" DIA. STEEL PIPE DRIVEN INTO THE GROUND. THE PIPE IS SECURED WITH A 2x4 WOODEN BEAM. THE FENCE IS DESIGNED TO FILTER SEDIMENT FROM RUNOFF WATER.

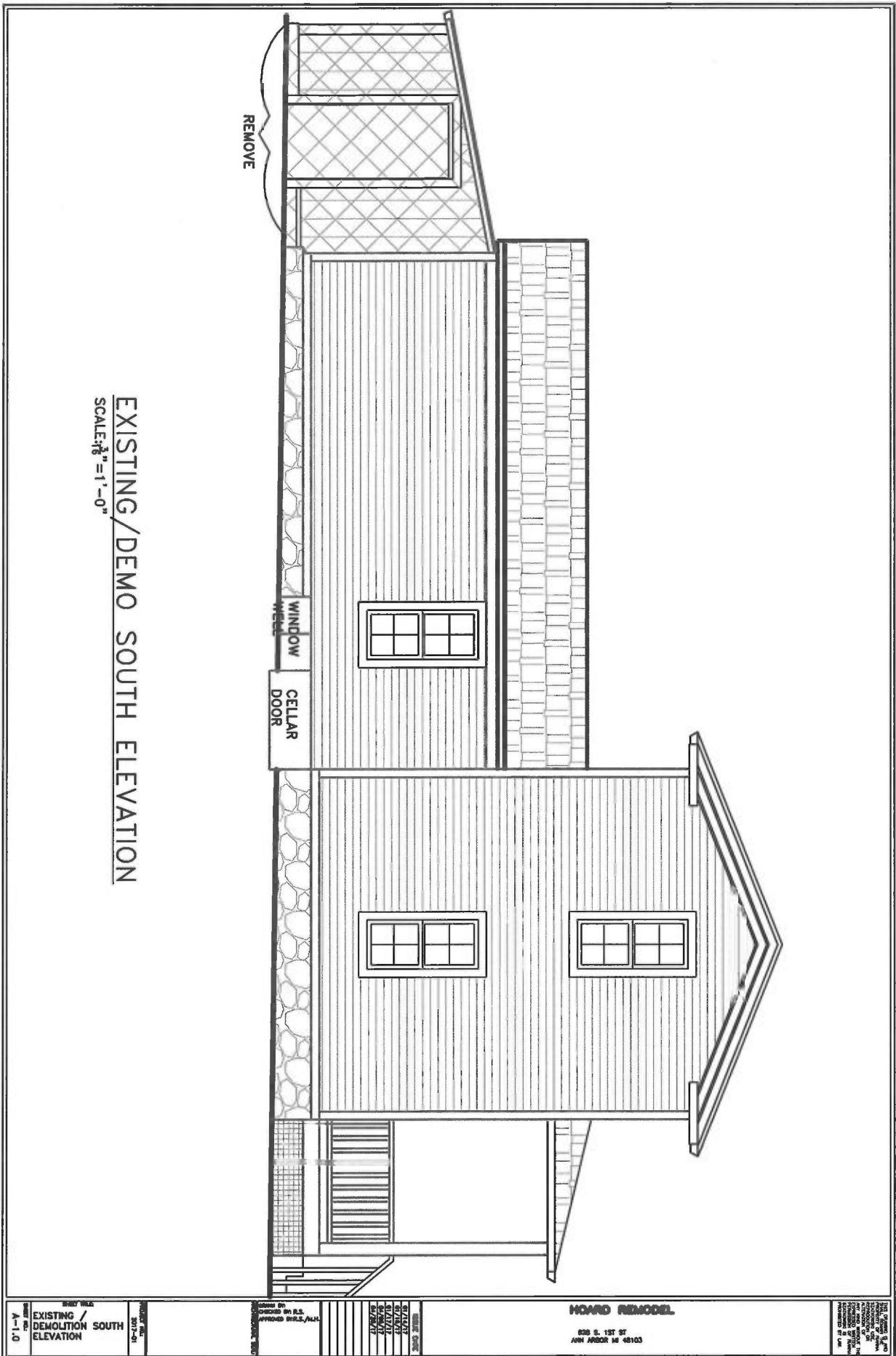


EXISTING / DEMOLITION / SOIL EROSION SITE PLAN
 SCALE: 1" = 10'



PROPOSED SITE PLAN
 SCALE: 1" = 10'





EXISTING / DEMO SOUTH ELEVATION
 SCALE: $\frac{3}{8}'' = 1'-0''$

SHEET TITLE
EXISTING / DEMOLITION SOUTH ELEVATION
 A-1.0

DATE
 2017-01

DRAWN BY
 CHECKED BY
 PROJECT NO.

SCALE
 SHEET NO.

BOARD REMODEL

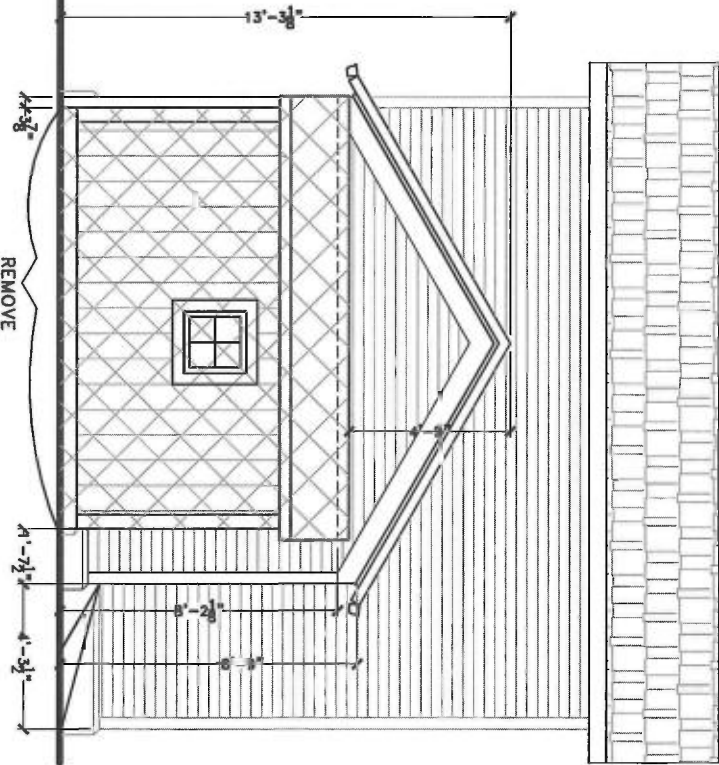
630 S. 1ST ST
 ANN ARBOR MI 48103

PROJECT NO.
 SHEET NO.



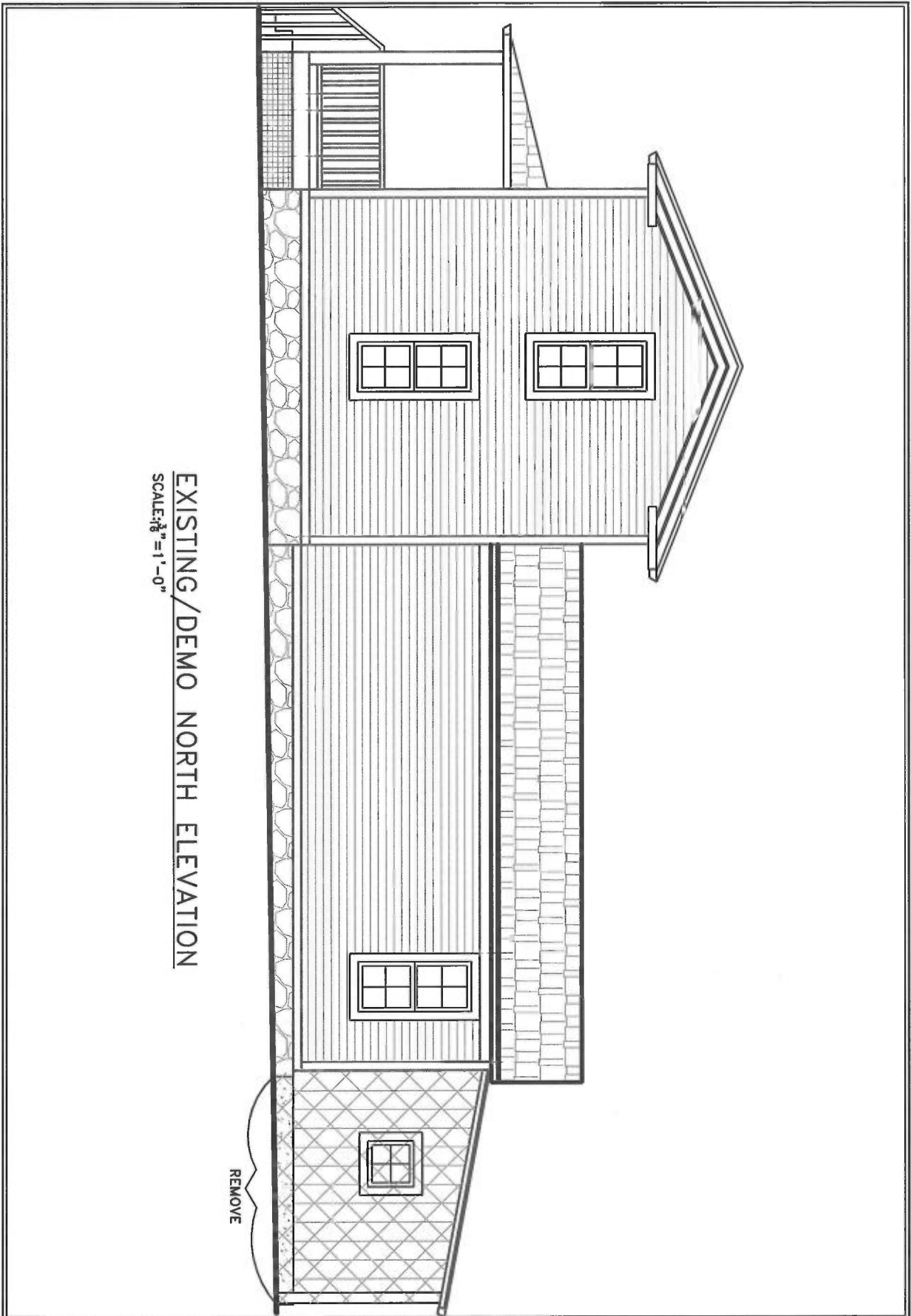
EXISTING EAST ELEVATION

SCALE: $\frac{3}{8}'' = 1'-0''$



EXISTING/DEMO WEST ELEVATION

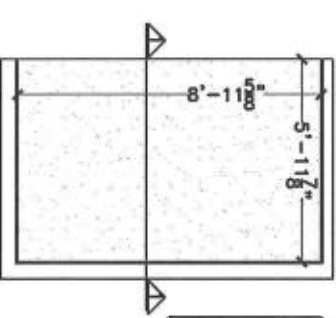
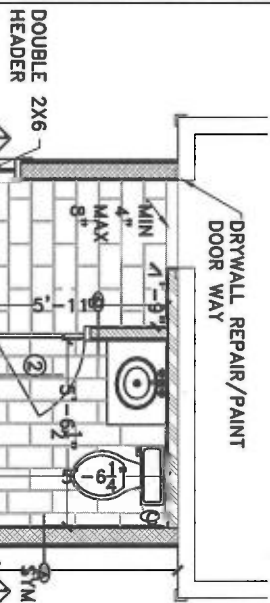
SCALE: $\frac{3}{8}'' = 1'-0''$



EXISTING/DEMOLITION NORTH ELEVATION
 SCALE: 3/8" = 1'-0"

REMOVE

<p>PROJECT NO. 2017-01 DATE 01/12/17 DRAWN BY J. B. [unreadable] CHECKED BY [unreadable]</p>	<p>HOARD REMODEL 628 S. 1ST ST ANN ARBOR MI 48103</p>	<p>DESIGNED BY [unreadable] DRAWN BY [unreadable] CHECKED BY [unreadable] DATE 01/12/17</p>	<p>DATE PLOTTED 01/12/17 PLOT BY [unreadable] SHEET NO. A-1-2 TOTAL SHEETS 2</p>
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		DOOR SIZE			DOOR SCHEDULE				
NO.	MAT'L	WIDTH	HEIGHT	THICK	TH'D	FR	LINT.	HWDR	REMARKS
1	WD	3'-4"	6'-8"	1-3/4"	NA	WD	WD	A	ENTRANCE DOOR, 1, 2
2	WD	3'-4"	6'-8"	1-3/4"	NA	WD	WD	B	BATHROOM DOOR, 2

- DOOR NOTES:**
- WEATHER STRIP
 - PREHUNG REDI FRAME DOOR
- DOOR HARDWARE SET DESCRIPTION**
- DEAD BOLT LOCK.
 - PRIVACY LOCK SET (JUPITER-SATIN CHROME-ALQ05JUP626) OR EQUAL

PARTIAL PROPOSED FLOOR
SCALE: 3/8" = 1'-0"

WALL LEGEND

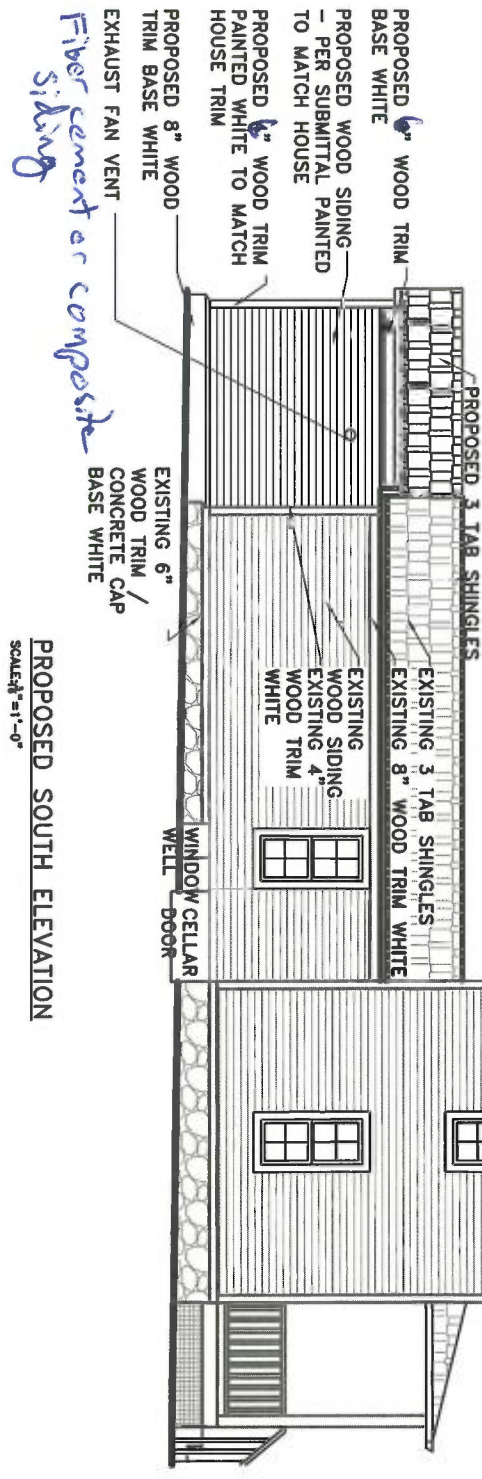
A		3/4" WOOD SIDING TO MATCH HOUSE ON TEVEK OR EQUAL HOUSE WRAP ON 1/2" PLYWOOD ON 2X6 STUD 24" O.C. WALL WITH R-21 INSUL. W/ 1/2" DRYWALL INTERIOR (SYM W/ WALL TILE)
B		1/2" DRYWALL BOTH SIDES OF 2X4 STUD 24" O.C. WITH R-13 INSULATION W/ WALL TILE INTERIOR SIDE (IF DESIRED)
C		1/2" DRYWALL ON 2X4 FURRING WITH R-13 INSULATION ON EXISTING EXTERIOR WALL.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS	
				N	E	S	W	MAT'L	FINISH HEIGHT		
101	ENTRY	1	3	4	4	4	4	4	4	PT 8'-12"	CATHEDRAL CLG
102	BATHROOM	1	3	4	4	4	4/5	4	4	PT 7'-0"	CATHEDRAL CLG
103	STORAGE SPACE	1	3	4	4	4	4	4	4	PT 1'-9"/4'-6"	CATHEDRAL CLG STORAGE ONLY

LEGEND OF FINISHES:

- CONCRETE SLAB WITH 12X24 TILE- COLOR AND PATTERN TBD.
- PLYWOOD STORAGE
- 3.5" WOOD TRIM BASE
- 1/2" DRYWALL PAINTED TWO COATS COLOR: EGGSHELL WHITE
- OPTIONAL WALL TILE - COLOR AND PATTERN TBD.



Fiber cement or composite siding

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SHEET NO. A-3.0	PROJECT PROPOSED SOUTH ELEVATION	DATE 2017-01	DRAWN BY J. W. [unclear]	CHECKED BY [unclear]	SCALE 1/4" = 1'-0"	BOARD REMODEL 630 S. 1ST ST. ANN ARBOR MI 48103	NOTES: 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2015 INTERNATIONAL MECHANICAL CODE BOOK (IMC). 2. ALL MATERIALS SHALL BE APPROVED BY THE BOARD. 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. 4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE BOARD.
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EXISTING EAST ELEVATION

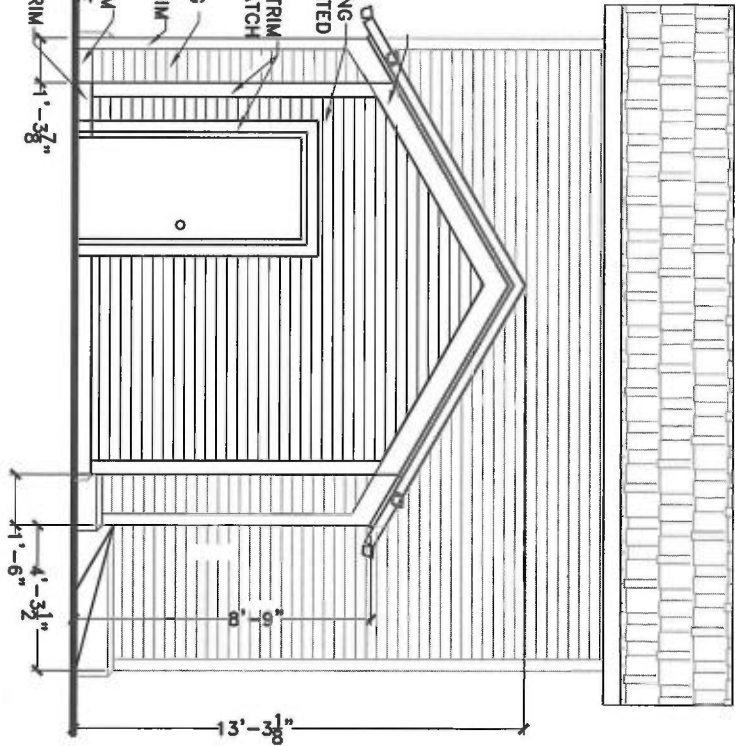
SCALE: $\frac{3}{8}'' = 1'-0''$



- PROPOSED 6" WOOD TRIM WHITE
- PROPOSED WOOD SIDING - PER SUBMITTAL PAINTED TO MATCH HOUSE
- PROPOSED 6" WOOD TRIM PAINTED WHITE TO MATCH HOUSE TRIM
- EXISTING WOOD SIDING
- EXISTING WOOD TRIM WHITE
- EXISTING 6" WOOD TRIM / CONCRETE CAP BASE WHITE
- PROPOSED 6" WOOD TRIM BASE WHITE

PROPOSED WEST ELEVATION

SCALE: $\frac{3}{8}'' = 1'-0''$



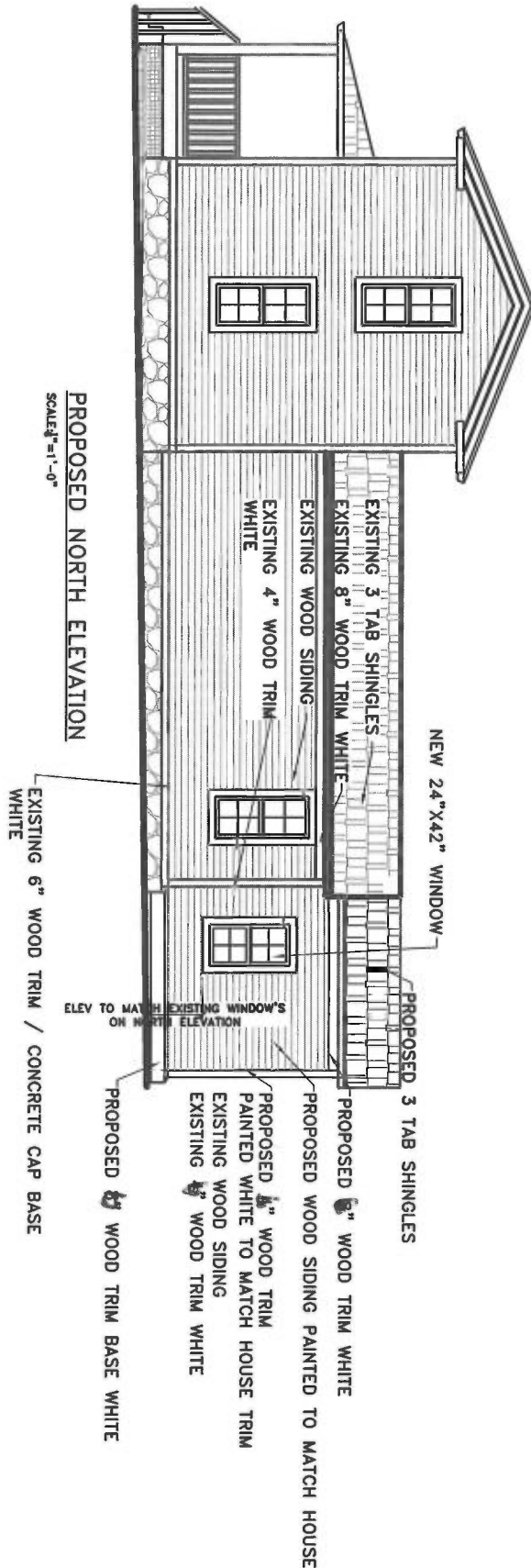
DATE: 08/11/11
 SHEET NO. A-3.1
 PROPOSED EAST/WEST ELEVATION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/11/11

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/11/11

HOWARD REMODEL
 628 S. 1ST ST
 ANN ARBOR MI 48103

THIS PLAN IS THE PROPERTY OF HOWARD REMODEL AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HOWARD REMODEL.



PROPOSED NORTH ELEVATION
SCALE = 1" = 0'

EXISTING 6" WOOD TRIM / CONCRETE CAP BASE
WHITE

ELEV TO MATCH EXISTING WINDOW'S
ON NORTH ELEVATION

PROPOSED WOOD TRIM BASE WHITE

PROPOSED 1/2" WOOD TRIM
PAINTED WHITE TO MATCH HOUSE TRIM
EXISTING WOOD SIDING
EXISTING WOOD TRIM WHITE

PROPOSED WOOD SIDING PAINTED TO MATCH HOUSE

PROPOSED 3" WOOD TRIM WHITE

PROPOSED 3 TAB SHINGLES

EXISTING 3 TAB SHINGLES
EXISTING 8" WOOD TRIM WHITE

EXISTING WOOD SIDING

EXISTING 4" WOOD TRIM
WHITE

NEW 24" X 42" WINDOW

PROPOSED 3 TAB SHINGLES

SHEET TITLE:
PROPOSED
NORTH
ELEVATION
A-3.2

DATE OF P.L.S.
2017-01

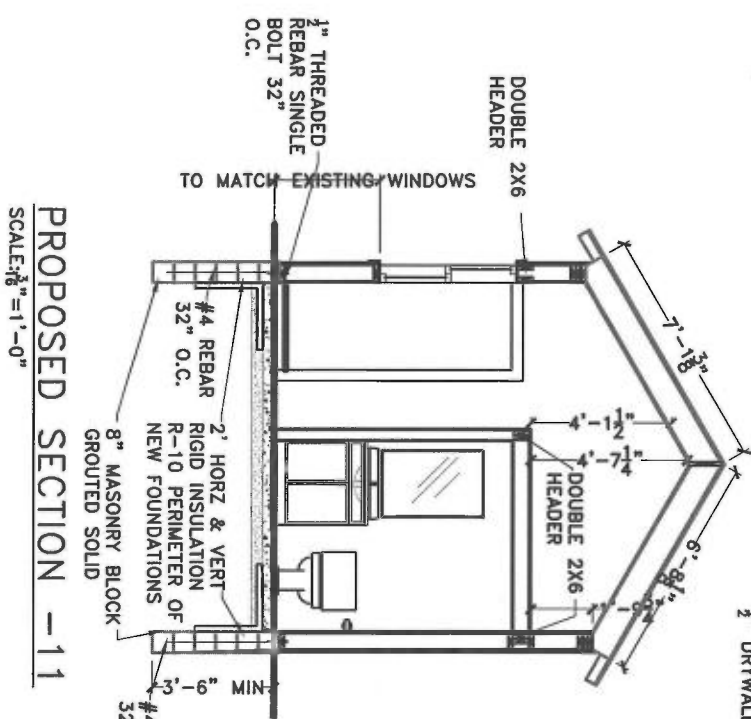
DESIGN BY
CHECKED BY P.S.
APPROVED BY S.S./M.H.

DATE
7/1/17
8/1/17
8/2/17

BOARD REMODEL

508 S. 1ST ST
ANN ARBOR MI 48103

1000 Boardwalk, Suite 200
Ann Arbor, MI 48103
Tel: 734.769.1234
Fax: 734.769.1235
www.boardremodel.com



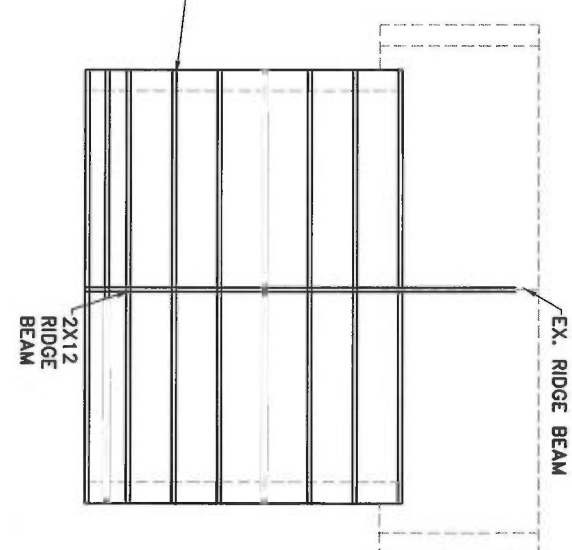
PROPOSED SECTION -11
SCALE: $\frac{3}{8}'' = 1'-0''$

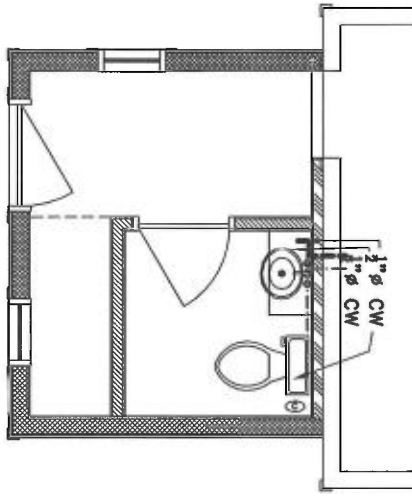
1" PLYWOOD
 2X12 RIDGE BEAM
 2X10 RAFTERS 16" O.C. W/R-30 INSULATION
 W/BAFFLES 1 LAYER REFLECTIX R-21
 1" DRYWALL

OR
 1" PLYWOOD
 2X12 RIDGE BEAM
 2X12 RAFTERS 16" O.C. W/R-39
 INSULATION W/BAFFLES 1/2" DRYWALL

2X10 OR 2X12
 RAFTERS 16" O.C.



PROPOSED ROOF LAYOUT
SCALE: $\frac{3}{8}'' = 1'-0''$

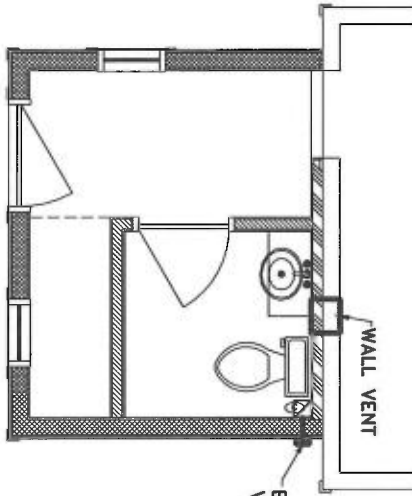




PARTIAL PROPOSED PLUMBING

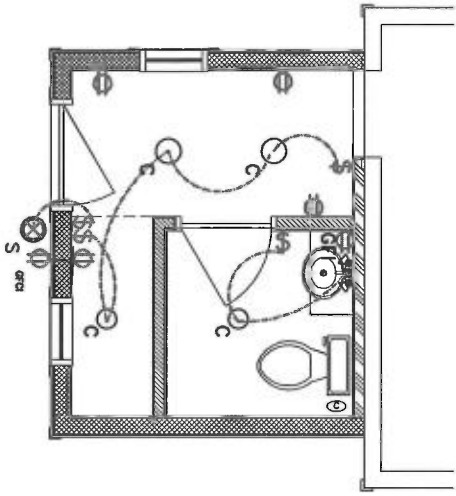
SCALE: $\frac{3}{8}'' = 1'-0''$

	VANITY SINK/CAB	MANUFACTURER = EURO ESPRESSO - OR EQUAL MODEL #648776 VANITY SINK, FAUCET AND CABINET
	WATER CLOSET	MANUFACTURER = GLACIER BAY OR EQUAL MODEL #N2316 FLUSH VALVE: DUAL FLUSH





PARTIAL PROPOSED HVAC PLAN

SCALE: $\frac{3}{8}'' = 1'-0''$



PARTIAL PROPOSED ELECTRICAL

SCALE: $\frac{3}{8}'' = 1'-0''$

-  RECESSED CAN LIGHT
-  SWITCH
-  SCOURCE



LOFT SPACE

SCALE: $\frac{3}{8}'' = 1'-0''$

























1-1/4" ILT Grilles

Custom



Chosen Window size 25" x 41" on print shows 24" x 48" which is typical to existing window size of house



HUNG

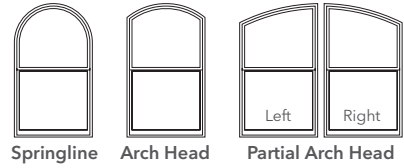
SIZE TABLES

Wood and Aluminum-Clad Exteriors
Double- and Single-Hung



Fixed Transoms

	(552) (533)	(654) (635)	(756) (737)	(857) (838)	(959) (940)	(1 060) (1 041)	(1 162) (1 143)	(1 238) (1 219)
Opening	1' 9 ³ / ₄ "	2' 1 ³ / ₄ "	2' 5 ³ / ₄ "	2' 9 ³ / ₄ "	3' 1 ³ / ₄ "	3' 5 ³ / ₄ "	3' 9 ³ / ₄ "	4' 0 ³ / ₄ "
Frame	1' 9"	2' 1"	2' 5"	2' 9"	3' 1"	3' 5"	3' 9"	4' 0"
(375) (356)	2114	2514	2914	3314	3714	4114	4514	4814
(451) (432)	2117	2517	2917	3317	3717	4117	4517	4817
(654) (635)	2125	2525	2925	3325	3725	4125	4525	4825



Pella Architect Series single-hung windows are available in shapes shown above, and additional custom shapes per drawing. For specifications, size limitations, and details on these units, contact your local Pella sales representative.

Vent Units

(908) (889)	2135	2535	2935	3335	3735	4135	4535	4835
(1 060) (1 041)	2141	2541	2941	3341	3741	4141	4541	4841
(1 213) (1 194)	2147	2547	2947	3347	3747	4147	4547	4847
(1 365) (1 346)	2153	2553	2953	3353	3753	4153	4553	4853
(1 467) (1 448)	2157	2557	2957	3357	3757	4157	4557	4857
(1 518) (1 499)	2159	2559	2959	3359	3759	4159	4559	4859
(1 670) (1 651)	2165	2565	2965	3365	3765	4165	4565	4865

Opening Dimensions

CLAD EXTERIOR UNITS:

Dimensions shown in standard size tables are rough opening dimensions.

WOOD EXTERIOR UNITS:

Use frame dimension plus dimensions below. This dimension includes the use of standard 1-1/8" wood subsill.

FRAME	ROUGH		MASONRY		
	Brickmould	Width	Height	Width	Height
STD		+ 3/4"	+ 1-7/8"	+ 3-1/8"	+ 3-1/8"
3-1/2"		+ 3/4"	+ 1-7/8"	+ 6-3/8"	+ 4-3/4"

For clad and wood units with HurricaneShield® impact-resistant glass, see the product installation instructions or refer to local building code requirements.

Egress Notes:

Check all applicable local codes for emergency egress requirements.

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft².

E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft².

See Design Data pages in this section for clear opening dimensions.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen (or any other accessory) to the product. You should consult your local building code to ensure products with Rolscreens meet egress requirements.

Not to scale.

Traditional grille patterns shown. Refer to Grille Types section for additional patterns and profiles.

Pella Architect Series® Reserve - Precision Fit Double-Hung Windows

Wood Exterior

Detailed Product Description

Frame

- Select softwood, water-repellent, preservative-treated with EnduraGuard® triple wood protection in accordance with WDMA I.S.-4. EnduraGuard triple protection formula includes water-repellency, three active fungicides and an insecticide applied to the frame.
- Interior exposed surfaces are [pine] [mahogany].
- Exterior surfaces are clad with aluminum.
- Pocket depth is 3-1/4" (83mm).
- Vinyl Jamb liner includes wood / clad inserts.

Sash

- Select softwood, water-repellent, preservative-treated with EnduraGuard triple wood protection in accordance with WDMA I.S.-4. EnduraGuard triple protection formula includes water-repellency, three active fungicides and an insecticide applied to the sash.
- Interior exposed surfaces are [pine] [mahogany].
- Exterior surfaces are [pine] [mahogany].
- Sash thickness is 1-13/16" (46mm).
- Sash exterior profile is putty glaze, interior profile is ogee.
- Upper sash has surface-mounted wash locks.
- Lower sash has concealed wash locks in lower check rail.
- Sashes tilt for easy cleaning.

Weatherstripping

- Water-stop Santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed 1 1/16" dual-seal insulating glass [[annealed] [tempered]] [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [AdvancedComfort Low-E] [NaturalSun Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E with argon].

Exterior Sash

- [Pine: factory primed with one coat acrylic latex] [Mahogany: [factory primed with one coat acrylic latex] [Unfinished, ready for site finishing]].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₂]].

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
 - Sash lock is [standard] [historic spoon-style]. Two sash locks on units with make width 37" and greater.
 - Optional Sash lift furnished for field installation. Two lifts on units with make width 37" and greater.
 - Hardware finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [bright brass] [satin nickel] [oil-rubbed bronze] [antique brass] [distressed bronze] [distressed nickel].
-

Optional Products

Grilles

- **Integral Light Technology® grilles**

- Interior grilles are [5/8"] [7/8"] [1-1/4"] ogee profile that are solid [pine] [mahogany]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₂]].
- Exterior grilles are [5/8"] [7/8"] [1-1/4"] putty glaze profile [pine] [mahogany], water repellent, preservative-treated in accordance with WDMA I.S.-4, and are factory primed.
- Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
- Insulating glass contains non-glare spacer between the panes of glass.
- Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.

– or –

- Grilles-Between-the-Glass₂

- Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
- Patterns are [Traditional] [9-Lite Prairie] [Cross] [Top Row]
- Interior color is [White] [Tan₄] [Brown₄] [Putty₄] [Ivory] [Brickstone] [Harvest] [Cordovan].
- Exterior color₅ is [standard₂].

– or –

- Roomside Removable grilles

- [[3/4"] [1-1/4"] [2"] regular] [[1-1/4"] [2"] colonial] profile, with [Traditional] [Prairie] patterns that are removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
- Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₂]].
- Exterior [unfinished, ready for site finishing] [factory primed] [finish color matched to exterior claddings].

Screens

- InView™ Screens

- [Half-Size] [Full-Size] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in a [standard roll form] [premium extruded] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
- Spreader bar placed on units > 37" width or 64-1/4" make height.
- Screen frame finish is baked enamel, color to match window cladding.

– or –

- Vivid View® Screens

- [Full-size] [Half-size] PVDF 21/17 mesh, minimum 78 percent light transmissive screen, set in a [standard roll form] [premium extruded] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
- Spreader bar placed on units > 37" width or 64-1/4" make height.
- Screen frame finish is baked enamel, color to match window cladding.

Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional factory applied window opening control device available. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

(1) Low-E coated insulating glass is argon-filled (except high altitude). All other insulating glass (including high altitude Low-E) is air-filled.

(2) Contact your local Pella sales representative for current color options.

(3) Available in clear or Low-E insulating glass only.

(4) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

(5) Appearance of exterior grille color will vary depending on Low-E coating on glass.



Boral TruExterior® Siding

BEVEL SIDING - INSTALLATION GUIDELINES

The following information offers typical installation techniques specifically for the Boral TruExterior® Siding – Bevel profile. This product should never be used in structural or load bearing applications. These directions are guidelines. As with installing any building material, care should be taken to adhere to local code requirements and construction best practices to ensure installation is adequate for each specific application.

Storage and Handling

Boral TruExterior® Siding should be stored on a flat, level surface. Pallets are shipped from the manufacturing facility in a protective covering and each board has a factory-applied primer. For expected performance results, ensure the product is dry and clean when fastened to the wall. For proper paint adhesion, the product should be dry and clean before painting.

Wall Preparation

As a best practice, a weather-resistant barrier should be used in accordance with local building code requirements. However, it is highly recommended to use a drainable house wrap in conjunction with Boral TruExterior® Siding.

Working With Boral TruExterior® Siding

This product is an excellent replacement for wood siding and can be installed using proven woodworking tools and methods. For ease of use, consider the following before working:

Cutting – Boral TruExterior® Siding can be cut using standard saw blades. However, for longer tool life, carbide tipped blades are recommended.

Routing & Drilling – Boral TruExterior® Siding can be drilled and routed using standard woodworking tools. However, a carbide tipped router and drill bits are recommended.

Fastening

- Ensure the product is dry and clean when fastened to the wall.
- Two fasteners are required within 2" of joints - one fastener at the top of the board and one fastener in the face.
- Use fasteners designed for exterior trim and siding.
 - Use of minimum 6d ring shank nails are recommended to meet the windload and performance results stated in the ES report PER-13069
 - Minimum lap is 1"
- The product will accept other types of fasteners including various types of exterior grade nails and screws. Care should be taken to ensure both fastener type and fastening pattern will meet local code requirements and performance needs.
- Standard nail guns can be used to install Boral TruExterior® Siding. Nail guns should be adjusted to ensure nail head is flush with surface. Do not over drive or countersink.

ACCEPTABLE FASTENING PATTERNS*

Figure 1: Blind Nailing**

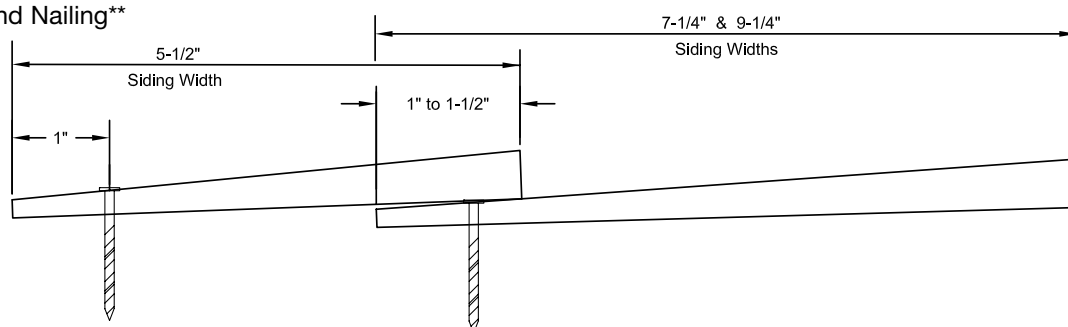


Figure 2: Face Nailing, Option 1

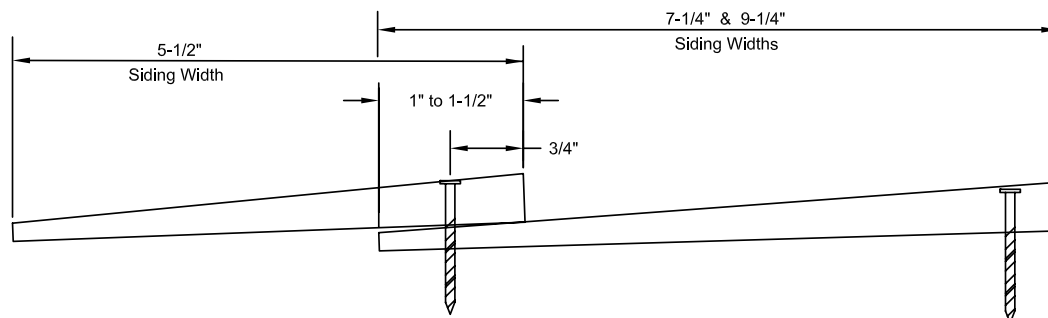
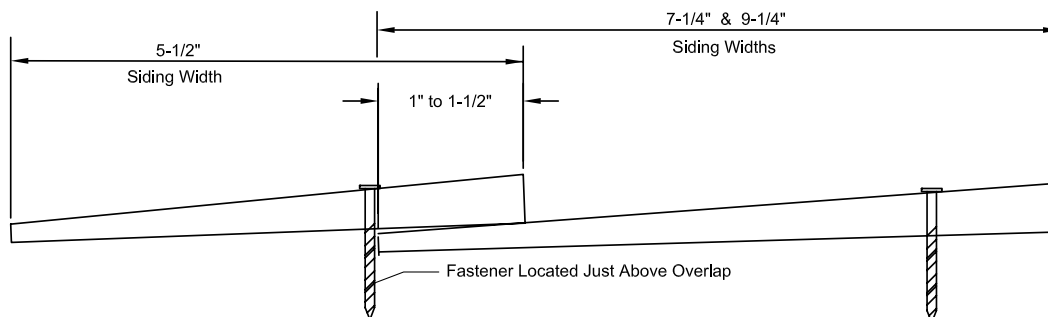


Figure 3: Face Nailing, Option 2



*7-1/4" and 9-1/4" sizes are not yet available.

** When Blind Nailing, one fastener is required in the face of the board within 2" of joints, in addition to the fastener in the top of the board.

Safety – In working with any product that may cause airborne debris such as nuisance dust, be sure to take proper measures to protect against eye and inhalation hazards.

Expansion and Contraction – Boral TruExterior® Siding is very stable⁺ during periods of temperature and moisture change; no special precautions such as gluing or gapping are necessary to control or limit movement.

Use at Grade – Since Boral TruExterior® Siding is highly resistant to moisture and termite attacks and the product won't rot⁺, it is approved for ground contact.

Nail Holes and Repair – Filling nail and screw holes or repairing any minor damage caused by handling may be done using high-grade acrylic caulk or wood fillers.

Painting – Painting Boral TruExterior® Siding is a requirement, and failure to do so will void the warranty. As in preparing for any painting project, be sure the surface of the product is free of dirt, debris or other contaminants prior to paint application. Boral TruExterior® Siding can be painted using any high grade exterior paint. Make sure to follow the paint manufacturer's application recommendations.⁺

Boral TruExterior® Siding may be painted any color without special precaution as the product is not prone to excessive movement due to heat buildup.⁺

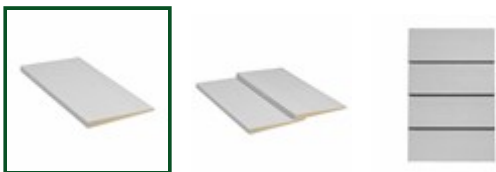
Boral TruExterior® Siding is virtually impervious to moisture⁺, so there is no need to prime or paint end-cuts or field-cut edges.

Moisture cycling is a primary cause for paint failure on wood products. Since Boral TruExterior® Siding is resistant to this moisture cycling⁺; paint will perform better.

Caulks & Sealants – While Boral TruExterior® Siding does not require priming or sealing of end cuts, a variety of caulks and sealants may be used in conjunction with the product to help prevent water intrusion to the structure.⁺

⁺More information can be found in Boral's technical bulletins for paint and adhesives and sealants or in the product warranty. Documents can be found at www.BoralTruExterior.com





FEATURES

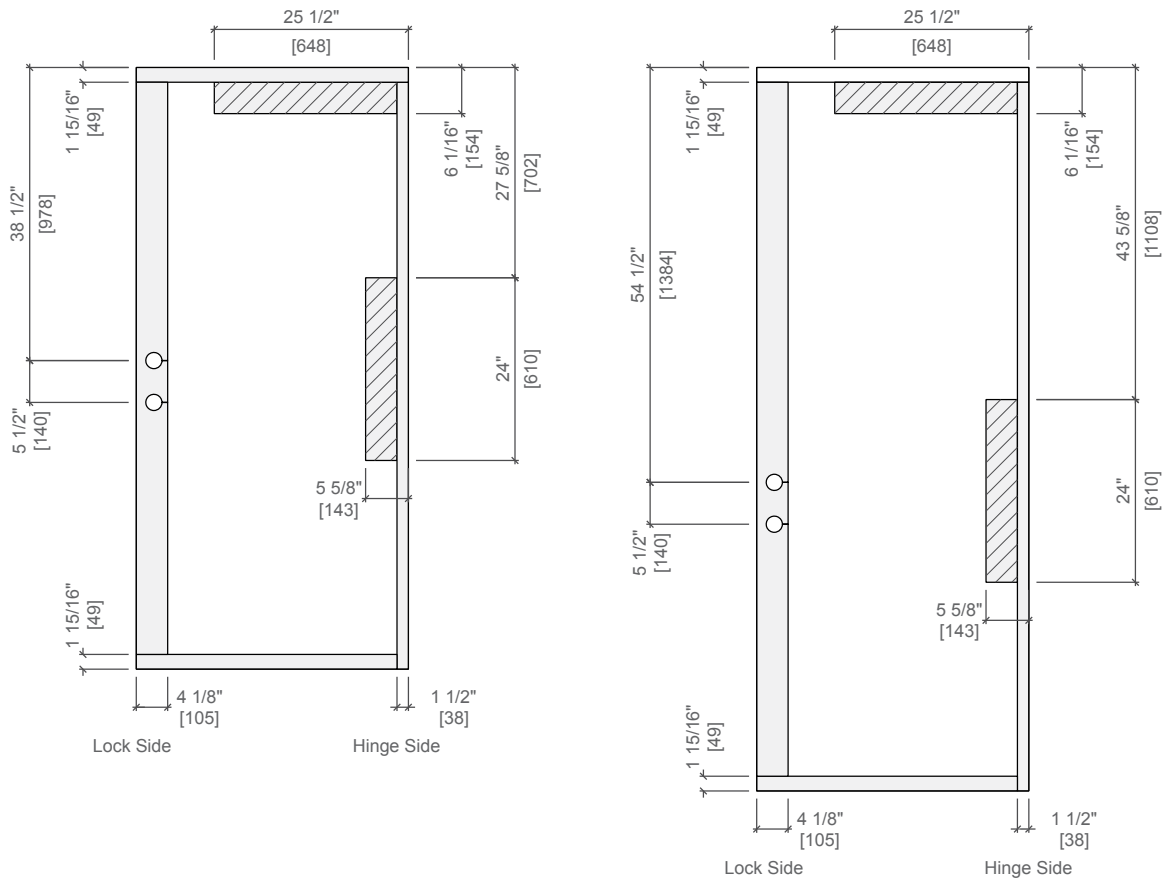
- No cracking or splitting from moisture
- Resists rot and termite attacks
- Maintains a high level of stability
- No need to prime end or field cuts
- Workability exceeds that of wood siding
- Installs with standard woodworking tools and methods



ENTRY DOOR

DIAGRAMS

Lock Block Placement and Panel Reinforcement



Shaded areas show placement of additional reinforcement.

 Lock block reinforcement on all panels.  Additional reinforcement for commercial units (optional)

All dimensions are taken from the top of the door panel.

