

**Zoning Board of Appeals
June 23, 2021 Regular Meeting**

STAFF REPORT

Subject: ZBA 21-024; 2122 Geddes Avenue

Summary:

Theresa L. Angelini, representing property owners, is requesting a variance from Table 5.17-1 Single-Family Dwelling District Dimensions. A four-foot three and a half-inch variance on the north elevation and a four-inch variance on the east elevation for the construction a new single-family residence. The property is zoned R1A, Single-Family Dwelling and allows a 30-foot maximum height for structures.

Background:

The subject property is located on the south side of Geddes in the Angell neighborhood. The property is vacant and is 16,552 square feet in size. The lot is conforming for the R1A Single-Family zoning district.

Description:

The owners are proposing to construct a new two-story home with a basement walk-out. The new residence will contain 5,656 square feet of finished living area with a total of 8,611 square feet including the basement lower level. The lower level will comprise a guest room and bath, a media room, mudroom and three-car garage. The first floor will contain a master suite, library, kitchen, dining room, living room and sunroom. The second level will have three bedrooms and baths and a loft area. The original home was demolished in April of 2016. A building permit for the new home was applied for in May of 2021 and was placed on hold as it does not meet the 30-foot height limit on the north and east elevations. The maximum height of a single-family residence in the R1A Zoning district is 30 feet to the mid-point of a gabled roof and 30 feet to the top of a flat roofed structure.

Standards for Approval- Variance

The Zoning Board of Appeals has all the power granted by State law and by Section 5.29.12, Application of the Variance Power from the UDC. The following criteria shall apply:

- (a). *That the practical difficulties are exceptional and peculiar to the property of the person requesting the variance and result from conditions which do not exist generally throughout the City.***

The applicant states that the topography is unique to this property. The elevation changes 19 feet from the driveway curb-cut to the main floor walkout at the rear of the residence.

- (b). *That the practical difficulties will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.***

A failure to grant the variance yields the site unbuildable for a two-story home on a walkout garage and basement level, which is a typical condition of properties throughout the Geddes/Arboretum and Arbor Hills area.

- (c). ***That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.***

The applicant states allowing the variance will enable a home to be built that is of equal value to the homes in the neighborhood.

- (d). ***That the conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.***

The owners purchased the property with the previous home demolished. The proposed home is set into the hillside and will not have negative impacts to the Geddes Avenue right of way.

- (e). ***A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.***

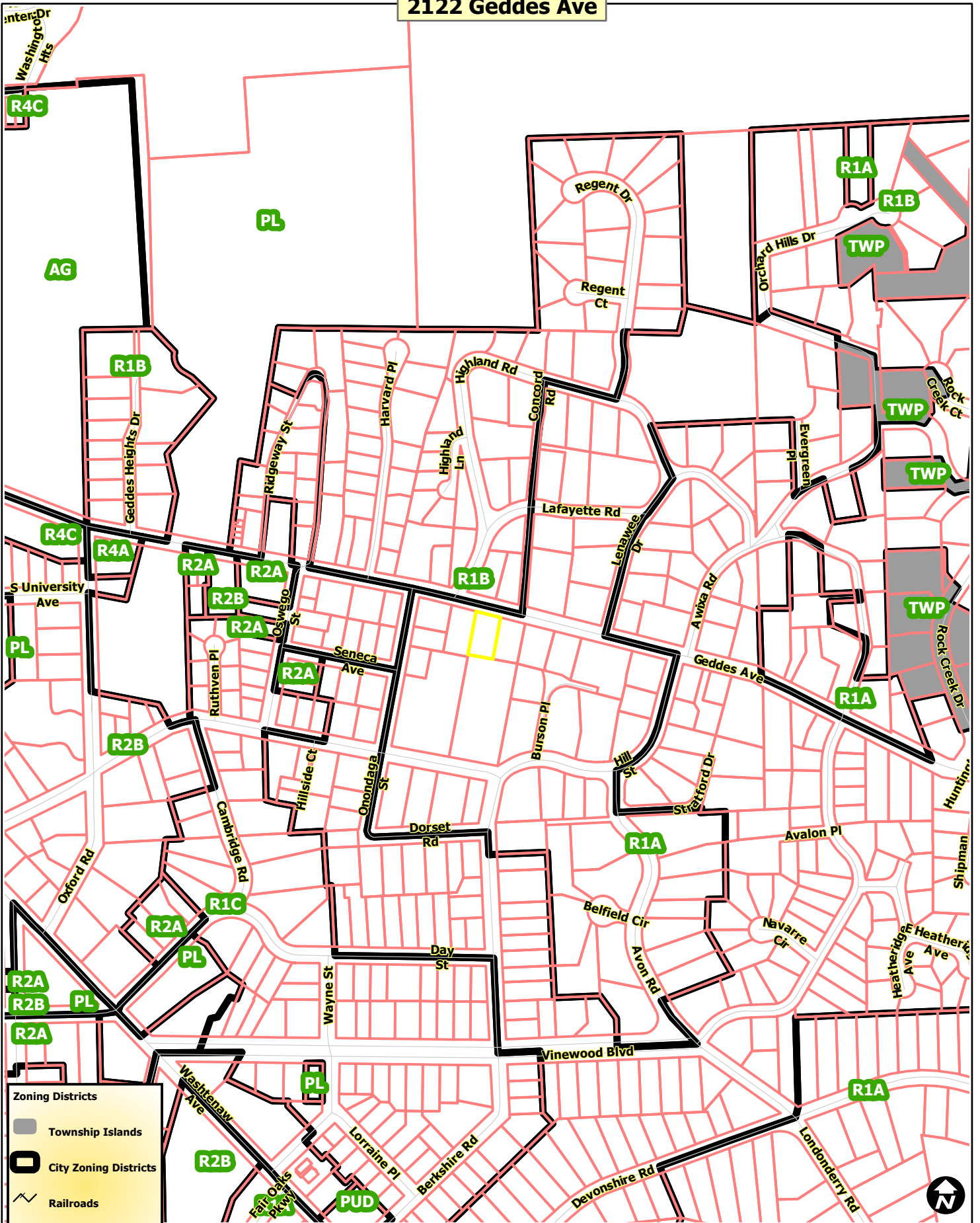
The variance being requested will allow for a walkout basement garage, first and second floors with ceiling heights that are typical of new custom single-family homes. The 9-foot six-inch ceiling heights will accommodate ductwork and plumbing between the floors. The home will be a flat roofed structure.

Respectfully submitted,



Jon Barrett-
Zoning Coordinator

2122 Geddes Ave



Zoning Districts

- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels



Map date: 6/3/2021
 Any aerial imagery is circa 2020 unless otherwise noted
 Terms of use: www.a2gov.org/terms

2122 Geddes Ave



- Railroads
- Huron River
- Tax Parcels





Map date: 6/3/2021
Any aerial imagery is circa 2020 unless otherwise noted
Terms of use: www.a2gov.org/terms


2122 Geddes Ave

Highland Rd

Geddes Ave

 Railroads

 Huron River

 Tax Parcels



Map date: 6/3/2021
Any aerial imagery is circa 2020
unless otherwise noted
Terms of use: www.a2gov.org/terms



ZONING BOARD OF APPEALS APPLICATION

City of Ann Arbor Planning Services

City Hall: 301 E Huron Street Ann Arbor, MI 48107-8647

Phone: 734-794-6265 Fax: 734-794-8460 Email: planning@a2gov.org

PROPERTY INFORMATION

ADDRESS OF PROPERTY 2122 Geddes Ave		ZIP CODE 48104
ZONING CLASSIFICATION R1A	NAME OF PROPERTY OWNER* <i>If different than applicant, a letter of authorization from the property owner must be provided</i> Mauro and Cinthia Gregorio	
PARCEL NUMBER 09-09-27-307-002	OWNER EMAIL ADDRESS MGregorio@dow.com	

APPLICANT INFORMATION

NAME Theresa L. Angelini			
ADDRESS 200 Huronview Blvd	CITY Ann Arbor	STATE MI	ZIP CODE 48104
EMAIL tangelini@angeliniarchitects.com		PHONE 734-998-0735	
APPLICANT'S RELATIONSHIP TO PROPERTY Architect			

REQUEST INFORMATION

<input checked="" type="checkbox"/> VARIANCE REQUEST Complete Section 1 of this application	<input type="checkbox"/> REQUEST TO ALTER A NONCONFORMING STRUCTURE Complete Section 2 of this application
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REQUIRED MATERIALS	OFFICE USE ONLY				
<p>One hard copy application complete with all required attachments must be submitted. Digital copies of supportive materials included in the submitted hard copy will only be accepted in PDF format by email or accompanying the hard copy application on a USB flash drive.</p> <p>Required Attachments:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Boundary Survey of the property including all existing and proposed structures, dimensions of property, and area of property. <input checked="" type="checkbox"/> Building floor plans showing interior rooms, including dimensions. <input checked="" type="checkbox"/> Photographs of the property and any existing buildings involved in the request. 	<table border="1"> <tr> <td>Fee Paid:</td> <td>ZBA:</td> </tr> <tr> <td colspan="2" style="text-align: center;">DATE STAMP</td> </tr> </table>	Fee Paid:	ZBA:	DATE STAMP	
Fee Paid:	ZBA:				
DATE STAMP					

ACKNOWLEDGEMENT

All information and materials submitted with this application are true and correct.

Permission is granted to City of Ann Arbor Planning Services and members of the Zoning Board of Appeals to access the subject property for the purpose of reviewing the variance request.

Property Owner Signature : Theresa L. Angelini (architect) Date: 05.26.21

Section 1 City of Ann Arbor Planning Services – Zoning Board of Appeals Application

VARIANCE REQUEST

ARTICLE(S) AND SECTION(S) FROM WHICH A VARIANCE IS REQUESTED: (Example: Article 3, Section 5.26)

5.37.2 Building Height, as per city definition, Table 517-1: R1A Max. height of 30 feet

REQUIRED DIMENSION: (Example: 40' front setback)

Feet: Inches:

PROPOSED DIMENSION: (Example: 32 foot 8 inch front setback)

Feet: Inches: north, 30'-4" on east

DESCRIPTION OF PROPOSED WORK AND REASON FOR VARIANCE:

Construction of a new single family home with a walkout/garage level and two stories above on a steeply sloping site that has a difference of 24 feet in the north/south direction. Within the setbacks, the buildable area of the site varies 17'-9"

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:29. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when all of the following statements are found to be true. Please provide a complete response to each of the statements below.

The alleged practical difficulties are exceptional and peculiar to the property of the Person requesting the variance, and result from conditions that do not exist generally throughout the City.

The topography is unique to this property. The elevation at the driveway curbcut is 900. The garage door elevation is then at 906'-9", a rise of almost 7 feet over 35 ft. with a driveway apron. The basement level is then at 908. The first floor level is at 919, in order to walk out the back.

The alleged practical difficulties that will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.

A failure to grant this variance yields this site unbuildable for a two story home on a walkout garage/basement level, which is a typical condition of homes found throughout the Geddes/Arboretum/Ann Arbor Hills Area.

Allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the practical difficulties that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.

Allowing the variance allows a home to be built that is of equal value to the homes in the neighborhood - a two story home on a basement. The variation in the topography is the hardship. The house to the east is 34' from this property while the main house to the west is 44' away.

The conditions and circumstances on which the variance request is based shall not be a self-imposed practical difficulty.

The owners purchased the property with the previous home demolished. The proposed home is set into the hillside with the garage walkout on the north and the first floor living space above has access to a patio set into the hillside at the south. The family bedrooms are on the second floor.

A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.

The variance requested allows a walkout basement garage, first floor, and second floor with ceiling heights typical of new custom single family homes - 9'-6" with structure to accomodate ductwork and plumbing between floors. The house also has a flat roof.

Mauro and Cinthia Gregorio
6002 Shirewood Circle
Midland, MI 48642
MGregorio@dow.com

Jon Barrett
Zoning Coordinator
City of Ann Arbor Planning & Development Services
301 E. Huron Street
Ann Arbor, MI 48107

May 20, 2021

Re: 2122 Geddes Ave.
Ann Arbor, MI 48104
Tax ID 09-09-27-307-002
Zoning Variance Request

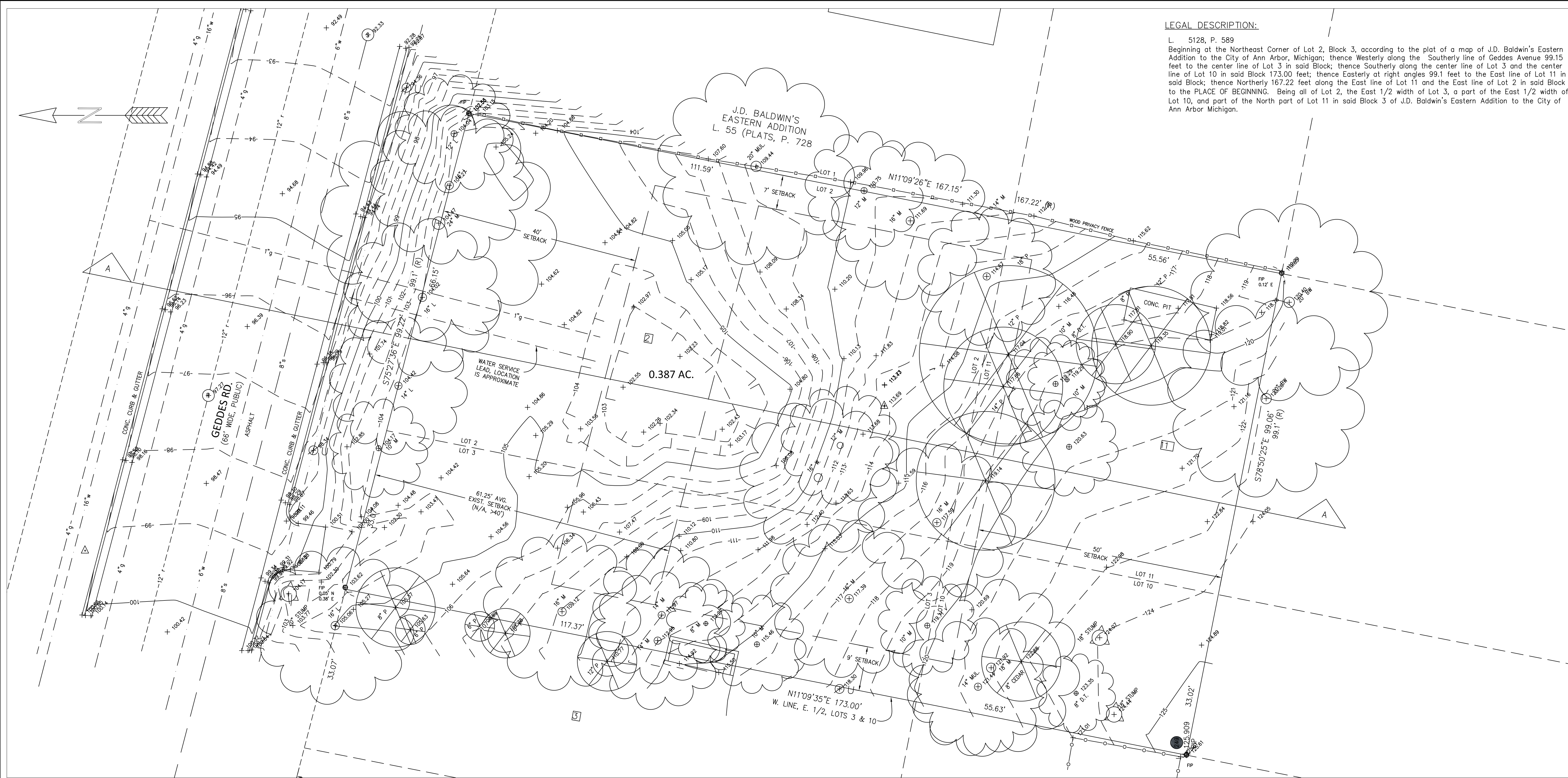
Dear Mr. Barrett,

As owners of the property at 2122 Geddes Ave., Ann Arbor 48104, we hereby authorize Theresa Angelini or Bradford Angelini of Angelini & Associates Architects to request a zoning variance for our property and speak on our behalf.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Mauro or Cinthia Gregorio', with a long horizontal flourish extending to the right.

Mauro or Cinthia Gregorio



LEGAL DESCRIPTION:

L. 5128, P. 589
 Beginning at the Northeast Corner of Lot 2, Block 3, according to the plot of a map of J.D. Baldwin's Eastern Addition to the City of Ann Arbor, Michigan; thence Westerly along the Southerly line of Geddes Avenue 99.15 feet to the center line of Lot 3 in said Block; thence Southerly along the center line of Lot 3 and the center line of Lot 10 in said Block 173.00 feet; thence Easterly at right angles 99.1 feet to the East line of Lot 11 in said Block; thence Northerly 167.22 feet along the East line of Lot 11 and the East line of Lot 2 in said Block to the PLACE OF BEGINNING. Being all of Lot 2, the East 1/2 width of Lot 3, a part of the East 1/2 width of Lot 10, and part of the North part of Lot 11 in said Block 3 of J.D. Baldwin's Eastern Addition to the City of Ann Arbor Michigan.

Arbor Land Consultants, Inc.
 Professional Land Surveyors
 2936 S. Madrone
 Ann Arbor, MI 48103
 (734) 669-2960
 Fax 669-2961
 www.arborlandinc.com

CLIENT: ANGELINI & ASSOCIATES
 TOPOGRAPHIC SURVEY
 #2122 GEDDES AVENUE

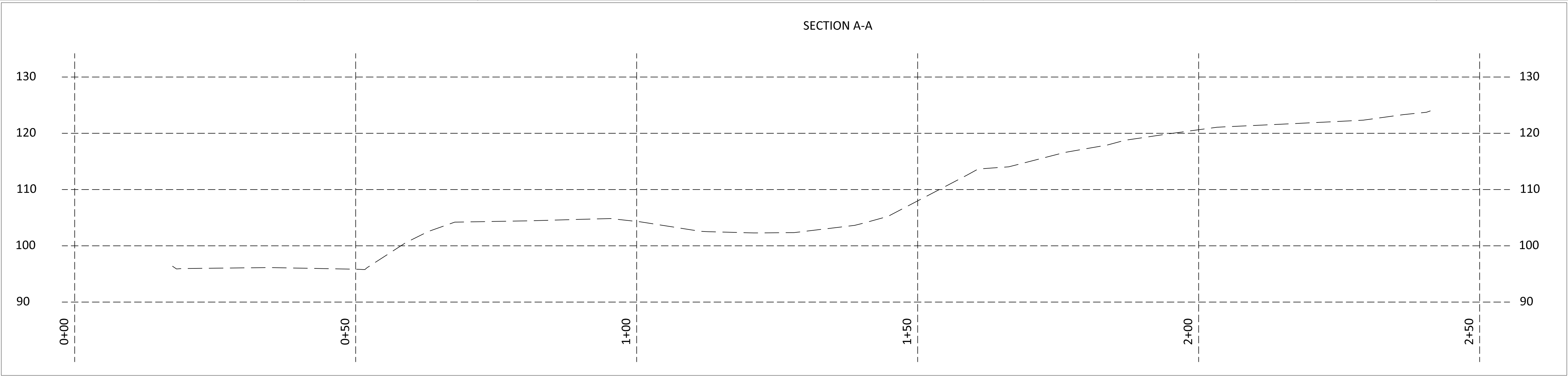
SECTION CORNER
 FOUND IRON PIPE
 FOUND IRON ROD
 SET IRON PIPE
 SET IRON ROD
 FOUND M.C. NAIL
 SET WOOD LATH
 CONTROL POINT
 MEASURED DIMENSION
 RECORDED DIMENSION
 SURFACE FLOW

WATER MANHOLE
 FIRE HYDRANT
 GATE VALVE
 BEEHIVE CATCH BASIN
 CURB CATCH BASIN
 STORM MANHOLE
 CULVERT/END SECTION
 SANITARY MANHOLE
 LIGHT POLE
 UTILITY POLE
 TELEPHONE RISER
 GAS MAIN RISER

ELECTRIC LINE
 GAS MAIN
 WATER MAIN
 STORM LINE
 SANITARY LINE
 CABLE TV LINE
 PHONE LINE
 CHAIN LINK FENCE
 BARBED WIRE FENCE

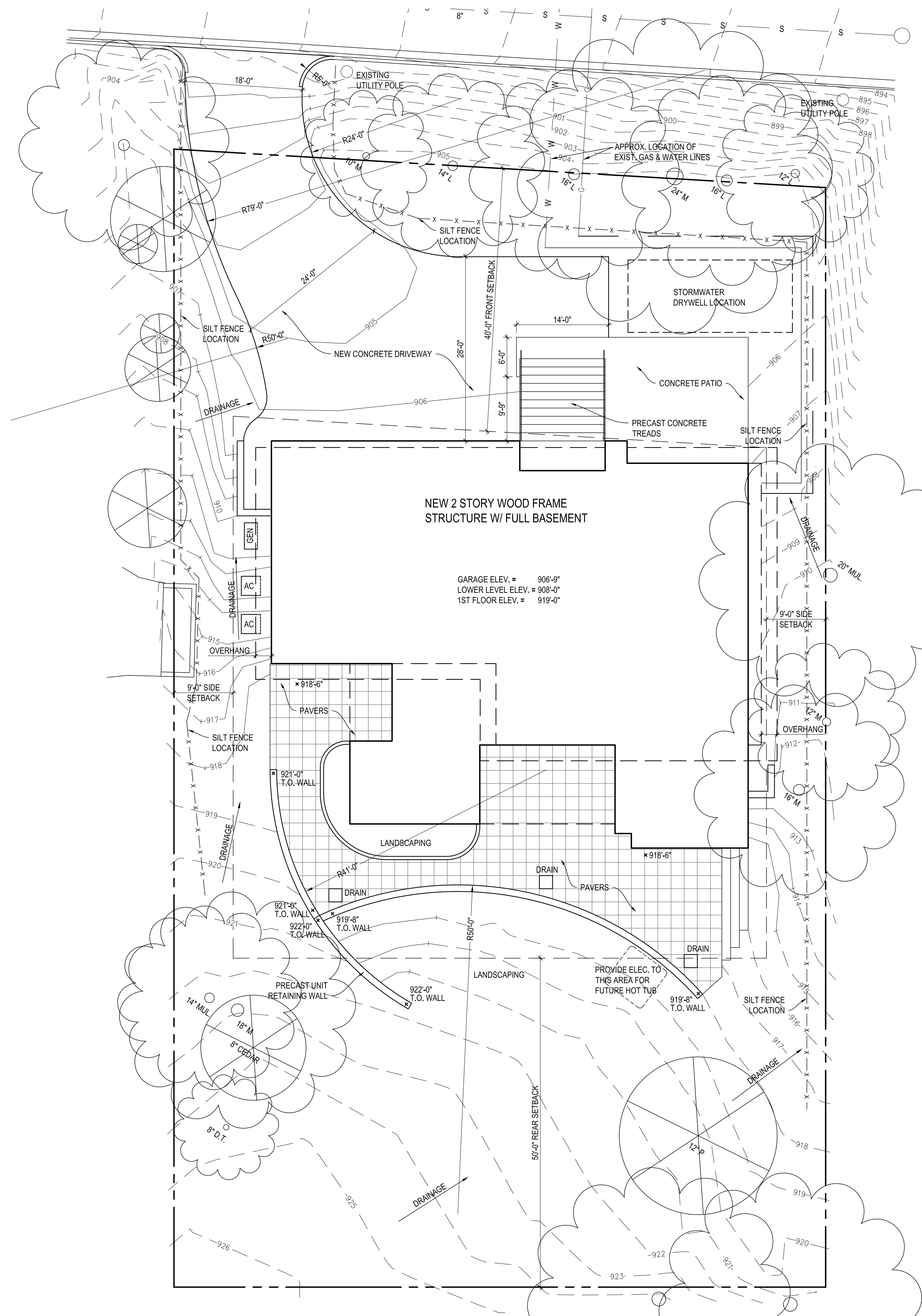
UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE UNDERGROUND UTILITIES SHOWN EITHER IN SERVICE OR ABANDONED, ARE IN THE EXACT LOCATION INDICATED FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES AND THEREFORE THE LOCATION OF THE UTILITIES SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION.



Gregorio Residence

2122 Geddes Ave., Ann Arbor, Michigan



LEGAL DESCRIPTION (BY OTHERS)

L. 5128, P. 589
Beginning at the Northeast Corner of Lot 2, Block 3, according to the plat of a map of J.D. Baldwin's Eastern Addition to the City of Ann Arbor, Michigan; thence Westerly along the Southerly line of Geddes Avenue 99.15 feet to the center line of Lot 3 in said Block; thence Southerly along the center line of Lot 3 and the center line of Lot 10 in said Block 173.00 feet; thence Easterly at right angles 99.1 feet to the East line of Lot 11 in said Block; thence Northerly 167.22 feet along the East line of Lot 11 and the East line of Lot 2 in said Block to the PLACE OF BEGINNING. Being all of Lot 2, the East 1/2 width of Lot 3, a part of the East 1/2 width of Lot 10, and part of the North part of Lot 11 in said Block 3 of J.D. Baldwin's Eastern Addition to the City of Ann Arbor Michigan.

BUILDING DATA

	FINISHED	UNFINISHED
LOWER LEVEL	432 S.F.	1837 S.F.
GARAGE		1118 S.F.
FIRST FLOOR	3116 S.F.	
SECOND FLOOR	2108 S.F.	
TOTAL AREA	5656 S.F.	2955 S.F.

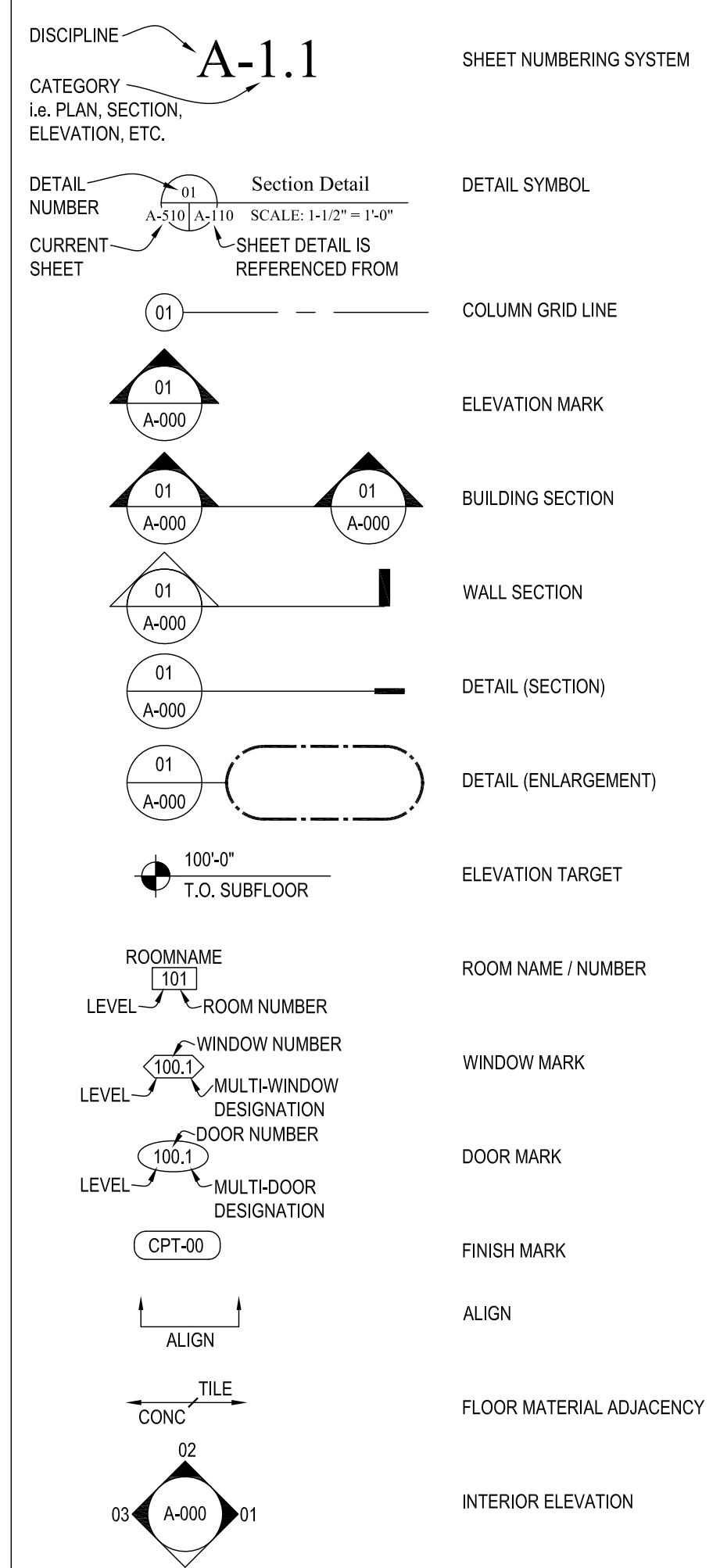
ZONING DATA

ZONING	R1A
SETBACKS	REQUIRED PROVIDED
FRONT	40 FEET 40'-3"
REAR	50 FEET 66'-9"
SIDE	MIN. 7 FEET, TOTAL OF 18' 9'-6" & 14'-10"

AVERAGE ELEVATION CALCULATION

	HIGH POINT	LOW POINT	AVERAGE ELEVATION	BUILDING HEIGHT
NORTH ELEVATION	907'-4"	906'-9"	907' 0-1/2"	34' 3-1/2"
EAST ELEVATION	915'-0"	907'-4"	911'-2"	30'-4"
WEST ELEVATION	918'-6"	906'-9"	912' 7-1/2"	28' 10-1/2"
SOUTH ELEVATION	918'-6"	915'-0"	916'-9"	24'-9"

ARCHITECTURAL SYMBOLS



GENERAL NOTES

- Drawings are intended for a sheet size of 24" x 36". Do not scale drawings. Use written dimensions.
- See specifications for more information pertaining to the work.
- Horizontal dimensions shown indicate centerline of column, face of (F.O.) concrete and F.O. stud - unless otherwise noted. Dimensions to existing work indicate face of (F.O.) finish. Vertical dimensions shown indicate top of (T.O.) concrete, T.O. subfloor and T.O. steel - unless otherwise noted.
- Dimensions on Interior Elevations are to finishes, except for plumbing fixtures, which are to rough framing.
- The contractor shall visit the site and be knowledgeable of conditions thereon. Contractor to field verify all existing conditions and all dimensions pertaining to the work prior to commencing construction. Provide written notification to the architect of any discrepancies with the documents. The architect will issue a written directive if further clarification is required.
- The contractor shall verify accuracy of survey information, and shall perform additional site surveys to ensure accurate placement of building on the site.
- Details shown are intended to describe scope and profile. Where details have not been provided, the work is intended to be similar in character to those areas detailed. Where specific dimensions, details, or design intent cannot be determined, consult architect prior to proceeding with the work.
- All work shall comply with all applicable codes and governing authorities, federal and local standards, and shall meet or exceed industry standard for each trade.
- The contractor shall coordinate all joist penetrations, slab & wall openings required by plumbing, mechanical & electrical trades before any such work begins.
- All pipes, ducts, risers, and other elements that penetrate floors shall be installed in a manner that will preserve fire resistive and structural integrity of the building.
- Should there be any conflict(s) between or within drawings and/or specifications which are not resolved in writing by the architect prior to receipt of bids, that which requires the highest degree of performance quality, quantity, strength, finish, completion, complexity, sophistication, cost, etc., will be required and shall be provided at no increase in contract amount. All such conflicts must be referred to architect immediately upon discovery.

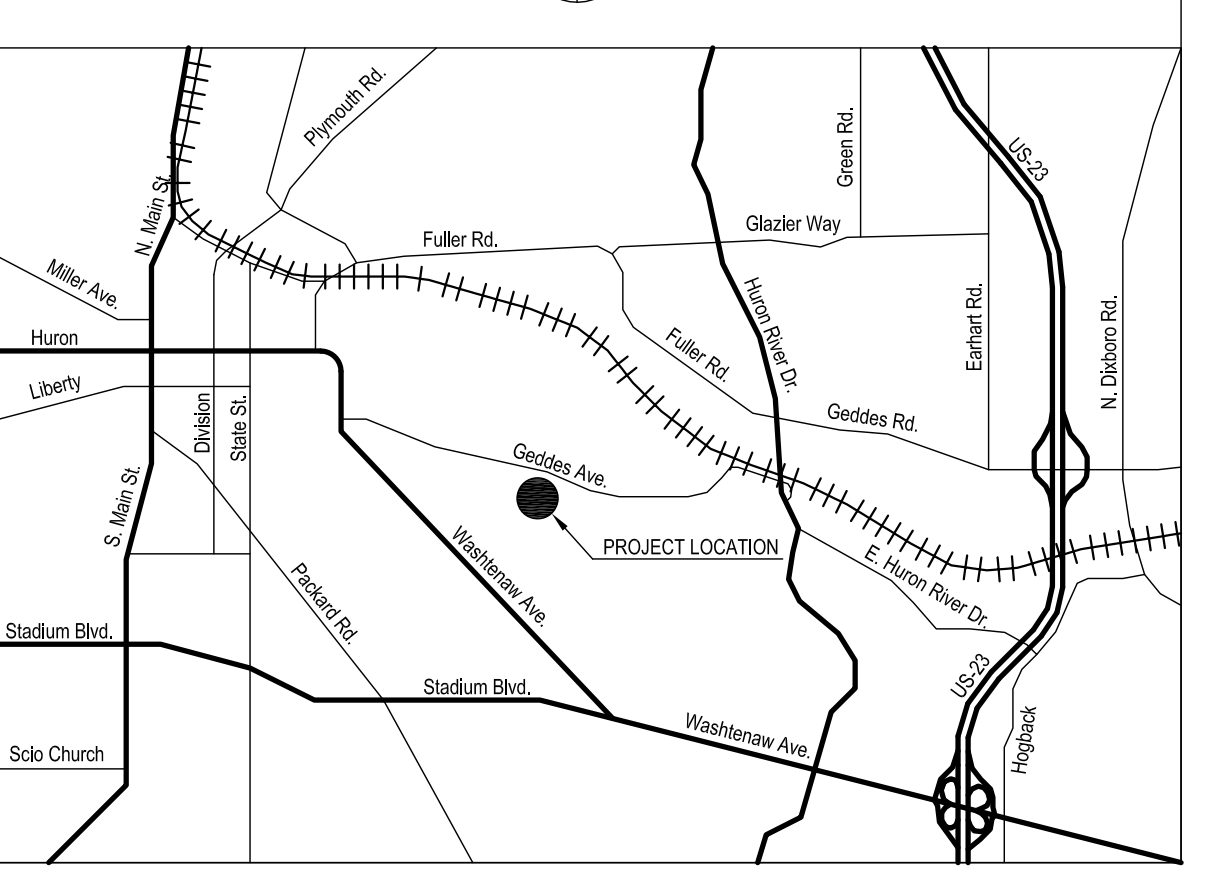
ARCHITECTURAL ABBREVIATIONS

ALUM.	ALUMINUM	HGT	HEIGHT
B.O.	BOTTOM OF	INSUL.	INSULATION / INSULATE
BSMT	BASEMENT	MIN.	MINIMUM
BTWN.	BETWEEN	M.O.	MASONRY OPENING
C.J.	CONTROL JOINT	MTL	METAL
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL.	COLUMN	O.H.	OPPOSITE HAND
CONC.	CONCRETE	P. LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	P.F.	PREFINISHED
E.J.	EXPANSION JOINT	RCP	REFLECTED CEILING PLAN
ELEC.	ELECTRICAL	REINF.	REINFORCEMENT
ELEV.	ELEVATION	REQD.	REQUIRED
EX.	EXISTING	R.O.	ROUGH OPENING
EXP.	EXPANSION	R.O.H.	RIGHT OF WAY
EXT.	EXTERIOR	SIM.	SIMILAR
F.O.	FACE OF	SF	SQUARE FEET
FIN.	FINISH	STL.	STEEL
FLR	FLOOR	TBD	TO BE DETERMINED
FNDTN	FOUNDATION	TYP.	TYPICAL
GALV.	GALVANIZED	T.O.	TOP OF
GYP. BD.	GYPSUM BOARD	W	WITH

SHEET INDEX

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	A-4.2 Interior Elevations
	A-4.3 Interior Elevations
	A-4.4 Interior Elevations
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A-1.2 Second Floor Plan	S-1.2 Second Floor Framing Plan
A-1.3 Roof Plan	S-1.3 Roof Framing Plan
A-2** ELEVATIONS	S-2.1 Structural Details
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A-2.3 Window Elevations	
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A-3.2 Building Sections	E-1.2 Second Floor Electrical Plan
A-3.3 Building Sections, Wall Sections	
A-3.4 Wall Sections	
A-3.5 Wall Sections	
A-3.6 Section Details	
A-3.7 Section Details, Plan Details	
A-3.8 Stair Details	

LOCATION MAP



04.09.21 For Permit
05.20.21 Variance Application

10.30.20 Review
11.13.20 Review
12.04.20 Pre-Bid Meetings
12.08.20 Bid Set
03.19.21 Addendum #1 -
Contract Set

PREPARED FOR: Gregorio Residence
PROJECT ADDRESS: 2122 Geddes Ave. Ann Arbor, MI 48104
PROJECT NUMBER: 1868-09

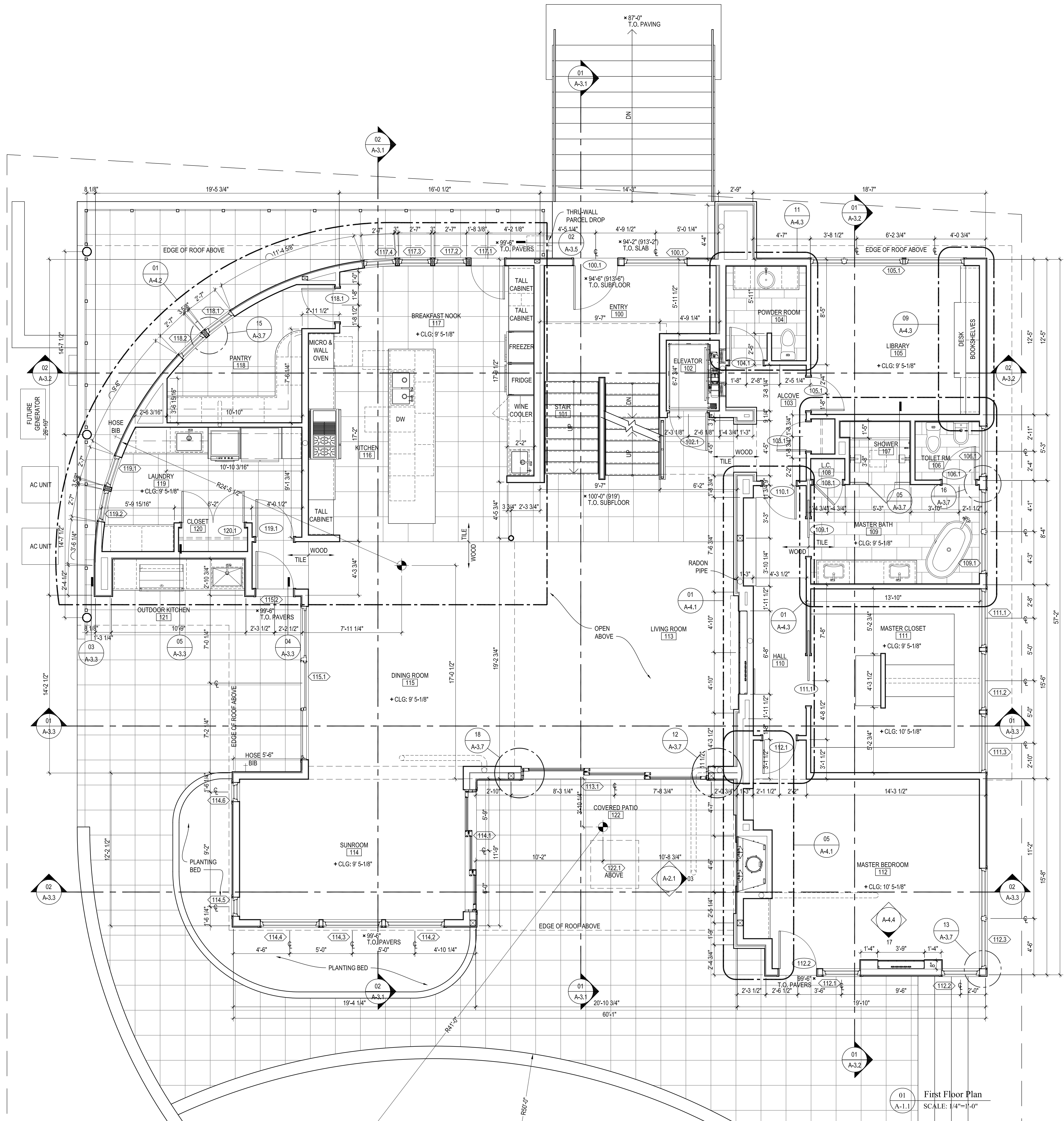
PROJECT NAME: Gregorio Residence

CONSULTANT: Angelini & Associates Architects
113 East Ann Street
Ann Arbor, MI 48104
(734) 998-0735

ARCHITECT / ENGINEER SEAL

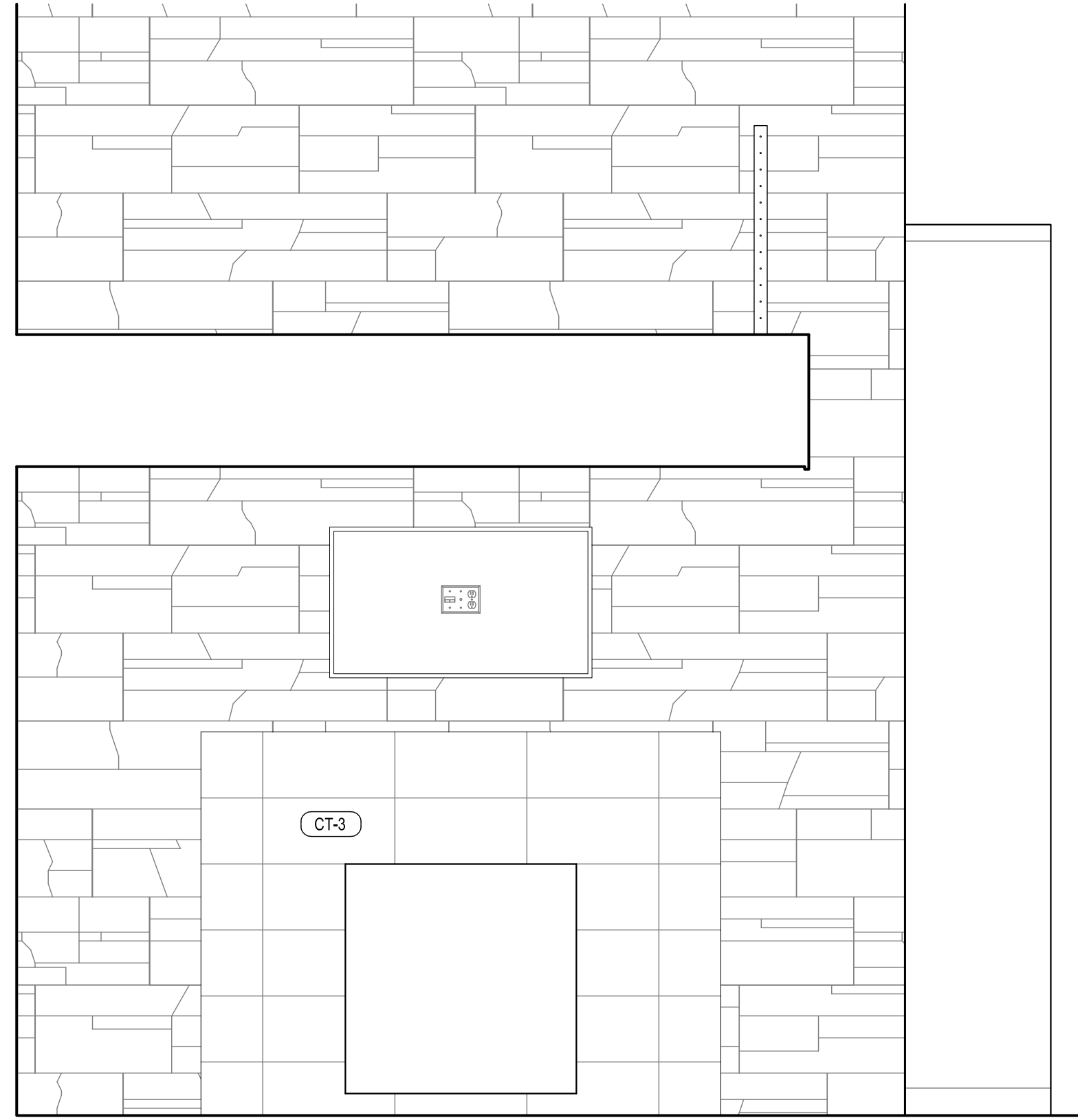
SHEET TITLE: Cover Sheet, Proposed Site Plan

SHEET #: C-1.1

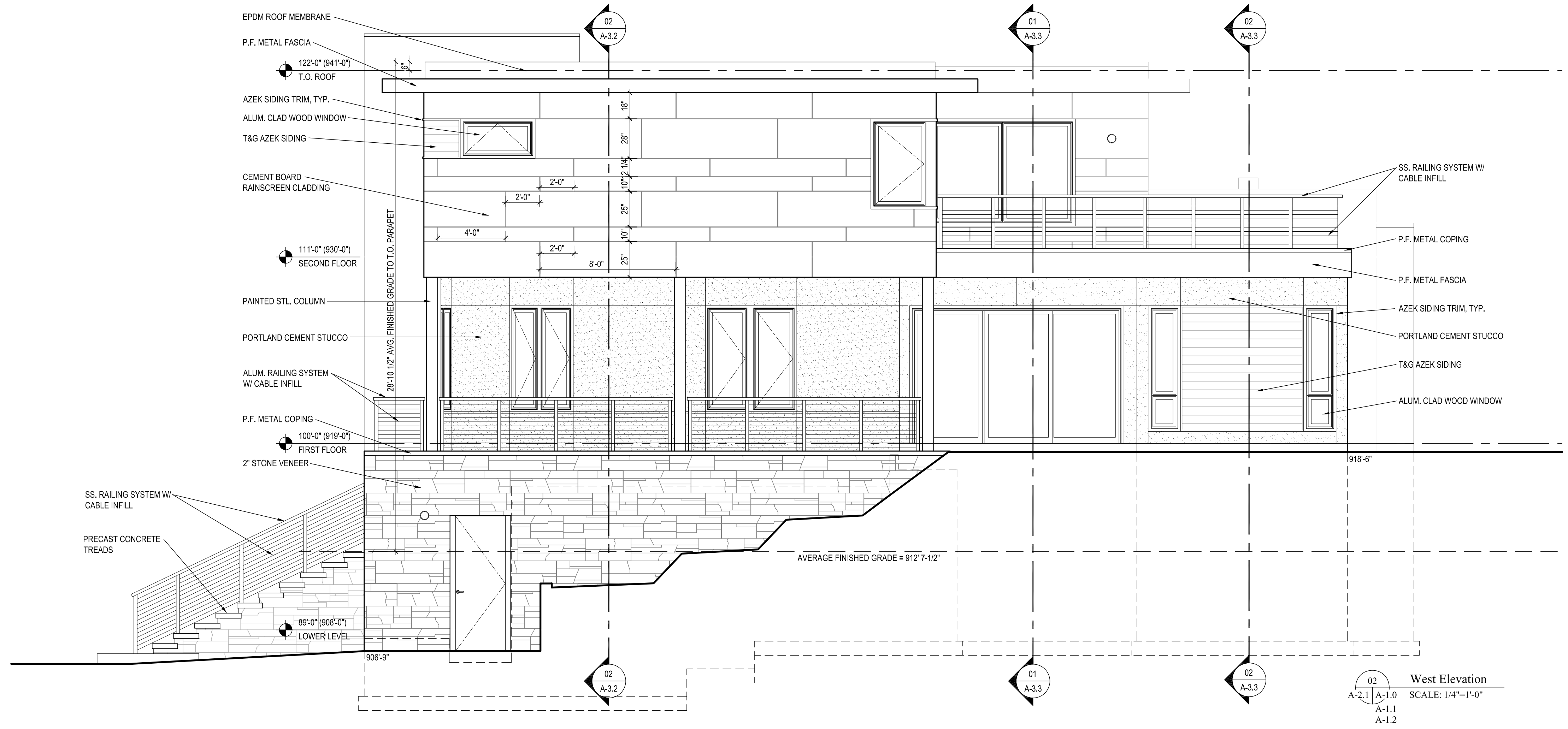


01 First Floor Plan
A-1.1 SCALE: 1/4"=1'-0"

PROJECT NAME	Gregorio Residence		
PROJECT ADDRESS	2122 Geddes Ave. Ann Arbor, MI 48104		
CONSULTANT	Angelini & Associates Architects 113 East Ann Street Ann Arbor, MI 48104 (734) 998-0735		
ARCHITECT / ENGINEER SEAL			
SHEET TITLE	First Floor Plan		
SHEET #	A-1.1		
PREPARED FOR	PROJECT # 1868-09		
10.30.20	Review	04.09.21	For Permit
11.13.20	Review	05.20.21	Variance Application
12.04.20	Pre-Bid Meetings		
12.08.20	Bid Set		
03.19.21	Addendum #1 - Contract Set		



03 Outdoor Fireplace Elevation
A-2.1 A-1.1 SCALE: 1/2"=1'-0"

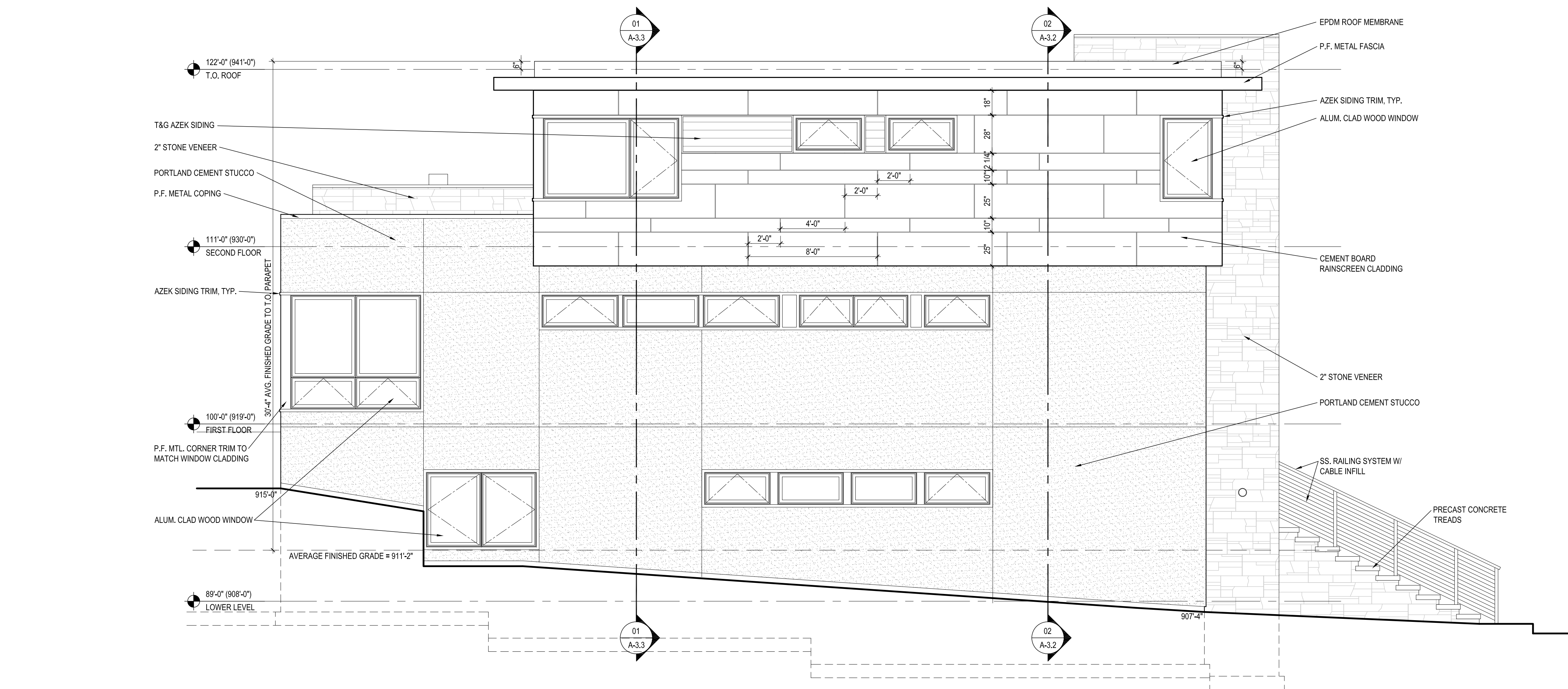


02 West Elevation
A-2.1 A-1.0
A-1.1 A-1.2 SCALE: 1/4"=1'-0"

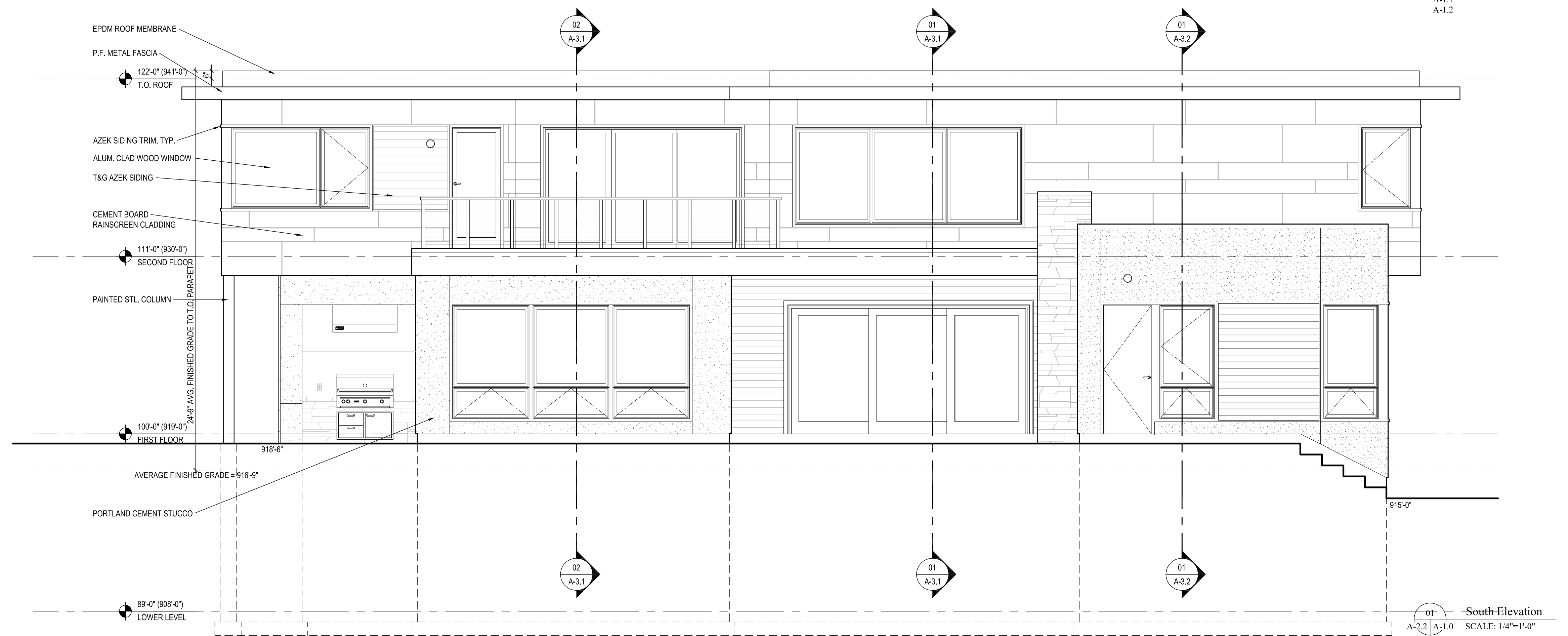


01 North Elevation
A-2.1 A-1.0
A-1.1 A-1.2 SCALE: 1/4"=1'-0"

PROJECT NAME	Gregorio Residence	
PROJECT ADDRESS	2122 Geddes Ave. Ann Arbor, MI 48104	
CONSULTANT	Angelini & Associates Architects 113 East Ann Street Ann Arbor, MI 48104 (734) 998-0735	
ARCHITECT / ENGINEER SEAL		
SHEET TITLE	Exterior Elevations	
SHEET #	A-2.1	
PREPARED FOR	-	PROJECT # 1868-09
10.30.20 Review	11.13.20 Review	12.08.20 Pre-Bid Meetings
04.09.21 For Permit	05.20.21 Variance Application	03.19.21 Addendum #1 - Contract Set



02 East Elevation
A-2.2 A-1.0 SCALE: 1/4"=1'-0"
A-1.1
A-1.2



01 South Elevation
A-2.2 A-1.0 SCALE: 1/4"=1'-0"
A-1.1
A-1.2

PROJECT NAME	Gregorio Residence	
PROJECT ADDRESS	2122 Geddes Ave. Ann Arbor, MI 48104	
PREPARED FOR	-	
PROJECT NUMBER	1868-09	
DATE	04.09.21	For Permit
DATE	05.20.21	Variance Application
REVISION	10.30.20	Review
REVISION	11.13.20	Review
REVISION	12.04.20	Pre-Bid Meetings
REVISION	12.08.20	Bid Set
REVISION	03.19.21	Addendum #1
REVISION		Contract Set
CONSULTANT	Angelini & Associates Architects 113 East Ann Street Ann Arbor, MI 48104 (734) 998-0735	
ARCHITECT / ENGINEER SEAL		
SHEET TITLE	Exterior Elevations	
SHEET #	A-2.2	

2122 Geddes Ave. Ann Arbor, MI 48104 – Existing Site, Angelini & Associates Architects



View looking south, up hillside from entry at street



View from Street