

MEMO

DATE: April 10, 2019

TO: Alexis DiLeo

COMPANY: City of Ann Arbor

FROM: Tom Dillenbeck

RE: Design Review Board Resubmission
Application Modifications


PROJECT: Vic Village South
1116 S. University Avenue

PROJECT #: 17-000

Following our previous Design Review Board application dated 2/13/19, we are resubmitting drawings that incorporate changes to the design addressed in the 3/13/19 DRB meeting. Modifications to the application are as follows:

1. The property address has now been established as 1116 S. University Avenue.
2. Property owner's signatures have been obtained and are attached to this memo.
3. Total floor area is now 206,478 square feet for a total FAR of 865%.
4. Number of dwelling units is now 132.
5. Number of off-street parking spaces is now 85.
6. Open space is now 2,069 square feet (pedestrian walkway at south side of building).

If you should have any questions, feel free to contact us for clarifications.

Signature: 

Name: Tom Dillenbeck, AIA

Title: Vice President

Cc: Sean Havera

DEVELOPER

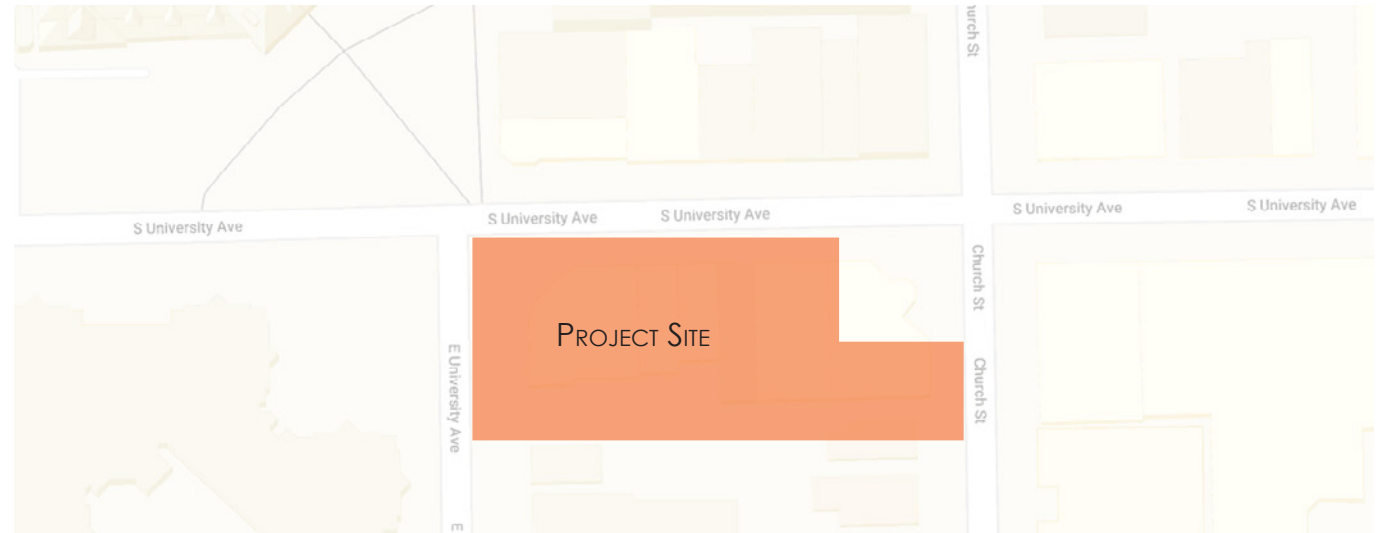
SOUTH UNIVERSITY - SOUTH, LLC
 30100 TELEGRAPH ROAD
 SUITE 220
 BINGHAM FARMS, MI 48025

ARCHITECT

HOBBS + BLACK ARCHITECTS
 100 N. STATE STREET
 ANN ARBOR, MI 48104

CIVIL ENGINEER

MIDWESTERN CONSULTING
 3815 PLAZA DRIVE
 ANN ARBOR, 48108



PROJECT DATA

LOCATION: 1116 S. UNIVERSITY AVENUE, ANN ARBOR MI

ZONING: D1
 SOUTH UNIVERSITY CHARACTER OVERLAY DISTRICT

SITE AREA 23,862 SF

BASE FAR:	400% = 95,448 SF MAX
PREMIUM FAR (RESIDENTIAL)	300% = 71,586 SF MAX
SUPER PREMIUM FAR (AFFORDABLE HOUSING)	200% = 47,724 SF MAX
	900% = 214,758 SF MAX

PROPOSED FAR BUILDING AREA: 865% = 206,478 SF

BUILDING HEIGHT:

MAX	150 FT
PROPOSED	150 FT (TO TOP OF ROOFTOP MECHANICAL EQUIPMENT SCREEN)

NUMBER OF STORIES: 13

NUMBER OF DWELLING UNITS: 132

NUMBER OF OFF-STREET PARKING SPACES: 85









STREETVIEW OF SITE - LOOKING SOUTHWEST



STREETVIEW OF SITE - LOOKING SOUTHEAST



UNIVERSITY OF MICHIGAN - WEST HALL



UNIVERSITY OF MICHIGAN - SCHOOL OF SOCIAL WORK



ZARAGON PLACE APARTMENTS



VIC VILLAGE NORTH (EXPECTED 2019)



BTB CANTINA + GOOD TIME CHARLEY'S



CHURCH STREET BUSINESSES + APARTMENTS



611 APARTMENTS + RETAIL + PIZZA HOUSE



UNIVERSITY OF MICHIGAN - EAST HALL



CHINA GATE + MOTIVATION BOUTIQUE + APARTMENTS



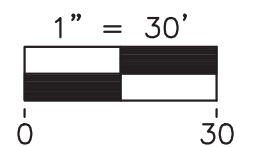
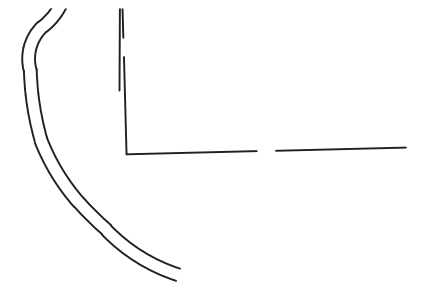
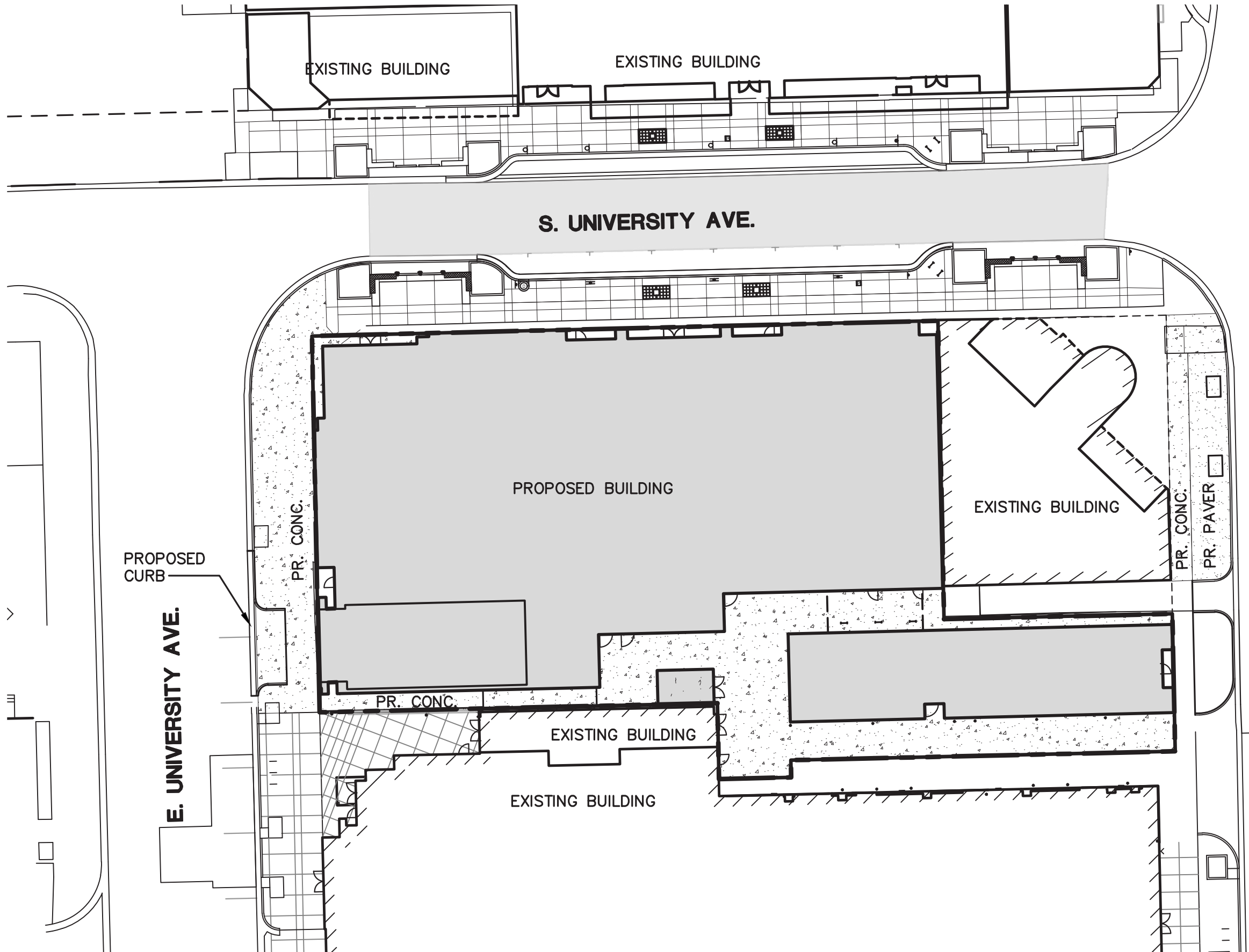
CHURCH STREET PARKING STRUCTURE



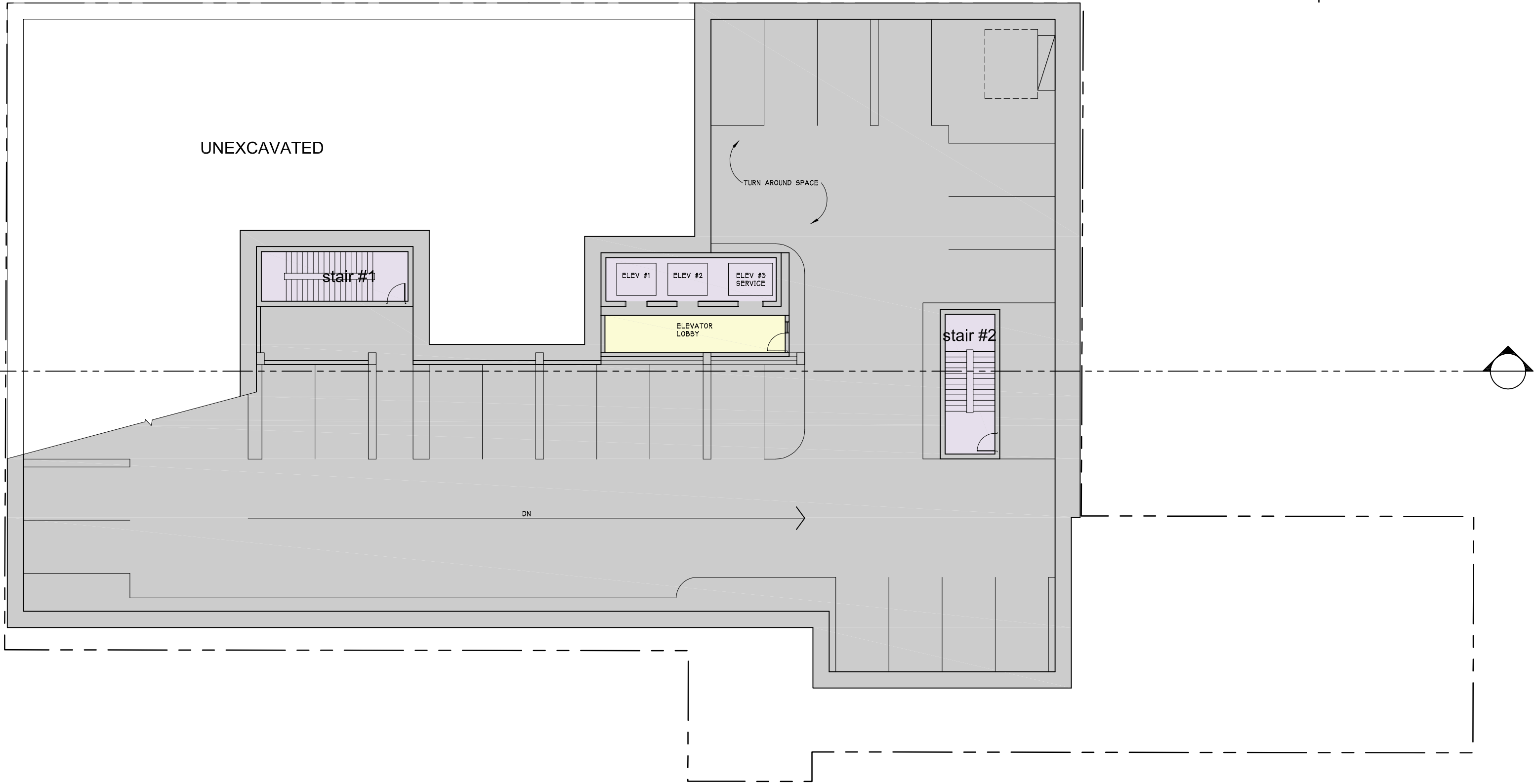
UNIVERSITY TOWERS



ARBOR BLU APARTMENTS



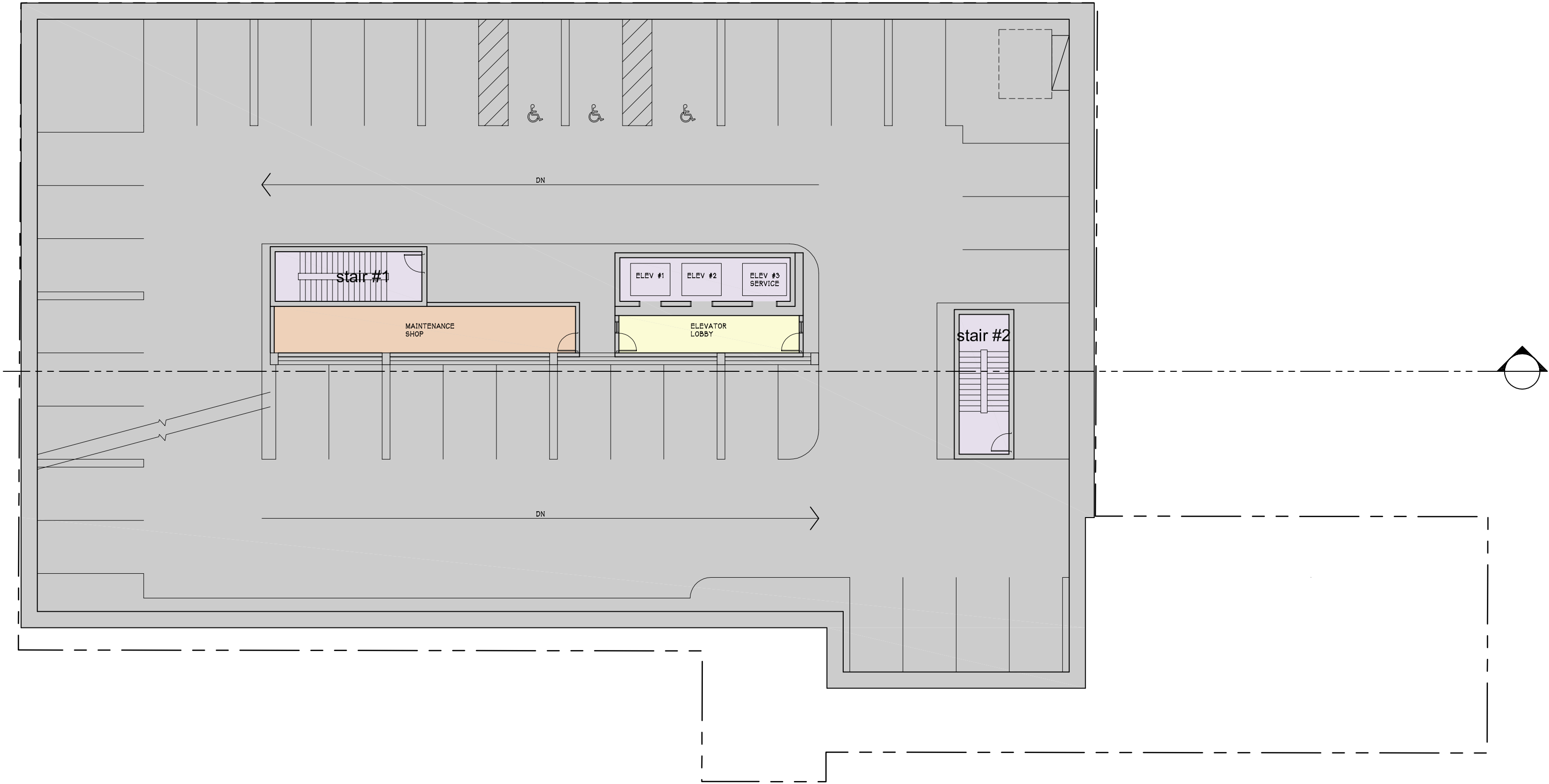
© 2016 Hobbs + Black Associates, Inc.



SCALE: 1/16" = 1'-0"

0 10 20 40 60





SCALE: 1/16" = 1'-0"

0 10 20 40 60





SCALE: 1/16" = 1'-0"

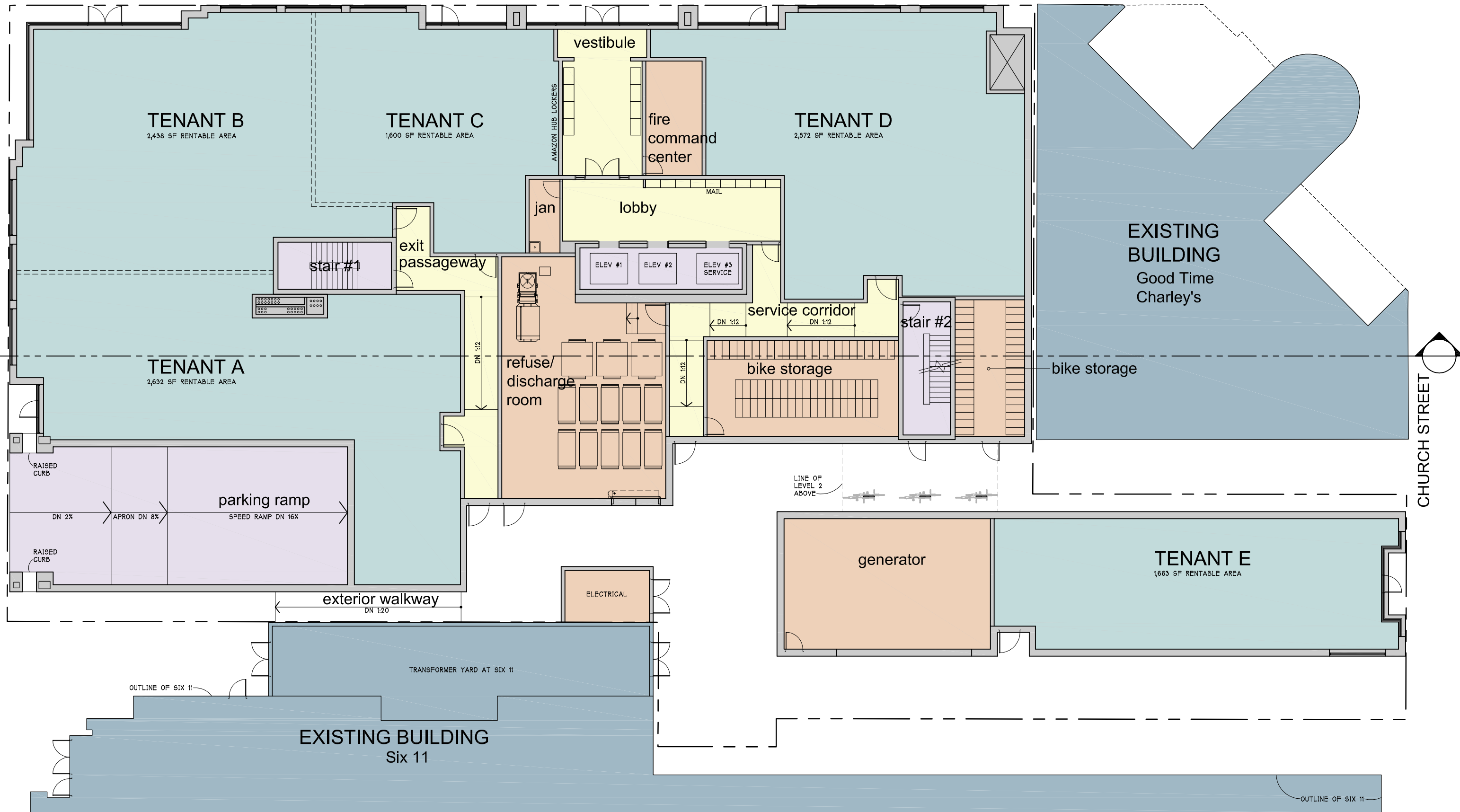
0 10 20 40 60

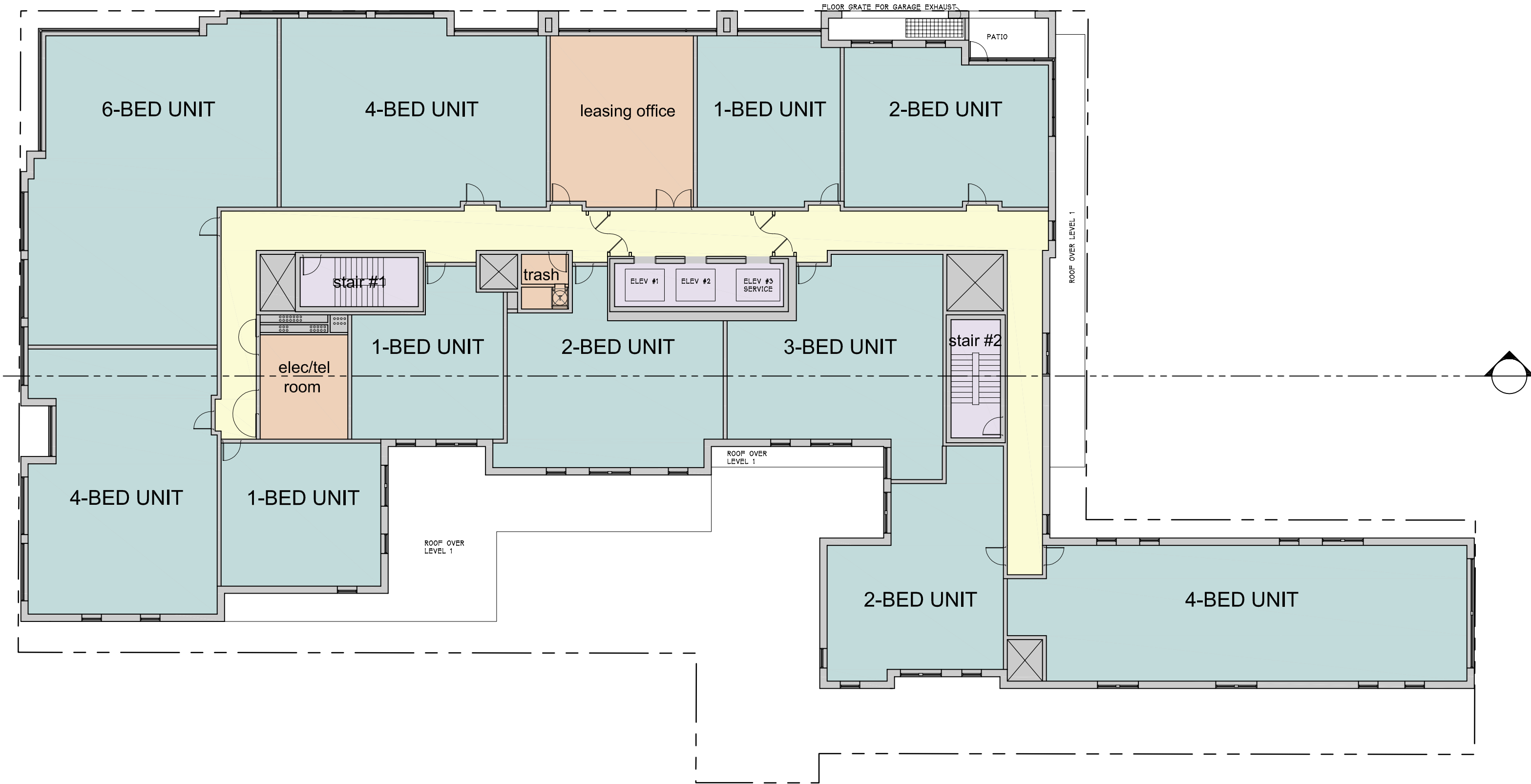


SOUTH UNIVERSITY AVENUE

EAST UNIVERSITY AVENUE

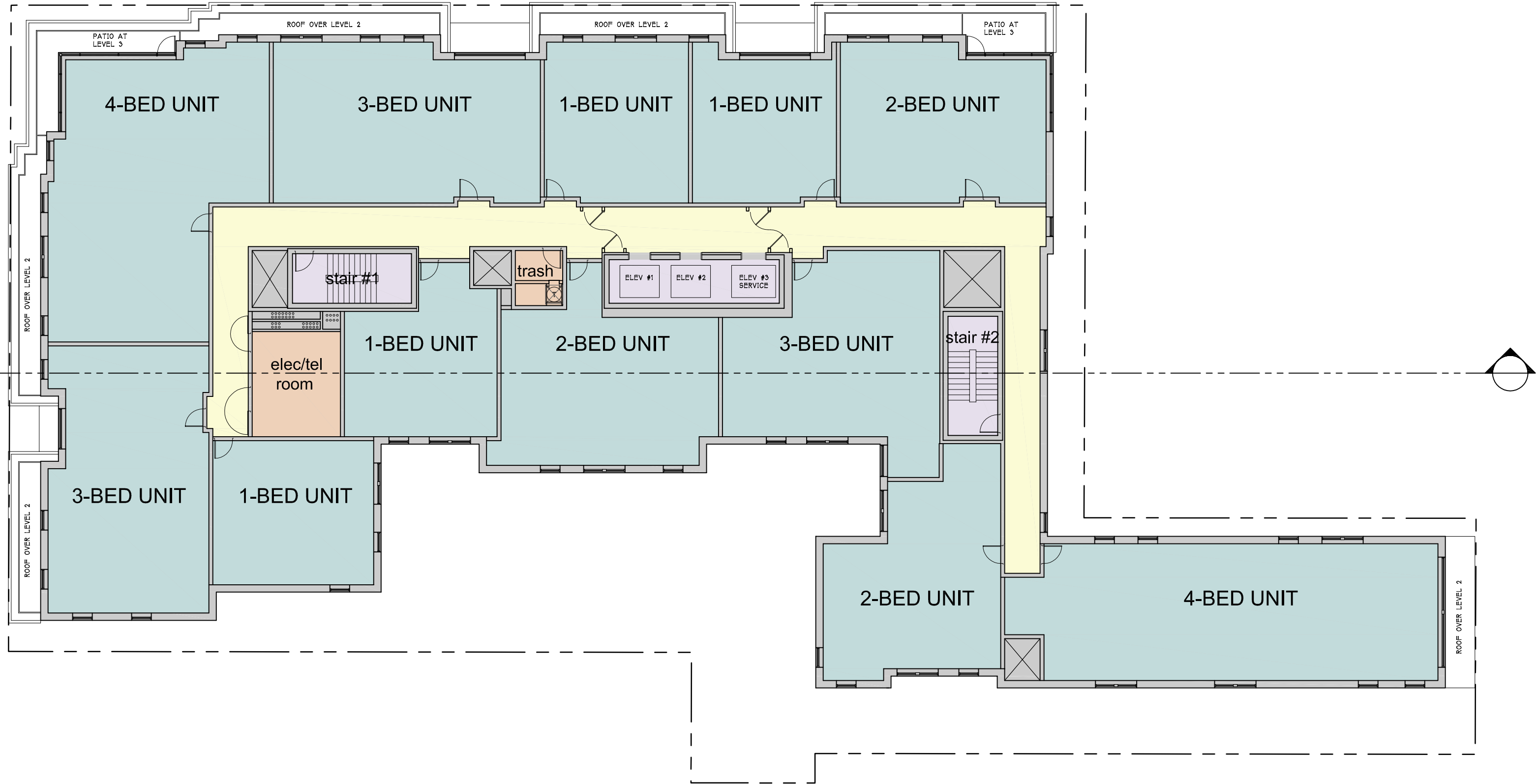
CHURCH STREET





SCALE: 1/16" = 1'-0"





SCALE: 1/16" = 1'-0"

0 10 20 40 60





SCALE: 1/16" = 1'-0"

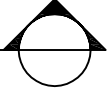
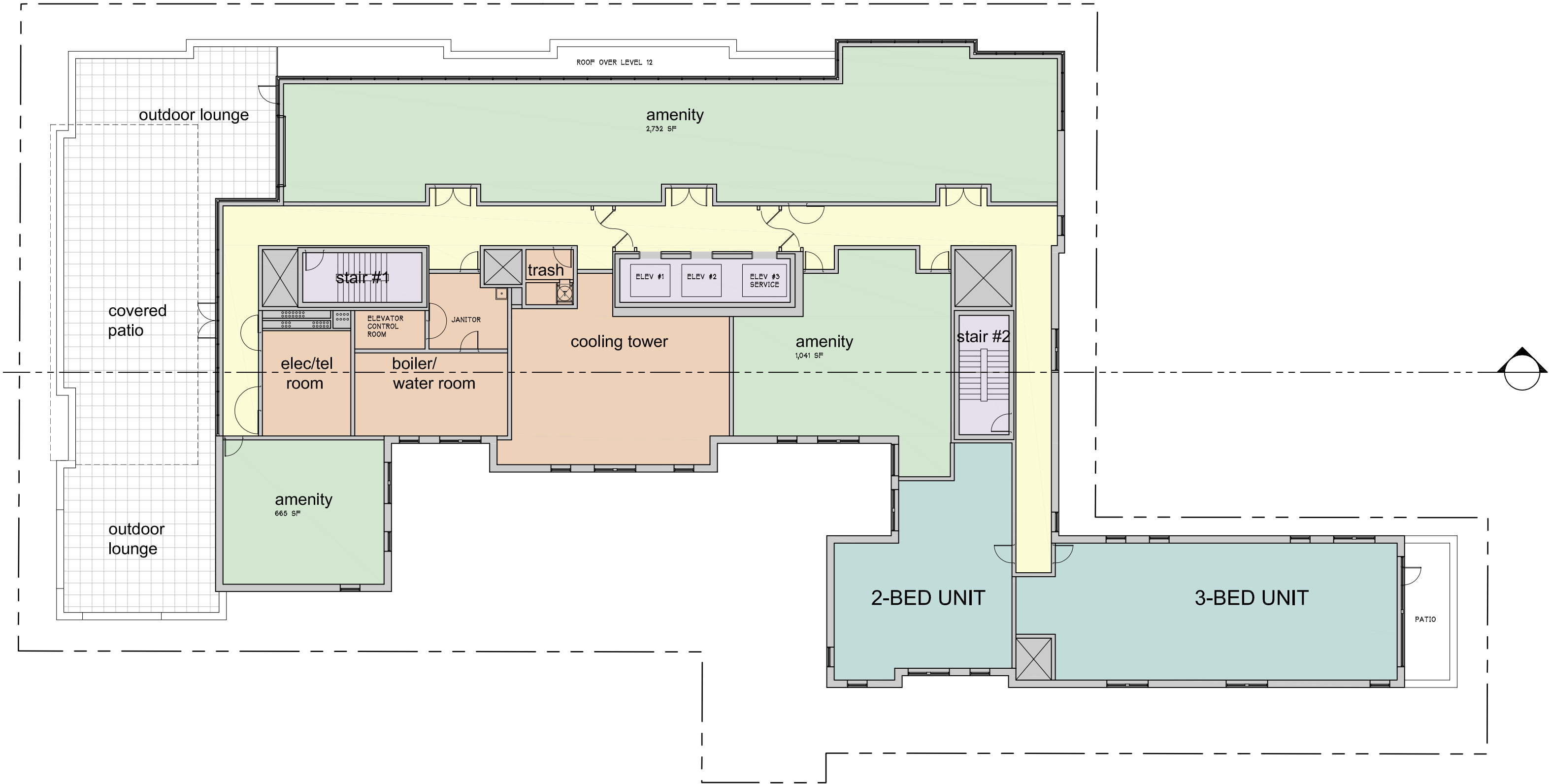




SCALE: 1/16" = 1'-0"

0 10 20 40 60





SCALE: 1/16" = 1'-0"

0 10 20 40 60









MECHANICAL SCREEN

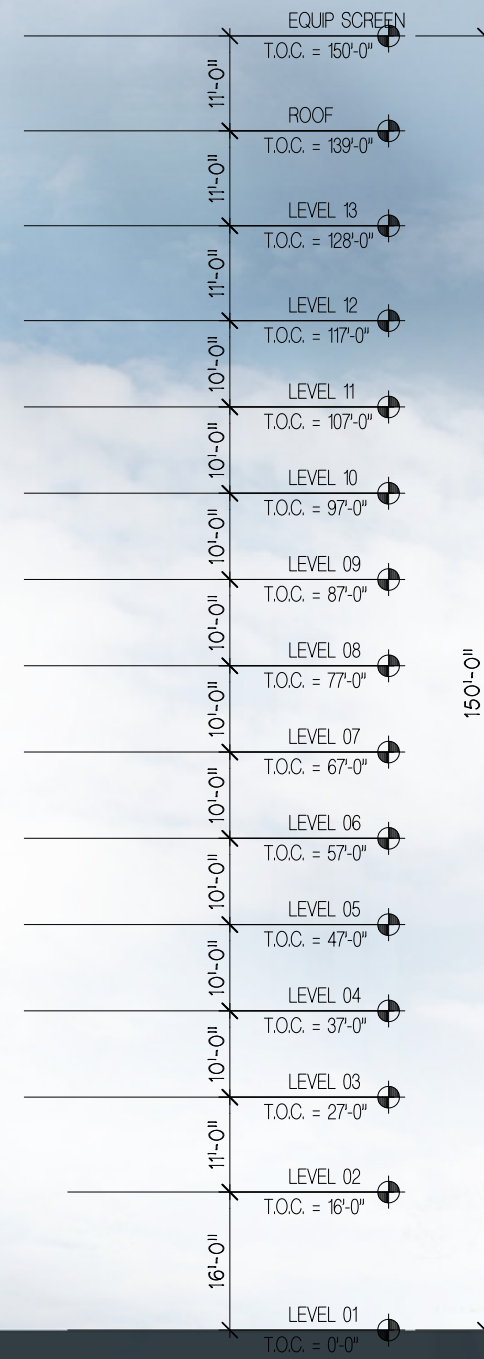
METAL PANEL

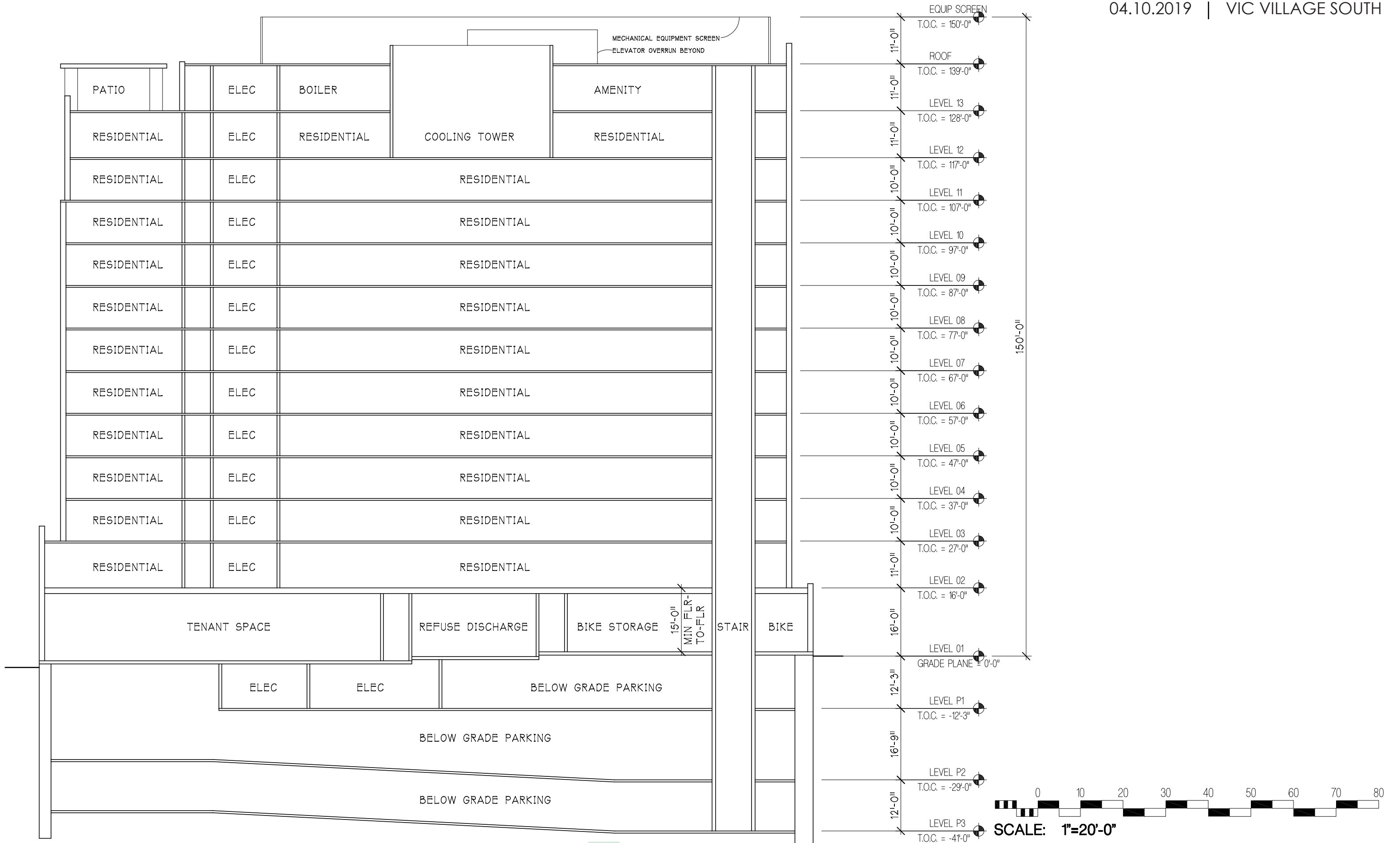
BRICK TYPE 3

BRICK TYPE 1

BRICK TYPE 2

ADJACENT PROPERTY
IN FOREGROUND







Brick 1 - Nutmeg Full Range
Utility Size



Brick 2 - Sienna Blend
Utility Size



Brick 3 - Ebony Black A
Utility Size



Inset Windows



Aluminum Storefront
Metal Frame Canopy
Cast Stone Cladding











February 4, 2019

City of Ann Arbor
Planning and Development Department
301 E. Huron St.
Ann Arbor, MI 48104

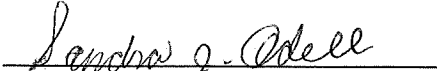
Re: Designation of Agent – Site Plan Approval

To Whom it May Concern,

I (we) hereby appoint Sean T. Havera or South University – South, LLC (the “Agent”) as my (our) agent to represent me (us) in any request for Site Plan approval on of for the subject property enumerated below. By signing below, I (we) understand that the Site Plan Approval application process consists of several forms and my (our) agent may represent me (us) in all phases of the Site Plan approval process and any ancillary procedures required thereby which may include submission to other agencies of government that may have jurisdiction. I (we) certify that all information below is correct.


Property Address:	1100 S. University
Parcel #:	09-09-28-311-006 – See Exhibit A
Legal Ownership Name:	Odell Associates Limited Partnership/Fuller Michigan, LLC
Approximate Property Square Feet:	4,355
Current Zoning District:	D1
Owner Name:	Odell Associates Limited Partnership/Fuller
Owner Mailing Address:	Odell Associates Limited Partnership C/O Marjorie M. Dixon, Esq, Conlin, McKenney & Philbrick, P.C. 350 South Main Street, Suite 400 Ann Arbor, MI 48104 Fuller Michigan, LLC C/O Roman J. Korpopey, Esq. Lamb McErlane, PC 14 South Bryn Mawr Avenue Suite 210 Bryn Mawr, PA 19010
Daytime Phone #:	734-761-9000 – Marjorie Dixon
Email:	dixon@cmplaw.com – Marjorie Dixon rkoropey@lambmcerlane.com – Roman Korpopey

Odell Associates Limited Partnership



By: Sandra Odell
Its: General Partner

Fuller Michigan, LLC


By: Dorian Gentzler
Its: Manager

Odell Associates Limited Partnership

By: Sandra Odell
Its: General Partner

Fuller Michigan, LLC

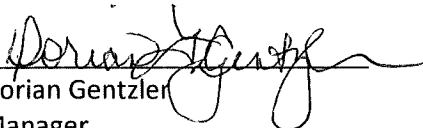
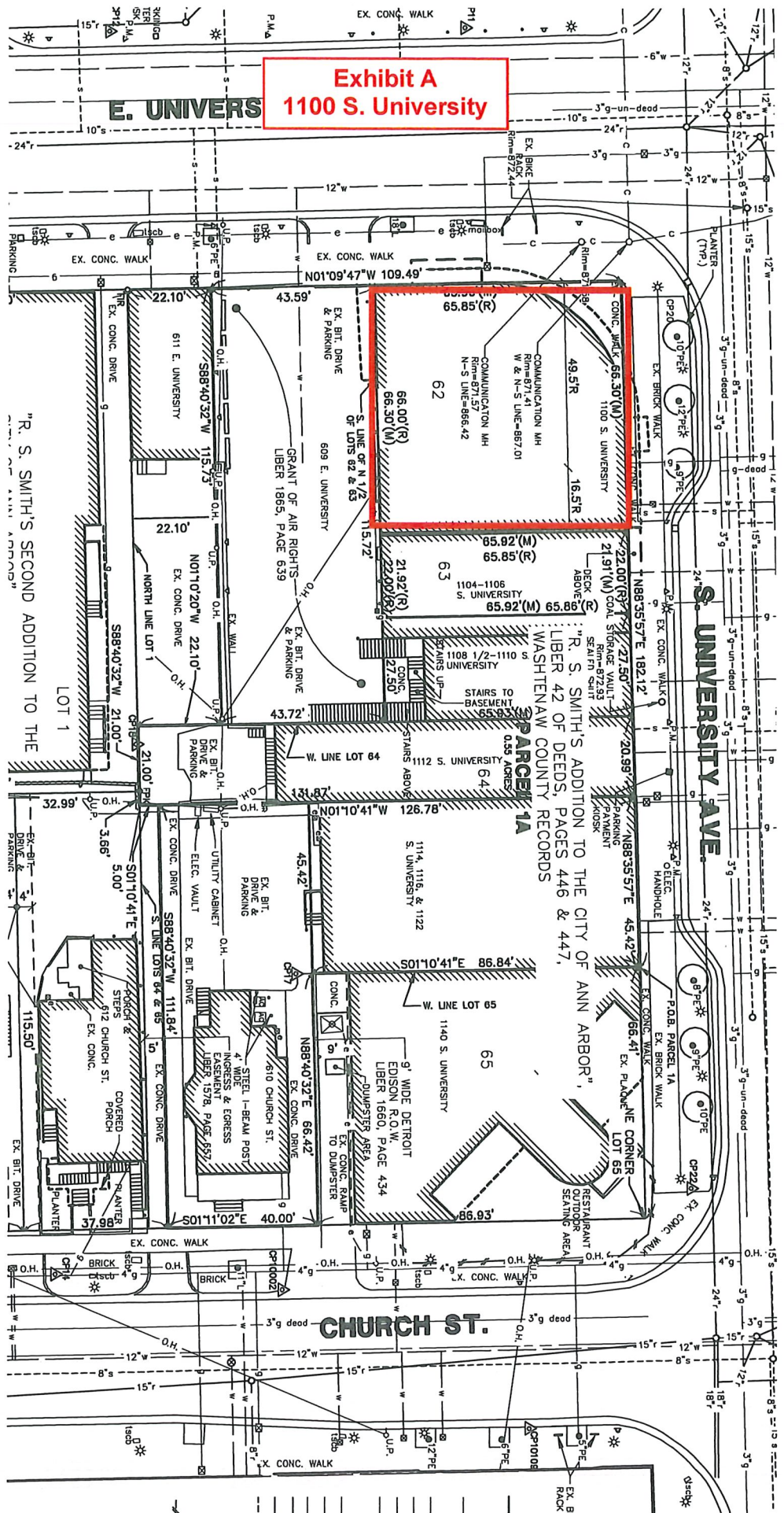

By: Dorian Gentzler
Its: Manager

Exhibit A
1100 S. University



"R. S. SMITH'S SECOND ADDITION TO THE
"WASH TENAW COUNTY RECORDS"

"R. S. SMITH'S ADDITION TO THE CITY OF ANN ARBOR",
LIBER 42 OF DEEDS, PAGES 446 & 447.

- 836.2
- U.P.
- O.H.
- W
- C
- G
- E
- P
- F
- A.P.M.
- S

SCALE:

February 4, 2019

City of Ann Arbor
Planning and Development Department
301 E. Huron St.
Ann Arbor, MI 48104

Re: Designation of Agent – Site Plan Approval

To Whom it May Concern,

I (we) hereby appoint Sean T. Havera or South University – South, LLC (the “Agent”) as my (our) agent to represent me (us) in any request for Site Plan approval on of for the subject property enumerated below. By signing below, I (we) understand that the Site Plan Approval application process consists of several forms and my (our) agent may represent me (us) in all phases of the Site Plan approval process and any ancillary procedures required thereby which may include submission to other agencies of government that may have jurisdiction. I (we) certify that all information below is correct.

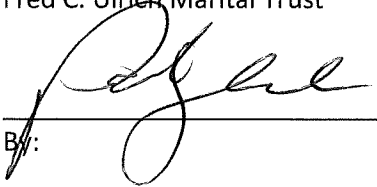
Property Address:	1104 – 1106, 1108, 1114 S. University, 609 E. University, 610 Church St.
Parcel #:	09-09-28-311-002, -004, -005, -007, and -021 – See Exhibit A
Legal Ownership Name:	Odell Associates Limited Partnership/ Ulrich Fred C Marital Trust/ Ulrich Fred C Family Trust
Approximate Property Square Feet:	16,982
Current Zoning District:	D1
Owner Name:	Odell Associates Limited Partnership/ Ulrich Fred C Marital Trust/ Ulrich Fred C Family Trust
Owner Mailing Address:	Odell Associates Limited Partnership C/O Marjorie M. Dixon, Esq, Conlin, McKenney & Philbrick, P.C. 350 South Main Street, Suite 400 Ann Arbor, MI 48104
Daytime Phone #:	734-761-9000 – Marjorie Dixon
Email:	dixon@cmplaw.com – Marjorie Dixon

Odell Associates Limited Partnership



By: Sandra Odell
Its: General Partner

Fred C. Ulrich Marital Trust



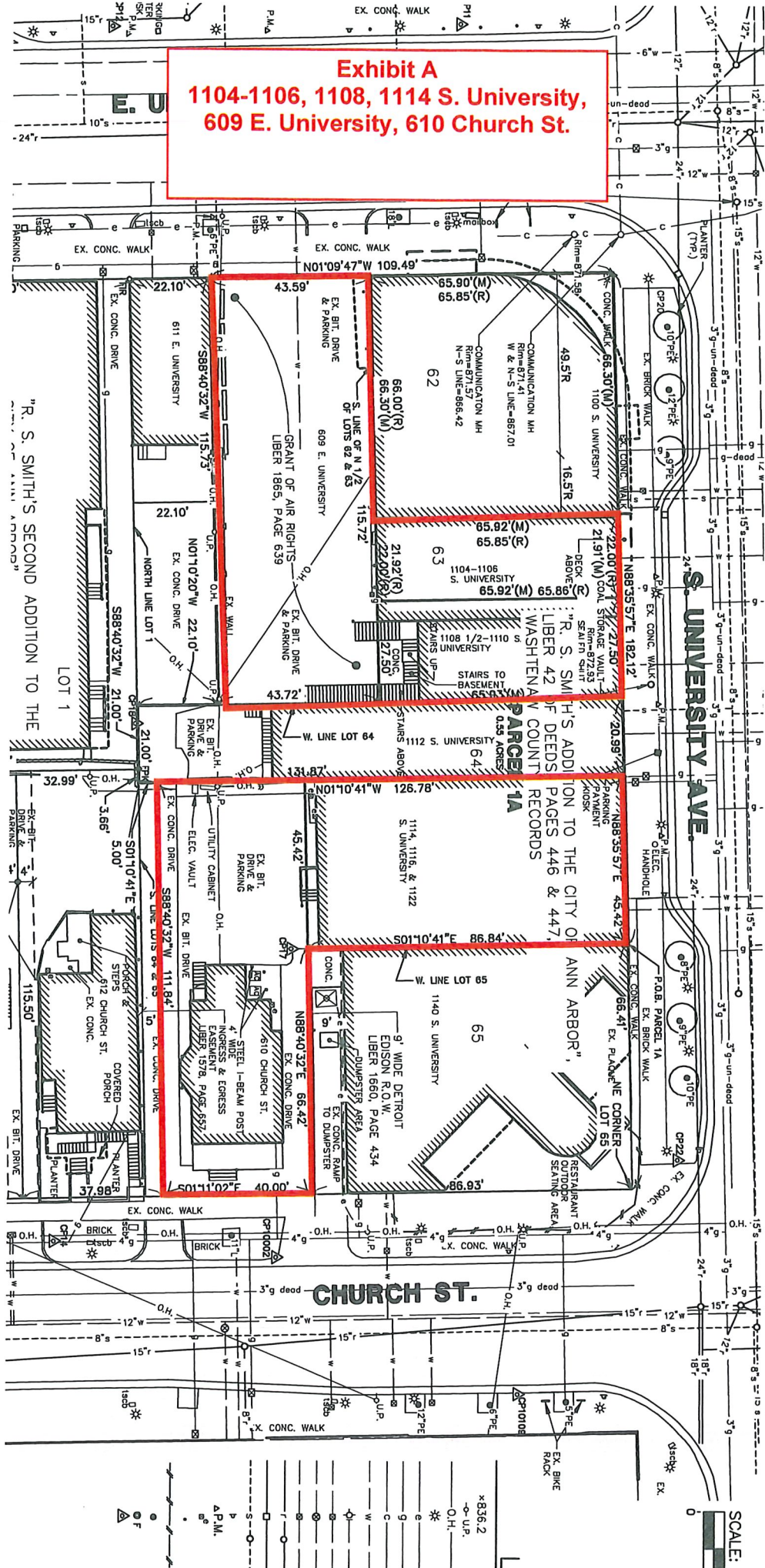
By:
Its: Trustee

Fred C. Ulrich Family Trust



By:
Its: Trustee

Exhibit A
1104-1106, 1108, 1114 S. University,
609 E. University, 610 Church St.



SCALE:
 0 15' 30' 45' 60'

836.2
 O.H.
 U.P.
 W
 C
 G
 P
 A.P.M.
 S
 F
 P

"R. S. SMITH'S SECOND ADDITION TO THE WASHBURN COUNTY RECORDS"

March 27, 2019

City of Ann Arbor
Planning and Development Department
301 E. Huron St.
Ann Arbor, MI 48104

Re: Designation of Agent – Site Plan Approval

To Whom it May Concern,

I (we) hereby appoint Sean T. Havera or South University – South, LLC (the “Agent”) as my (our) agent to represent me (us) in any request for Site Plan approval on of for the subject property enumerated below. By signing below, I (we) understand that the Site Plan Approval application process consists of several forms and my (our) agent may represent me (us) in all phases of the Site Plan approval process and any ancillary procedures required thereby which may include submission to other agencies of government that may have jurisdiction. I (we) certify that all information below is correct.

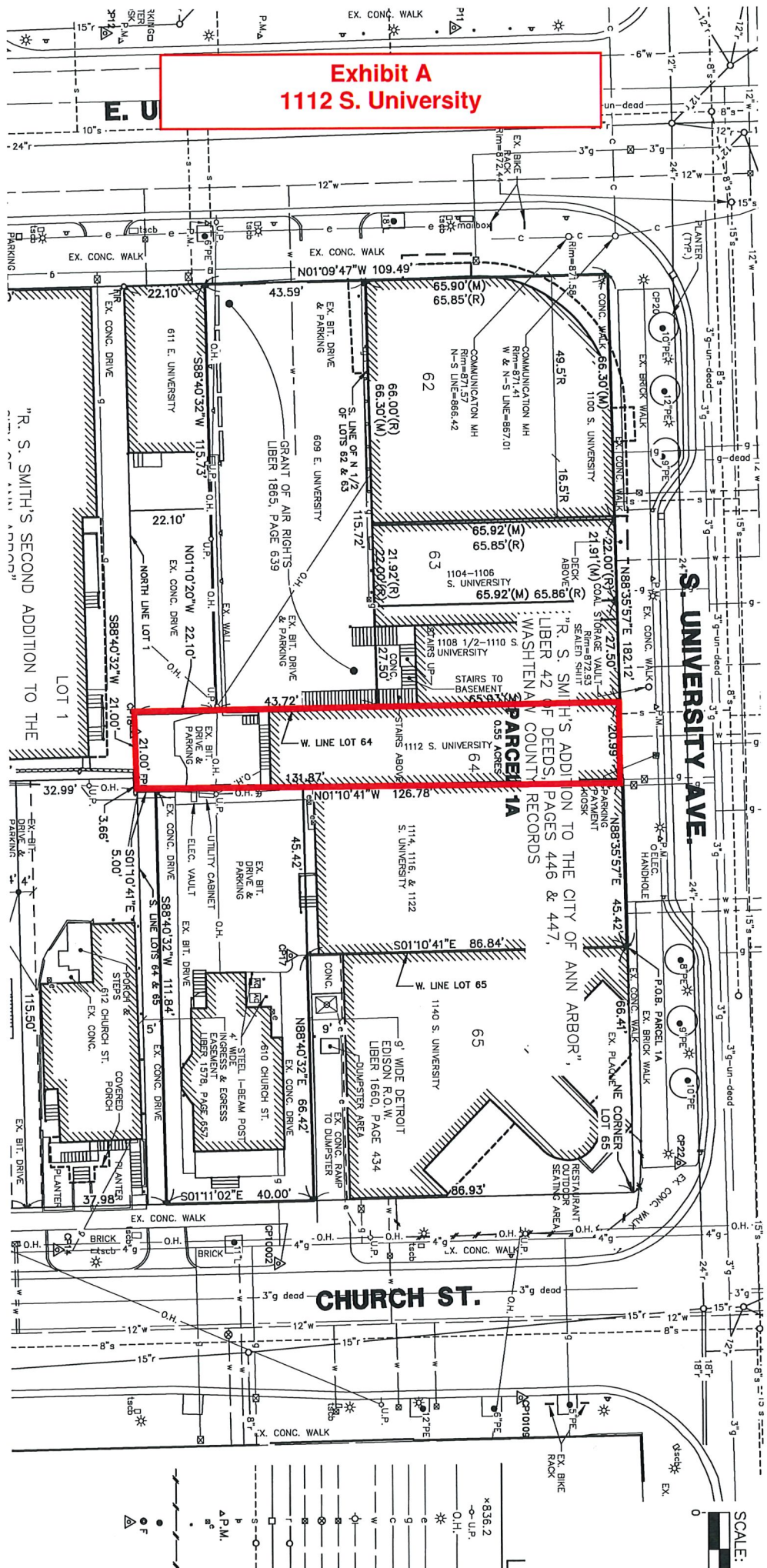
Property Address:	1112 S. University
Parcel #:	09-09-28-311-003 – See Exhibit A
Legal Ownership Name:	South University – South, LLC
Approximate Property Square Feet:	2,788
Current Zoning District:	D1
Owner Name:	South University – South, LLC
Owner Mailing Address:	South University – South, LLC C/O Patricia Fix 30100 Telegraph Rd. Suite 220 Bingham Farms, MI 48025
Daytime Phone #:	248-647-2600 x 113
Email:	pfix@property-accounting.net

South University – South, LLC



By: Patricia M. Fix
Its: Manager

Exhibit A 1112 S. University



"R. S. SMITH'S SECOND ADDITION TO THE
"ANN ARBOR"

"R. S. SMITH'S ADDITION TO THE CITY OF ANN ARBOR",
LIBER 42 OF DEEDS, PAGES 446 & 447,
WASHINGTON COUNTY RECORDS

PARCEL 1A

S. UNIVERSITY AVE

CHURCH ST.

SCALE:
0

