

**Zoning Board of Appeals
October 23, 2019 Regular Meeting**

STAFF REPORT

Subject: ZBA19-029; 614 Soule Boulevard

Summary:

Forward Design Build, representing the property owners, is requesting a 17 foot variance from Table 5.17-1 Single-Family Residential Zoning District Dimensions. The property is zoned R1D and has a 20 foot rear yard setback requirement. The owners are proposing construction of a new one car garage and mudroom on the first floor and a master bedroom and bathroom on the second floor.

Background:

The subject property is located on a corner lot at the intersection of Soule Boulevard and Lutz Avenue. The home was built in 1926 and is approximately 1,332 square feet in size.

Description:

The proposed addition will replace their existing detached garage and mudroom to construct a new attached addition to the home. The new first floor area will consist of a mudroom and expanded kitchen that will comprise 960 additional square feet. The second story master bedroom and bathroom will contain 924 square feet. A 1,048 square foot unfinished basement will be excavated for the project.

Standards for Approval- Variance

The Zoning Board of Appeals has all the power granted by State law and by Section 5.29.12, Application of the Variance Power from the UDC. The following criteria shall apply:

- (a). *That the practical difficulties are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the City.***

The applicant has listed corner lot location, existing nonconforming mudroom, site layout constraints, age of home and limited floor area as reasons a variance is being requested.

- (b). *That the practical difficulties will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.***

The applicant states the property meets the minimum lot size requirements for the R1D district, but the double front setbacks because of a corner lot presents difficulties in expanding the home.

- (c). *That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a***

Zoning Board of Appeals
October 23, 2019

variance, and the rights of others whose property would be affected by the allowance of the variance.

The demolition of a detached garage and the attachment of a new addition will improve the physical appearance of the home. The addition will reduce the existing nonconforming garage by one foot.

(d). That the conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.

The applicants have stated the hardship is related to the size of the lot and the setbacks that have been applied on a corner lot. The garage must face the south side of the property as the driveway is located and accessed from Lutz Avenue.

(e). A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.

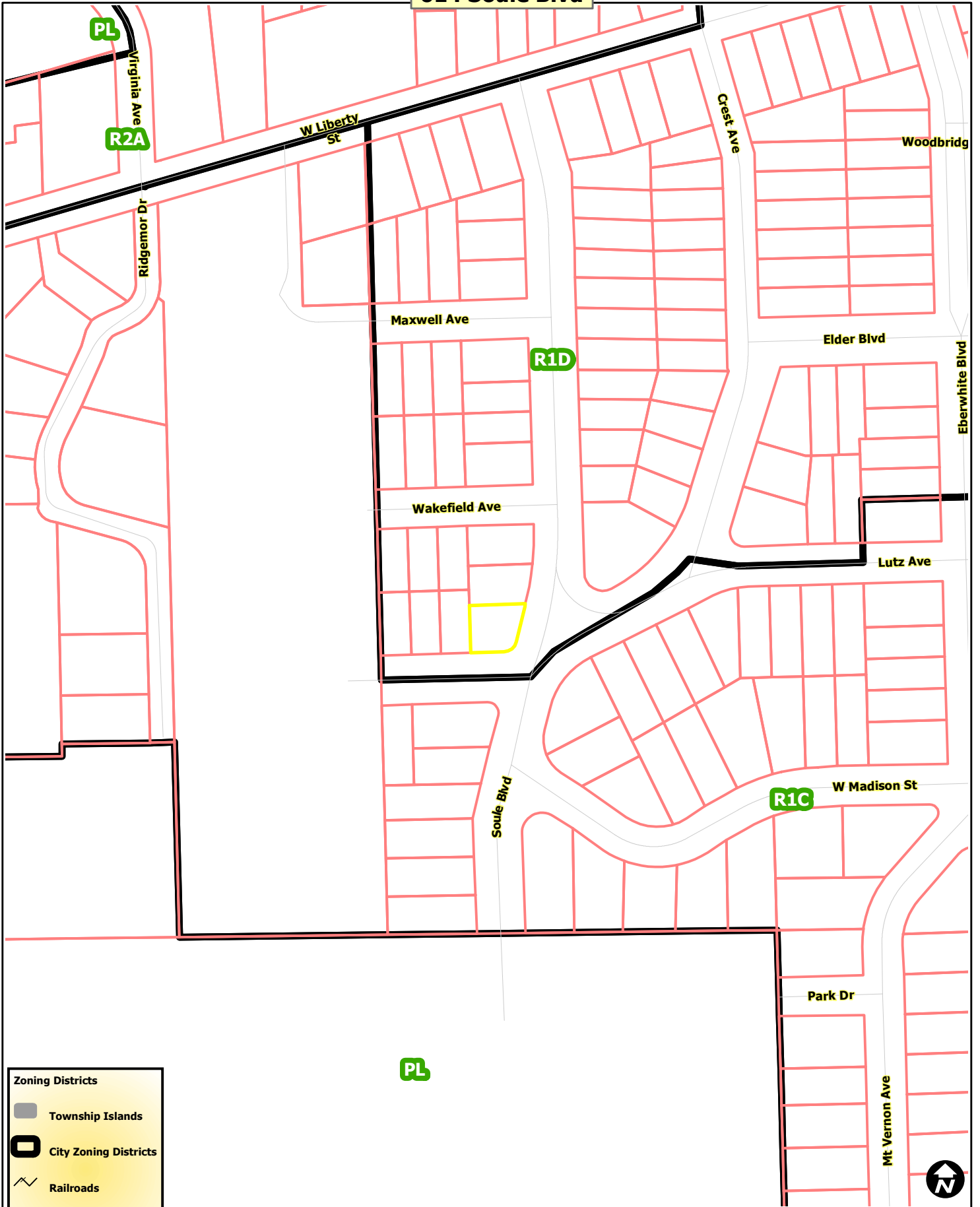
The intersection of the three streets in this neighborhood has created a tree-lined street and park-like characteristic for the area. The siting of the addition allows the preservation of the trees and vegetation in the front yard, which mirrors the other corner lots in the neighborhood.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jon Barrett".

Jon Barrett
Zoning Coordinator

614 Soule Blvd



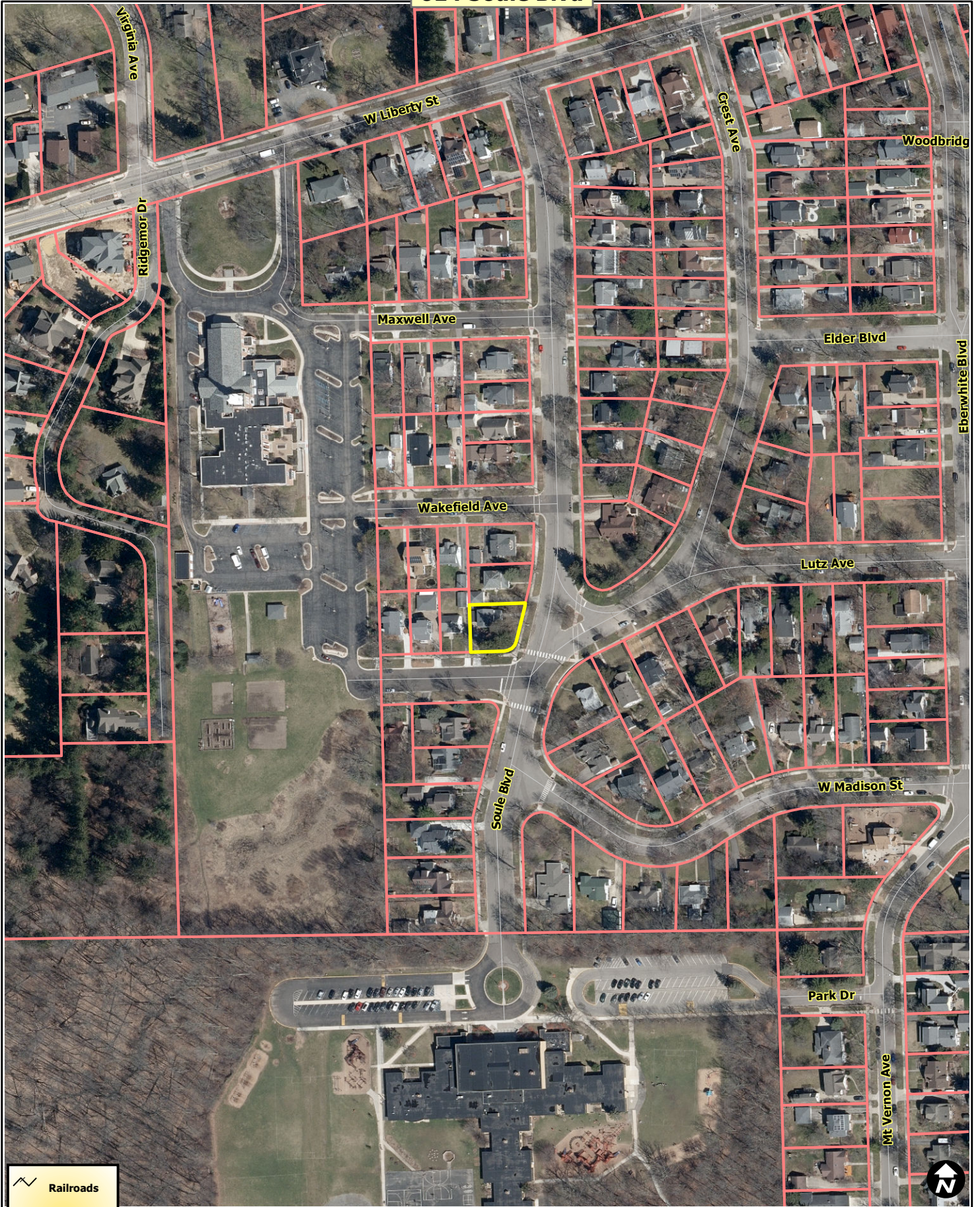
Zoning Districts

- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels



Map date: 10/1/2019
Any aerial imagery is circa 2018 unless otherwise noted
Terms of use: www.a2gov.org/terms

614 Soule Blvd



- Railroads
- Huron River
- Tax Parcels






Map date: 10/1/2019
Any aerial imagery is circa 2018
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614 Soule Blvd



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 10/1/2019
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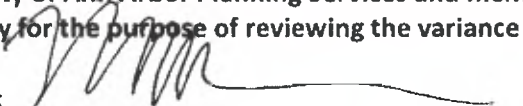


ZONING BOARD OF APPEALS APPLICATION

City of Ann Arbor Planning Services

City Hall: 301 E Huron Street Ann Arbor, MI 48107-8647

Phone: 734-794-6265 Fax: 734-794-8460 Email: planning@a2gov.org

PROPERTY INFORMATION			
ADDRESS OF PROPERTY 614 Soule Blvd., Ann Arbor			ZIP CODE 48103
ZONING CLASSIFICATION R1D	NAME OF PROPERTY OWNER* <i>If different than applicant, a letter of authorization from the property owner must be provided</i> Michelle Segar & Jeff Horowitz		
PARCEL NUMBER 09-09-30-418-004	OWNER EMAIL ADDRESS n/a		
APPLICANT INFORMATION			
NAME Forward Design Build Remodel			
ADDRESS 6087 Jackson Rd. Suite 100	CITY Ann Arbor	STATE MI	ZIP CODE 48103
EMAIL tim@planforward.net		PHONE (734)761-8403	
APPLICANT'S RELATIONSHIP TO PROPERTY Design / Builid Company			
REQUEST INFORMATION			
<input checked="" type="checkbox"/> VARIANCE REQUEST Complete Section 1 of this application		<input type="checkbox"/> REQUEST TO ALTER A NONCONFORMING STRUCTURE Complete Section 2 of this application	
REQUIRED MATERIALS		OFFICE USE ONLY	
<p>One hard copy application complete will all required attachments must be submitted. Digital copies of supportive materials included in the submitted hard copy will only be accepted in PDF format by email or accompanying the hard copy application on a USB flash drive.</p> <p>Required Attachments:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Boundary Survey of the property including all existing and proposed structures, dimensions of property, and area of property. <input checked="" type="checkbox"/> Building floor plans showing interior rooms, including dimensions. <input checked="" type="checkbox"/> Photographs of the property and any existing buildings involved in the request. 		Fee Paid: \$750 ZBA: 19-029	
		DATE STAMP CITY OF ANN ARBOR RECEIVED SEP 24 2019 PLANNING & DEVELOPMENT SERVICES	
ACKNOWLEDGEMENT			
<p>All information and materials submitted with this application are true and correct.</p> <p>Permission is granted to City of Ann Arbor Planning Services and members of the Zoning Board of Appeals to access the subject property for the purpose of reviewing the variance request.</p>			
Property Owner Signature : 		Date: <u>9/17/19</u>	

Section 1 City of Ann Arbor Planning Services – Zoning Board of Appeals Application

VARIANCE REQUEST

ARTICLE(S) AND SECTION(S) FROM WHICH A VARIANCE IS REQUESTED: *(Example: Article 3, Section 5.26)*
ARTICLE IV: TABLE 5:17-1 SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT DIMENSIONS - REAR SETBACK

REQUIRED DIMENSION: *(Example: 40' front setback)*
Feet: 20 Inches: 0

PROPOSED DIMENSION: *(Example: 32 foot 8 inch front setback)*
Feet: 3 Inches: 0

DESCRIPTION OF PROPOSED WORK AND REASON FOR VARIANCE:
SEE ATTACHMENT

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:29. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when all of the following statements are found to be true. Please provide a complete response to each of the statements below.

The alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the city.
SEE ATTACHMENT

The alleged hardships are practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.
SEE ATTACHMENT

Allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.
SEE ATTACHMENT

The conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.
SEE ATTACHMENT

A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.
SEE ATTACHMENT

VARIANCE APPLICATION

Tuesday, September 24th, 2019,

City of Ann Arbor Planning and Development Services
301 East Huron Street,
Ann Arbor MI 48107
Att: Jon Barrett, Zoning Coordinator

Re: Variance Request - 614 Soule Blvd. Ann Arbor MI 48103

Members of the Board,

Thank you for considering our request for a variance at the address 614 Soule Blvd. Enclosed you will find the following to support our request:

1. Completed Zoning Board of Appeals Application
2. Description of Proposed Work and Reason for Variance
3. Aerial View of Property and Adjacent Neighbors
4. Topographic Survey
5. Full Construction Drawing Set,
 - a. Site Plan
 - b. Floor Plans
 - c. Elevations
 - d. Details
6. Photos with Additional Notes Describing Work
7. Letter of Authorization
8. Written Letter Michelle Segar and Jeff Horowitz, owner of address 614 Soule Blvd.
9. Community Approval, Neighbors Letters Approving of the Project

We look forward to discussing our application with you in person at your upcoming meeting on Wednesday, October 23rd, 2019.

Thanks,

Forward Design Build (Design/Build Contractor)
6087 Jackson Rd s-100
Ann Arbor Mi 48103



FORWARD
DESIGN BUILD REMODEL

DESCRIPTION OF PROPOSED WORK AND REASON FOR VARIANCE:

On behalf of our clients, Michelle Segar & Jeff Horowitz, we are proposing an addition in the rear setback of their property at 614 Soule Blvd. Their property is a corner lot, located at the intersection of Soule Blvd. and Lutz Ave., which requires them to have two 25' front setbacks, one 3' side setback and a 20' rear setback. While the front of their home faces Soule, their driveway access is off of Lutz Ave. which leads to their existing detached garage and mudroom on the west side of the property. We are requesting a variance to the rear setback of 20' to 3'-1" which would improve the current location of the existing garage by 1', moving it further away from the property line.

The proposed addition would replace their existing garage and mudroom to accommodate a new attached single car garage and mudroom on the first floor and master bedroom and bathroom on the second floor. This design is being proposed because it's the most practical layout for this home, while also being the least intrusive on the rest of the site / neighborhood.

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:29. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when all of the following statements are found to be true. Please provide a complete response to each of the statements below.

The alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the city.

- **Corner Lot:** This is a corner lot with limited buildable area based on the setback requirements (2 fronts, rear, and side)
- **Nonconforming Residence:** The existing mudroom and 4" of the west side of house are not within the rear setback requirements making the house already a nonconforming structure.
- **Site Layout:** Having a driveway off of Lutz Ave. and a front entry on Soule Blvd. also contributes to the limited buildable area of the site
- **Home Orientation:** Michelle & Jeff would like to maintain the east-west orientation of their home to enjoy the natural light and open area at the south side of their property. The new design proposes access from their dining room so they can utilize this space even more.
- **Age of House:** House was built in 1926. This 93 year old home is antiquated and the homeowners are looking to improve their existing inadequate amenities while preserving the historic character of the home. Their 100 SqFt kitchen is very limited, as it lacks storage and usability for a single family. Also, as the current layout shows, "bedroom 3" does not have a closet and therefore is not considered a bedroom. The proposed additional square footage provides an increase in storage and brings the house up to date.

- Floor Area: This is a 1300 SF home with 1 bathroom. Michelle & Jeff would like to expand their home to meet the needs of their family. Michelle also works from home and the current floor plan does not allow for a dedicated office space for her. Increasing the square footage of the home alleviates the contention of sharing one bathroom and working in a hallway.

The alleged hardships are practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.

- This family desires to live in this house long term and therefore are making a long term commitment to the neighborhood. Although they have sufficient lot size for the R1-D zoning district, the setbacks of their corner lot present them with a practical difficulty to expand their home. Given the current setbacks they are unable to meet their needs without detracting from the current neighborhood fabric.

Allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.

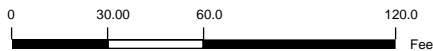
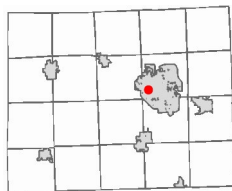
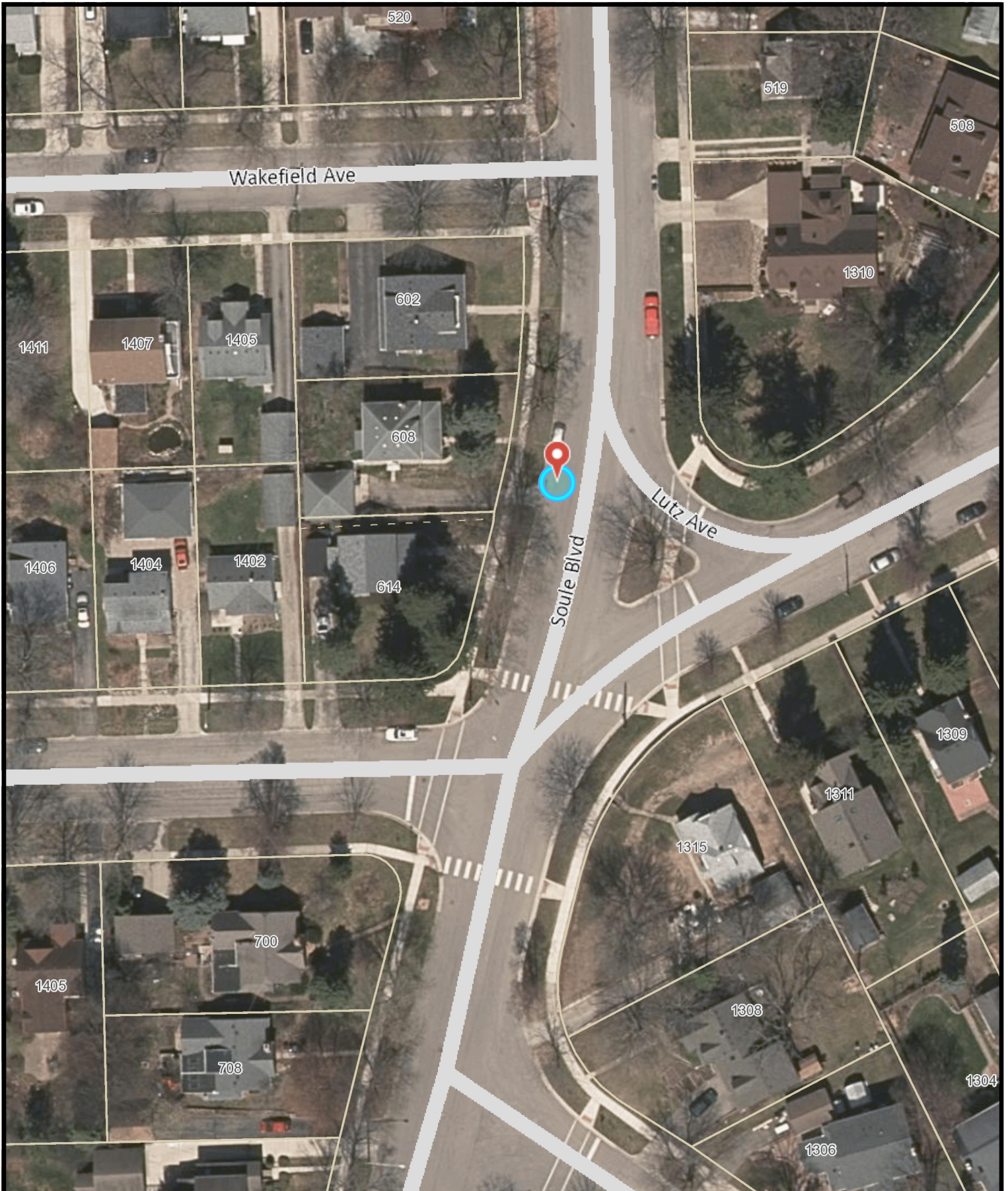
- We are proposing this addition on the west side of the home because it will take the place of the existing garage and mudroom, thus reducing the impact on the neighbors whose garages are also located in this corner on their properties.
- This new design, which better balances the existing structure by tying in the garage with the rest of the home, will not only keep, but improve the physical characteristics of the house and the neighborhood.
- The new design, increases the distance from the property line an additional foot from where the current non-conforming structure is placed.
- Alternatively, if an addition were proposed in the buildable area on the south side of the property, this would have more of an intrusive effect on the neighbors because it would project past the front of the homes on Lutz Ave. and obstruct more sightlines between the three streets.
- The existing intersection of the three streets, creates a park-like feel to the neighborhood. The new design allows us to preserve the vegetation and trees on site, which mirrors corner lots within the neighborhood.

The conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.

- This property is a corner lot with two 25' front setbacks, one 3' side setback and one 20' rear setback.
- The current west elevation of the home does not meet the 20' setback requirement making these walls nonconforming.
- The home faces Soule Blvd. but has driveway access from Lutz Ave.
- While it may appear there is buildable area to the south side of the site, this space does not lend itself to a proper attached garage addition because of the existing layout of the driveway nor does it allow for a new second floor bedroom and bathroom given the home's existing bedroom layout.
- The family also utilizes the existing outdoor space with having two front yards and changing this would create an unusable backyard right next to their neighbors driveway and side of their house.

A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.

A variance approval of a 3'-1" rear setback will allow us to maintain the existing look of the neighborhood by keeping Michelle & Jeff's garage and mudroom addition on the west side of their home. Due to the limitations of their corner lot and existing layout of the neighboring homes and garages, we feel this is the best use of space that will have the least amount of impact on the neighborhood.



1: 720

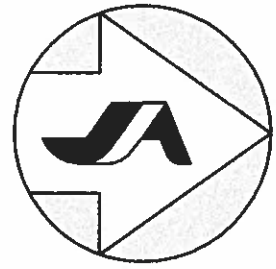
9/24/2019



NOTE: Parcels may not be to scale.

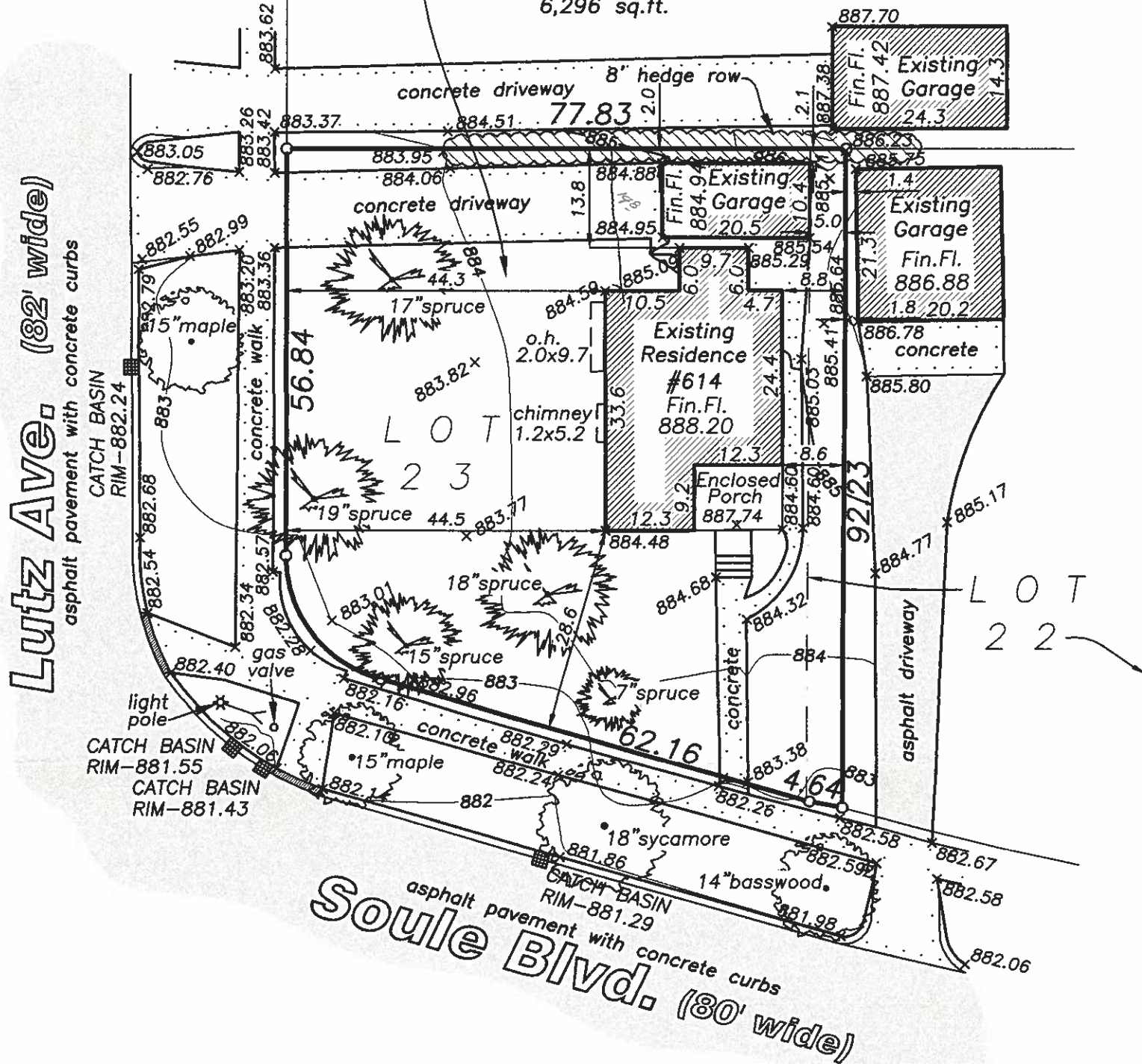
The information contained in this cadastral map is used to locate, identify and inventory parcels of land in Washtenaw County for appraisal and taxing purposes only and is not to be construed as a "survey description". The information is provided with the understanding that the conclusions drawn from such information are solely the responsibility of the user. Any assumption of legal status of this data is hereby disclaimed.

THIS MAP REPRESENTS PARCELS AT THE TIME OF PRINTING. THE OFFICIAL PARCEL TAX MAPS ARE MAINTAINED SOLELY BY THE WASHTENAW COUNTY EQUALIZATION DEPARTMENT AND CAN BE OBTAINED BY CONTACTING THAT OFFICE AT 734-222-6662.



DESCRIBED PARCEL

6,296 sq.ft.



LEGAL DESCRIPTION

THE SOUTH 5 FEET OF LOT 22 & ALL OF LOT 23 OF, "EVER WHITE FIRST ADDITION", PART OF THE SOUTHEAST 1/4 OF SECTION 30, T.2S., R.6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 3 OF PLATS ON PAGES 13 & 14. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

NAVD88 BENCH MARK
ARROW ON HYDRANT
ELEVATION = 883.43

HYDRANT

000.00 = EXISTING ELEV.
000.00 = PROPOSED ELEV.
← = DRAINAGE COURSE

TOPOGRAPHIC SURVEY

prepared for: MICHELLE SEGER & JEFF HOROWITZ
614 SOULE BLVD
ANN ARBOR, MI 48103
(734) 995-5152

JEKABSON & ASSOCIATES, P.C.
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-0200 (734) 414-7272 fax
by *John Jekabson*

PLAN	N/A
DATE	10 OCT 14
JOB NO.	14-09-008
SCALE	1" = 20'
DRAWN	JRN
CHECKED	JGE
SHEET	1 OF 1



Know what's below.
Call before you dig.



SEGAR / HOROWITZ RESIDENCE

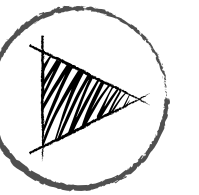
614 SOULE BLVD., ANN ARBOR, MICHIGAN



BEFORE PHOTO



AFTER RENDERING



FORWARD
DESIGN BUILD REMODEL

6087 Jackson Rd. Suite 100
Ann Arbor, MI 48103
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CONSTRUCTION DOCUMENTS

REMODEL / ADDITION
JEFF HOROWITZ & MICHELLE SEGAR
614 SOULE BLVD
Ann Arbor, MI 48103

SHEET INDEX

ID	Name
A100	COVER SHEET
A101	SITE PLAN
A102	DEMO FOUNDATION PLAN
A103	DEMO FIRST FLOOR PLAN
A104	DEMO SECOND FLOOR PLAN
A105	NEW FOUNDATION PLAN
A106	NEW FIRST FLOOR
A107	NEW SECOND FLOOR PLAN
A108	NEW ROOF PLAN
A200	NEW EXTERIOR ELEVATIONS
A201	NEW EXTERIOR ELEVATIONS
A300	BUILDING SECTIONS
A301	BUILDING SECTION
A900	3D VIEWS

9/24/2019

SHEET TITLE
COVER SHEET

A100

FLOOR AREA CALCULATION

EXISTING FLOOR AREA:
 BASEMENT - 791 SQFT (0 SQFT FINISHED)
 1ST FLR. - 758 SQFT
 2ND FLR. - 532 SQFT
EXISTING FINISHED FLOOR AREA - 1,290 SQFT
NEW FLOOR AREA:
 BASEMENT - 1,048 SQFT (0 SQFT FINISHED)
 1ST FLR. - 960 SQFT
 2ND FLR. - 924 SQFT
NEW FINISHED FLOOR AREA - 1,884 SQFT
 NEW ATTACHED GARAGE SQFT - 347 SQFT

SITE LINE KEY

LOD/RSF LIMIT OF DISTURBANCE (REINFORCED SILT FENCE)

SOIL TYPE

MIAMI LOAM

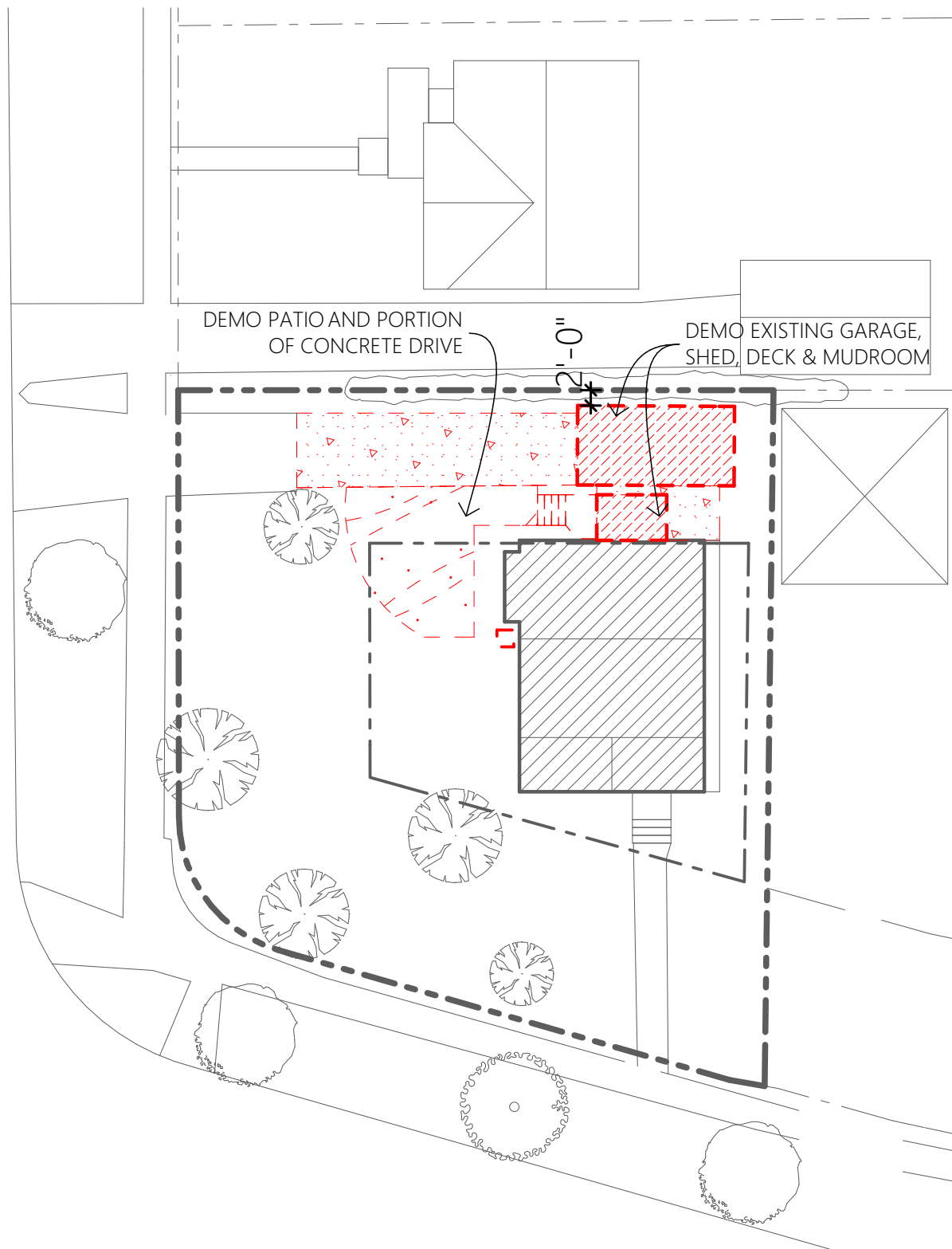
GENERAL NOTES

ZONING:
 R-1D: SINGLE FAMILY RESIDENTIAL

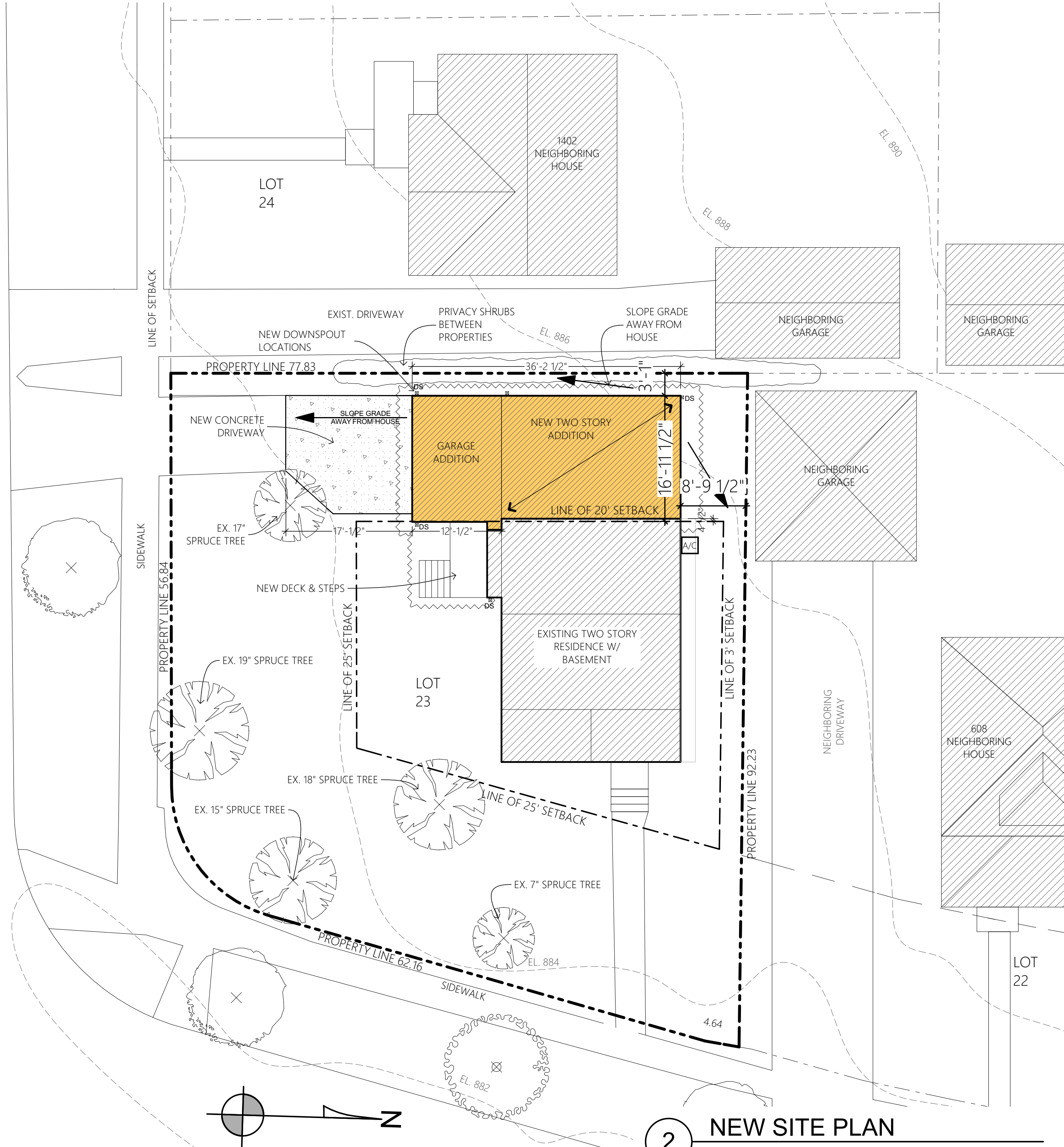
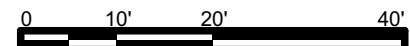
SETBACKS:
 THIS LOT HAS 2 FRONT YARDS

FRONT: 25'
 SIDE: 3' MIN.
 REAR: 20'

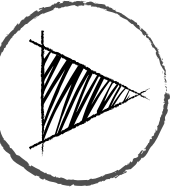
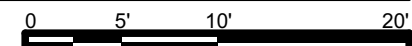
LOT AREA:
 6,296 SQ.FT. (.15 AC.)



3 DEMO SITE PLAN



2 NEW SITE PLAN



FORWARD
 DESIGN BUILD REMODEL

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CONSTRUCTION DOCUMENTS

REMODEL / ADDITION
 JEFF HOROWITZ & MICHELLE SEGAR
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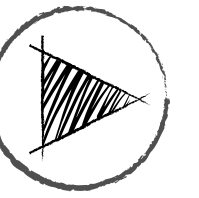
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9/24/2019

SHEET TITLE
 SITE PLAN

A101



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CONSTRUCTION DOCUMENTS

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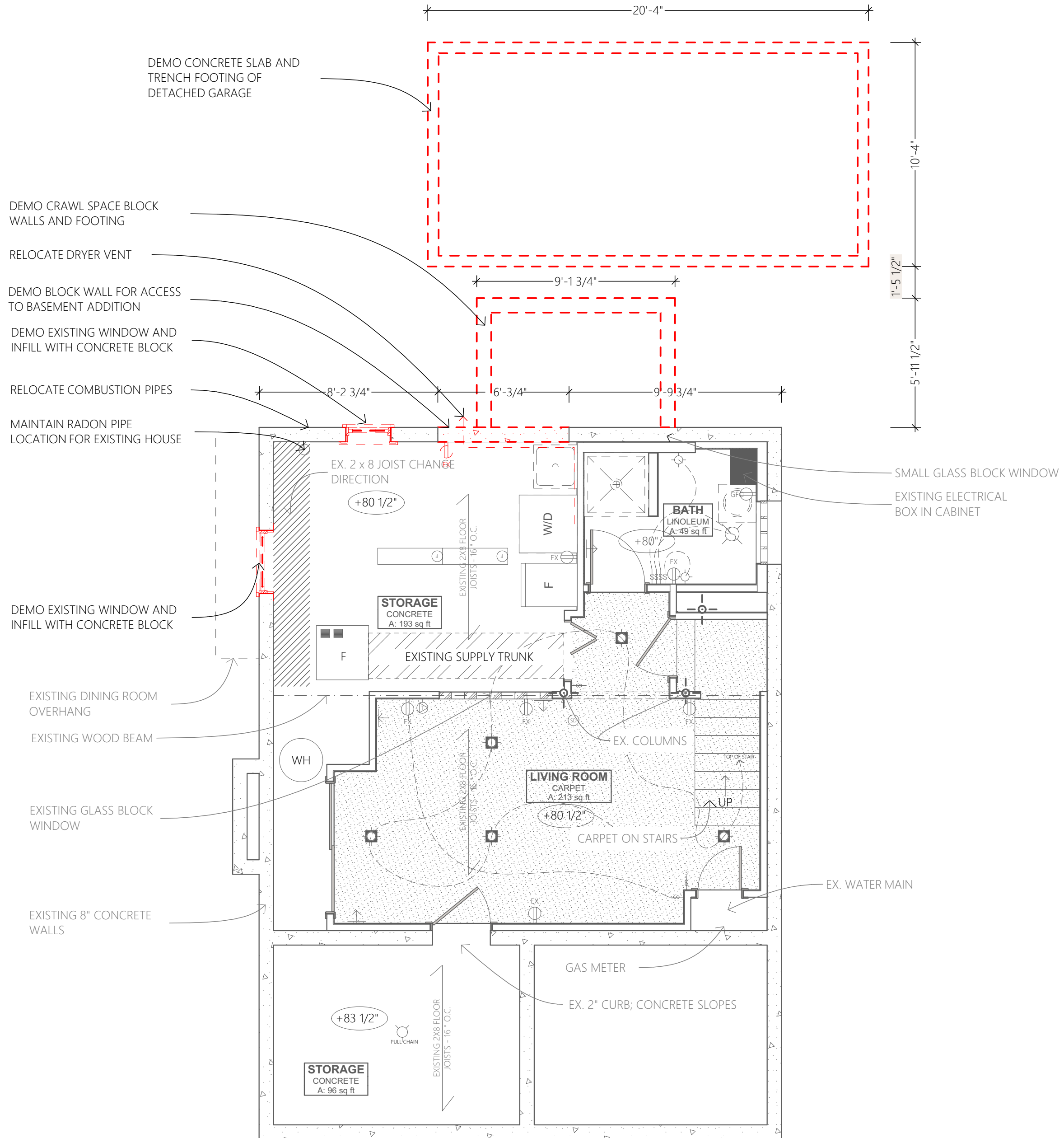
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9/24/2019

SHEET TITLE
DEMO FOUNDATION PLAN

A102



DRAWING KEY:

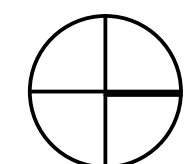
- = ALL EXISTING ITEMS
- = ALL ITEMS TO BE DISMANTLED AND / OR REMOVED, SALVAGED-SEE SCOPE OF WORK

WALL LEGEND:

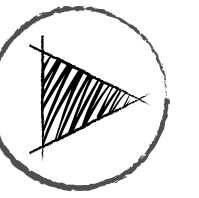
- EXISTING POURED CONCRETE WALL, 8" THICK
- EXISTING INTERIOR WALLS; ASSUMED ASSEMBLY 2x4 W/ 3/4" PLASTER BOTH SIDES



1 DEMO FOUNDATION PLAN



2



FORWARD
DESIGN BUILD REMODEL

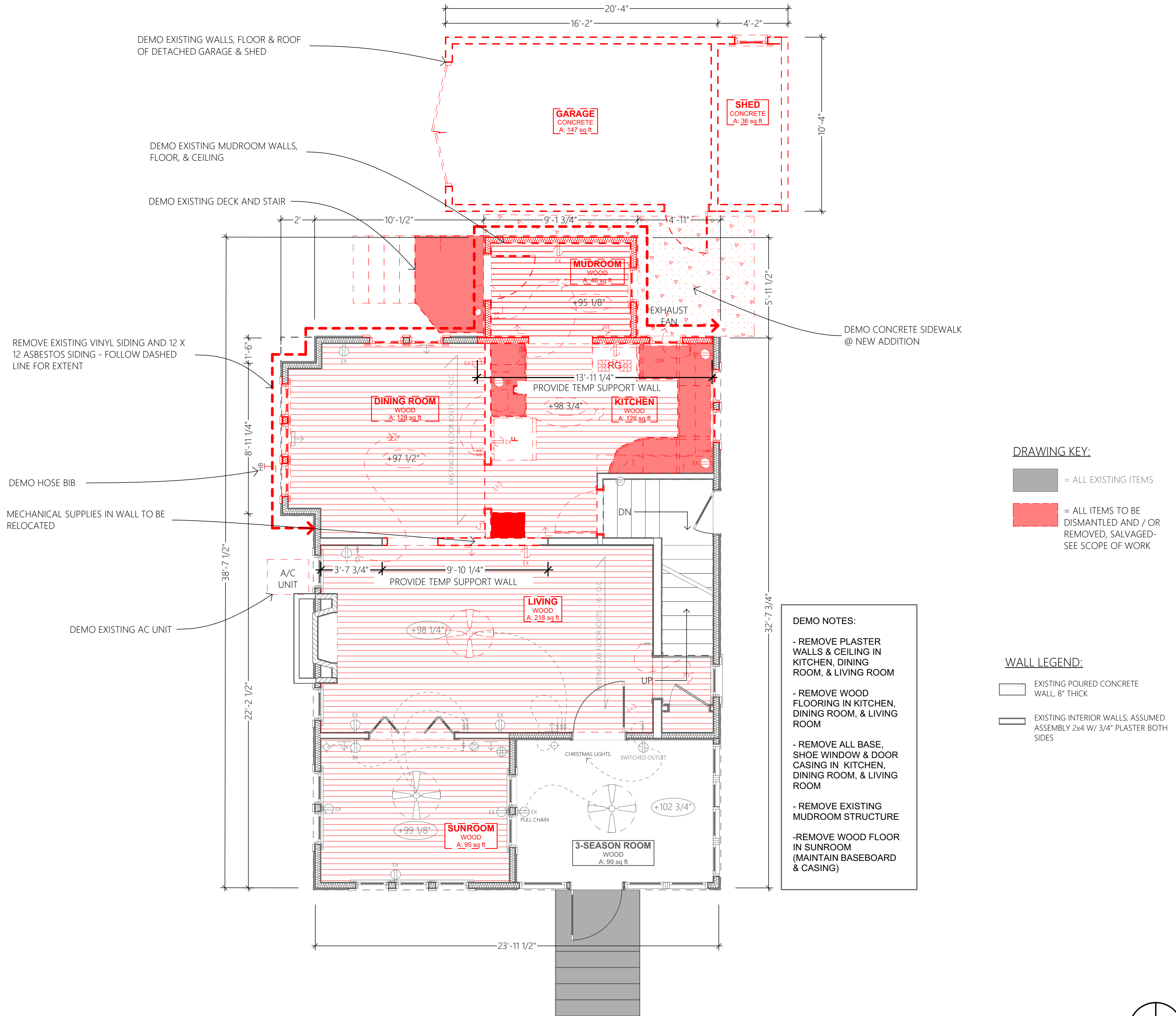
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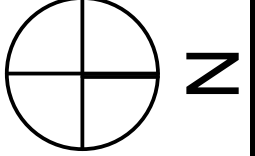
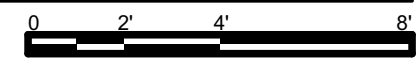
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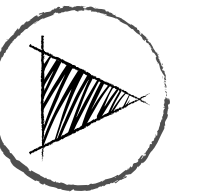
1 DEMO FIRST FLOOR PLAN



A103

9/24/2019

SHEET TITLE
DEMO FIRST FLOOR PLAN



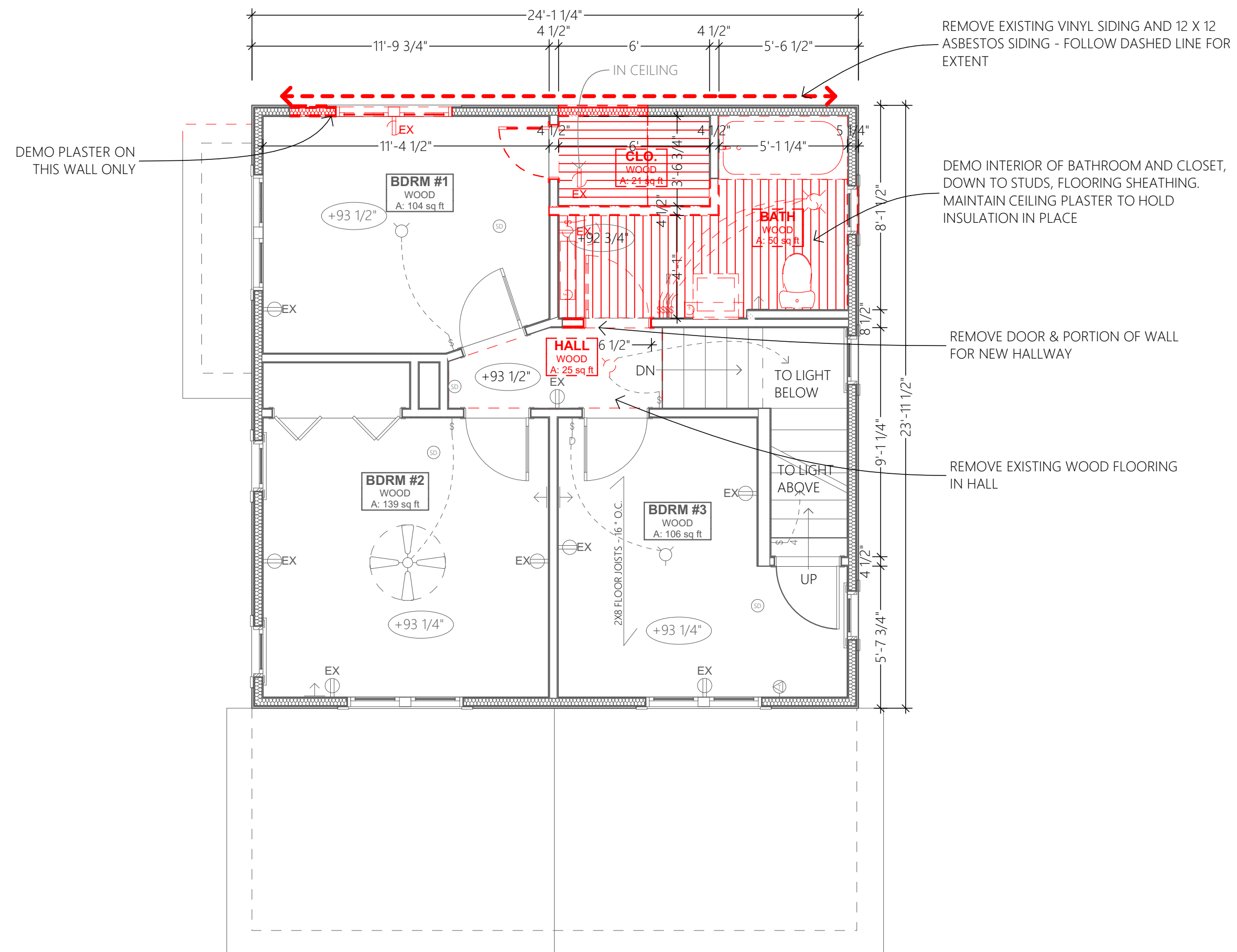
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A103	DEMO FIRST FLOOR PLAN
A104	DEMO SECOND FLOOR PLAN
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A106	NEW FIRST FLOOR
A107	NEW SECOND FLOOR PLAN
A108	NEW ROOF PLAN
A200	NEW EXTERIOR ELEVATIONS
A201	NEW EXTERIOR ELEVATIONS
A300	BUILDING SECTIONS
A301	BUILDING SECTION
A900	3D VIEWS



DRAWING KEY:

- = ALL EXISTING ITEMS
- = ALL ITEMS TO BE DISMANTLED AND / OR REMOVED, SALVAGED-SEE SCOPE OF WORK

WALL LEGEND:

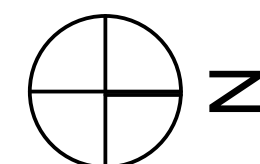
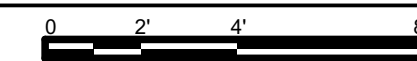
- EXISTING EXTERIOR WALLS; PRESUMED WITH 3/4" SUBSTRATE, ASBESTOS TILE COVERED BY 4" ALUM LAP SIDING. INTERIOR IS PLASTER
- EXISTING INTERIOR WALLS; ASSUMED ASSEMBLY 2x4 W/ 3/4" PLASTER BOTH SIDES

9/24/2019

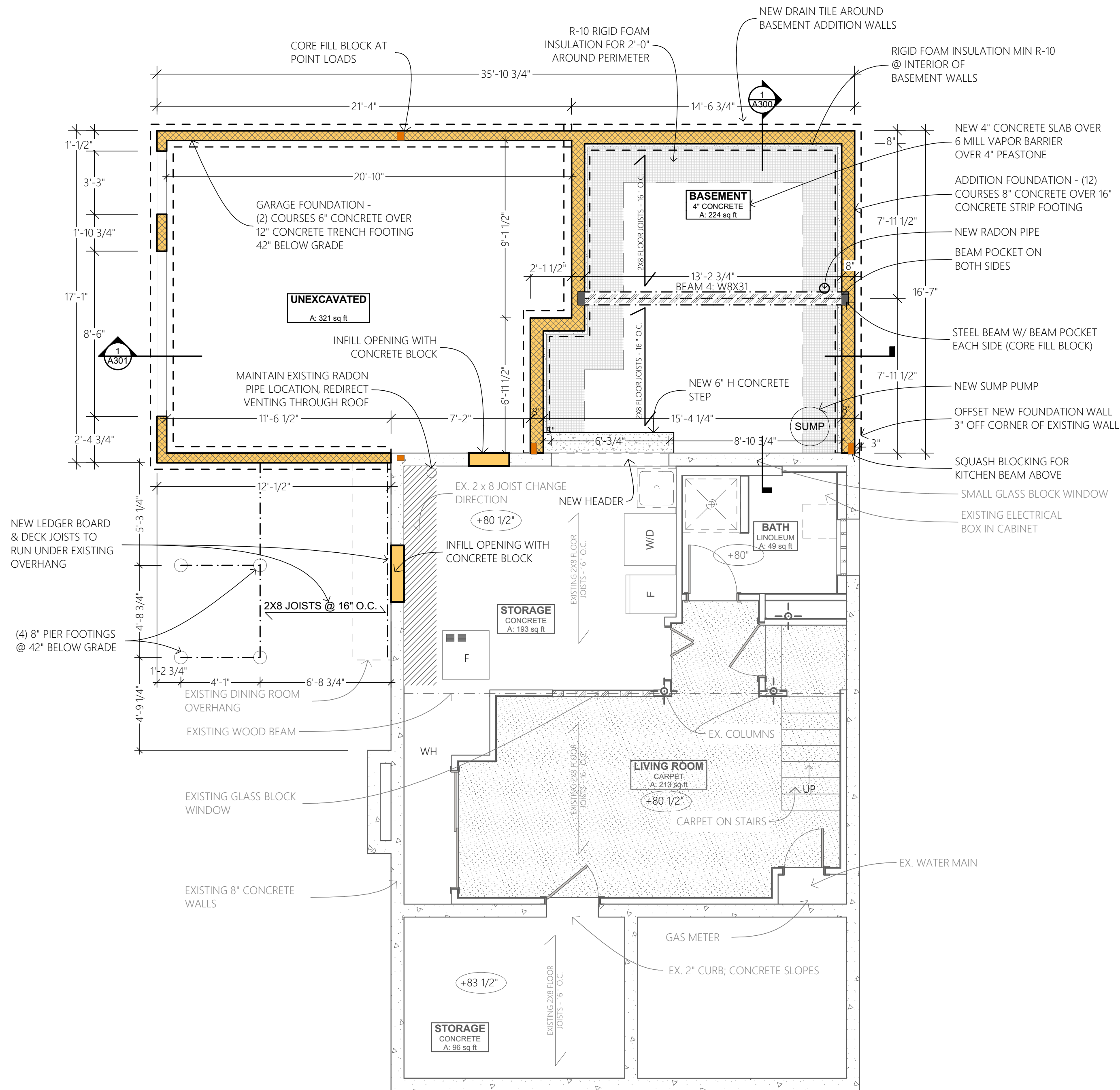
SHEET TITLE
DEMO SECOND FLOOR PLAN

1

DEMO SECOND FLOOR PLAN



A104



Loading Criteria		
First Floor Loading		
Live Load		40 PSF
Dead Load		15 PSF
Total Load		55 PSF
Live Load Deflection		L/480
Total Load Deflection		L/240
Second Floor Loading		
Live Load		40 PSF
Dead Load		10 PSF
Total Load		50 PSF
Live Load Deflection		L/480
Total Load Deflection		L/240
Third Floor Loading		
Live Load		40 PSF
Dead Load		10 PSF
Total Load		50 PSF
Live Load Deflection		L/480
Total Load Deflection		L/240
Roof Loading		
Rafter Live Load		20 PSF
Rafter Dead Load		10 PSF
Total Load		30 PSF
Uninhabitable Attic w/ Storage Loading		
Live Load		20 PSF
Dead Load		10 PSF
Total Load		30 PSF
Point Load Bearing Notes		
Column Type 1	3-1/2" x 5-1/4" x 8' Versa lam 1.8 2750 Max Capacity = 10,950 lbs	
(2)2x4 studs SPF #2	Max Capacity = 2137 lbs	
(3)2x4 studs SPF #2	Max Capacity = 6380 lbs	
(3)2x6 studs SPF #2 (8' height)	Max Capacity = 9906 lbs	

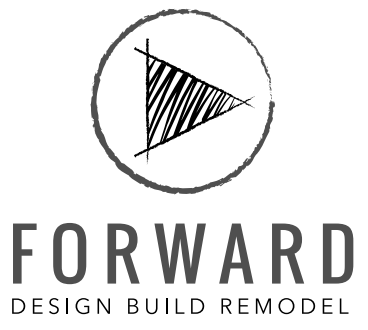
DRAWING KEY:

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- = ALL ITEMS TO BE DISMANTLED AND / OR REMOVED, SALVAGED- SEE SCOPE OF WORK
- = NEW COUNTERTOPS
- = NEW WALLS; SEE SCOPE OF WORK AND WALL LEGEND

WALL LEGEND:

- EXISTING POURED CONCRETE WALL, 8" THICK
- EXISTING INTERIOR WALLS; ASSUMED ASSEMBLY 2x4 W/ 3/4" PLASTER BOTH SIDES
- 8" CONCRETE BLOCK WALL OVER CONCRETE TRENCH FOOTING, MIN 42" BELOW GRADE

Beam Number	Beam Location	Beam Size	End Reaction in Pounds	Bearing Condition	Notes
B1	Living Room Header	(2) 11-7/8" Versa-Lam 2.0 3100	6,136	min (3) 2x4	solid blocking to beam below
B2	Kitchen Beam	7"x14" Versa-Lam 2.0 3100	9,206	Column Type 1	Provide solid blocking at floor joist cavity to bear onto foundation wall
B3	Garage Beam	(2) 16" Versa-Lam 2.0 3100	6,283	min (4) 2x4 at 2x4 wall min (4) 2x6 at 2x6 wall	2x4 wall bearing is less than 7'-0" and 2x6 wall bearing is approximately 9'-6"
B4	Basement Addition	W8x31	6,487	beam pocket	bear onto foundation wall



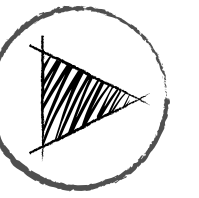
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F 734-761-8419
www.planforward.net

CONSTRUCTION DOCUMENTS

REMODEL / ADDITION
JEFF HOROWITZ & MICHELLE SEGAR
614 SOULE BLVD
Ann Arbor, MI 48103

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A301	BUILDING SECTION
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9/24/2019
SHEET TITLE
NEW FOUNDATION PLAN
A105



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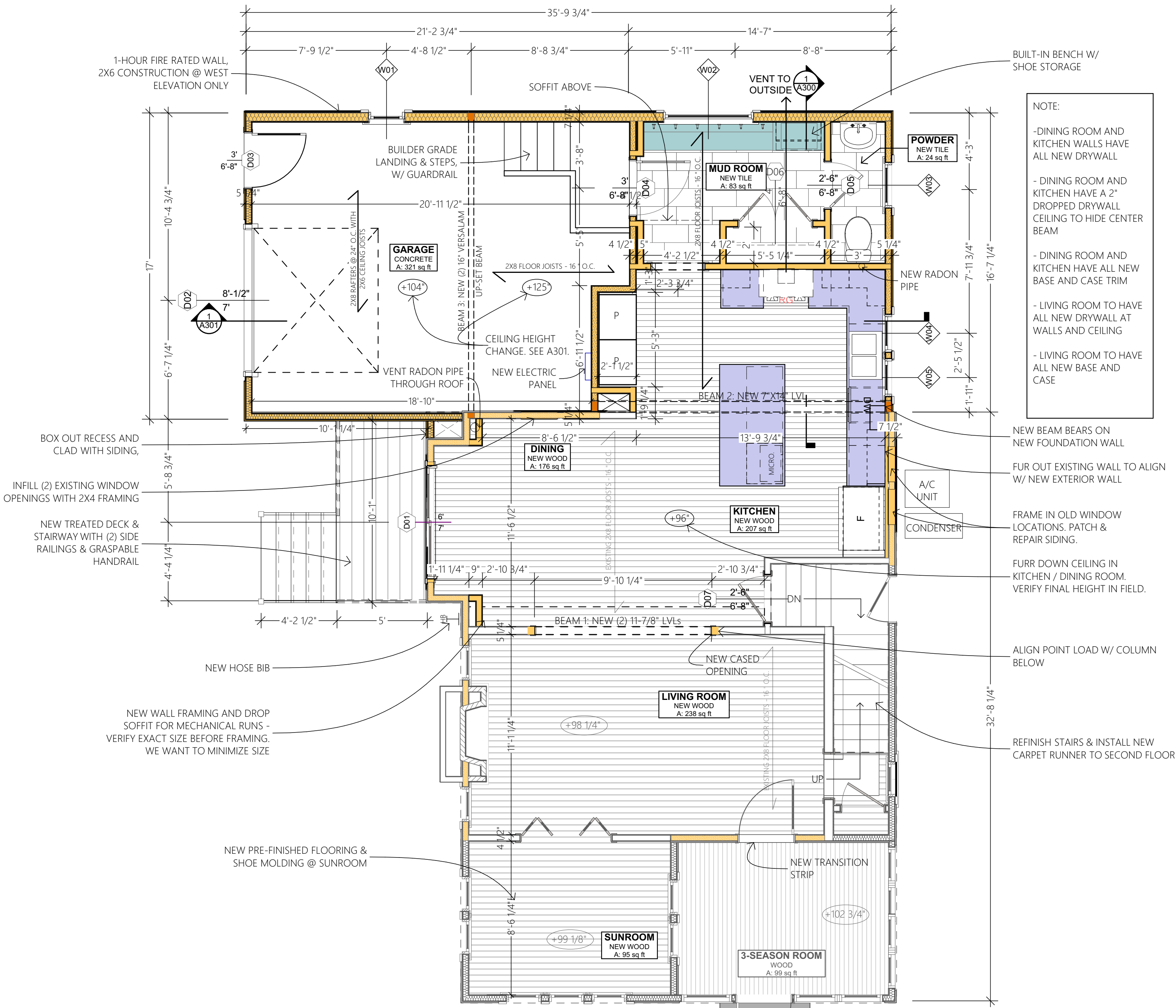
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Ann Arbor, MI 48103

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9/24/2019

SHEET TITLE
NEW FIRST FLOOR

A106



NOTE:

- DINING ROOM AND KITCHEN WALLS HAVE ALL NEW DRYWALL
- DINING ROOM AND KITCHEN HAVE A 2" DROPPED DRYWALL CEILING TO HIDE CENTER BEAM
- DINING ROOM AND KITCHEN HAVE ALL NEW BASE AND CASE TRIM
- LIVING ROOM TO HAVE ALL NEW DRYWALL AT WALLS AND CEILING
- LIVING ROOM TO HAVE ALL NEW BASE AND CASE

NOTE:

- EXTERIOR DIMENSIONS ARE TO OUTSIDE STUD WALL FRAMING
- INTERIOR DIMENSIONS ARE TO FINISHED DRYWALL UNLESS OTHERWISE NOTED

DRAWING KEY:

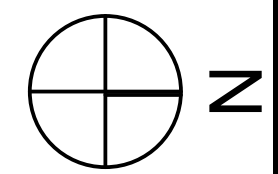
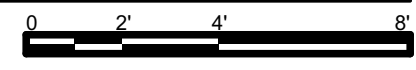
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- = NEW WALLS; SEE SCOPE OF WORK AND WALL LEGEND

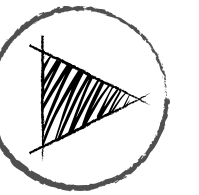
WALL LEGEND:

- EXISTING EXTERIOR WALLS; PRESUMED WITH 3/4" SUBSTRATE, ASBESTOS TILE COVERED BY 4" ALUM LAP SIDING. INTERIOR IS PLASTER
- EXISTING INTERIOR WALLS; ASSUMED ASSEMBLY 2x4 W/ 3/4" PLASTER BOTH SIDES
- EXISTING EXTERIOR WALLS WITH NEW CLOSED CELL SPRAY FOAM INSULATION AND 1/2" INTERIOR DRYWALL
- EXISTING EXTERIOR WALLS WITH ALL INSULATION REMOVED
- NEW 1-HOUR FIRE RATED WALL, 2X6 @ 16" O.C. WITH 7/16" APA RATED SHEATHING AND MINERAL WOOL INSULATION, VAPOR BARRIER, 5/8" TYPE X GYPSUM BOARD AT INTERIOR
- NEW GARAGE WALL, 2X4 @ 16" O.C. WITH 1/2" OSB SHEATHING AND FIBERGLASS INSULATION, 1/2" DRYWALL AT INTERIOR
- NEW EXTERIOR WALL, 2X4 @ 16" O.C. WITH 1/2" OSB SHEATHING AND CLOSED CELL FOAM INSULATION, 1/2" DRYWALL AT INTERIOR
- NEW INTERIOR WALL ASSEMBLY- 2x4 @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES. IN SOME INSTANCES, IT WILL ONLY BE ON 1 SIDE, WHERE AN EXTERIOR WALL IS BEING THINKEED

Beam Number	Beam Location	Beam Size	End Reaction in Pounds	Bearing Condition	Notes
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B4	Basement Addition	W8x31	6,487	beam pocket	bear onto foundation wall

1 NEW FIRST FLOOR PLAN





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CONSTRUCTION DOCUMENTS

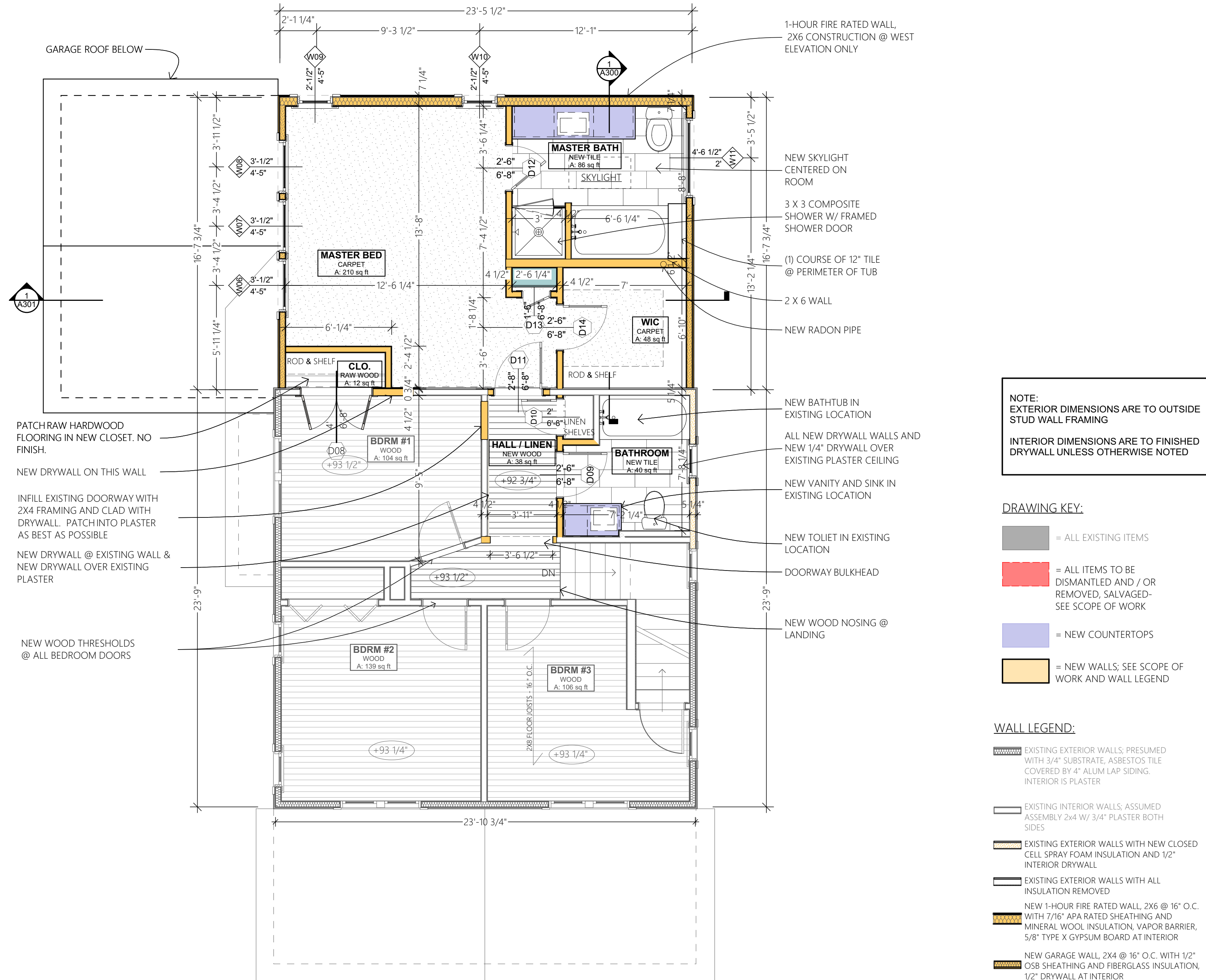
REMODEL / ADDITION
JEFF HOROWITZ & MICHELLE SEGAR
614 SOULE BLVD
Ann Arbor, MI 48103

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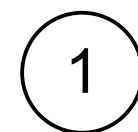
9/24/2019

SHEET TITLE
NEW SECOND FLOOR PLAN

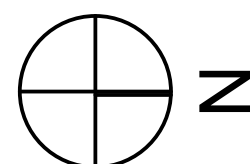
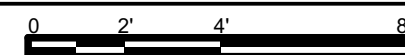
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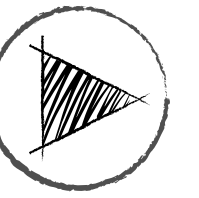


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B4	Basement Addition	W8x31	6,487	beam pocket	bear onto foundation wall



1 NEW SECOND FLOOR PLAN





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614 SOULE BLVD
Ann Arbor, MI 48103

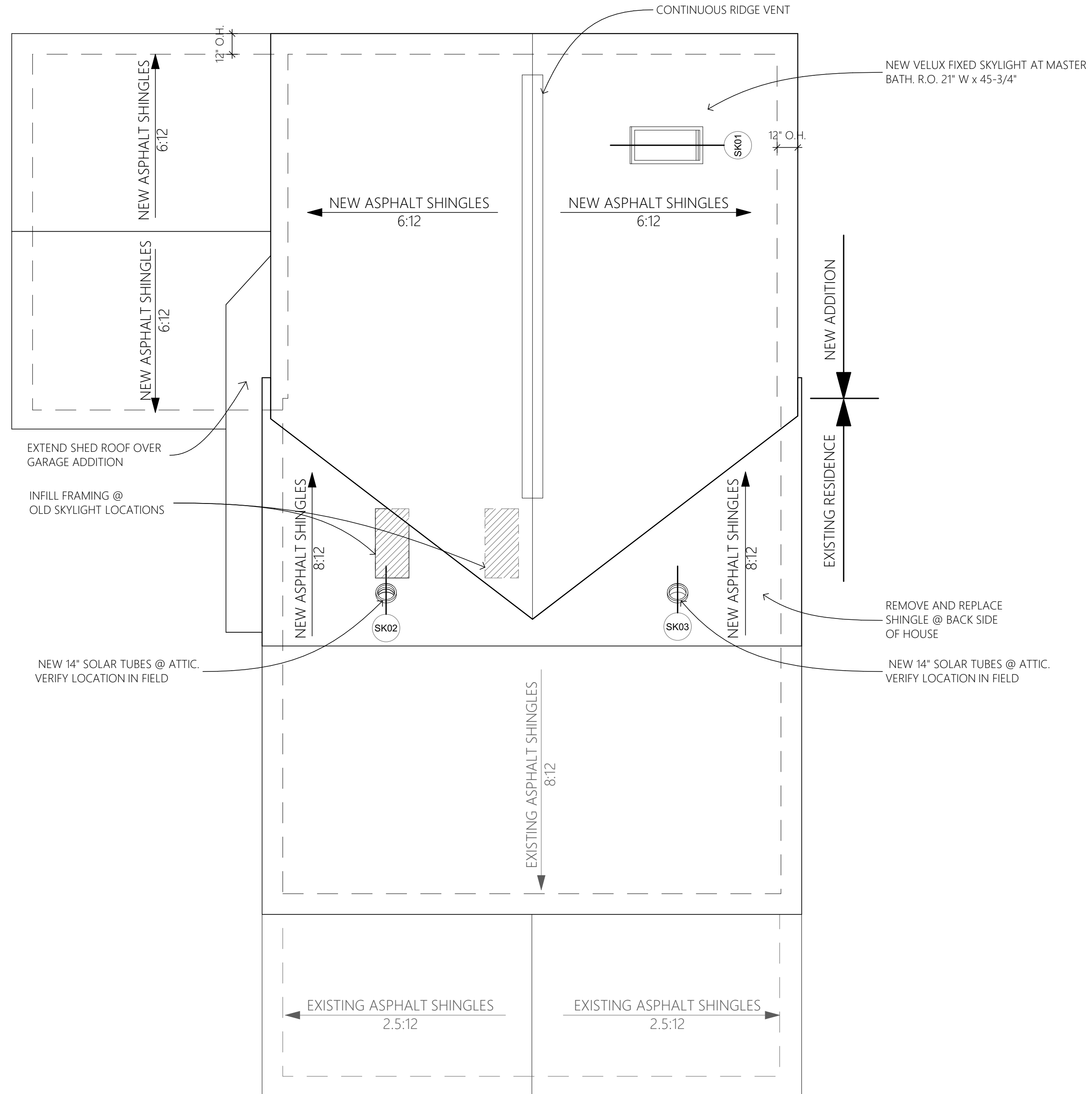
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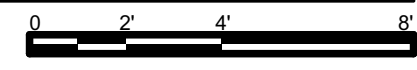
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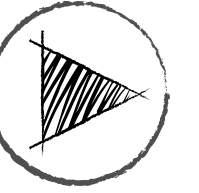
SHEET TITLE
NEW ROOF PLAN

A108



1 NEW ROOF PLAN





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CONSTRUCTION DOCUMENTS

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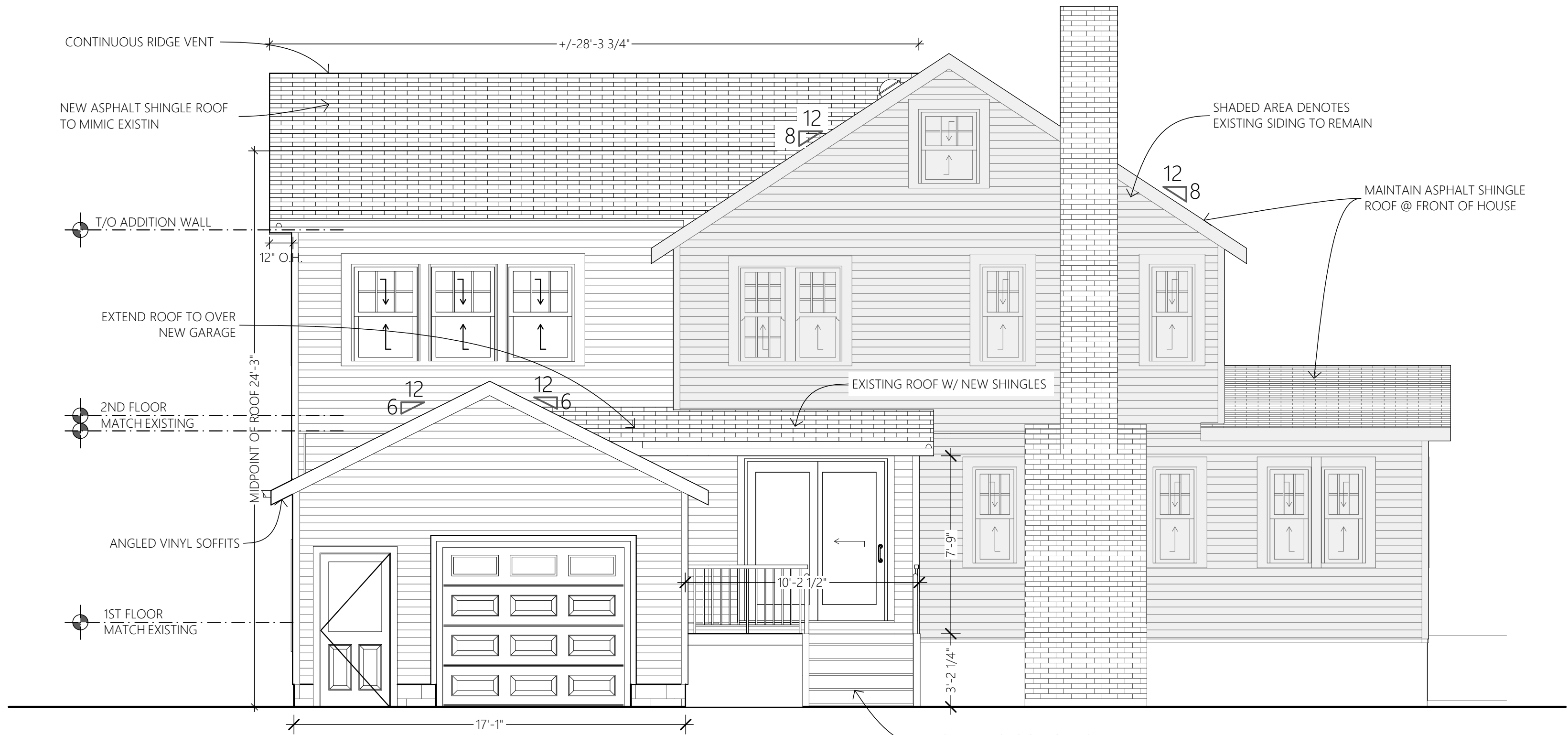
JEFF HOROWITZ & MICHELLE SEGAR
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SHEET TITLE
NEW EXTERIOR ELEVATIONS

A200



1 SOUTH ELEVATION

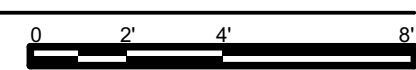


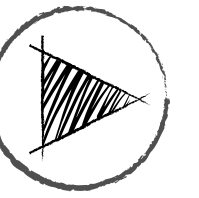
SIDING NOTES

- 4" EXPOSURE VINYL LAP SIDING TO MATCH EXISTING
- 3" VINYL CORNER BOARDS TO MATCH EXISTING
- 1X8 FASCIA WRAPPED W/ALUMINUM TO MATCH EXISTING
- ANGLED VINYL VENTED SOFFITS
- WINDOW AND DOOR CASING TO MATCH EXISTING
- SHADED AREA IS EXISTING SIDING



4 EAST ELEVATION





FORWARD
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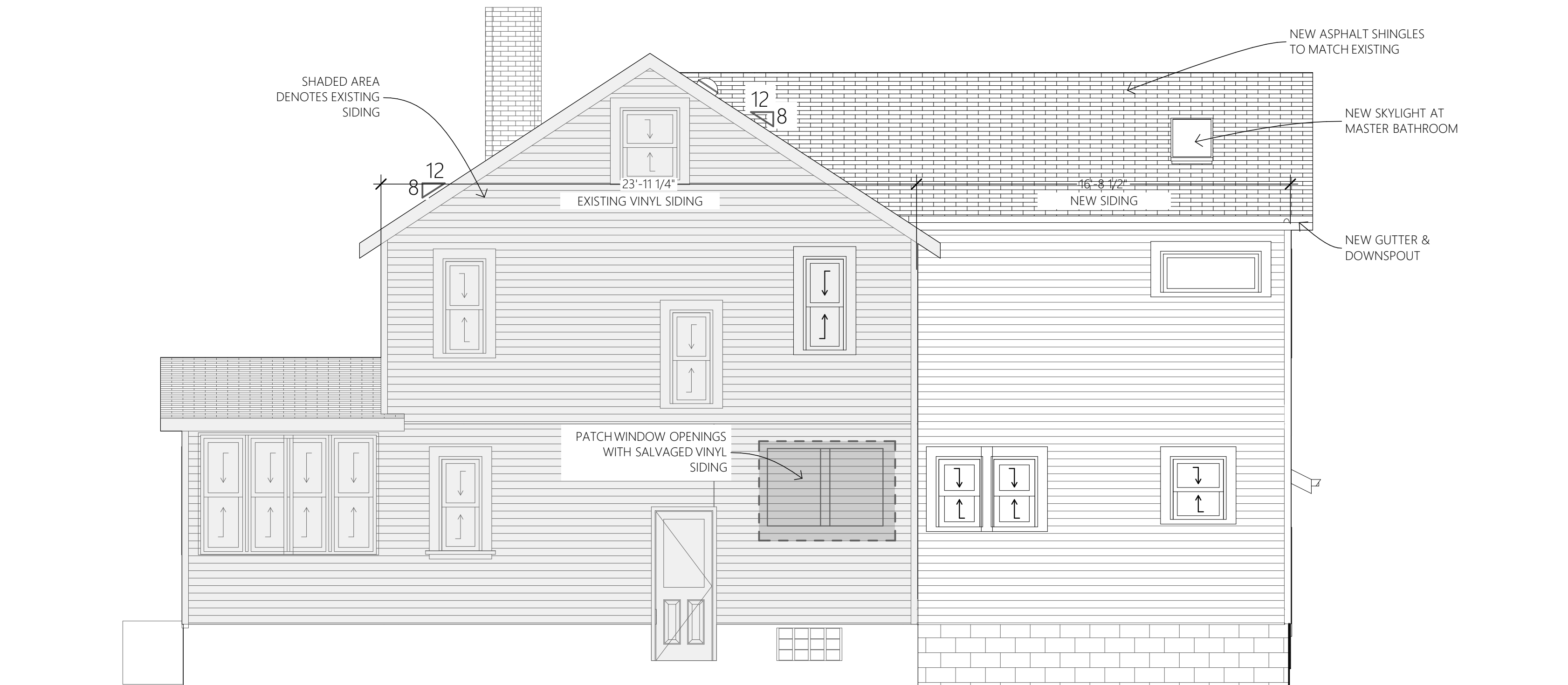
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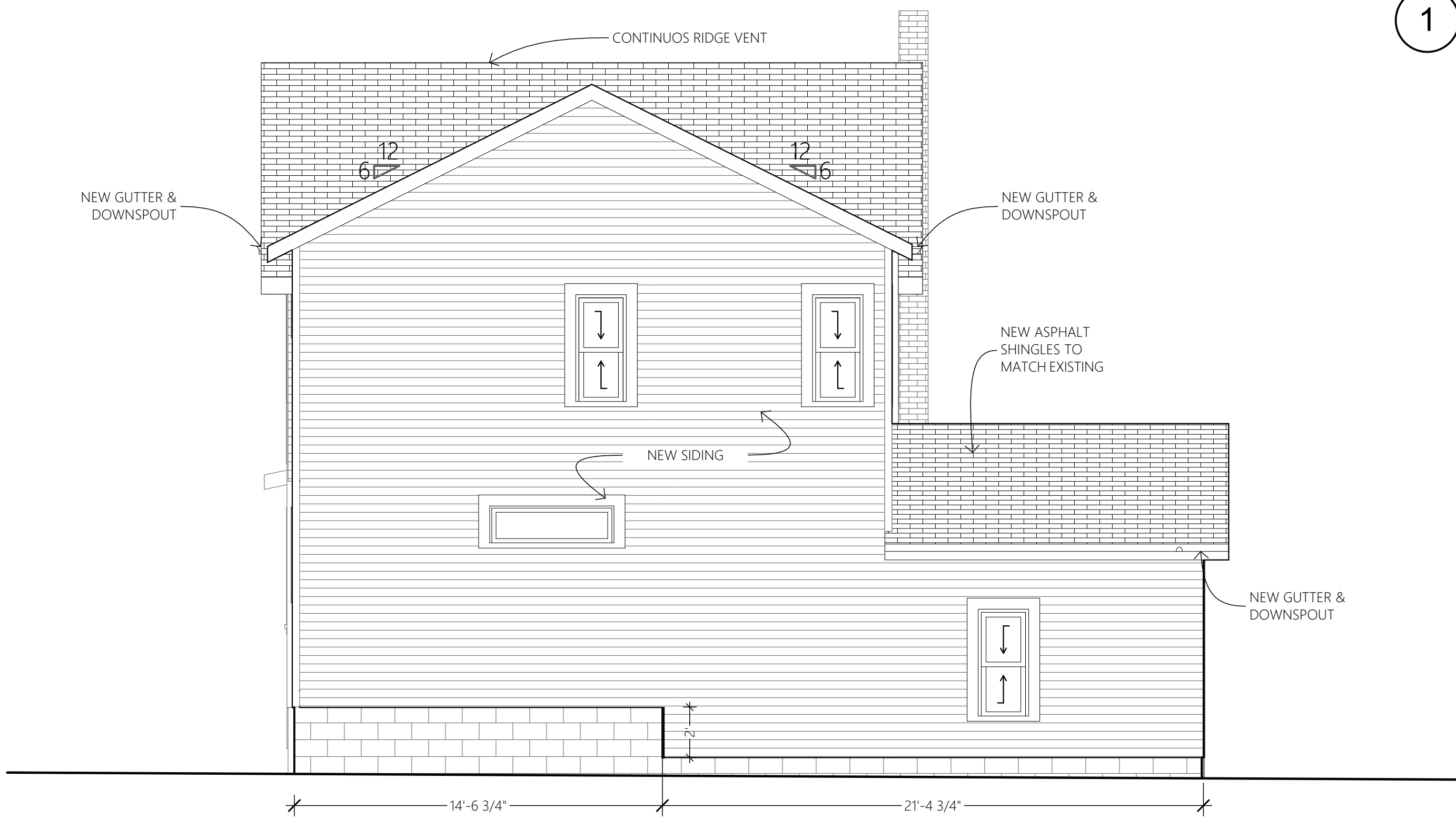
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NEW EXTERIOR ELEVATIONS

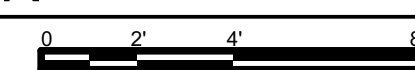
A201



1 NORTH ELEVATION

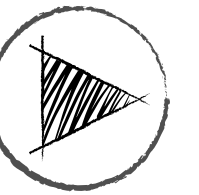


3 WEST ELEVATION



SIDING NOTES

- 4" EXPOSURE VINYL LAP SIDING TO MATCH EXISTING
- 3" VINYL CORNER BOARDS TO MATCH EXISTING
- 1X8 FASCIA WRAPPED W/ALUMINUM TO MATCH EXISTING
- ANGELED VINYL VENTED SOFFITS
- WINDOW AND DOOR CASING TO MATCH EXISTING
- SHADED AREA IS EXISTING SIDING



FORWARD
DESIGN BUILD REMODEL

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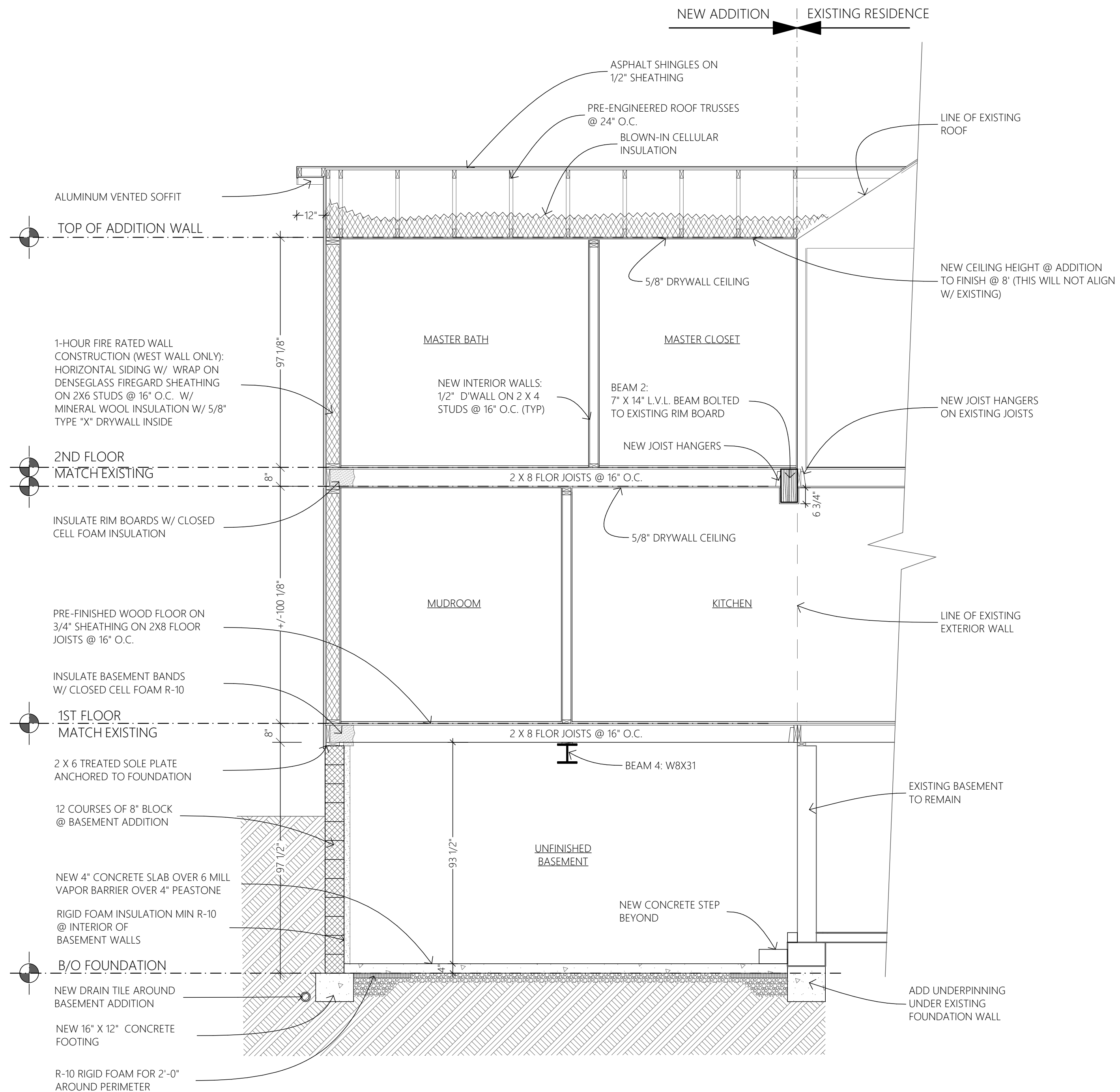
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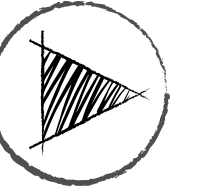
SHEET TITLE
BUILDING SECTIONS

A300



1 CROSS SECTION





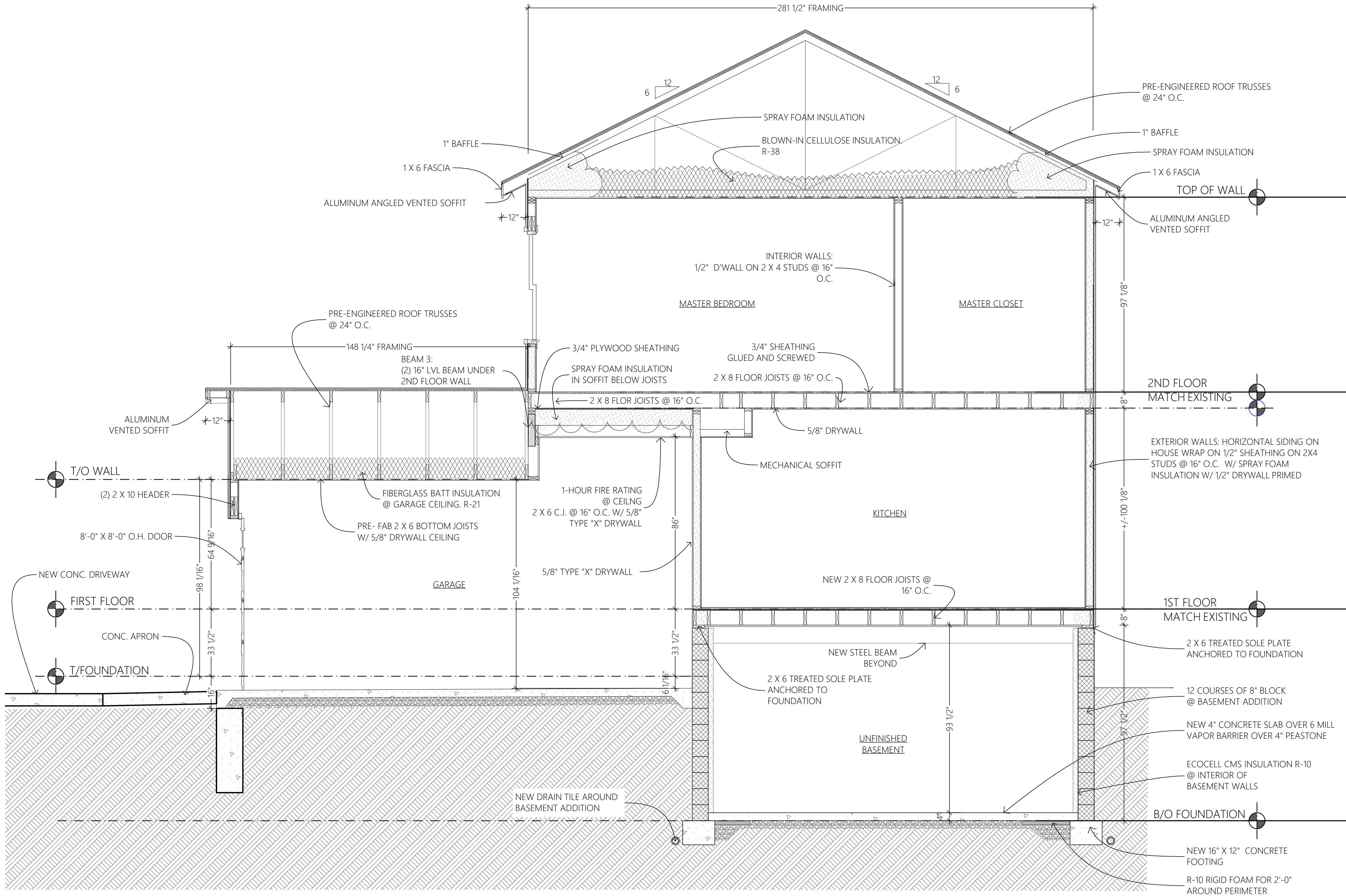
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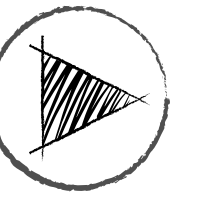


1 LONGITUDINAL SECTION

9/24/2019

SHEET TITLE
BUILDING SECTION

A301



FORWARD
DESIGN BUILD REMODEL

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**CONSTRUCTION
DOCUMENTS**

REMODEL / ADDITION

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9/24/2019

SHEET TITLE
3D VIEWS

A900

614 Soule Blvd. Site Photos



Front entry on Soule Blvd.



Front of house showing neighboring house on 608 Soule Blvd. and relationship to neighboring house & garage.

614 Soule Blvd. Site Photos



Front setback on Lutz Ave. showing relationship to road and neighboring house at 1402 Lutz Ave.



Elevation from Lutz Ave. showing existing garage, driveway and mudroom.

614 Soule Blvd. Site Photos



Driveway off of Lutz Ave. showing existing relationship to neighboring garage, driveway and house at 1402 Lutz Ave.



Existing side of house, mudroom, garage and driveway.

614 Soule Blvd. Site Photos



Corner of property



Corner of property perspective from opposite side of street

614 Soule Blvd. Site Photos



Existing Kitchen. Approx. 100 SF.



FORWARD
DESIGN BUILD REMODEL

LETTER OF AUTHORIZATION

9-17-2019

To whom it may concern,

We hereby authorize, Forward Design Build Remodel, to act on our behalf in all matters relating to the application(s) of the building permit and/or zoning variance, including signing of all documents relating to these matters. Any and all acts carried out by Forward Design Build shall have the same effects as acts of our own.

This authorization is valid until further written notice from Forward Design Build Remodel.

Sincerely,

Michelle Segar

(Michelle Segar)

9/17/19

date

Jeff Horowitz

(Jeff Horowitz)

9/17/19

date

September 23, 2019

Dear City Council members:

Thank you for considering our Zoning Board of Appeals Application for 614 Soule Blvd, Ann Arbor MI.

My wife (Michelle Segar) and I (Jeff Horowitz) are requesting a variance on our lot at 614 Soule Blvd. Because we live on the type of corner lot with specific restrictions we have limitations on building the extra space we need.

We considered moving to a bigger house but rejected that idea because we LOVE our neighbors, neighborhood, and our house.

We've lived here for about 17 years. We have developed strong relationships all over our neighborhood and deeply value contributing to our community. We enjoy helping people out whenever they need it, and having community barbecues and spontaneous play dates and dog walks. During the winters, the hill going up to Eberwhite school is steep and many cars get stuck right in the middle. We grab our shovels and join whoever else is available and on the scene to get these folks out.

When we were looking to find a home, the moment we walked into this house, we immediately knew that this was the perfect house to make our lives together and build a family. After 17 years, we are hoping to make changes that will increase our quality of life while maintaining the character and charm of this wonderful home.

Thank you in advance for considering our request for a variance.

Sincerely,


Michelle Segar and Jeff Horowitz