

300 W. HURON

CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN SITE PLAN

DESIGN TEAM CONTACTS

APPLICANT / DEVELOPER	ARCHITECT
HAWKEYE HOTELS 2706 JAMES STREET CORALVILLE, IA 52241 P: 319.762.7400 ATTN: SAMIR PATEL	DYNAMIK DESIGN 5901 PEACHTREE DUNWOODY ROAD BUILDING C, SUITE 250 ATLANTA, GA 30328 P: 678.506.8830 ATTN: NITIN PATEL
ENGINEER / SURVEYOR / LANDSCAPE ARCHITECT	
NEDERVELD, INC. 3037 MILLER RD. ANN ARBOR, MI 48103 P: 734.929.6963 ATTN: JASON VAN RYN	

UTILITY CONTACTS

THE FOLLOWING UTILITIES ARE LOCATED IN OR NEAR THE RIGHT-OF-WAY FOR THIS PROJECT.
PUBLIC UTILITIES

CITY OF ANN ARBOR PUBLIC WORKS SERVICES UNIT		
PUBLIC WORKS	W.R. WHEELER SVC. CTR 4251 STONE SCHOOL RD.	MOLLY MACIEJEWSKI 734-794-6350
SIGNS/SIGNALS/ STREETLIGHTS	W.R. WHEELER SVC. CTR 4251 STONE SCHOOL RD.	CHUCK FOLTIK 734-794-6361
PRIVATE UTILITIES		
AT&T-PHONE	550 S. MAPLE ANN ARBOR, MI 48103	BRIAN BERRY 734-996-2135
DTE ENERGY-ELECTRIC	WESTERN WAYNE SERVICE CTR 8001 HAGGERTY RD.	STEVE MCCLEAR 734-397-4715
COMCAST-CABLE	27800 FRANKLIN RD. SOUTHFIELD, MI 48034	RON SUTHERLAND 313-999-8300
DTE ENERGY-GAS	17150 ALLEN RD. MELVINDALE, MI 48122	JACK WHYATT 313-701-1355
MCI-PHONE	2400 NORTH GLENFIELD RICHARDSON, TX 75082	DEAN BOYERS 972-729-6016

LEGAL DESCRIPTION (AS SURVEYED)

PART OF BLOCK 1 NORTH, RANGE 1 EAST, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN TRANSCRIPTS, PAGES 152 AND 153, WASHTENAW COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHEAST CORNER OF SAID BLOCK 1; THENCE N88°38'22" W114.18 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTH HURON STREET (82.50 FEET WIDE PUBLIC RIGHT-OF-WAY); THENCE N01°46'11" E 132.00 FEET PARALLEL WITH THE WEST RIGHT-OF-WAY LINE OF NORTH FIRST STREET (66.00 FEET WIDE PUBLIC RIGHT-OF-WAY); PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF SAID SOUTH HURON STREET; THENCE S01°46'11" W 132.00 FEET ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH FIRST STREET TO THE POINT OF BEGINNING CONTAINS 15,072 SQUARE FEET (0.35 ACRES). SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS-OF-WAY OF RECORD.

BENCHMARKS

BENCHMARK #26 ELEV. = 814.07 (NAVD88)
R.R. SPIKE IN SOUTHWEST SIDE OF UTILITY POLE AT THE NORTHWEST CORNER OF N. FIRST STREET AND S. HURON STREET.

BENCHMARK #389 ELEV. = 815.40 (NAVD88)
R.R. SPIKE IN NORTH SIDE OF UTILITY POLE ON EAST SIDE OF N. FIRST STREET 230' +/- NORTH OF S. HURON STREET.

LEED NARRATIVE

THE FOLLOWING NARRATIVE HIGHLIGHTS THE PROJECT'S STRATEGY TO ACHIEVE THE GOLD LEVEL OF LEED CERTIFICATION: INSTALL ENERGY METERING FOR THE BOILER SYSTEM. IN ADDITION, THE PROJECT WILL PURCHASE GREEN POWER OFFSETS COVERING 100% OF THE BUILDING USE.

LOCATION AND TRANSPORTATION
THE PROJECT IS ON A PREVIOUSLY DEVELOPED SITE, IS SURROUNDED BY DIVERSE USES, AND HAS FOUR BUS STOPS WITHIN 1/4 MILE WALKING DISTANCE. THE PROJECT WILL ALSO PROVIDE BICYCLE PARKING, CARPOOL/VANPOOL PARKING, ELECTRIC VEHICLE CHARGING, AND LOW EMITTING HIGH EFFICIENCY VEHICLE PARKING.

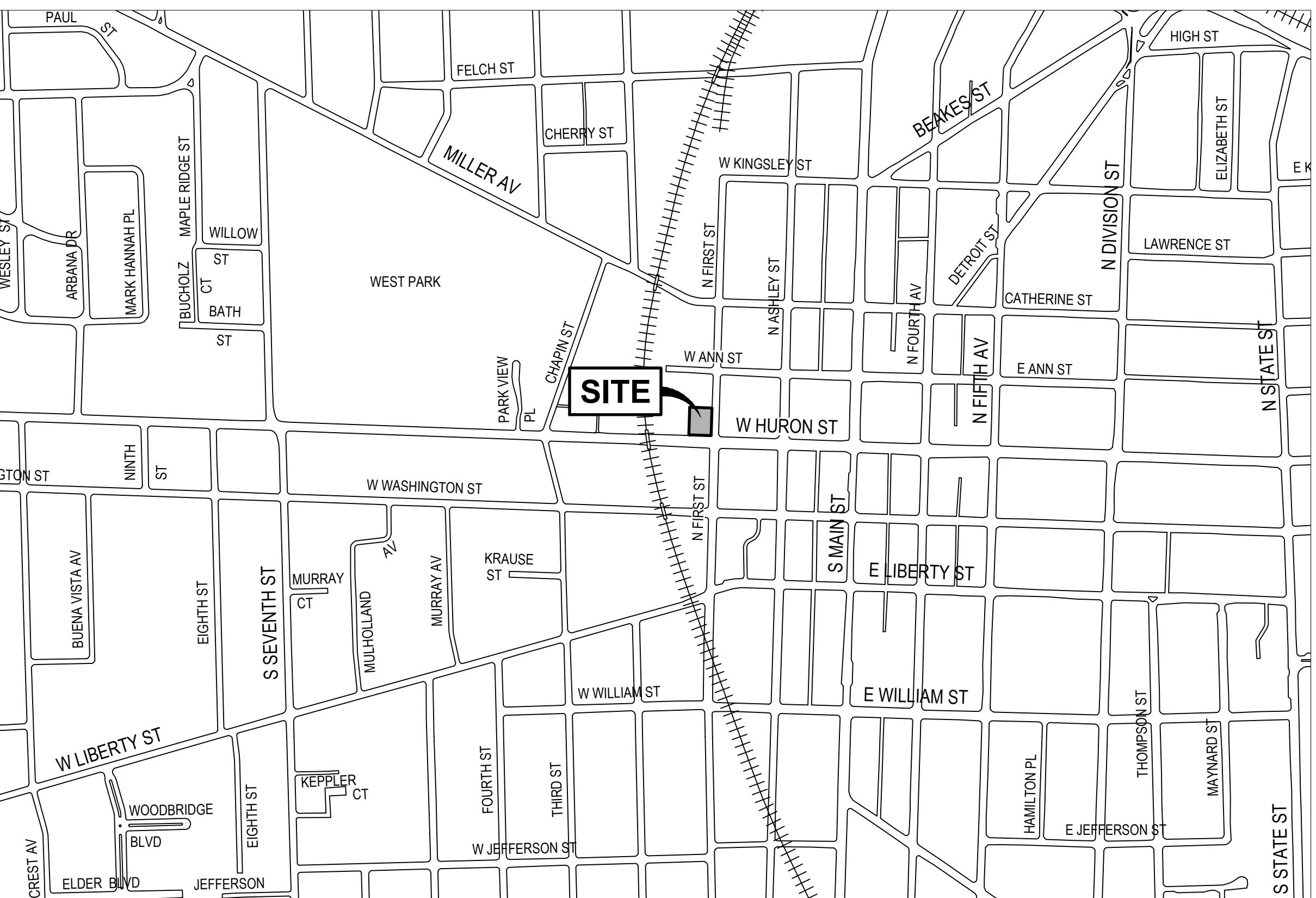
SUSTAINABLE SITES
THE PROJECT WILL MANAGE RAINFALL FROM THE 95th PERCENTILE RAINFALL AND WILL INSTALL LIGHTING THAT MEETS UP-LIGHT AND LIGHT TRESPASS REQUIREMENTS.

WATER EFFICIENCY
THE PROJECT WILL NOT USE OUTDOOR IRRIGATION, WILL REDUCE INDOOR WATER USE BY AT LEAST 30%, AND WILL INSTALL WATER METERING ON TWO WATER SUBSYSTEMS.

ENERGY AND ATMOSPHERE
THE PROJECT WILL PURSUE ENHANCED COMMISSIONING AND REDUCE ENERGY USE BY AT LEAST 18%. THE PROJECT WILL ALSO FOLLOW THE STRATEGY LISTED ABOVE WILL BRING THE PROJECT TO THE LEED GOLD LEVEL OF CERTIFICATION.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THESE LOCATIONS SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANT" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORDS / DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES PRIOR TO NEW CONNECTIONS.



LOCATION MAP

SCALE: 1 INCH = 500 FT

DEVELOPMENT SUMMARY & COMPARISON CHART

	REQUIRED / PERMITTED	EXISTING	PROPOSED
I) ZONING CLASSIFICATION:	D2 DOWNTOWN INTERFACE	D2 DOWNTOWN INTERFACE	D2 DOWNTOWN INTERFACE
II) LOT AREA:	NONE	300 W. HURON = 0.17 ACRES (7,193 SQ.FT.) 308 W. HURON = 0.11 ACRES (4,752 SQ.FT.) 111 N. FIRST ST. = 0.07 ACRES (3,127 SQ.FT.) TOTAL = 0.35 ACRES (15,072 SQ.FT.)	0.35 ACRES (15,072 SQ.FT.)
III) TOTAL AREA OF ALL FLOORS:			43,414 SQ.FT.
FLOOR AREA:	NONE	4,129 SQ.FT.	7,515 SQ.FT. GROUND FLOOR
FLOOR AREA RATIO:	200% (UP TO 400% WITH PREMISUMS)	44.5%	288% (PROPOSED LEED GOLD - MAX. 350% FAR)
IV) OPEN SPACE & ACTIVE OPEN SPACE	MINIMUM OF 10% OF THE LOT AREA AS OPEN SPACE NO DEVELOPMENT SHALL HAVE BUILDING COVERAGE GREATER THAN 80% OF THE LOT AREA	OPEN SPACE = 5,145 SQ.FT. (34 %)	OPEN SPACE = 1,480 SQ.FT. (10 %) ACTIVE OPEN SPACE = NA
V) SETBACKS (FRONT, SIDE & REAR):	FRONT YARD: MAXIMUM IS TEN (10) FEET AT THE STREETWALL; OFF-SET AT TOP OF STREETWALL REQUIRED AVERAGE FEET IS FIVE (5) FEET SIDE YARD: ZERO (0) FEET REAR YARD: ZERO (0) FEET	FRONT YARD (EAST): 8.4 FT FRONT YARD (SOUTH): 12.8 FT REAR YARD (WEST): 5.6 FT REAR YARD (NORTH): 0 FT	FRONT YARD (EAST): 0.4 FT FRONT YARD (SOUTH): 0.2 FT REAR YARD (WEST): 0 FT REAR YARD (NORTH): 1.5 FT
VI) BUILDING HEIGHT & STORIES:	60 FT (MAXIMUM STREETWALL HEIGHT IS THREE (3) STORIES)	-25 FT	60 FT (STREETWALL HEIGHT IS TWO (2) STORIES)
VII) OFF-STREET VEHICULAR PARKING:	43,414 SF (TOTAL FLOOR AREA) - 30,144 SF (200% FAR) = 13,270 SF / 1,000 SF = 14 SPACES (REQUIRED)		ON-SITE REGULAR CAR SPACE (9'x18') = 4 SPACES OFF-SITE REGULAR CAR SPACES (9'x18') = 6 SPACES OFF-SITE CAR-SHARING SPACE (9'x18') = 1 SPACE = 4 REGULAR CAR SPACES TOTAL: 10 REGULAR + 1 CAR-SHARING = 14 SPACES (PROPOSED)
VIII) BICYCLE PARKING, INCLUDING CLASS:	ONE (1) BICYCLE SPACE PER 30 ROOMS = 4 SPACES		4 BICYCLE SPACES PROVIDED (95 ROOMS / 30)
IX) EV PARKING (HOTEL):	25% EV-C 50% EV-R 25% EV-I 4 SPACES PROPOSED (ON SITE): EV-C (25%) = 1 SPACES EV-R (50%) = 2 SPACES EV-I (25%) = 1 SPACES	0 SPACES	4 SPACES PROPOSED (ON SITE): EV-C = NA EV-R = NA EV-I = 4 SPACES
X) VARIANCES OR PLANNED PROJECTS:	NA	NA	NA
XI) BUILDING COVERAGE IN THE D2	80% MAX	EX. BUILDING COVERAGE = 4,129 SQ.FT. / 15,072 SQ.FT. = 0.274 x 100 = 27.4%	PROP. BUILDING COVERAGE = 10,648 SQ.FT. / (EXTERIOR WALL EXTENTS) / 15,072 SQ.FT. = 0.706 x 100 = 70.6%
XII) MAXIMUM BUILDING MODULE LENGTH	66 FT. MAX	NA	-47 FT. (SEE BUILDING MODULE MASSING FOR DETAIL)

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BUILDING ELEVATIONS
BUILDING SECTIONS
BUILDING MODULE MASSING DIAGRAM

PREPARED FOR:
Hawkeye Hotels
Samir Patel
2706 James Street
Coralville, IA 52241
Phone: 319.727.7400

REVISIONS:
Title: DESIGN REVIEW BOARD APPLICATION
Drawn: BC Checked: JVR Date: 2020.08.31

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Title: REVISED PER CITY/WCR/COMMENTS
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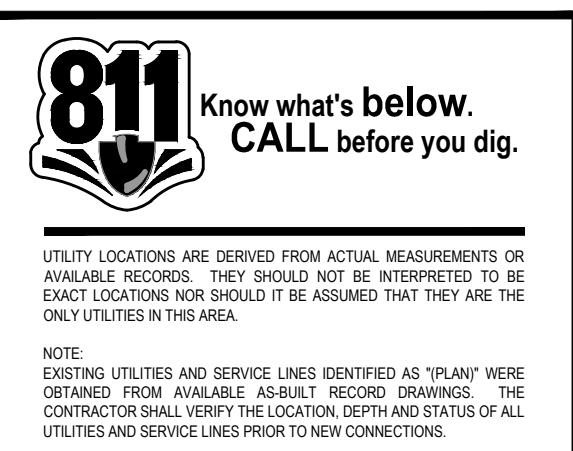
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300 WEST HURON Cover Sheet

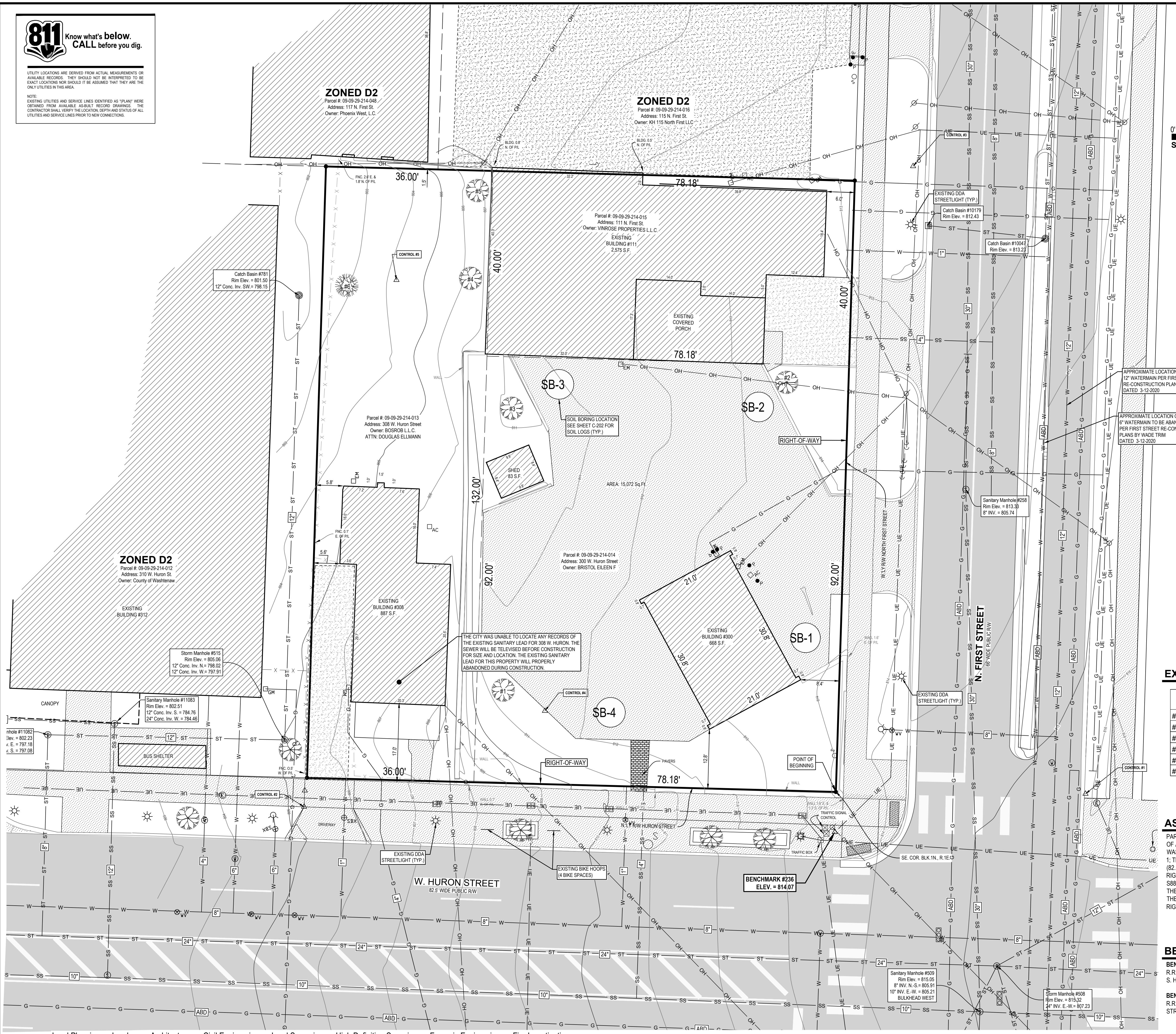
300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

STAMP:
STATE OF MICHIGAN
JASON L. VAN RYN
ENGINEER
No. 54207
PROFESSIONAL ENGINEER
PROJECT NO.: 19500174
SHEET NO.: C-100

150-074-00174-0000
BC 54207/2021 07/01
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Experience . . . the Difference



EXISTING TREE TABLE

ID	Size (In.)	Common Name	Scientific Name	Landmark (X)	Invasive (X)	Removal (X)
#1	8"	Hedge Maple	Acer campestre			X
#2	8" Twin	Crabapple	Malus spp.			X
#3	8"	Basswood	Tilia spp.			X
#4	10"	Amur Maple	Acer ginnala		X	X
#5	16"	Amur Maple	Acer ginnala		X	X
#6	12"	Spruce	Picea abies			X

AS SURVEYED DESCRIPTION

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BENCHMARKS

BENCHMARK #236 ELEV. = 814.07 (NAVD88)
R.R. SPIKE ON SOUTHWEST SIDE OF UTILITY POLE AT THE NORTHWEST CORNER OF N. FIRST STREET AND S. HURON STREET.

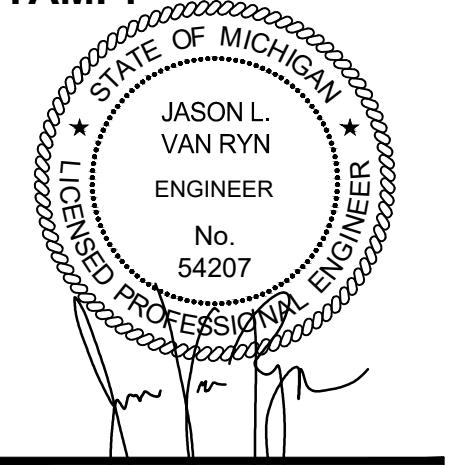
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R.R. SPIKE IN NORTH SIDE OF UTILITY POLE ON EAST SIDE OF N. FIRST STREET 230'+/- NORTH OF S. HURON STREET.

300 WEST HURON

Existing Site Conditions Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR
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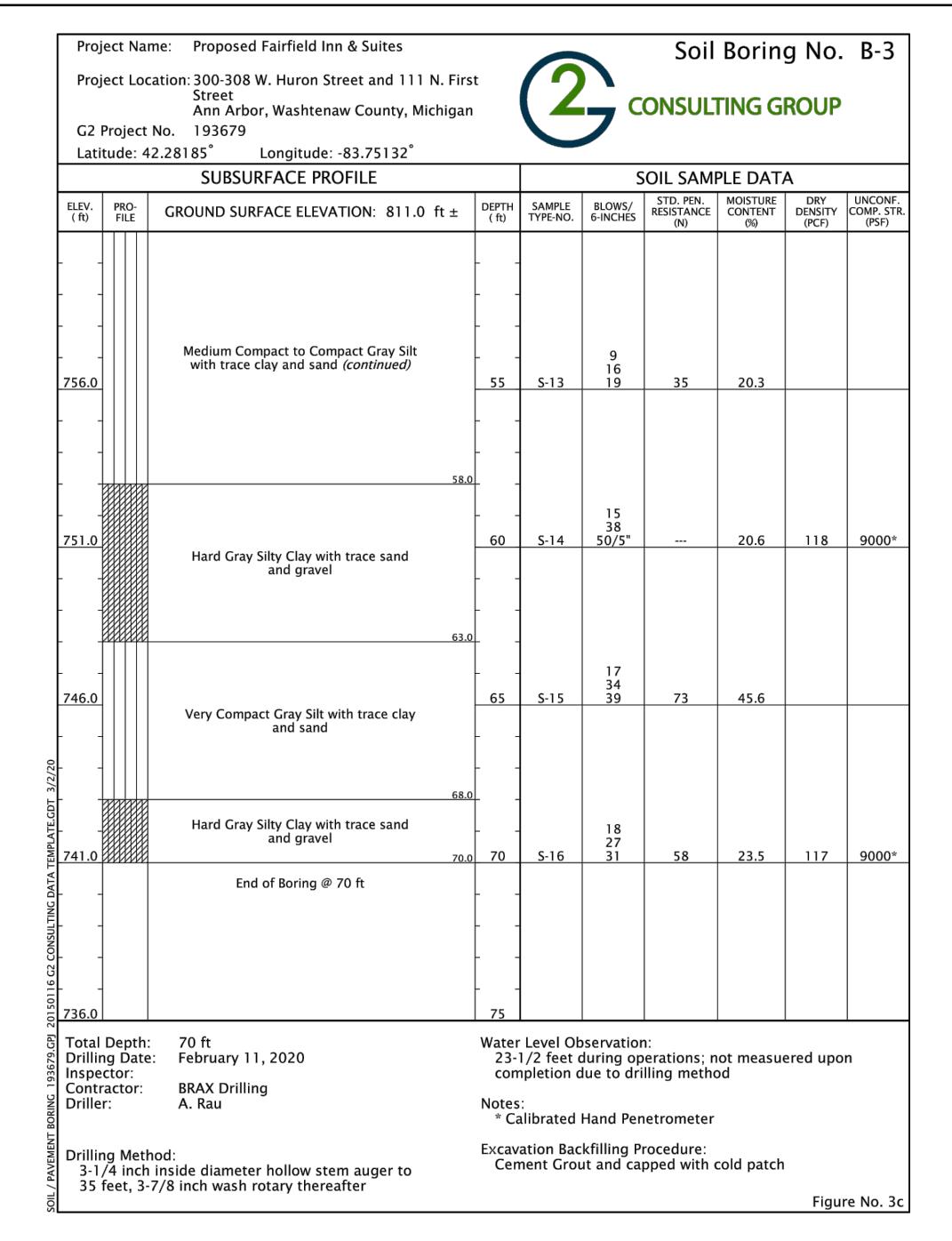
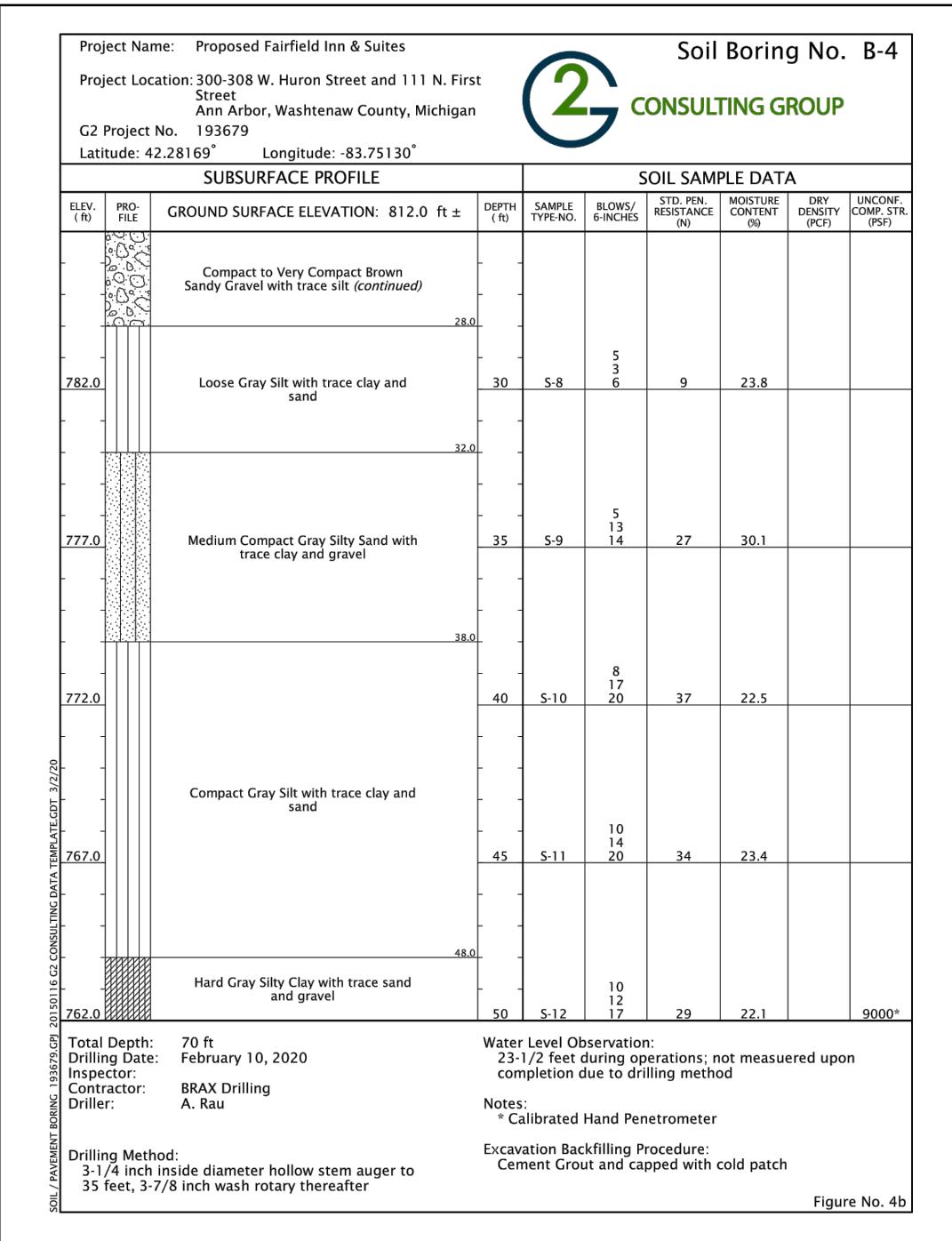


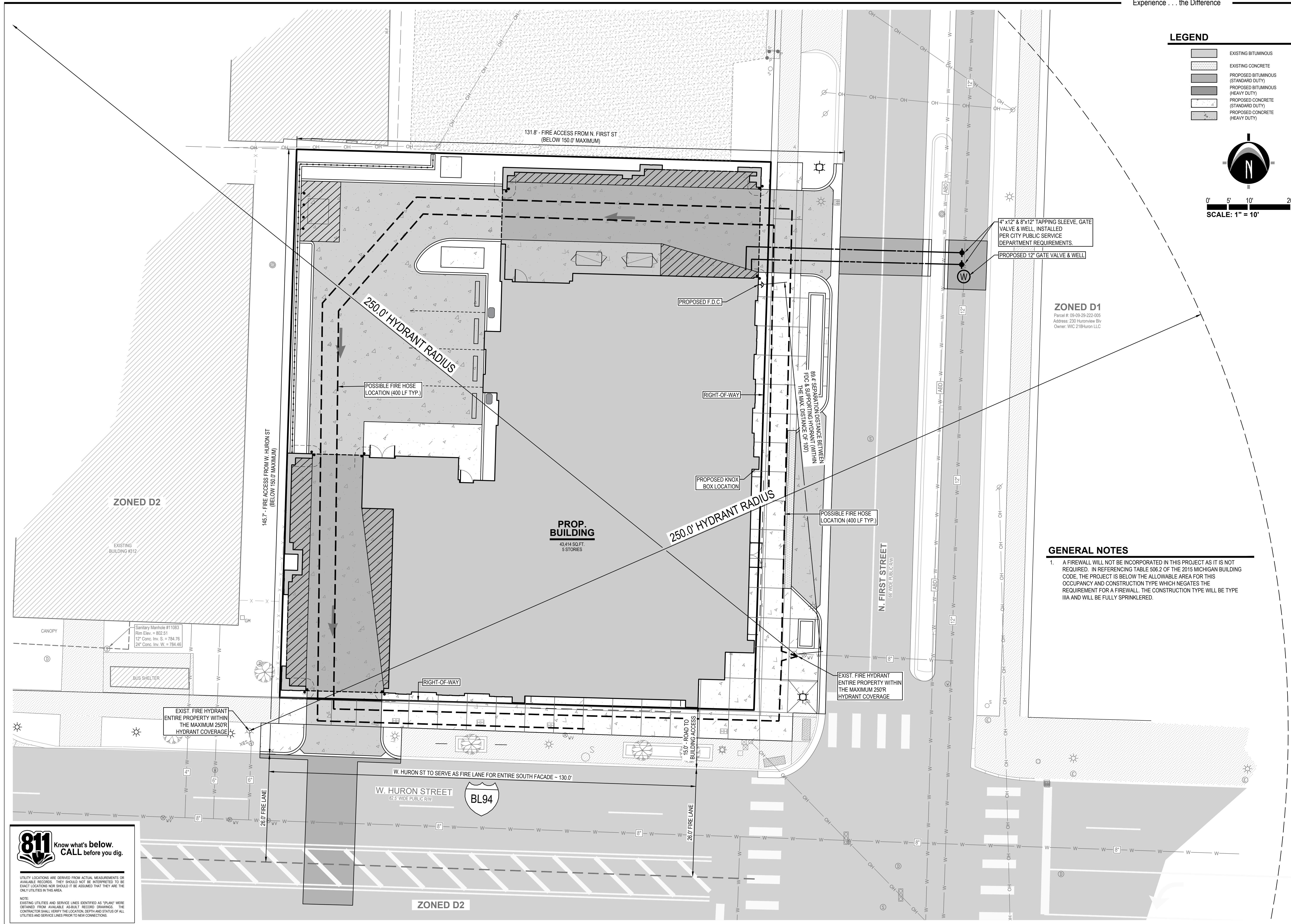
PROJECT NO:

19500174

SHEET NO:

C-201



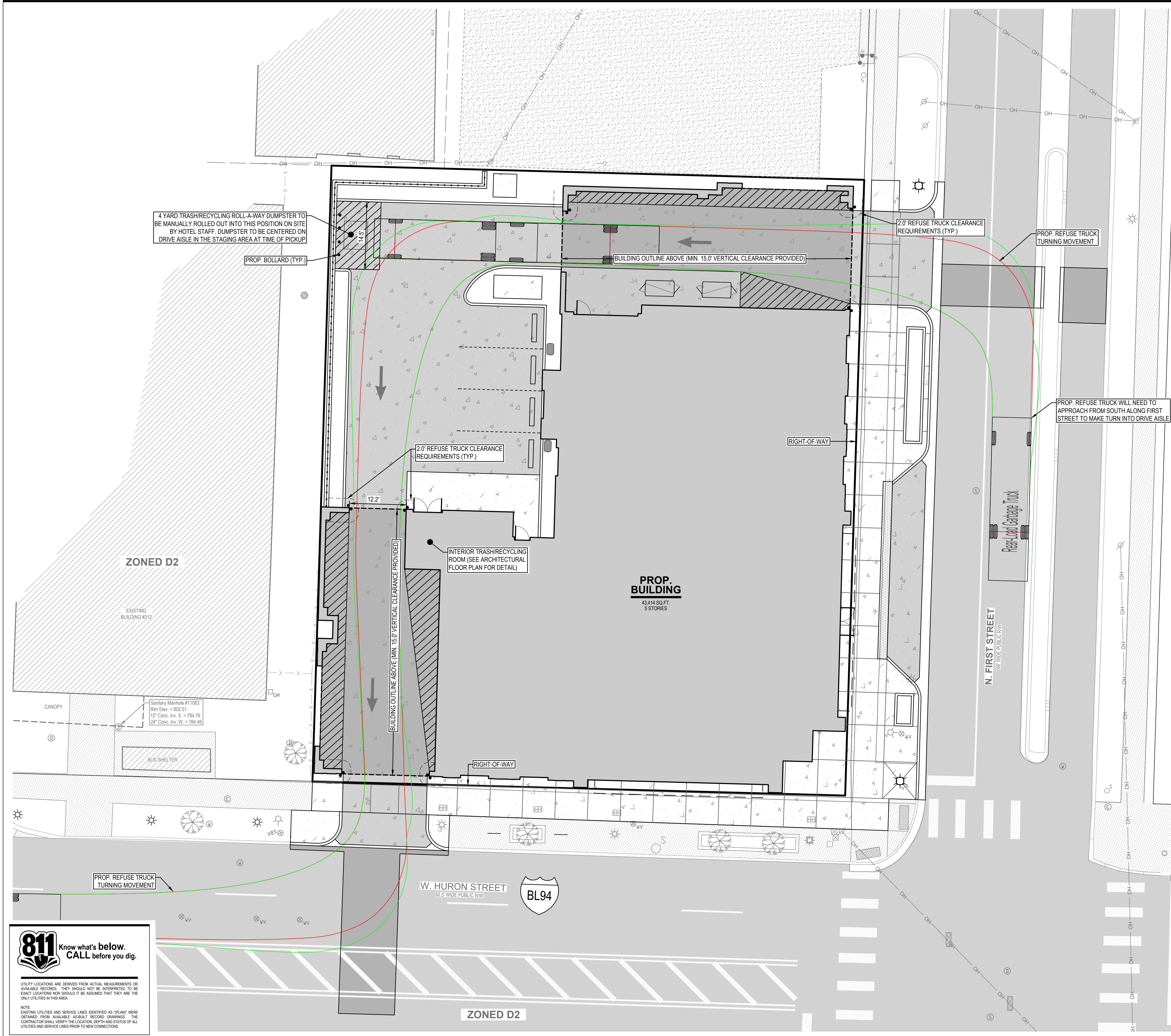


300 WEST HURON

Fire Protection Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR
CITY OF ANN ARBOR, WASHENAW COUNTY, MICHIGAN

NEDERVELD
ANN ARBOR
3031 Miller Rd
Ann Arbor, MI 48103
Phone: 734.929.6963
CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS
ST. LOUIS



300 WEST HURON

Site Access Management Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
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CITY OF ANN ARBOR, WASHENAW COUNTY, MICHIGAN

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PREPARED FOR:

Hawkeye Hotels
Samir Patel

2706 James Street
Coralville, IA 52241
Phone: 319.752.7400

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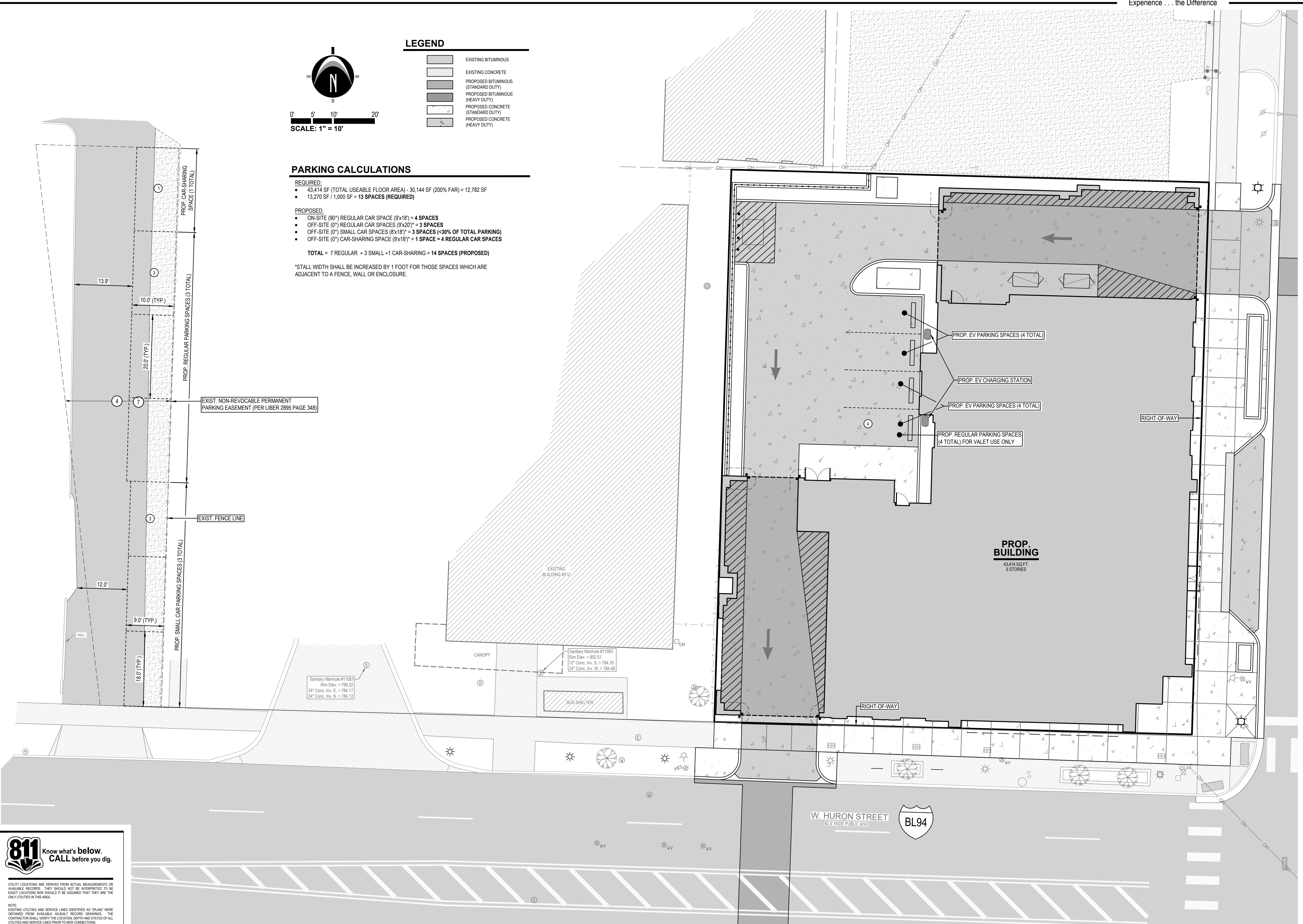
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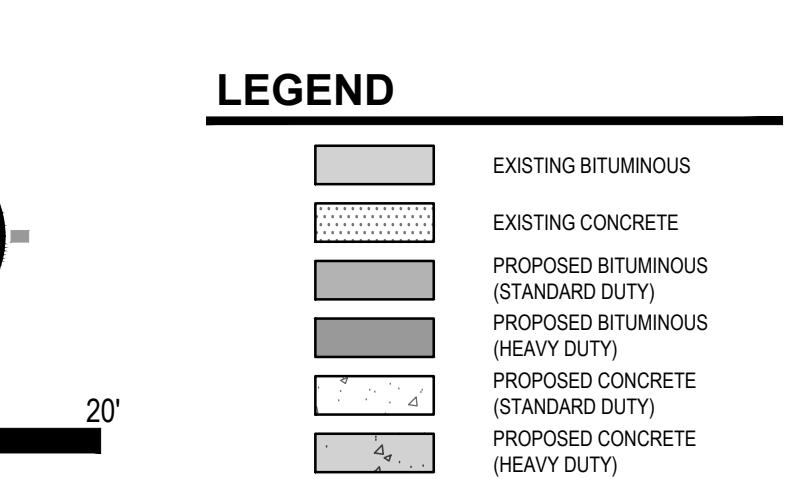
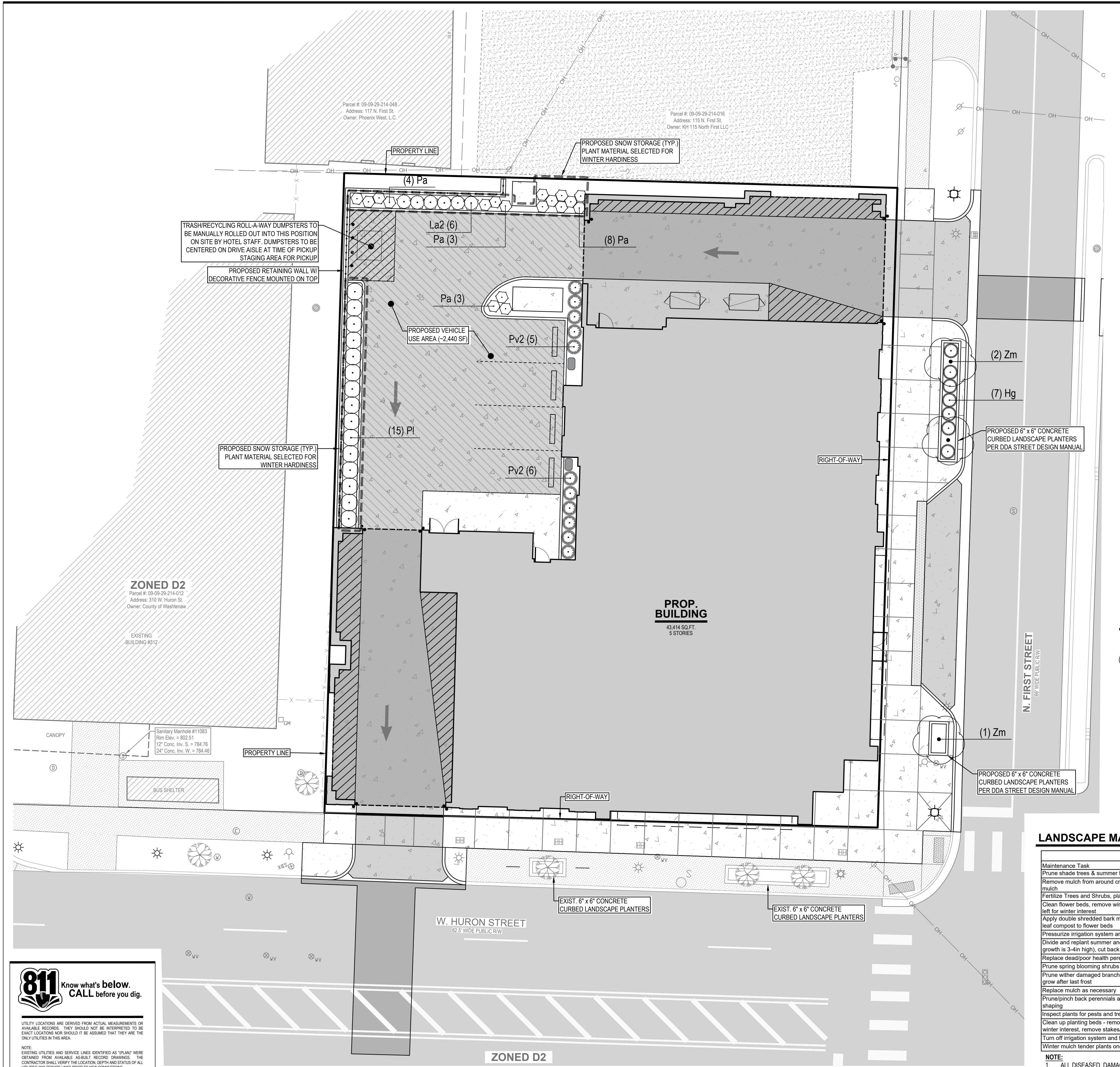
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Title: REVISED PER CITY COMMENTS
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PREPARED FOR:Hawkeye Hotels
Samir Patel2706 James Street
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Phone: 319.752.7400**REVISIONS:**

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300 WEST HURON**Parking Plan**300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
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CITY OF ANN ARBOR, WASHENAW COUNTY, MICHIGAN



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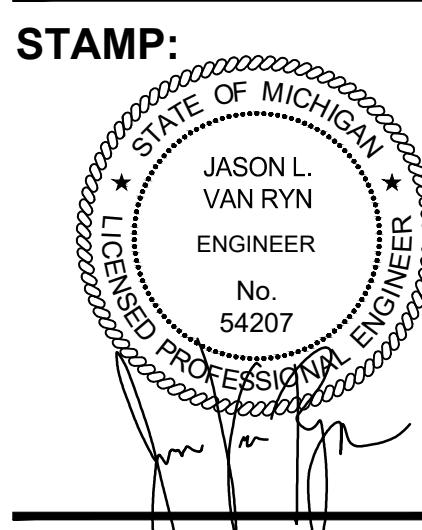
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300 WEST HURON

Landscape Plan

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PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR
CITY OF ANN ARBOR, WASHENAW COUNTY, MICHIGAN



PROJECT NO: 19500174

SHEET NO: L-100

160717-F-001 Rev 009
07/06/2021



811
Know what's below.
CALL before you dig.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANE" WERE DRAWN FROM AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

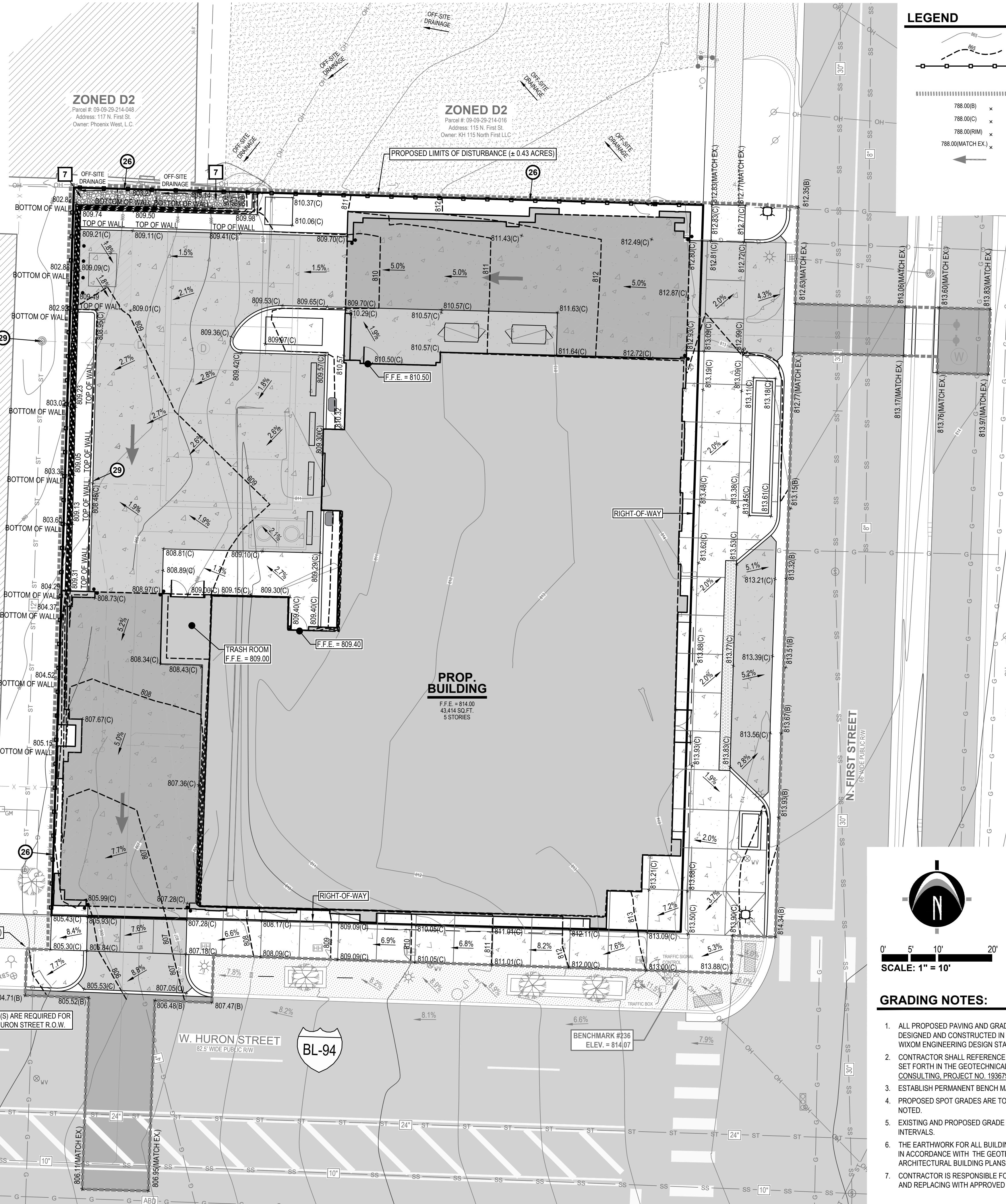
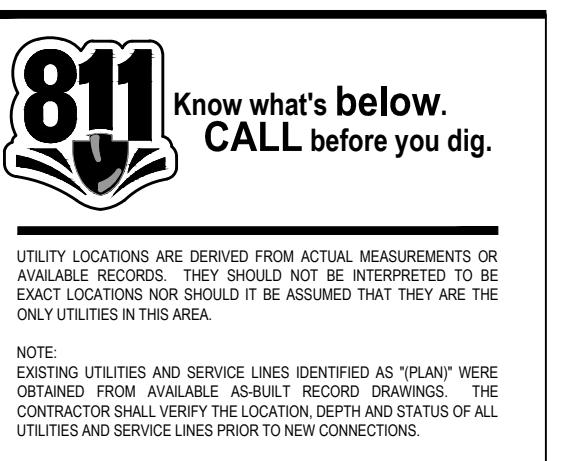
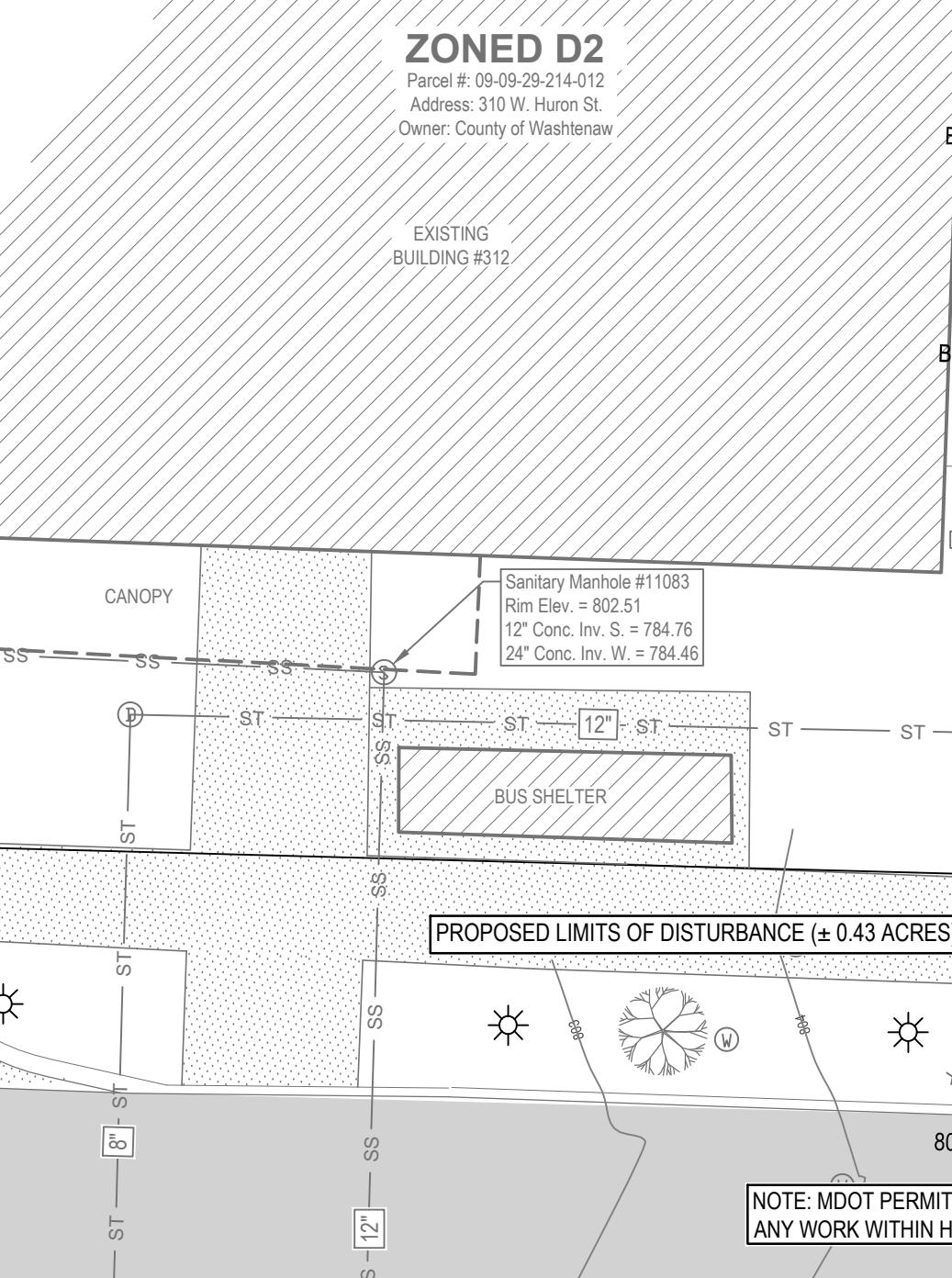
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SITE CONSTRUCTION SEQUENCE & TIMING		2021/2022	
SEP	OCT	SEP	OCT
INSTALL SOIL EROSION CONTROL MEASURES			
DEMOLITION & REMOVALS			
ROUGH GRADE SITE			
CONSTRUCT STORM WATER MANAGEMENT SYSTEM			
CONSTRUCT UTILITY LINES TO BUILDING			
CONSTRUCT BUILDING FOUNDATION AND BUILDING			
CONSTRUCT IMPROVEMENTS AROUND BUILDING			
FINISH GRADE SITE			
PAVE SITE			
RESREAD TOPSOIL/COMPACTON			
SEED DISTURBED AREAS			
SITE RESTORATION/CLEAN UP			

BENCHMARKS	
BENCHMARK #3	ELEV. = 975.55 (DATUM NAVD88) Top Northeast flange bold under "E" in EJW ±20' North from back of curb, ±35' West of 12' concrete culvert.
BENCHMARK #387	ELEV. = 973.19 (DATUM NAVD88) Spindle in Southwest side of power pole ±19' East of 18' Pine and 7' Northeast of electric box.
REFERENCE BENCHMARK NGS DM5668	ELEV. = 959.06 (DATUM NAVD88) Survey disk set in top of concrete monument.

SOIL EROSION CONTROL ESTIMATED COST

ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
Silt fence	250	LF	\$2.50	\$625
Mud Mat	60	TN	\$15.00	\$900
Excavation & Fill	1,000	CY	\$4.00	\$4,000
Riprap, plain (8" minimum)	5	CY	\$50.00	\$250
Inlet/BC filter	4	EA	\$100.00	\$400
Dust Control	1	LS	\$2,000.00	\$2,000
Permanent seed & mulch	500	SF	\$1.00	\$500
TOTAL COST =				\$8,675.00



LEGEND

EXISTING CONTOUR	SS	EXIST. SANITARY SEWER
PROP. CONTOUR	ST	EXIST. STORM SEWER
PROP. SILT FENCE	W	EXIST. WATERMAIN
PROP. LIMITS OF DISTURBANCE	G	EXIST. GAS LINE
PROP. PITCH OUT CURB	C.O.	PROP. SANITARY LEADCLEANOUT
PROP. GRADE ELEV. (BLACKTOP)	—	PROP. STORM SEWER/CATCH BASIN
PROP. GRADE ELEV. (CONCRETE)	—	PROP. WATER SERVICE W/ STOP BOX
PROP. GRADE ELEV. (RIM)	—	PROP. DOWNSPOUT
MATCH EXISTING GRADE	—	
EMERGENCY OVERLAND FLOW ROUTE	DS	

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL".

MAINTENANCE TASKS & SCHEDULE

DURING CONSTRUCTION

COMPONENTS	PERIODIC AREAS	REPAIR/MAINTENANCE	STORM DRAINAGE SYSTEM	CATCH BASIN INLET CASINGS	RESTRUCTURE STRUCTURE	SEGMENT REPAIR/REPAIR	UNDERGROUND DETENTION AREA
TASKS							
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	WEEKLY		
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER		
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	QUARTERLY		
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	QUARTERLY AND AT TURNOVER		
INSPECTION FOR EROSION	X	X			WEEKLY		
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X				AS NEEDED* AND PRIOR TO TURNOVER		
CLEAN DRIVES AND PARKING LOTS	X				WEEKLY OR AS DETERMINED BY PERMITTING AGENCY		
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL					ALL DISTURBED AREAS OF SITE AS NEEDED		
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	ANNUALLY AND AT TURNOVER		
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	AS NEEDED		
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER					ANNUALLY		
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS					ANNUALLY		
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS					AS NEEDED		

AS NEEDED MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

PERMANENT LONG-TERM MAINTENANCE

SYSTEM/COMPONENTS	PAVED AREAS	PERVIOUS AREAS	STORM CONVENIENCE SYSTEM	CATCH BASIN INLET CASINGS	HYDRODYNAMIC SEPARATOR	UNDERGROUND DETENTION AREA	OUTLET CONTROL STRUCTURE
Maintenance Activities							
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	SEMI-ANNUALLY/AS NEEDED*	
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	ANNUALLY/AS NEEDED*	
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	ANNUALLY	
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	ANNUALLY	
INSPECTION FOR EROSION	X	X				SEMI-ANNUALLY	
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X					AS NEEDED	
CLEAN DRIVES AND PARKING LOTS	X					ANNUALLY	
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	ANNUALLY	
INSPECT INFILTRATION BASINS FOLLOWING RAIN EVENTS OF 1 INCH OR MORE						AS NEEDED	
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	AS NEEDED	
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER						ANNUALLY	
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS						ANNUALLY	
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS						AS NEEDED	

AS NEEDED MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

GRADING NOTES:

- ALL PROPOSED PAVING AND GRADING IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WIXOM ENGINEERING DESIGN STANDARDS.
- CONTRACTOR SHALL REFERENCE AND ABIDE BY THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL EVALUATION PREPARED BY G2 CONSULTING, PROJECT NO. 19367, DATED MARCH 2, 2020.
- ESTABLISH PERMANENT BENCH MARK ON-SITE PRIOR TO GRADING.
- PROPOSED SPOT GRADES ARE TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL. IF POOR SOIL IS ENCOUNTERED

THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO MAKING ANY SOIL CORRECTIONS & SHALL PROVIDE UNIT COSTS IN THEIR BID FOR SUCH WORK.

8. BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.

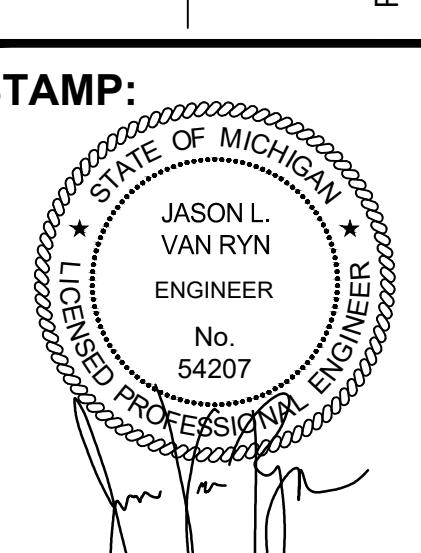
9. UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

10. CONTRACTOR TO FIELD VERIFY ALL INVERTS PRIOR TO START OF CONSTRUCTION.

300 WEST HURON

Grading & Soil Erosion Control Plan

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR
CITY OF ANN ARBOR, WASHENAW COUNTY, MICHIGAN

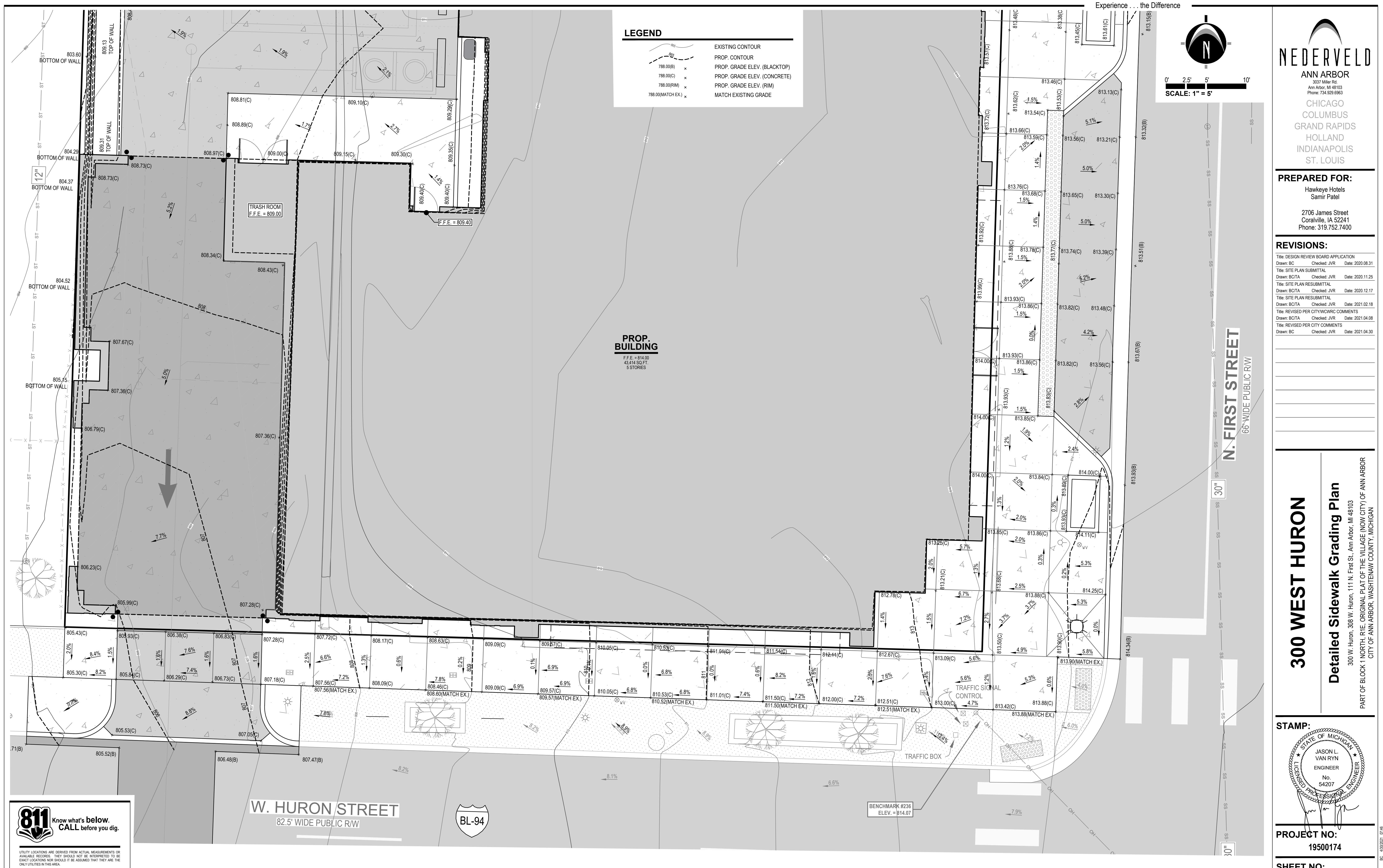


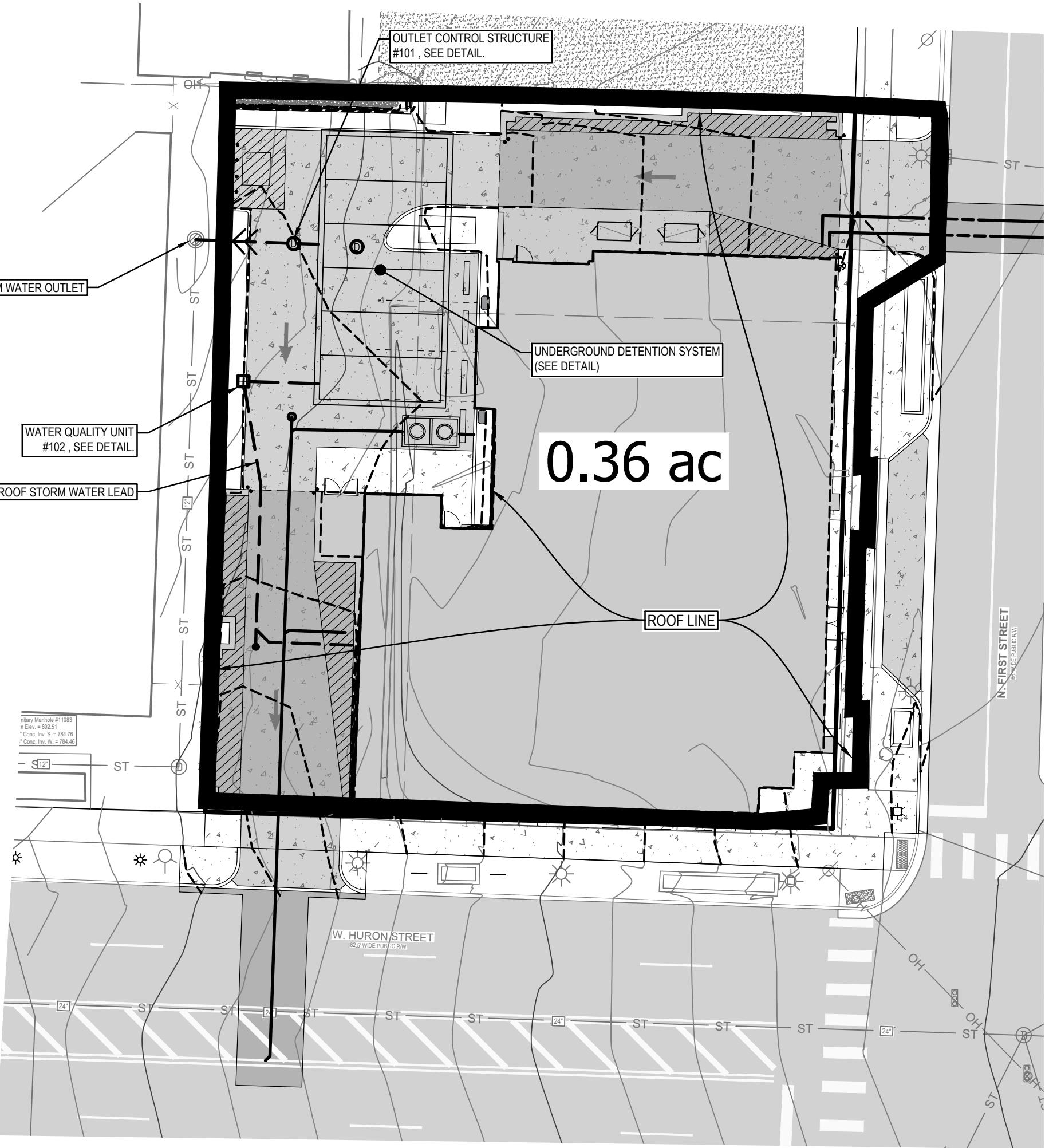
PROJECT NO:

19500174

SHEET NO:

C-300





DETENTION SYSTEM DRAINAGE AREA MAP

Outlet Control Structure	
Orifice hole(s) sizing - "first flush" discharge	
$Q_{orifice} = (V_{orifice} - H_{orifice} \cdot V_{orifice}) / 24 \text{ hrs} / 3600 \text{ sec}$	$Q_{orifice} = 0.007 \text{ ft}^3/\text{s}$
$H_{orifice} = \frac{1}{3} \times (X_{orifice} - X_0)$	$H_{orifice} = 0.367 \text{ ft}$
$A = Q_{orifice} / 62 \times \text{sqrt}(2 \times 32.2 \times h_{orifice})$	$A = 0.0022 \text{ ft}^2$
Area of an orifice with diameter (in) =	5/8
Number of orifice holes	= 1 holes at elev = 799.25
$Q_{orifice}$ design	= 0.006 ft^3/s
Time to Discharge (greater than 24 hours)	= 25.0 hrs > 24 hrs
Orifice hole(s) sizing - "Bankfull flood" discharge	
Bankfull should discharge within 36 to 48 hours	
$H_{orifice} = \frac{1}{3} \times (X_{orifice} - X_0)$	$H_{orifice} = 1.439 \text{ ft}$
Release from first flush holes only	
$Q = A \times 62 \times \text{sqrt}(2 \times 32.2 \times h_{orifice}) =$	$Q = 0.013 \text{ ft}^3/\text{s}$
$H_{orifice} = \frac{2}{3} \times (X_{orifice} - X_0)$	$H_{orifice} = 1.072 \text{ ft}$
Area of an orifice with diameter (in) =	1/2
Number of orifice holes	= 1 holes at elev = 799.8
$Q_{orifice}$ design	= 0.007 ft^3/s
$Q_{orifice} + Q_{orifice} =$	= 0.020 ft^3/s
$T_{orifice}$ with first flush holes only =	36 hrs < 39 hrs, < 48 hrs. therefore ok.
Orifice hole(s) sizing - "100-yr flood" discharge	
Peak Flow, $Q_p = 0.15 \text{ cfs/acre}$ drainage area (A)	$Q_p = 0.054 \text{ ft}^3/\text{s}$
$h_{orifice} = (X_{100} - X_0)$	$h_{orifice} = 6.09 \text{ ft}$
$h_{orifice} = (X_{100} - X_{orifice})$	$h_{orifice} = 5.54 \text{ ft}$
$Q_{orifice} =$	
$\alpha \times 0.62 \times \text{sqrt}(2 \times 32.2 \times h_{orifice}) =$	$Q_{orifice} = 0.026 \text{ ft}^3/\text{s}$
$Q_{orifice} =$	
$\alpha \times 0.62 \times \text{sqrt}(2 \times 32.2 \times h_{orifice}) =$	$Q_{orifice} = 0.016 \text{ ft}^3/\text{s}$
$Q_{100} = Q_{orifice} \times (Q_{orifice} / Q_p) =$	$Q_{100} = 0.012 \text{ ft}^3/\text{s}$
$A_{100} = Q_{100} / (62 \times \text{sqrt}(2 \times 32.2 \times h_{100}))$	$A_{100} = 0.0012 \text{ ft}^2$
Area of an orifice with diameter (in) =	7/16
Number of orifice holes	= 1 holes at elev = 801.41
Confirm allowable flow rate is not exceeded	
$Q_{orifice} + Q_{orifice} \times 0.62 \times A_{100} \times \text{sqrt}(2 \times g \times h_{100}) < Q_{allow}$	= 0.052 cfs < 0.054 cfs
Average Discharge through 100-year Orifice(s) when other Orifice(s) are contributing	
$H_{ave}^{100} = \frac{1}{3} \times (X_{100} - X_{orifice})$	= 2.62 ft
$Q_{ave-100}^{100} = 0.62 \times \#_{orifice}^{100} \times A_{orifice}^{100} \times \text{sqrt}(2 \times g \times h_{ave}^{100})$	= 0.008 ft^3/s
Average Discharge through First Flush and Bank Full Orifice(s) when other Orifice(s) are contributing	
$H_{ave}^{100} = \frac{1}{3} \times (X_{100} - X_0)$	= 6.09 ft
$Q_{ave-ff}^{100} = 0.62 \times \#_{orifice}^{100} \times A_{orifice}^{100} \times \text{sqrt}(2 \times g \times h_{ave}^{100})$	= 0.026 ft^3/s
$H_{ave}^{100} = \frac{2}{3} \times (X_{100} - X_0)$	= 5.54 ft
$Q_{ave-ff}^{100} = 0.62 \times \#_{orifice}^{100} \times A_{orifice}^{100} \times \text{sqrt}(2 \times g \times h_{ave}^{100})$	= 0.016 ft^3/s
$Q_{ave-ff}^{100} = Q_{100}^{100} \times Q_{ave-ff}^{100} + Q_{ave-ff}^{100} \times Q_{ave-ff}^{100}$	= 0.051 ft^3/s
Check to confirm 100-year storm volume discharge in less than 72 hours	
$V_{100} = \text{Total Required Detention - BMP Volume Reduction} =$	6,501 ft^3
$V_{rem} = V_{100} - V_{det} =$	= 3,737 ft^3
$T_{100} = T_{det} + T_{rem} / (Q_{ave}^{100}) <= 72 \text{ hrs}$	= 59 hrs < 72 hrs
Design meets both the time of detention and flow rate requirements	

Stage-Storage

width(ft)	len(ft)	Area =	Bottom of storage =	Cumulative *Volume(cf)
22	48	1056 sf	798.50	
0.00	798.50	0		
0.20	798.70	190		
0.40	798.90	380		
0.60	799.10	570		
0.80	799.30	760		
1.00	799.50	950		
1.20	799.70	1140		
1.40	799.90	1331		
1.60	800.10	1521		
1.80	800.30	1711		
2.00	800.50	1901		
2.20	800.70	2091		
2.40	800.90	2281		
2.60	801.10	2471		
2.80	801.30	2661		
3.00	801.50	2851		
3.20	801.70	3041		
3.40	801.90	3231		
3.60	802.10	3421		
3.80	802.30	3612		
4.00	802.50	3802		
4.20	802.70	3992		
4.40	802.90	4182		
4.60	803.10	4372		
4.80	803.30	4562		
5.00	803.50	4752		
5.20	803.70	4942		
5.40	803.90	5132		
5.60	804.10	5322		
5.80	804.30	5512		
6.00	804.50	5702		
6.20	804.70	5892		
6.40	804.90	6082		
6.60	805.10	6272		
6.80	805.30	6462		
7.00	805.50	6652		
7.20	805.70	6842		
7.40	805.90	7032		
7.60	806.10	7223		
7.80	806.30	7413		
8.00	806.50	7603		

* 90% of calculated cubic volume to account for structural supports

Design Basis: Use the Washtenaw County Water Resources Commissioner Rules and Guidelines, Revised - October 17, 2016

Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients						
Total Drainage Area						= 15,643 sf
Total Drainage Area Excluding "Self-Crediting" BMPs						= 15,643 sf
Rational Method Variables						
Cover Type	Slope	Soil Group	Area (sq. ft)	C factor	(C) x (Area)	
Roofs	-	B	10,581	0.95	10,052	
Pavement	-	B	5,052	0.95	4,799	
Semi-pervious: lawns & planting beds	<4%	B	10	0.25	3	
Water Surface	-	B	1.00	0	0	
				Total = $\sum (C) \times (Area) =$	14,854	
				Area Total = $\sum sf =$	15,643	
				Weighted C = $\sum (C) \times (Area) / \sum sf =$	0.95	

NRCS Variables (Pervious)						
Cover Type	Hydrologic Condition	Soil Group	Area (sq. ft)	Curve Number	(C) x (Area)	
Open Space: lawns & planting beds	Poor (grass cover < 50%)	B	79	0	0	
Open Space: lawns & planting beds	Fair (grass cover 50% to 75%)	B	69	0	0	
Open Space: lawns & planting beds	Good (grass cover > 75%)	B	61	610	610	
	Total = $\sum (C) \times (Area) =$					
	Area Total = $\sum sf =$					
	Weighted C = $\sum (C) \times (Area) / \sum sf =$					

NRCS Variables (Impervious)						
Cover Type	Hydrologic Condition	Soil Group	Area (sq. ft)	Curve Number	(C) x (Area)	
Roof & Pavement	Poor (grass cover < 50%)	B	98	1,532,034	1,532,034	
Water Surface	0	B	98	0	0	
	Total = $\sum (C) \times (Area) =$					
	Area Total = $\sum sf =$					
	Weighted C = $\sum (C) \times (Area) / \sum sf =$					

First Flush Runoff Calculations (V _{ff})				
--	--	--	--	--

NEDERVELD
ANN ARBOR
3031 Miller Rd
Ann Arbor, MI 48103
Phone: 734.929.6963
CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS
ST. LOUIS

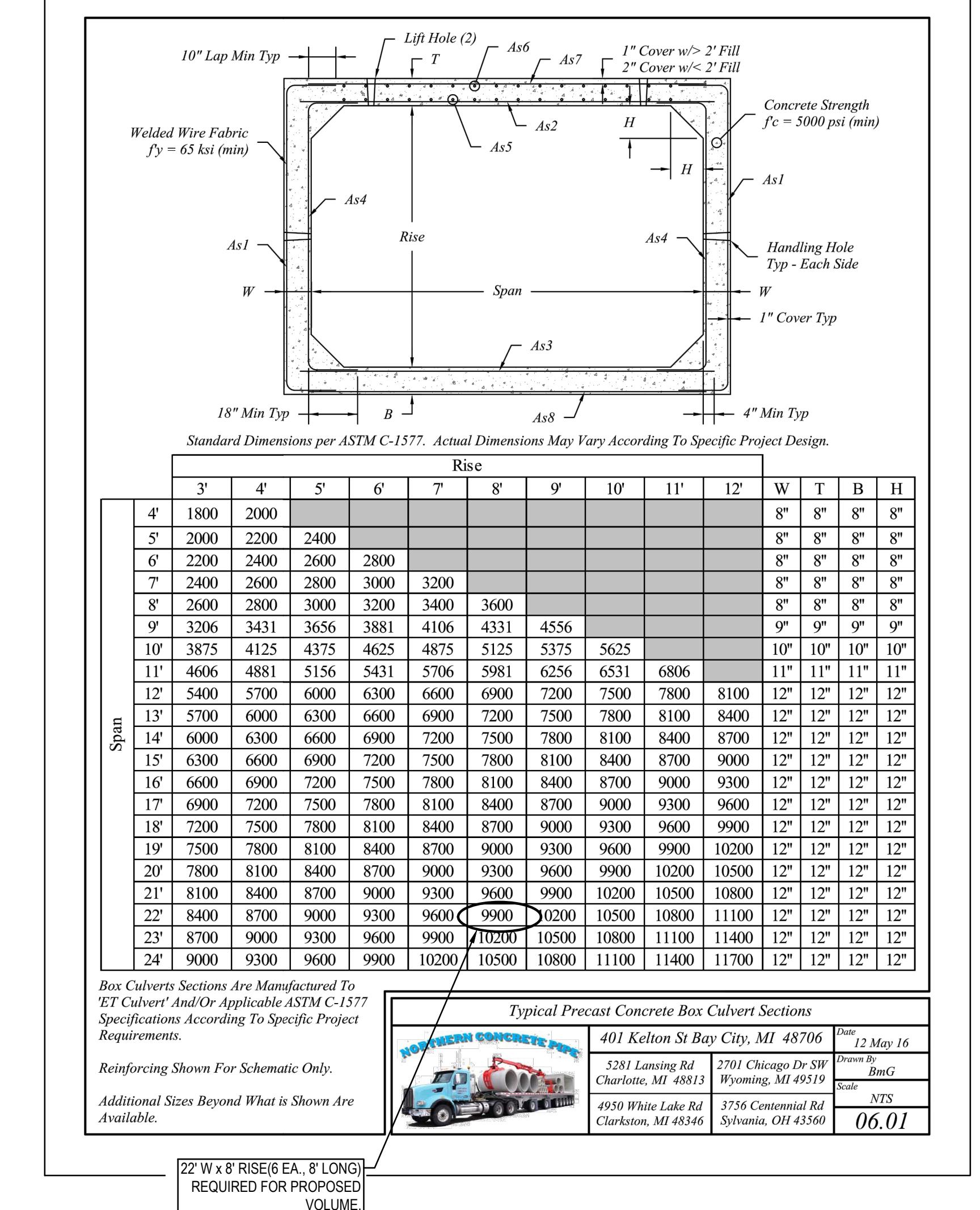
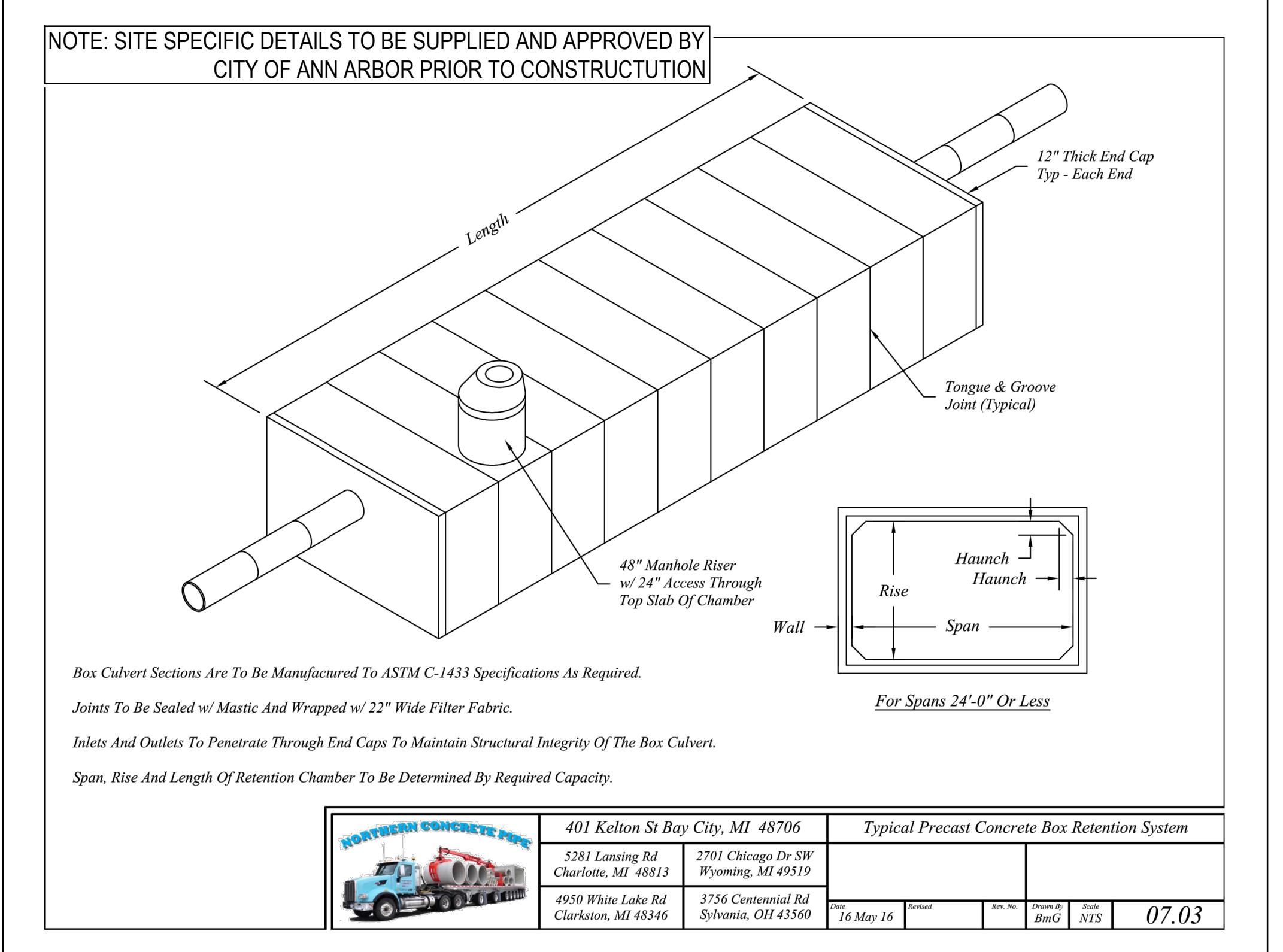
PREPARED FOR:

Hawkeye Hotels
Samir Patel

2706 James Street
Coralville, IA 52241
Phone: 319.752.7400

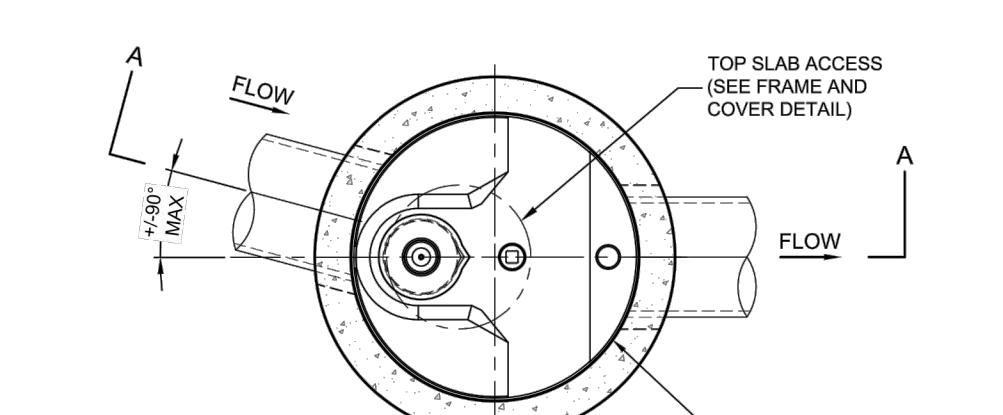
REVISIONS:

Title: DESIGN REVIEW BOARD APPLICATION
Drawn: BC Checked: JVR Date: 2020.08.31
Title: SITE PLAN SUBMITTAL
Drawn: BC/TA Checked: JVR Date: 2020.11.25
Title: SITE PLAN RESUBMITTAL
Drawn: BC/TA Checked: JVR Date: 2020.12.17
Title: SITE PLAN RESUBMITTAL
Drawn: BC/TA Checked: JVR Date: 2021.02.18
Title: REVISED PER CITY/WCWR COMMENTS
Drawn: BC/TA Checked: JVR Date: 2021.04.08
Title: REVISED PER CITY COMMENTS
Drawn: BC Checked: JVR Date: 2021.04.30



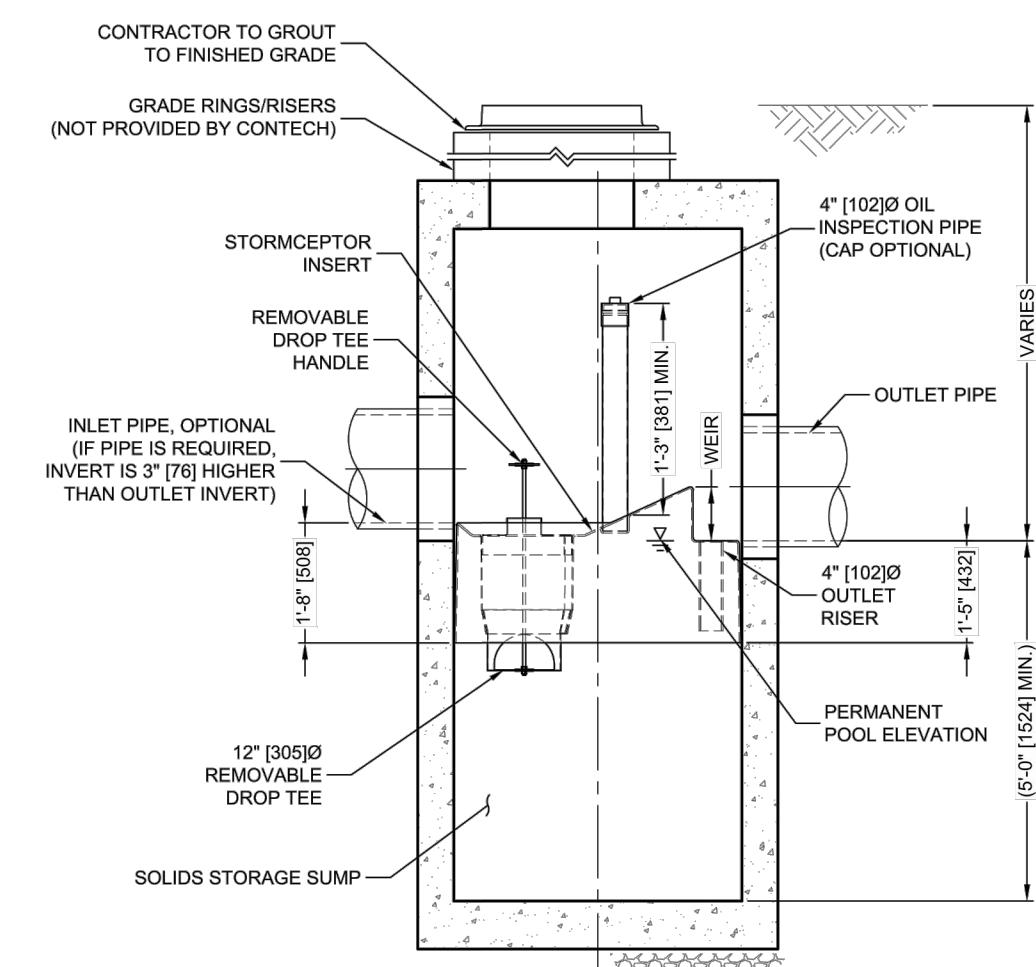
UNDERGROUND DETENTION SYSTEM (OR APPROVED EQUAL)

N.T.S.



PLAN VIEW

TOP SLAB NOT SHOWN



SECTION A-A

Stormceptor®

STORMCEPTOR DESIGN NOTES

THE STANDARD STC450 CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

CONTRACTOR TO GROUT TO FINISHED GRADE

GRADE RINGS/RSERS (NOT PROVIDED BY CONTECH)

STORMCEPTOR INSERT

REMOVABLE DROP TEE

INLET PIPE, OPTIONAL (IF PIPE IS REQUIRED, INVERT IS 3" [76] HIGHER THAN OUTLET INVERT)

WEIR

OUTLET PIPE

VARES

4" [102] Ø INSPECTION PIPE (CAP OPTIONAL)

1-3" [38] MIN

1-3" [58] MAX

12" [305] Ø

1-3" [38] MIN

1-3" [58] MAX

12" [305] Ø

1-3" [38] MIN

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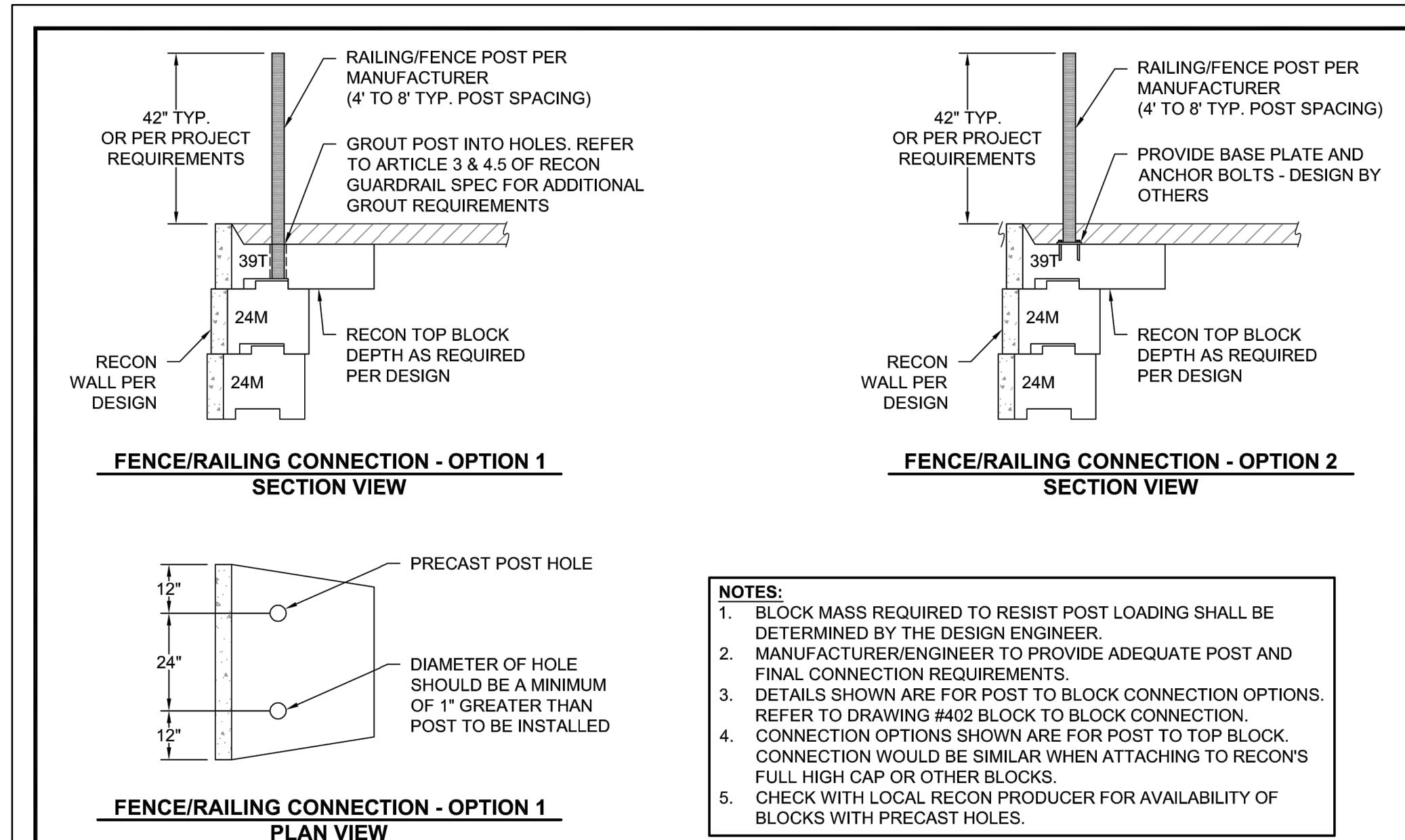
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Title: REVISED PER CITY COMMENTS
Drawn: BC Checked: JVR Date: 2021.04.30

NOTES:
1. OWNER APPROVAL IS REQUIRED REGARDING TYPE, FINISH AND COLOR OF WALL
2. FINAL WALL SYSTEM SHALL BE DESIGNED AND CONSTRUCTED BY THE SITE CONTRACTOR
3. CONTRACTOR TO SUBMIT WALL AND FENCE DESIGN SHOP DRAWINGS TO THE OWNER AND SITE ENGINEER FOR REVIEW



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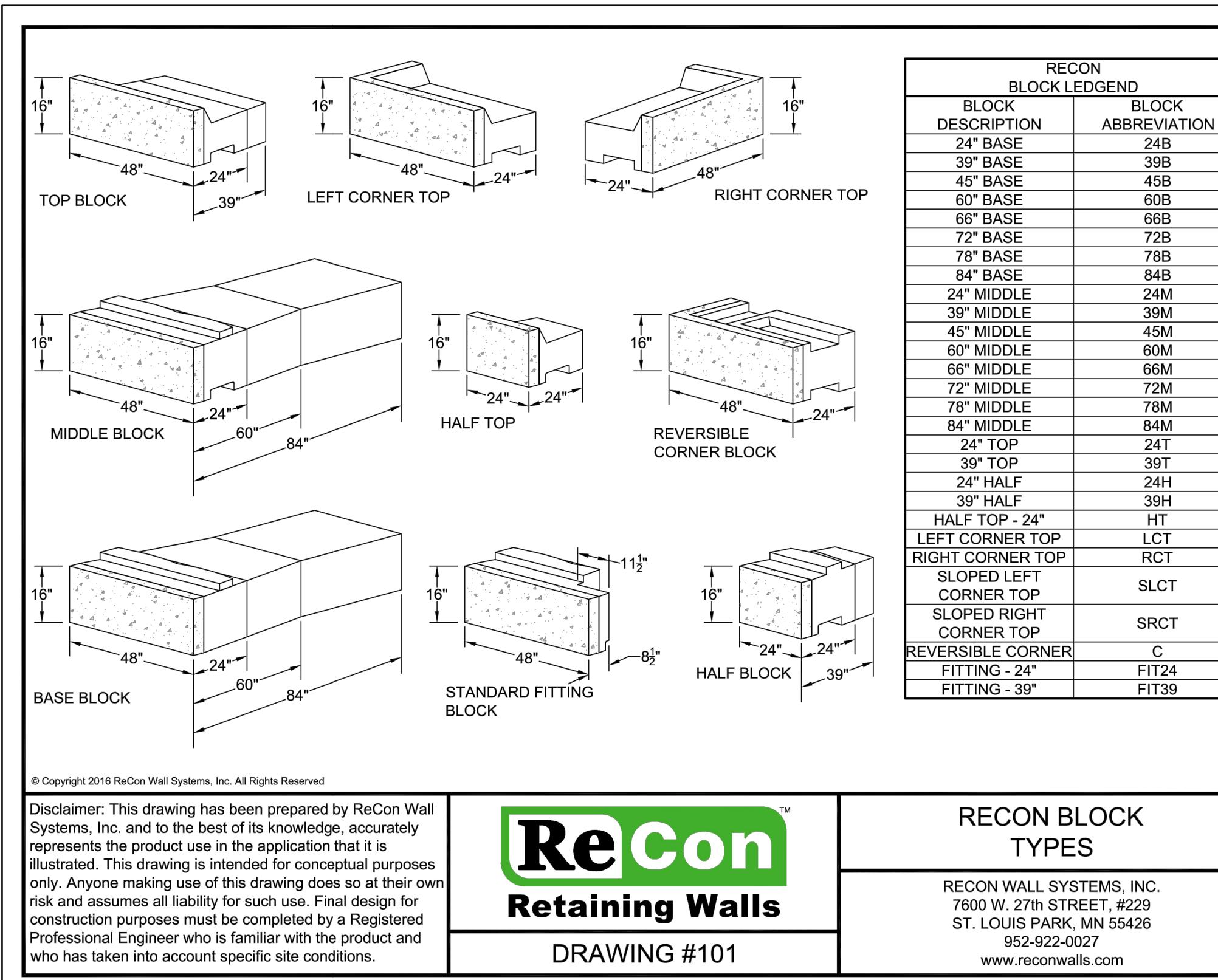
Disclaimer: This drawing has been prepared by ReCon Wall Systems, Inc. and to the best of its knowledge, accurately represents the product use in the application that it is illustrated. This drawing is intended for conceptual purposes only. Anyone making use of this drawing does so at their own risk and assumes all liability for such use. Final design for construction purposes must be completed by a Registered Professional Engineer who is familiar with the product and who has taken into account specific site conditions.

ReCon
Retaining Walls

DRAWING #401

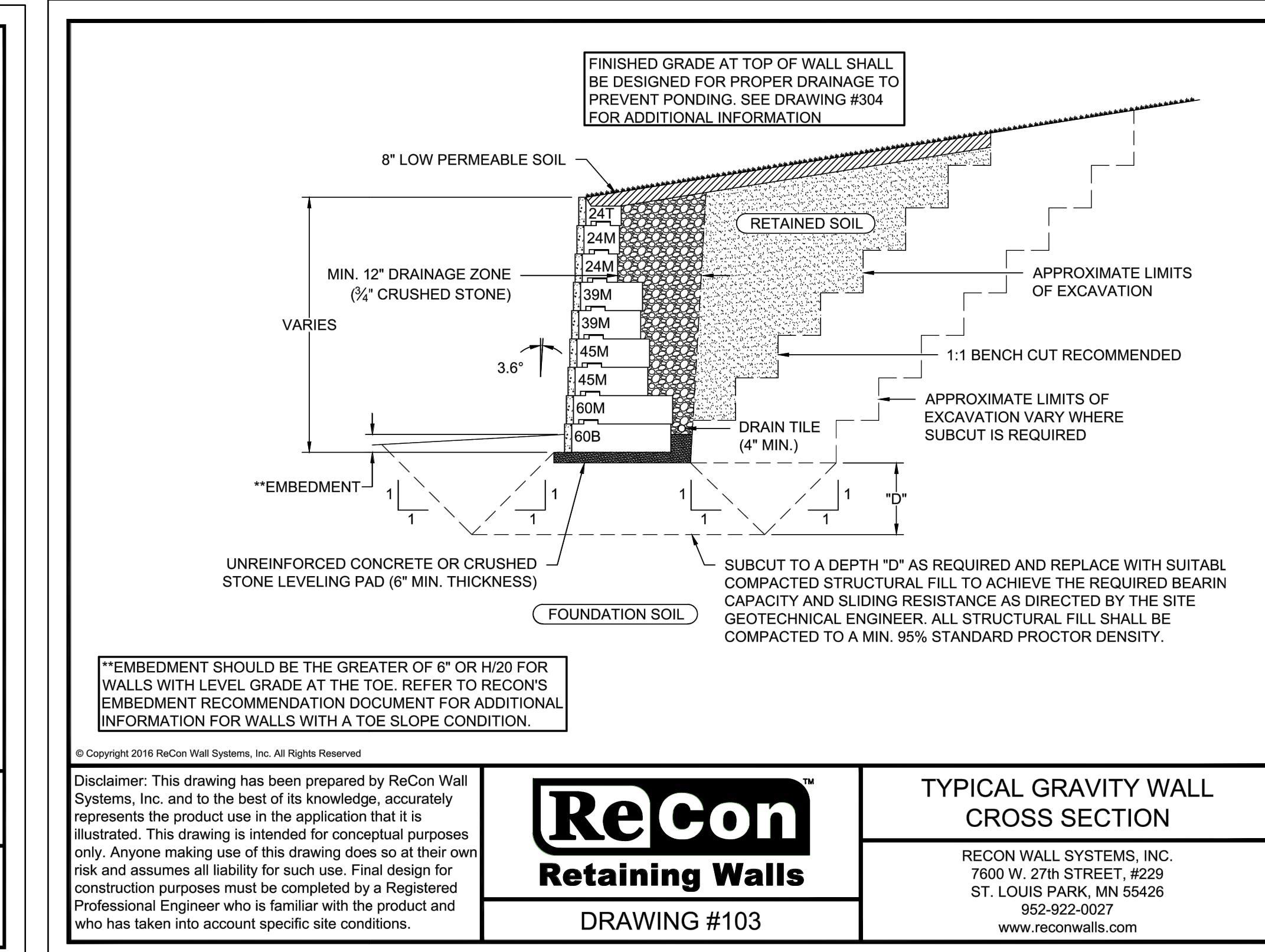
RAILING/FENCE POST TO BLOCK CONNECTION DETAILS

RECON WALL SYSTEMS, INC.
7600 W. 27th STREET, #229
ST. LOUIS PARK, MN 55426
952-922-0027
www.reconwalls.com



RETAINING WALL DETAILS

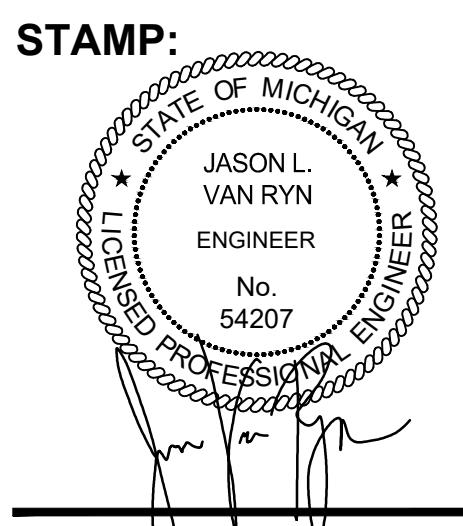
N.T.S.



300 WEST HURON

Details & Specifications

300 W. Huron, 308 W. Huron, 111 N. First St., Ann Arbor, MI 48103
PART OF BLOCK 1 NORTH, RIE, ORIGINAL PLAT OF THE VILLAGE OF WASHTENAW COUNTY, MICHIGAN
CITY OF ANN ARBOR



PROJECT NO:
19500174

SHEET NO:
C-501



Statistics

Description	Symbol	Avg	Max	Max/Min	Avg/Min	Avg/Max	Min
North driveway	✖	40.0 fc	63.0 fc	4.2:1	2.7:1	0.6:1	14.9 fc
Rear Parking	✖	0.8 fc	3.1 fc	15.5:1	4.0:1	0.3:1	0.2 fc
Site	+	7.7 fc	63.0 fc	N/A	N/A	0.1:1	0.0 fc
West driveway	✖	44.0 fc	60.3 fc	2.3:1	1.7:1	0.7:1	26.0 fc

Schedule

Symbol	Label	QTY	Catalog Number	Description	Lamp	Lumens per Lamp	Wattage
	A	11	LIAM-120_277-CSL-S40-40K-CRI 80-2	Lumenicon Medium	LED	3545	31
	B	1	LIAM-120_277-CSL-M80-40K-CRI 80-4 BLS	Lumenicon Medium	LED	3613	64
	C	33	CLX L48 3000LM SEF FDL MVOLT GZ10 40K 80CRI	CLX LED Linear 48" 3,000 lumens, Standard Efficiency, Less louver, Flat diffuse lens, General distribution, MVOLT, 0-10V dimming, 4000 CCT, 80 CRI	LED	2813	20.32
	D	22	CLX L96 6000LM SEF FDL MVOLT GZ10 40K 80CRI	CLX LED Linear 96" 6,000 lumens, Standard Efficiency, Less louver, Flat diffuse Lens, General distribution, MVOLT, 0-10V dimming, 4000 CCT, 80 CRI	LED	5535	38.15
	E	23	CLX L24 1500LM SEF FDL MVOLT GZ10 40K 80CRI	CLX LED Linear 24" 1,500 lumens, Standard Efficiency, Less louver, flat diffuse lens, General distribution, MVOLT, 0-10V dimming, 4000 CCT, 80 CRI		1395	10.85

General Notes

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0'-0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

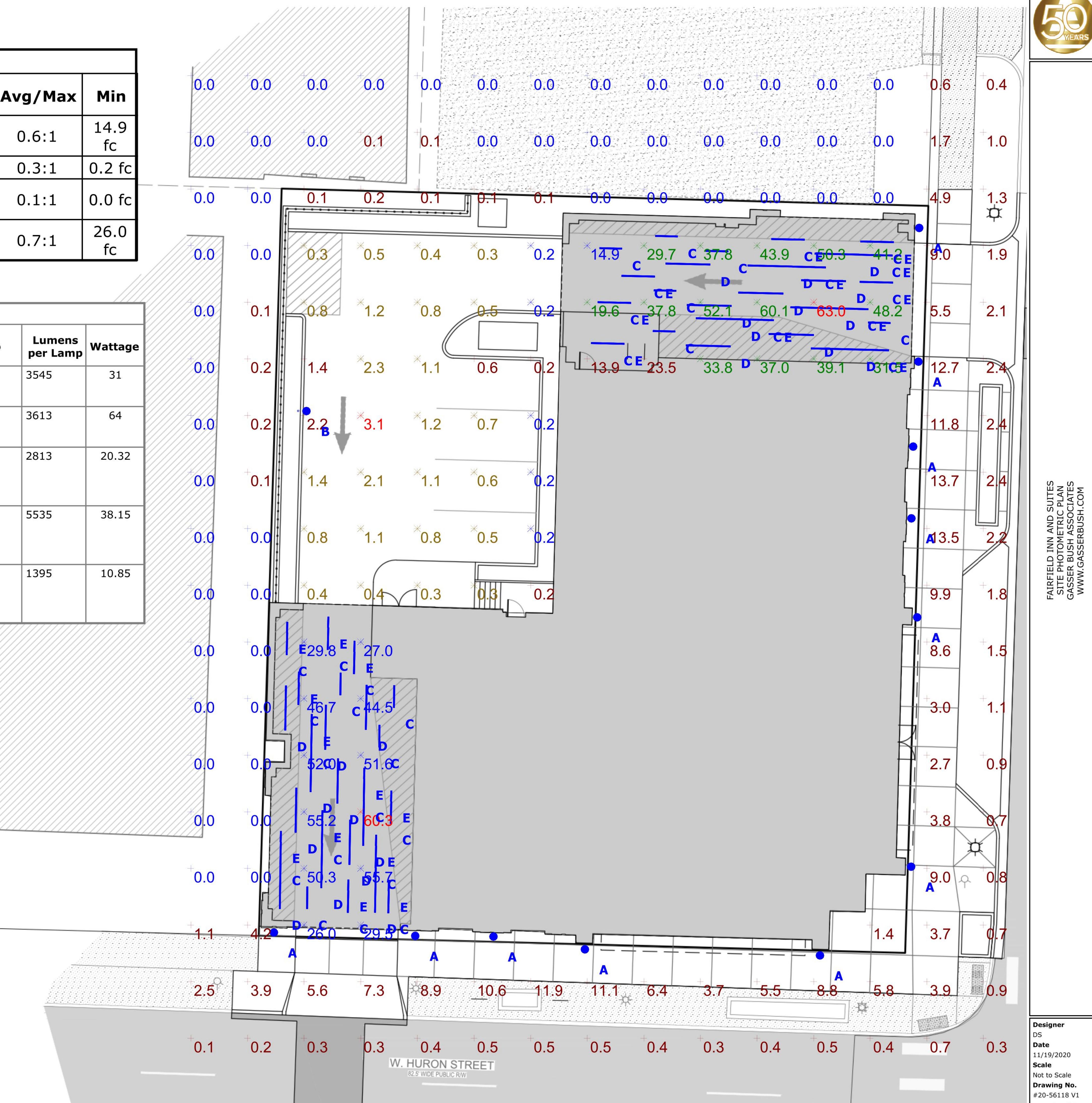
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

Drawing Note

THIS DRAWING WAS GENERATED FROM AN
ELECTRONIC IMAGE FOR ESTIMATION PURPOSE
ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height No

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

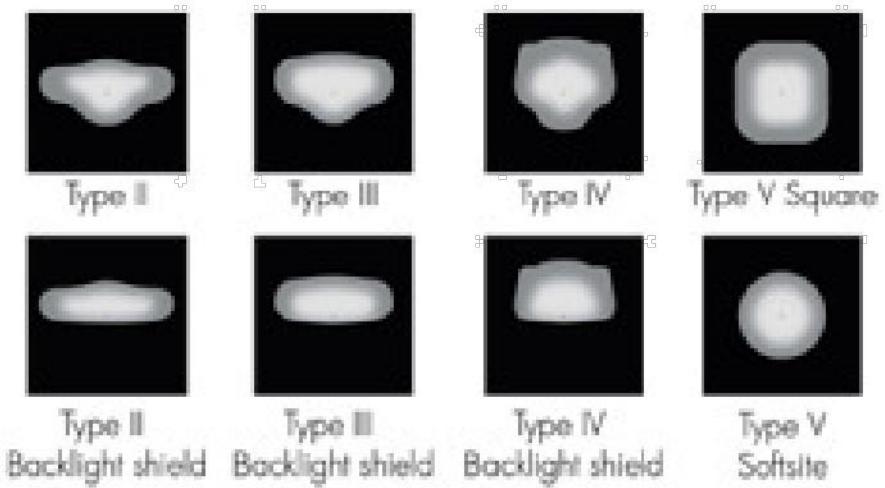


Specification Sheet

Project Name _____
Type _____ Catalog / Part Number _____
Qty _____



Distributions



Colors and Color Temperatures



Control

ON/OFF 0-10V

Rating

IP66 (optical chamber)

Certifications



lumenpulse™

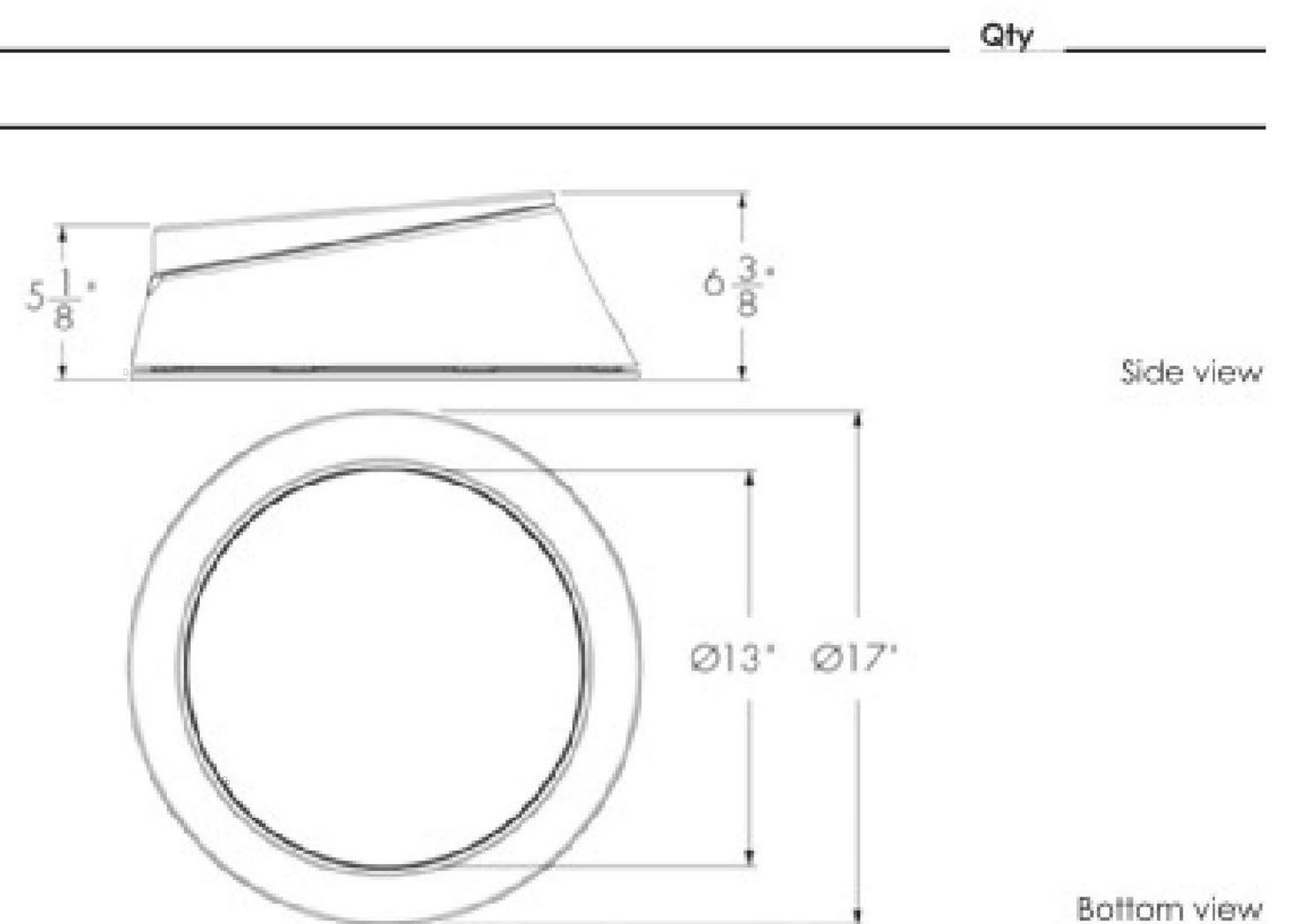
1220 Marie-Victorin Blvd., Longueuil, QC J4G 2H9 CA
T Stati Uniti 617.307.5700 | Canada 1.877.937.3003 | 514.937.3003
F 514.937.6289
info@lumenpulse.com www.lumenpulse.com www.lumenpulse.com/products/1255

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MS - R3

lumenicon

Area Medium

LIAM



Description

The Lumenicon Area Medium creates a consistent aesthetic while illuminating city streets, local roads, residential streets, parking lots and laneways. An innovative, toolless opening system makes the plug-and-play components easy to access. IP66 rated with phenomenal heat dissipation; the Lumenicon Area Medium is ready to take it to the streets (or parking lots, or building sides, or onramps, or...).

Features

Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, 5700K
Distributions	Type II, Type III or Type IV (with or without backlight shield), Type 5 square and Type V Softsite
3G Vibration Rated	Meets 3G ANSI C136.31-2010 vibration standard for bridge applications
Options	Corrosion-resistant coating for hostile environments, Surge protector, 5 pins and 7 pins receptacles with and without shorting cap
Warranty	5-year limited warranty

Performance

Output (nominal lumens)	Minimum 3000lm / Maximum 20000lm
Color Rendering	3 SDCM at CRI 70+ and 2 SDCM at CRI 80+
Lumen Maintenance	TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)
Dark sky	Dark sky compliant (2200K, 2700K and 3000K color temperatures, BUG rating of U0)
Physical	
Housing Material	Die cast low copper 360 aluminum alloy
Lens material	Optical tempered clear glass (Clearsite lens), Optical tempered opal glass (Softsite lens)

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE — The CLX is a linear lighting solution that is available in multiple lengths, lumen packages and distributions. Designed for versatility, the CLX can address virtually any indoor lighting need. The CLX is also offered in standard and high efficacy configurations and capable of being continuous row mounted or installed as a stand-alone fixture. Ideal for uplight and downlight in commercial, retail, manufacturing, warehouse, and display applications. **Certain airborne contaminants can diminish the integrity of acrylic and/or polycarbonate.** [Click here for Acrylic-Polycarbonate Compatibility table for suitable uses.](#)

CONSTRUCTION — Channel and cover are formed from code-gauge cold-rolled steel. Housing and lens endcaps are injection molded plastic to provide a more architectural look and feel. The endcaps come standard with a 7/8" knock out for continuous mounting but can be ordered without. Finish: Paint options include high-gloss, baked white polyester (WH), galvanized (GALV), matte black (MB) and smoke gray (SKGY). Five-stage iron phosphate pre-treatment ensures superior paint adhesion and rust resistance.

OPTICS — Offered with acrylic lens and less lens configurations. Provides a choice of optical distributions including, wide, narrow, and aisle.

ELECTRICAL — Utilizes high-output LEDs integrated on a two-layer circuit board, ensuring cool-running operation. Optional internal pluggable wiring harness for reduced labor cost in row mounting applications. (See PLR ordering information on page 14.) Electronic LED driver is multi-volt input and 0-10V dimming standard (see Operational Data on page 12 for actual wattage consumption). This fixture is designed to withstand a maximum line surge of 2.5kV at 0.75kA combination wave for indoor locations, for applications requiring higher level of protection additional surge protection must be provided. L70>100,000 hours at 25°C.

LEDs provide nominal 80 CRI or 90CRI at 3000 K, 3500 K, 4000 K, or 5000 K.

Lumen output up to 2,500 lumens per foot.

INSTALLATION — Fixture may be ceiling or wall mounted (with or without THCLX hanger or angle mounted with CLXANGBR), pendant or stem mounted with appropriate mounting options.

WARNING — **Removing the lens and opening the fixture during installation exposes the LEDs, putting them at risk for damage.**

If you plan to surface mount the fixture, we recommend using the THCLX. This eliminates the need to open the fixture.

If you plan to continuous row mount, we recommend using the PLR wiring harness option. This eliminates the need to open the fixture.

Damage to the LEDs caused during installation will not be covered under the warranty.

LISTINGS — CSA certified to US and Canadian safety standards. For use in damp locations between -4°F (-20°C) and 104°F (40°C). Optional High Ambient (HA) ranging to 122°F (50°C) available on certain lumen packages (See ambient temperature chart for additional information).

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DPL to confirm which versions are qualified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

Catalog Number	
Notes	
Type	

LED Linear

CLX

24", 36", 48" and 96" Lengths



A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® or XPoint™ Wireless control networks marked by a shaded background*

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

INDUSTRIAL



CORNER VIEW AT INTERSECTION OF NORTH 1ST STREET AND WEST HURON STREET

** ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY

AR-01

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DYNAMIK
DESIGN

5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-506-8830
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HWH2019-04

300 WEST HURON
ANN ARBOR, MICHIGAN 48103

△

DRAWING RELEASE DATE
DESIGN DEVELOPMENT 11/06/2020

TITLE:

ARCHITECTURAL
RENDERINGS

SHEET NUMBER:

Fairfield
BY MARRIOTT

CLIENT:

2708 JAMES STREET
CORALVILLE, IA 52241

Hawkeyehotels

■



VIEW ALONG NORTH 1ST STREET

** ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY

AR-02

ARCHITECTURAL
RENDERINGS

SHEET NUMBER:

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PROJECT NUMBER: HWH2019-04
Fairfield
BY MARRIOTT

300 WEST HURON
ANN ARBOR, MICHIGAN 48103

△ DRAWING RELEASE DATE
DESIGN DEVELOPMENT 11/06/2020

TITLE:

CONSULTANT:

CLIENT:

2708 JAMES STREET
CORALVILLE, IA 52241

Hawkeyehotels

DYNAMIK
DESIGN

500 1/2 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-506-8830
DYNAMIKDESIGN.COM



OVERALL CORNER VIEW AT INTERSECTION OF NORTH 1ST STREET AND WEST HURON STREET

** ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY

DYNAMIK
DESIGN

500 1/2 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-506-8830
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HWH2019-04

300 WEST HURON
ANN ARBOR, MICHIGAN 48103

CLIENT:

Fairfield
BY MARRIOTT

2708 JAMES STREET
CORALVILLE, IA 52241

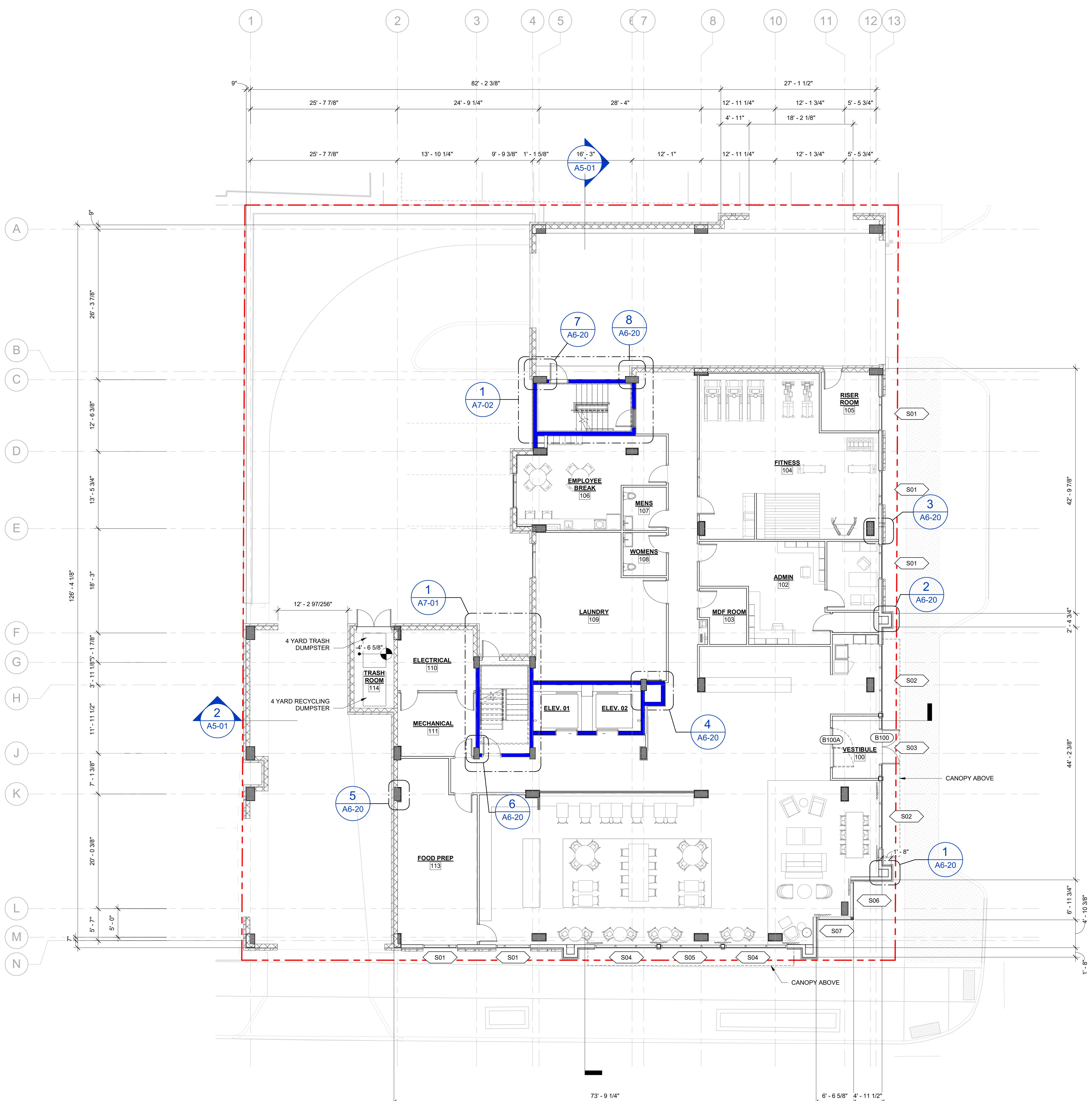
TITLE:

ARCHITECTURAL
RENDERINGS

SHEET NUMBER:

AR-03

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GENERAL NOTES

1. REFER TO A3 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, RCPs, FINISH FLOOR PLAN, AND ELECTRICAL PLAN.
2. REFER TO SHEET CD SERIES FOR WALL AND FLOOR/CEILING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3. REFER TO A8 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4. ALL SLOPES TO BE 1/4" U.O.N.
5. REFER TO INTERIOR DRAWINGS FOR PUBLIC & AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6. REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR CORRIDOR FINISHES.
7. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

LEGEND

	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED

GROSS FLOOR AREA

LEVEL 01	7,515 SF
LEVEL 02	9,680 SF
LEVEL 03	8,739 SF
LEVEL 04	8,739 SF
LEVEL 05	8,739 SF
TOTAL GFA	43,414 SF

*ELEVATOR, STAIR, & MECHANICAL SHAFTS EXCLUDED FROM GFA

00 WEST HURON
ANN ARBOR, MICHIGAN 48103

WEST HURON ARBOR MICHIGAN 48

Fairfield[®] BY MARRIOTT

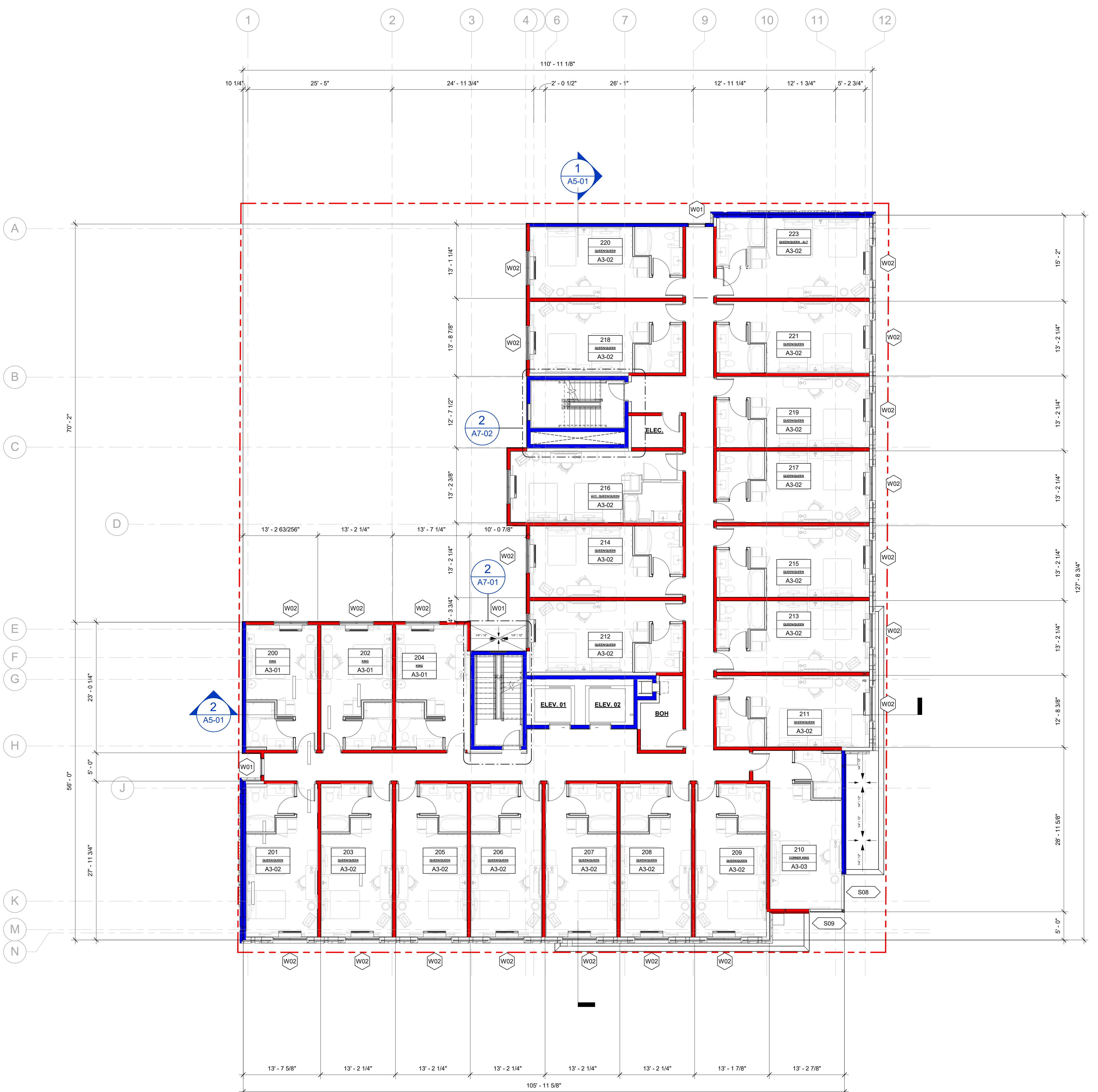
	DRAWING RELEASE	DATE
SCHEMATIC DESIGN	xx/xx/20xx	
DESIGN DEVELOPMENT	11/06/2023	

DESIGN DEVELOPMENT	11/06/202

OVERALL PLAN

LEVEL 01

HEET NUMBER:
A1-01



GENERAL NOTES

1. REFER TO A5 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, RCPs, FINISH FLOOR PLAN, AND ELECTRICAL PLAN.
2. REFER TO SHEET CD SERIES FOR WALL AND FLOOR/CEILING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3. REFER TO A6 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4. ALL SIZES TO BE 1/8" TOL.
5. REFER TO INTERIOR DRAWINGS FOR PUBLIC & AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6. REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR CORRIDOR FINISHES.
7. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

LEGEND

	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED

GROSS FLOOR AREA

LEVEL 01	7,515 SF
LEVEL 02	9,695 SF
LEVEL 03	8,739 SF
LEVEL 04	8,739 SF
LEVEL 05	8,739 SF
TOTAL GFA	43,414 SF

*ELEVATOR, STAIR, & MECHANICAL SHAFTS EXCLUDED FROM GFA

SEAL: CONSULTANT:

300 WEST HURON
ANN ARBOR, MICHIGAN 48103

2708 JAMES STREET
CORALVILLE, IA 52241

PROJECT NUMBER: HWH2019-04

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CLIENT:

△ DRAWING RELEASE DATE

DESIGN DEVELOPMENT 11/06/2020

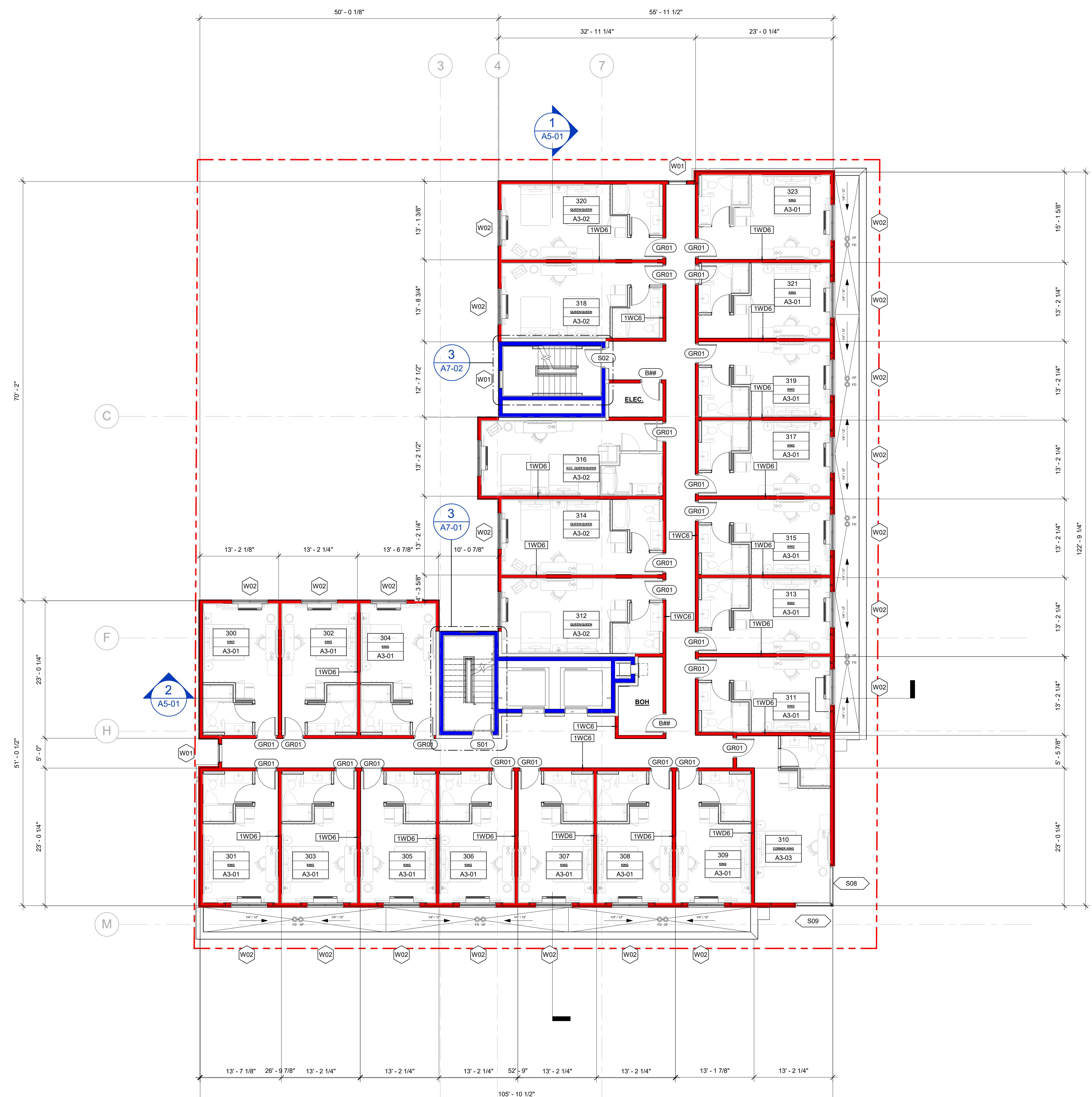
TITLE:

OVERALL PLAN -
LEVEL 02

SHEET NUMBER:

A1-02

1 LEVEL 02
SCALE: 1/8" = 1'-0"



1 LEVEL 03
SCALE: 1/8" = 1'-0"

GENERAL NOTES	
1.	REFER TO A3 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, RCPs, FINISH FLOOR PLAN, AND ELECTRICAL PLAN.
2.	REFER TO SHEET CD SERIES FOR WALL AND FLOOR/CEILING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3.	REFER TO A4 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4.	ALL SIZES TO BE 1/4" U.L.O.
5.	REFER TO INTERIOR DRAWINGS FOR PUBLIC & AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6.	REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR CORRIDOR FINISHES.
7.	DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

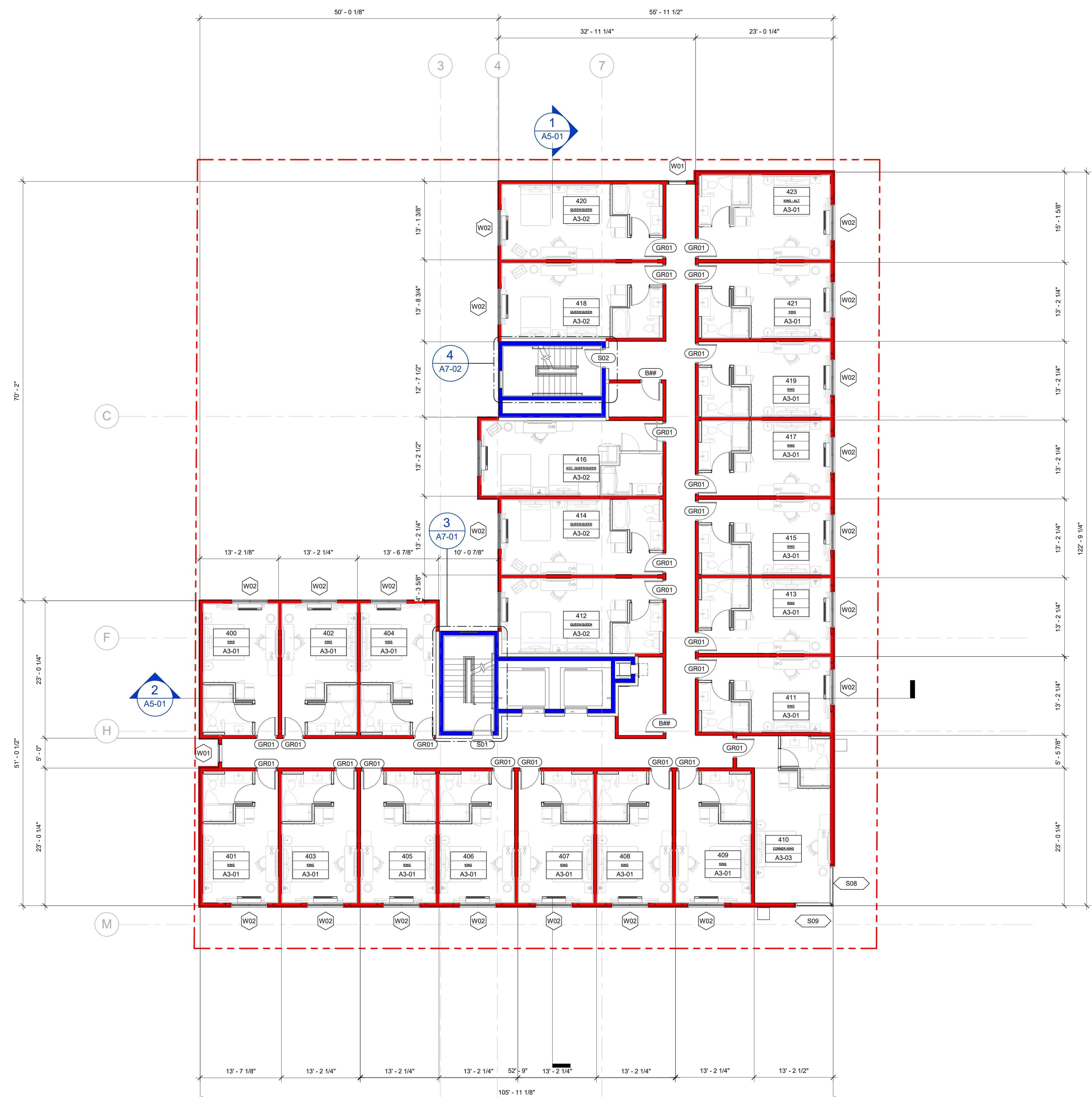
LEGEND	
CMU WALL	
CAST-IN-PLACE CONCRETE WALL	
2104 A3-01	ROOM NUMBER ROOM TYPE LOCATION OF ENLARGED ROOM PLANS, RCP, AND INTERIOR ELEVATION REFERENCES
2WD46	WALL PARTITION
XXX	DOOR CALLOUT
W01	WINDOW TYPE CALLOUT
11	STOREFRONT TYPE CALLOUT
F.E.C.	FIRE EXTINGUISHER CABINET - SEMI-RECESSED

GROSS FLOOR AREA	
LEVEL 01	7,515 SF
LEVEL 02	6,959 SF
LEVEL 03	6,739 SF
LEVEL 04	8,739 SF
LEVEL 05	8,739 SF
TOTAL GFA	43,414 SF

*ELEVATOR, STAIR, & MECHANICAL SHAFTS EXCLUDED FROM GFA

SEAL:	CONSULTANT:
PROJECT NUMBER: HWH2019-04	300 WEST HURON ANN ARBOR, MICHIGAN 48103
Fairfield BY MARRIOTT	
CLIENT:	Hawkeyehotels
2708 JAMES STREET CORALVILLE, IA 52241	
DRAWING RELEASE DATE DESIGN DEVELOPMENT 11/06/2020	
TITLE: OVERALL PLAN - LEVEL 03	
SHEET NUMBER: A1-03	

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GENERAL NOTES

1. REFER TO A1 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, RCPs, FINISH FLOOR PLAN, AND ELECTRICAL PLAN.
2. REFER TO SHEET CD SERIES FOR WALL AND FLOOR/CEILING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3. REFER TO A1 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4. ALL SIZES TO BE 1/8" TOL.
5. REFER TO INTERIOR DRAWINGS FOR PUBLIC & AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6. REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR CORRIDOR FINISHES.
7. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

LEGEND

	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED

GROSS FLOOR AREA

LEVEL 01	7,515 SF
LEVEL 02	6,959 SF
LEVEL 03	6,739 SF
LEVEL 04	8,739 SF
LEVEL 05	8,739 SF
TOTAL GFA	43,414 SF

*ELEVATOR, STAIR, & MECHANICAL SHAFTS EXCLUDED FROM GFA

CONSULTANT:

SEAL:

300 WEST HURON
ANN ARBOR, MICHIGAN 48103

2708 JAMES STREET
CORALVILLE, IA 52241

PROJECT NUMBER: HWH2019-04

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BY MARRIOTT

CLIENT:

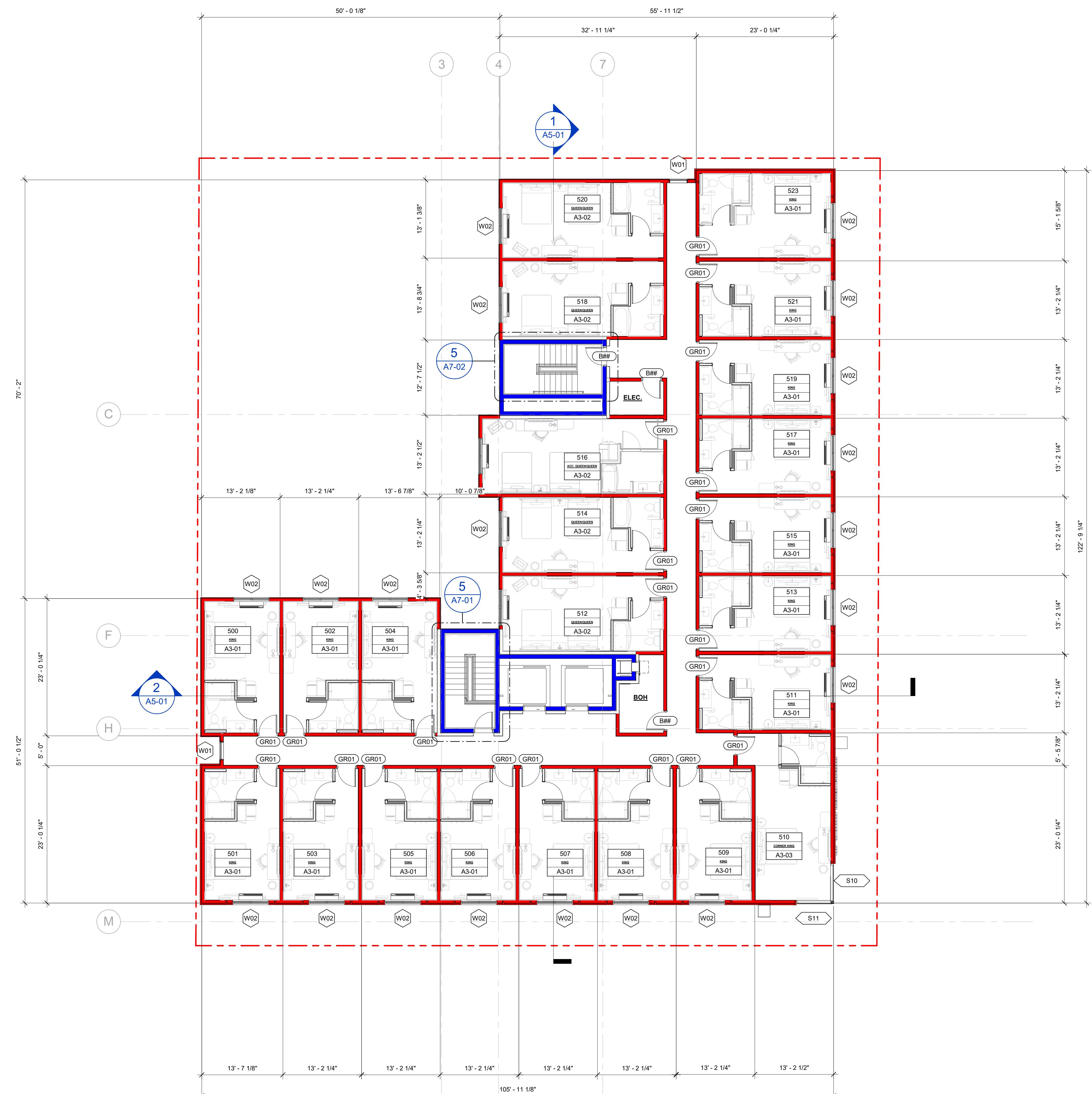
DRAWING RELEASE DATE
DESIGN DEVELOPMENT 11/06/2020

TITLE:
OVERALL PLAN -
LEVEL 04

SHEET NUMBER:

A1-04

1 LEVEL 04
SCALE: 1/8" = 1'-0"



GENERAL NOTES

1. REFER TO A1 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, RCPs, FINISH FLOOR PLAN, AND ELECTRICAL PLAN.
2. REFER TO SHEET CD SERIES FOR WALL AND FLOOR/CEILING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3. REFER TO A1 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4. ALL SIZES TO BE 1/8" TOL.
5. REFER TO INTERIOR DRAWINGS FOR PUBLIC & AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6. REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR CORRIDOR FINISHES.
7. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

LEGEND

	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED

GROSS FLOOR AREA

LEVEL 01	7,515 SF
LEVEL 02	8,685 SF
LEVEL 03	8,739 SF
LEVEL 04	8,739 SF
LEVEL 05	8,739 SF
TOTAL GFA	43,414 SF

*ELEVATOR, STAIR, & MECHANICAL SHAFTS EXCLUDED FROM GFA

CONSULTANT:

SEAL:

PROJECT NUMBER: HWH2019-04

300 WEST HURON

ANN ARBOR, MICHIGAN 48103

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BY MARRIOTT

CLIENT:

2708 JAMES STREET
CORALVILLE, IA 52241

DRAWING RELEASE DATE

DESIGN DEVELOPMENT

11/06/2020

TITLE:

OVERALL PLAN -
LEVEL 05

SHEET NUMBER:

A1-05

1 LEVEL 05
SCALE: 1/8" = 1'-0"

DYNAMIC

DESIGN

500 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-506-8830
DYNAMICDESIGN.COM

EXTERIOR FINISHES

TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
DIVISION 04			
BR-1	BRICK VENEER	MEREDIAN BRICK	DOMINO IRONSPOT
BR-2	BRICK VENEER	MEREDIAN BRICK	DOMINO IRONSPOT
DIVISION 07			
CP-1	CEMENTITIOUS PANEL	ALLURA OR EQ.	SMOOTH VERTICAL PANEL/SNOW
CP-2	CEMENTITIOUS PANEL	ALLURA OR EQ.	SMOOTH VERTICAL PANEL/KNIGHTS ARMOR
MC-1	METAL COPING	SEE SPECIFICATIONS	ARMOR FOX
MP-1	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	DG SILVER
MP-2	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CHARCOAL
MP-3	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CADET GREY
MP-4	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CLASSIC WHITE
DIVISION 08			
AL-1	ALUMINUM WINDOW WALL	SEE SPECIFICATIONS	KYNAR 500
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	KYNAR 500
AW-2	ALUMINUM WINDOW	SEE SPECIFICATIONS	KYNAR 500
GL-1	1" INSULATED LOW 'E' TOWER VISION GLAZING	TBD	TBD
GL-2	1" INSULATED CLEAR LOW 'E' VISION GLAZING	TBD	TBD
GL-3	1" INSULATED TINTED SPANDREL GLAZING	TBD	MATCH GL-1
GL-4	1" INSULATED CLEAR SPANDREL GLAZING	TBD	MATCH GL-3



2) SOUTH ELEVATION

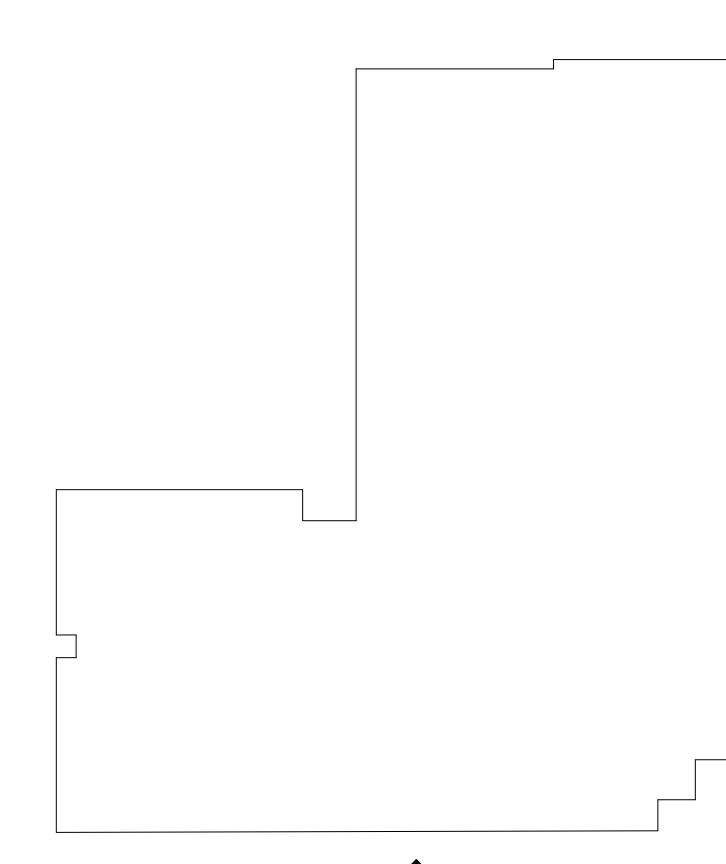
SCALE: 1/8" = 1'-0"



1) EAST ELEVATION

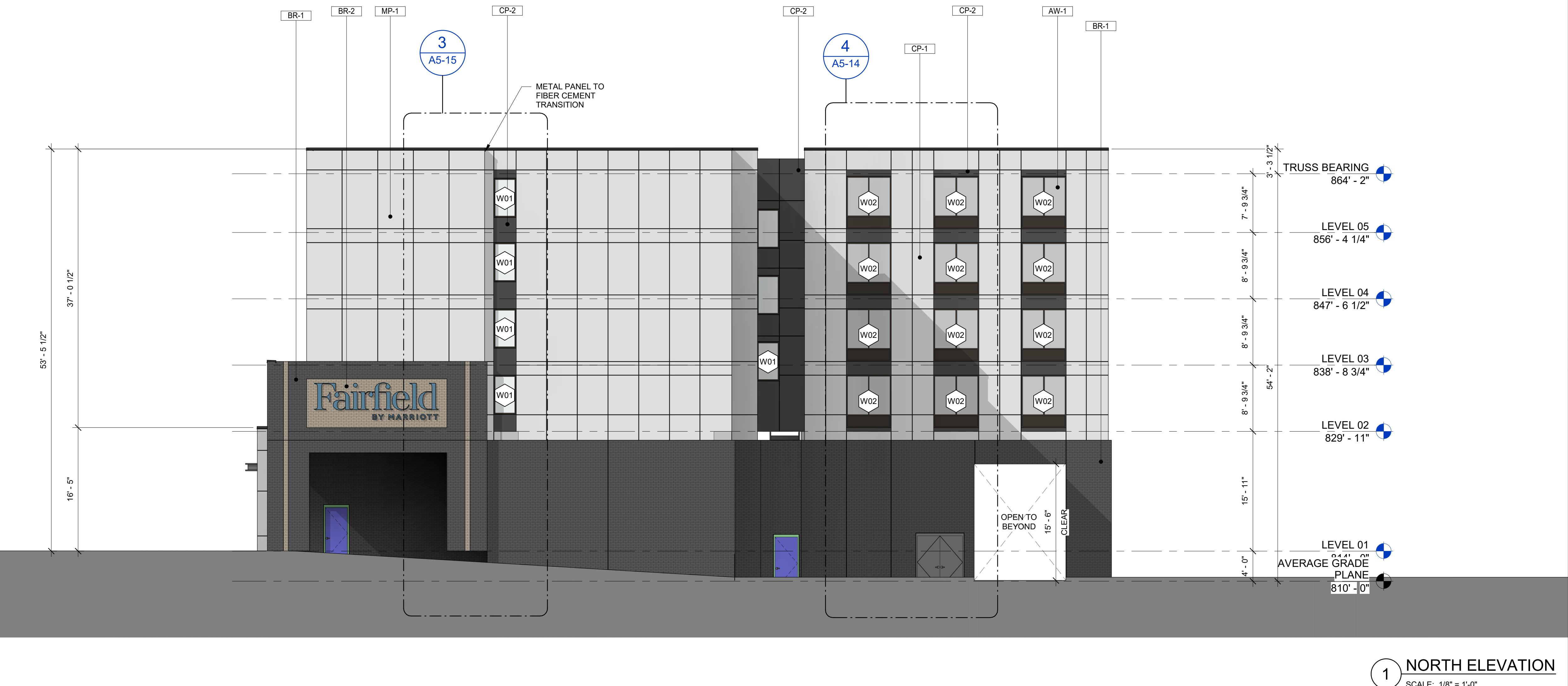
SCALE: 1/8" = 1'-0"

KEY PLAN



1
2

1
2



EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
BR-1	BRICK VENEER	MEREDIAN BRICK	DOMINO IRONSPOT
BR-2	BRICK VENEER	MEREDIAN BRICK	DOMINO IRONSPOT
CP-1	CEMENTITIOUS PANEL	ALLURA OR EQ.	SMOOTH VERTICAL PANEL/SNOW
CP-2	CEMENTITIOUS PANEL	ALLURA OR EQ.	SMOOTH VERTICAL PANEL/KNIGHTS ARMOR
MC-1	METAL COPING	SEE SPECIFICATIONS	SEE SPECIFICATIONS
MP-1	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	DG SILVER
MP-2	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CHARCOAL
MP-3	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CADET GREY
MP-4	COMPOSITE METAL PANEL	REYNOBOND OR EQ.	CLASSIC WHITE
AL-1	ALUMINUM WINDOW WALL	SEE SPECIFICATIONS	KYNAR 500
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	KYNAR 500
AW-2	ALUMINUM WINDOW	SEE SPECIFICATIONS	KYNAR 500
GL-1	1" INSULATED LOW 'E' TOWER VISION GLAZING	TBD	TBD
GL-2	1" INSULATED CLEAR LOW 'E' VISION GLAZING	TBD	TBD
GL-3	1" INSULATED TINTED SPANDREL GLAZING	TBD	MATCH GL-1
GL-4	1" INSULATED CLEAR SPANDREL GLAZING	TBD	MATCH GL-3

SEAL:
ARCHITECT:

ELEVATE
architecture
studio

1398 MARSTON STREET SE, I-550, SAVANNAH, GEORGIA 30306
PHONE: 770-833-3833

WWW.ELEVATEARCHITECT.COM

Fairfield
BY MARRIOTT

300 WEST HURON
ANN ARBOR, MICHIGAN 48103

OWNER:

Hawkeyehotels

CONSULTANT:
2708 JAMES STREET
CORALVILLE, IA 52241

ISSUANCES
DATE 11/06/2020 DESCRIPTION DESIGN DEVELOPMENT MARK

ELEVATE PROJECT NUMBER: 21-04-01
SHEET TITLE:

BUILDING
ELEVATIONS

SHEET NUMBER:

A4-02

ISSUED FOR CONSTRUCTION

