

**PROPRIETOR**  
 BEZTAK COMPANIES  
 31731 NORTHWESTERN HWY.,  
 SUITE 150W  
 FARMINGTON HILLS, MI 48334  
 (248) 737-6192 o  
 ATTN: ZACH WEISS

**CIVIL ENGINEER**  
 GIFFELS WEBSTER  
 1025 E. MAPLE ROAD, SUITE 100  
 BIRMINGHAM, MI 48009  
 (586) 781-8950 p  
 (586) 781-8951 f  
 ATTN: ANDY WAKELAND, PE

**LANDSCAPE ARCHITECT**  
 GIFFELS WEBSTER  
 1025 E. MAPLE ROAD, SUITE 100  
 BIRMINGHAM, MI 48009  
 (586) 781-8950 p  
 (586) 781-8951 f  
 ATTN: MARK HANSEN, BLA, RLA

**ARCHITECT**  
 MYEFSKI ARCHITECTS  
 400 NORTH MICHIGAN AVENUE  
 CHICAGO, IL 60611  
 (312) 763-2400  
 ATTN: JOHN MYEFSKI, AIA

**DEVELOPMENT PROGRAM**

ZONING CLASSIFICATION	EXISTING		PROPOSED		REQUIRED / PERMITTED	
	C3	O	C3	O		
GROSS LOT AREA	2.642 ACRES / 115,094 SF	0.554 ACRES / 24,139 SF	2.642 ACRES / 115,094 SF	0.554 ACRES / 24,139 SF		
MIN. USABLE OPEN SPACE IN % LOT AREA	--	--				
SETBACKS						
FRONT (STADIUM BLVD)	58.3'	--	10'	--	10'	--
FRONT (MANCHESTER RD)	--	24.7'	--	15'-40' (18.4')	--	15' MIN - 40' MAX
REAR	11.7'	76.8'	20.0'	0'	20'	0'
SIDE	3.9'(E) / 7.4'(W)	65.2'(S) / 7.6'(N)	0'	30'(S) / 0'(N)	0'	30'(S) / 0'(N)
RESIDENTIAL UNITS TOTAL			185			N/A
STORIES			4 STORIES			4 STORIES MAX
HEIGHT PER BLDG			53'-9"			55' MAX
OFF STREET PARKING (TOTAL)						
			RESIDENTIAL	OFFICE	RESIDENTIAL	OFFICE
TOTAL			229 SPACES	24 SPACES	1 / UNIT = 185	1 / 333 SF = 23.2
ACCESSIBLE			6 SPACES	1 SPACE	6 SPACES	1 SPACE
EV-CAPABLE			121 SPACES	6 SPACES	65% = 120.3	25% = 5.8
EV-READY			47 SPACES	4 SPACES	25% = 46.3	15% = 3.5
EV-INSTALLED			19 SPACES	3 SPACES	10% = 18.5	10% = 2.3
BICYCLE PARKING CLASS A			56 SPACES			
FAR CALCULATIONS - STADIUM PARCEL			STADIUM BLVD / MANCHESTER RD			
BASEMENT LEVEL			910 SF / 0 SF			
GROUND LEVEL			46,524 SF / 4,379 SF			
LEVEL 2			47,236 SF / 4,489 SF			
LEVEL 3			47,232 SF / 4,489 SF			
LEVEL 4			47,232 SF / 4,489 SF			
EXISTING BUILDING			7,716 SF / 4,489 SF			
TOTAL FAR AREA			196,849 SF / 17,846 SF			
SITE AREA			115,092 SF / 24,139 SF			
PROPOSED FAR			171.0% / 73.9%			200% MAX (C3) / 75% MAX (O)

**NATURAL FEATURES STATEMENT OF IMPACT**

THERE ARE NO IDENTIFIED NATURAL FEATURES IMPACTED ON SITE. LANDMARK TREES PRESENT ON PROPERTY BISECT THE SITE AND THEREFORE COULD NOT BE SAVED. ALL EFFORT TO SAVE THE LANDMARK TREE IN THE NORTHWEST CORNER OF THE SITE HAS BEEN DONE. LANDMARK TREES IMPACTED BY DEVELOPMENT ARE BEING REPLACED PER CITY REQUIREMENTS.

**STATEMENT OF INTEREST**

THERE IS ONE CURRENT OWNER WHOSE INTENT IS TO PROVIDE IMPROVEMENTS TO HIS LAND

**DEVELOPMENT PROGRAM**

THE PROPOSED USE FOR THE LAND IS MULTI-FAMILY HOUSING. THIS PROJECT CONSISTS OF THE FACEADE IMPROVEMENTS TO ONE BUILDING THAT WILL REMAIN AND THE CONSTRUCTION OF ONE NEW BUILDING AFTER THE DEMOLITION OF THREE EXISTING HOTEL AND OFFICE BUILDINGS. THIS PROJECT INCLUDES NEW LANDSCAPING, STORM WATER IMPROVEMENTS, WATER MAIN CONSTRUCTION, AND NEW SANITARY LEADS. PARKING AND DENSITY CALCULATIONS ARE PROVIDED ON THE GEOMETRIC PLAN INCLUDED WITH THIS SET. THIS DEVELOPMENT IS SCHEDULED TO BE BUILT AS ONE PHASE.

**COMMUNITY ANALYSIS**

- A) THIS PROJECT WILL PROVIDE A POSITIVE IMPACT ON PUBLIC SCHOOLS, BY PROVIDING ADDITIONAL TAX REVENUE WHILE NOT IMPACTING PLANNING FOR AN IMPACT ON THE NUMBER OF STUDENTS ENROLLED.
- B) THE RELATIONSHIP OF THIS PROJECT TO THE NEIGHBORING USE WOULD NOT CHANGE.
- C) THERE SHOULD BE NO IMPACT OF ADJACENT USES ON PROPOSED DEVELOPMENT.
- D) THIS PROJECT WILL NOT CHANGE THE AIR QUALITY. THIS PROJECT WILL IMPROVE THE QUALITY OF THE STORM WATER RUNOFF. THIS PROJECT WILL IMPROVE THE NATURAL FEATURES BY REMOVING SEVERAL TREES AT THE END OF THEIR LIFECYCLE AND INTRODUCING NEW LANDSCAPING AND IMPROVED STORM WATER MANAGEMENT.
- E) THIS PROJECT IS NOT LOCATED WITHIN A HISTORIC DISTRICT AND WILL NOT IMPACT ANY KNOWN HISTORIC SITES OR STRUCTURES.
- F) THERE ARE NO WOODLANDS, WETLANDS, WATER COURSES, OR STEEP SLOPES ON THIS SITE AS INDICATED ON THE TOPOGRAPHIC SURVEY. THERE IS NO EVIDENCE OF ENDANGERED SPECIES ON THE SITE. THE DEVELOPMENT IS PRESERVING TWO LANDMARK TREES ALONG THE NORTH PROPERTY LINE THAT ARE ABLE TO BE SAVED WHILE ALLOWING FOR A COHESIVE DEVELOPMENT PLAN.

**TRAFFIC IMPACT STATEMENT**

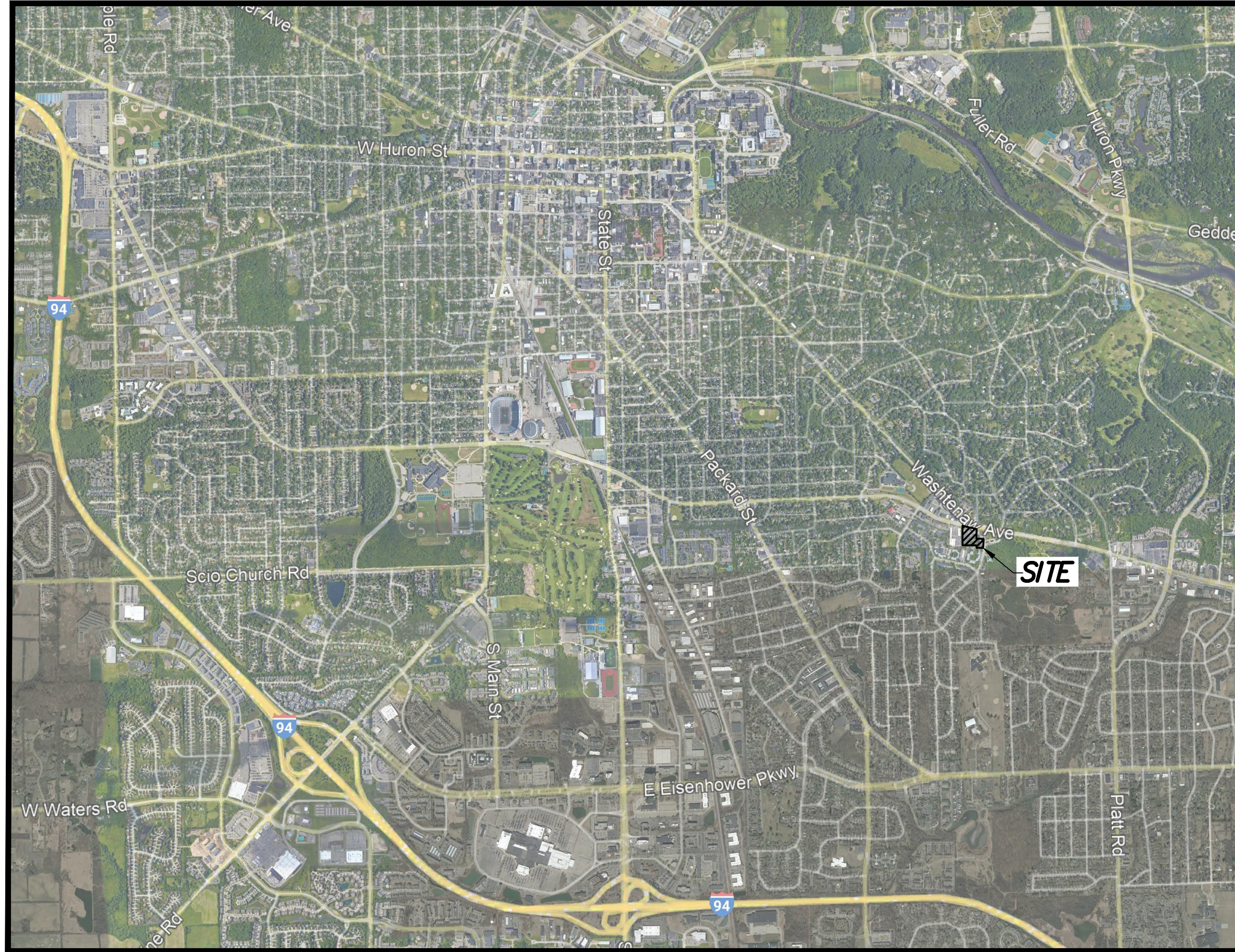
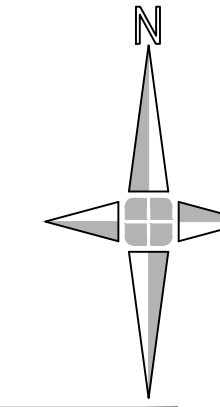
SEE TRAFFIC ENGINEERS REPORT ENCLOSED AS PART OF SUBMITTAL

**PUBLIC SIDEWALK MAINTENANCE STATEMENT**

EXISTING PUBLIC SIDEWALKS ALONG THE FRONTAGES OF STADIUM BLVD AND MANCHESTER RD SHALL BE CONNECTED TO BY THE PROPOSED INTERNAL SIDEWALK SYSTEM.

**UNIVERSITY INN RESIDENTIAL  
 PRELIMINARY SITE PLAN**

2424 EAST STADIUM BOULEVARD  
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN  
 SECTION 34, T-02-S, R-06-E



**CITY OF ANN ARBOR REFERENCE MAP**  
 (NOT TO SCALE)



**LOCATION MAP**  
 (NOT TO SCALE)

**SHEET INDEX**

- 01 COVER
- 02 EXISTING CONDITIONS PLAN
- 03 DEMOLITION PLAN
- 04 SITE PLAN
- 05 GRADING PLAN
- 06 UTILITY PLAN
- 07 STORM WATER MANAGEMENT PLAN
- 08 SOIL EROSION PLAN
- 09 SOLID WASTE PLAN
- 10 SITE DETAILS

- L0 NATURAL FEATURES PLAN
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS

**SHEETS BY OTHERS**

- 1 ALTA / NSPS LAND TITLE SURVEY

- SP-00 ARCHITECTURAL SITE PLAN
- SP-01 BASEMENT FLOOR PLAN
- SP-02 GROUND FLOOR PLAN
- SP-03 LEVEL 2 FLOOR PLAN
- SP-04 LEVELS 3-4 FLOOR PLAN
- SP-05 EXTERIOR ELEVATIONS
- SP-06 EXTERIOR ELEVATIONS
- SP-07 FAR CALCULATIONS
- SP-08 3D PERSPECTIVE VIEWS
- SP-09 FIRE ACCESS SITE PLAN
- SP-10 ALTERNATE ANALYSIS SITE PLAN
- SP-11 PHOTOMETRIC SITE PLAN

**BENCHMARKS**

- BENCHMARK AAGRS No. 0015B  
 TOP OF BRASS DISC LOCATED IN THE CONCRETE TRAFFIC ISLAND AT THE INTERSECTION OF EAST STADIUM BLVD. AND WASHTENAW AVE., ±49 FEET EAST OF THE WESTERLY FACE OF CURB AT THE BULLNOSE OF THE TRAFFICE ISLAND, AND ±6 FEET SOUTH OF THE BACK OF CURB OR THE AFOREMENTIONED ISLAND.  
 ELEVATION = 871.33 (NAVD 88 DATUM)
- BENCHMARK #1  
 TOP OF MAIN STEAMER VALVE ON A HYDRANT LOCATED ON THE SOUTH SIDE OF STADIUM BLVD., ±72' WEST OF THE CENTER OF THE ENTRANCE, AND ±28' NORTH OF THE NORTHWEST PROPERTY CORNER.  
 ELEVATION = 872.46 (NAVD 88 DATUM)
- BENCHMARK #2  
 SPIKE ON THE EAST SIDE OF A UTILITY POLE LOCATED ±36' SOUTH OF THE SOUTHWEST BUILDING CORNER, ±6' WEST OF THE BACK OF CURB OF THE PARKING LOT, AND AT THE SOUTHWEST PROPERTY CORNER.  
 ELEVATION = 863.52 (NAVD 88 DATUM)
- BENCHMARK #3  
 TOP OF CONCRETE LIGHTPOLE BASE LOCATED EAST OF THE CONCRETE WALL ON THE EAST SIDE OF THE PARKING LOT, AND BEING THE SECOND LIGHT POLE SOUTH OF STADIUM BLVD.  
 ELEVATION = 873.69 (NAVD 88 DATUM)
- BENCHMARK #4  
 TOP OF CONCRETE LIGHTPOLE BASE LOCATED NORTHEAST CORNER OF THE REINHART BUILDING PARKING LOT, AND ±29 FEET SOUTH OF THE SOUTH BACK OF CURB FOR STADIUM BLVD.  
 ELEVATION = 873.12 (NAVD 88 DATUM)
- BENCHMARK #5  
 TOPO OF STEAMER VALVE OF A HYDRANT LOCATED ±25' WEST OF THE CENTERLINE OF MANCHESTER COURT AND ±10' NORTH OF THE NORTHEAST PROPEERTY CORNER.  
 ELEVATION = 861.02 (NAVD 88 DATUM)

**LEGAL DESCRIPTION**

2424 E. Stadium Boulevard, Parcel No. 09-09-34-310-002  
 (Taken from Chicago Title Insurance Company Title Commitment No. 19070354, dated July 5, 2019)  
 Commencing at the South 1/4 corner of Section 34, Town 2 South, Range 6 East, thence along the North and South 1/4 line of said Section North 01 degrees 20 minutes East 60.01 feet to the place of beginning; thence North 89 degrees 48 minutes West 334.36 feet to a point; thence North 01 degrees 20 minutes East a distance of 398.88 feet to the former Southerly line of Stadium Boulevard (M-17) (80 feet wide); thence along the former Southerly line of Stadium Boulevard (80 feet wide) South 78 degrees 09 minutes 30 seconds East 100.17 feet; thence South 01 degrees 20 minutes West 253.68 feet; thence South 89 degrees 48 minutes East 235.84 feet to the North and South 1/4 line of said Section; thence along the North and South 1/4 line of said Section South 01 degrees 20 minutes West 125 feet to the place of beginning; subject to a highway easement release over that portion lying within 20 feet of the former Southerly line of Stadium Boulevard (80 feet wide) and right of way occupied by Stadium Boulevard (100 feet wide) now also known as Lot 4 Assessor's Plat No. 49, recorded in Liber 17 of Plats, Pages 33 and 34, Washtenaw County Records.

Being Subject to:

- 13) Terms, conditions, and provisions which are recited in Warranty Deed as recorded in Liber 770, Page 578. (UNABLE TO PLOT)
- 14) Easement for broadband communications granted to Comcast of the South, Inc. as set forth in instrument recorded in Liber 4978, Page 182. (BLANKET)

Together with:

2452 E. Stadium Boulevard, Parcel No. 09-09-34-310-001  
 (Taken from Chicago Title Insurance Company Title Commitment No. 19120624, dated December 10, 2019)  
 Lot 3, Assessor's Plat No. 49 according to the plat thereof, as recorded in Liber 17, Pages 33 and 34 of Plats, Washtenaw County Records.

Being Subject to:

- 13) Easement granted to The Detroit Edison Company as set forth in instrument recorded in Liber 1725, Page 83. (PLOTTED)

BEING MORE PARTICULARLY DESCRIBED AS:

Commencing at the S 1/4 corner of Section 34, T2S, R6E, City of Ann Arbor, Washtenaw County, Michigan, thence N 00°01'00" W 60.01 feet along the N-S 1/4 line of said Section 34 as monumented to the SE Corner of Lot 4 of Assessor's Plat No. 49 as recorded in Liber 17 of Plats, Pages 33 & 34, Washtenaw County Records and to the POINT OF BEGINNING,  
 thence S 88°53'30" W 334.36 feet along the South line of said Lot 4;  
 thence N 00°01'00" W 378.45 feet along the West line of said Lot 4;  
 thence S 79°31'00" E 339.99' (340.00 feet recorded) along the North line of said Lot 4 and along the North line of Lot 3 of said Assessor's Plat No. 49;  
 thence S 00°01'00" E 310.12 feet (310.25 feet recorded) along the East line of said Lot 3 & said Lot 4 and along the N-S 1/4 line as monumented to the POINT OF BEGINNING. Being Lot 3 and Lot 4 of said Assessor's Plat No. 49 and being a part of the SW 1/4 of said Section 34, T2S, R6E, City of Ann Arbor, Washtenaw County, Michigan and containing 2.64 acres of land, more or less. Being subject to easements and restrictions of record, if any.

Together with:

1950 Manchester Road, Parcel No. 09-09-34-400-001 (Taken from Absolute Title Inc., title commitment No. 90367, dated February 2, 2021)  
 Lot 4, Arbor Woods Subdivision, a replat of Lot 2 Ann Arbor Woods, as recorded in Liber 17 of Plats, Pages 35 and 36, Washtenaw County Records.

Subject to:

- 6) Building and use restrictions contained in instrument recorded in Liber 717, Page 5, Washtenaw County Records, but omitting any such covenant or restrictions based on race, color, religion, sex, ahndicap, familial status or national origin.
- 7) Right of way in favor of Michigan Bell Telephone Company, as recorded in Liber 261, Page 435, Washtenaw County Records.
- 8) Right of way for sanitary sewer, in favor of the City of Ann Arbor, as recorded in Liber 564, Page 236, Washtenaw County Records.
- 9) Easement for sewer as shown on the recorded plat.
- 10) Easement in favor of Michigan Bell Telephone Company, as recorded in Liber 4632, Page 719, Washtenaw County Records.
- 11) Asphalt into easement encroachment, as shown on Kem-Tec mortgage certificate dated October 1, 2015, Job No. 15-03867.



Engineers  
 Surveyors  
 Planners  
 Landscape Architects  
 1025 East Maple Road  
 Suite 100  
 Birmingham, MI 48009  
 p (248) 852-3100  
 f (313) 962-5068  
 www.giffelswebster.com

Executive:	MP
Manager:	AW
Designer:	JR
Quality Control:	-
Section:	34
	T-02-S R-06-E



*Dean A. Wakeland*



DATE:	ISSUE:
12.06.2021	PRE-SUBMITTAL ISSUE TO CITY
12.17.2021	INDIVIDUAL DEPARTMENT REVIEW
12.20.2021	URBAN FORESTRY & OWNER REVIEW
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06.07.2022	REVISED SITE PLAN SUBMISSION

Developed For:

**BEZTAK**  
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 SUITE 150W  
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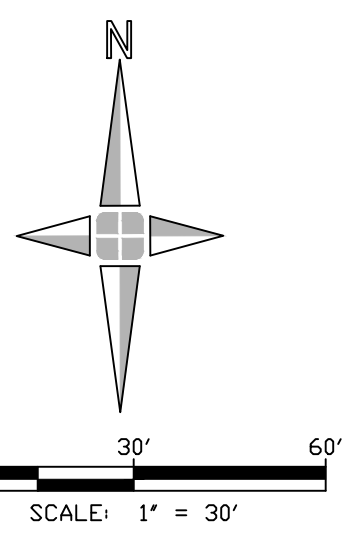
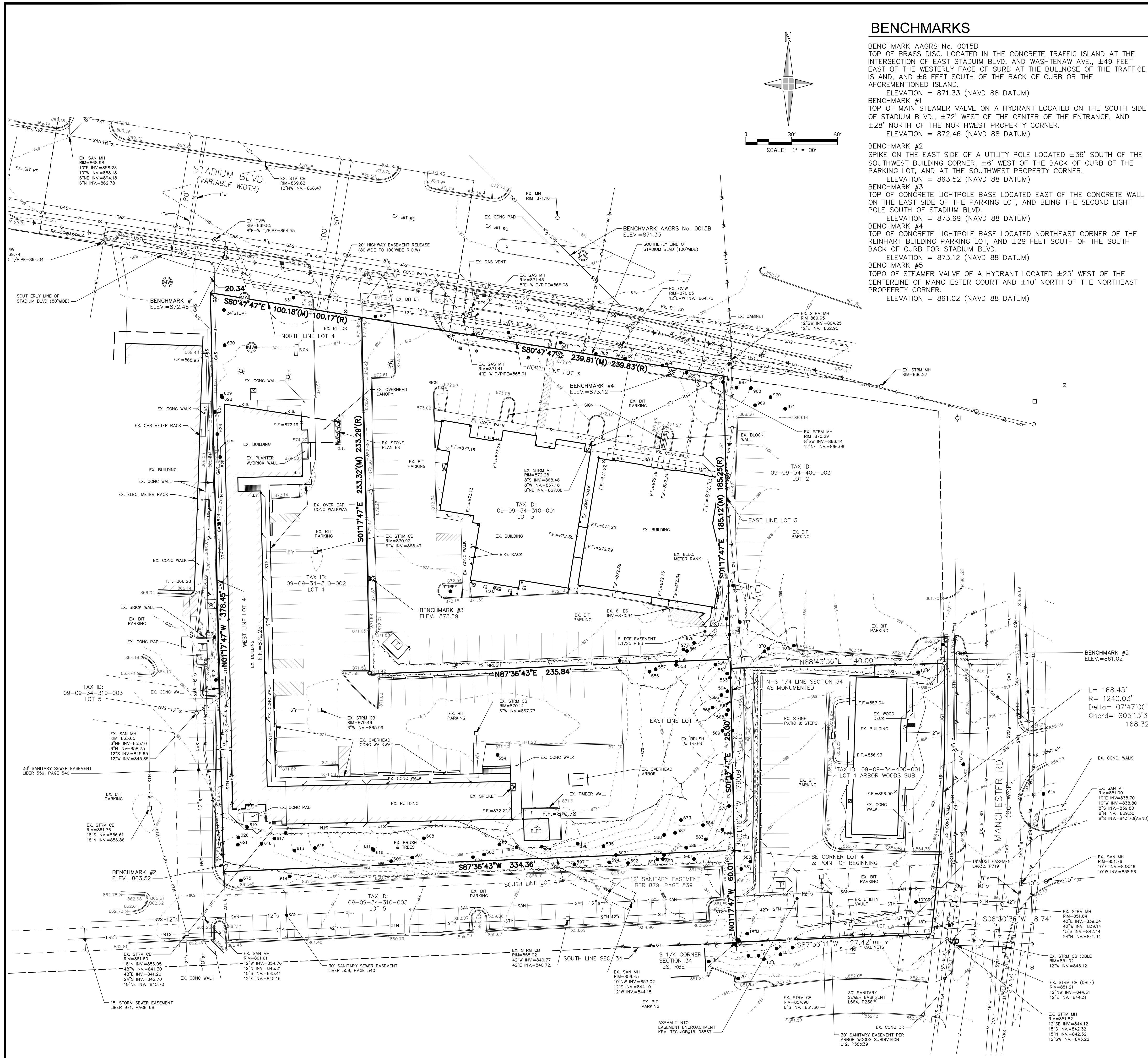
**COVER**

UNIVERSITY INN RESIDENTIAL  
 ANN ARBOR, MI

CITY OF ANN ARBOR  
 WASHTENAW COUNTY  
 MICHIGAN

Date:	12.06.2021
Scale:	NA
Sheet:	1
Project:	20037.00





### BENCHMARKS

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### LEGEND

- 8.38 EXIST. CONTOUR
- ×8.36.2 EXIST. SPOT ELEVATION
- U.P. EXIST. UTILITY POLE
- GP EXIST. GUY POLE
- GUY WIRE
- ⊠ ELEC. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- ⊙ EXIST. LIGHT POLE
- t EXIST. TELEPHONE LINE
- e EXIST. ELECTRIC LINE
- g EXIST. GAS LINE
- g EXIST. GAS VALVE
- f.o. EXIST. FIBER OPTIC LINE
- w EXIST. WATER MAIN
- EXIST. HYDRANT
- EXIST. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- EXIST. CURB STOP & BOX
- r EXIST. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- EXIST. SANITARY SEWER
- EXIST. CLEANOUT
- SIGN
- ⊕ TELEPHONE RISER
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ GAS LINE MARKER
- ⊕ FIBER OPTIC MARKER
- ⊕ TRAFFIC SIGNAL CONTROL BOX
- POST
- ⊕ MONITORING WELL
- FENCE
- SINGLE TREE
- TREE OR BRUSH LIMIT
- ⊕ EXIST. BOULDER
- ⊕ EXIST. SPRINKLER HEAD
- SECTION CORNER
- ⊕ FOUND IRON PIPE
- ⊕ FOUND IRON ROD
- ⊕ CONTROL PT.
- ⊕ EXIST. DOWNSPOUT
- LANDMARK TREE

### SURVEY NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY AS SHOWN IN THE ALTA/NSPS LAND TITLE SURVEY, DATED 5/21/21, PREPARED BY MIDWESTERN CONSULTING.
- This survey was prepared using title commitments issued by Chicago Title Insurance Company, Commitment No. 19070354, Dated: July 5, 2019 and Commitment No. 19120624, Dated: December 10, 2019 and a commitment by Absolute Title Inc. File No. 90367, dated February 2, 2021.
  - The property described herein lies within Zone X, according to Federal Emergency Management Agency Flood Insurance Rate Map #2616C0264E, Effective April 3, 2012.
  - There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
  - There was no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
  - There were no observed wetland delineation markers observed in the process of conducting the fieldwork.

**giffels webster**

Engineers  
 Surveyors  
 Planners  
 Landscape Architects

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 Birmingham, MI 48009  
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Executive:	MP
Manager:	AW
Designer:	JR
Quality Control:	-
Section:	34
	T-02-S R-06-E

Professional Seal:

DATE: 12.06.2021  
 ISSUE: PRE-SUBMITTAL  
 12.17.2021 ISSUE TO CITY  
 12.17.2021 INDIVIDUAL DEPARTMENT REVIEW  
 12.20.2021 URBAN FORESTRY & OWNER REVIEW  
 12.22.2021 SUBMITTAL  
 04.05.2022 OWNER REVIEW  
 04.08.2022 RESUBMITTAL  
 06.07.2022 REVISED SITE PLAN SUBMISSION

**811**

Know what's below.  
 Call before you dig.

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Developed For:

**BEZTAK**

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 SUITE 150W  
 FARMINGTON HILLS, MI 48334

### EXISTING CONDITIONS PLAN

UNIVERSITY INN RESIDENTIAL  
 ANN ARBOR, MI

CITY OF ANN ARBOR  
 WASHTENAW COUNTY  
 MICHIGAN

Date:	12.06.2021
Scale:	1"=30'
Sheet:	02
Project:	20037.00



Executive:	MP
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*giffels webster*



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**DEMOLITION PLAN**

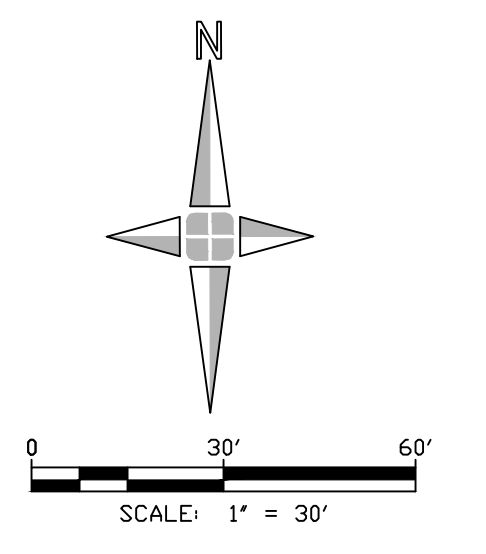
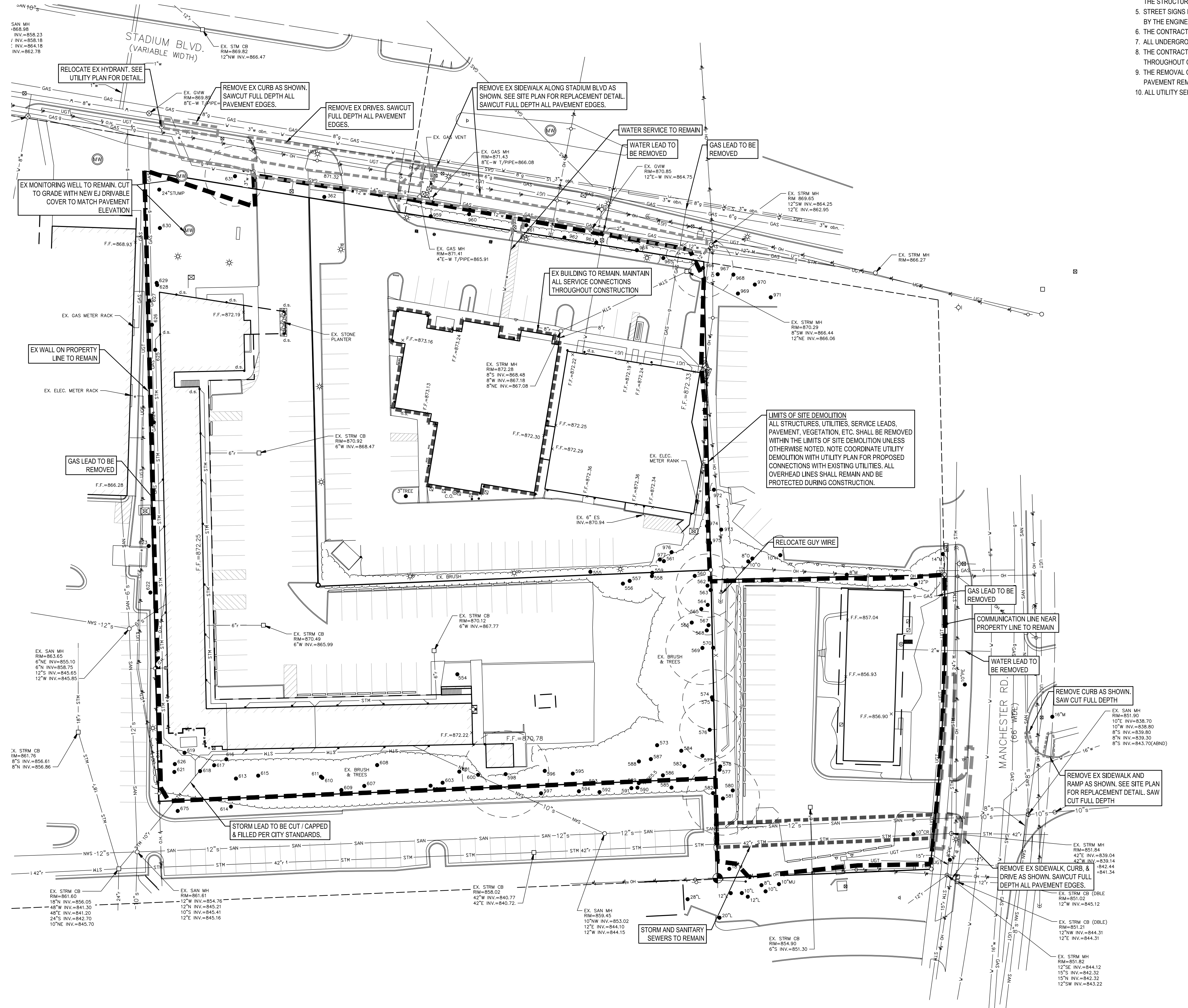
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Date:	12.06.2021
Scale:	1"=30'
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**DEMOLITION NOTES**

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THEIR OWN DISPOSAL GROUND, AND WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DISPOSING OF ANY OF THE EXCESS MATERIALS. MATERIALS ACCEPTABLE TO THE ENGINEER MAY BE DISPOSED OF ON-SITE AT THE CONTRACTORS EXPENSE IN A MANNER APPROVED IN ADVANCE BY THE ENGINEER.
3. THE EDGE OF EXISTING PAVEMENT SHALL BE CLEARED OF EARTH AND OTHER FOREIGN MATERIAL BEFORE ADJACENT POURS ARE PLACED.
4. ALL BULKHEAD AND/OR SEWER PIPE REMOVAL NECESSITATED BY THE REMOVAL OF DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE STRUCTURE REMOVAL.
5. STREET SIGNS IN THE WAY OF CONSTRUCTION WILL BE REMOVED AND RESET IMMEDIATELY IN A TEMPORARY LOCATION, AS APPROVED BY THE ENGINEER.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SIGNS AND POSTS SCHEDULED TO REMAIN, AS DIRECTED BY THE ENGINEER.
7. ALL UNDERGROUND UTILITIES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PRIVATE PROPERTY (INCLUDING BUILDINGS AND FOUNDATIONS) THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AT ALL TIMES.
9. THE REMOVAL OF PAVEMENT, CURBS AND WALKS SHALL INCLUDE ALL REQUIRED SAWCUTTING. CURB REMOVAL IS INCIDENTAL TO PAVEMENT REMOVAL.
10. ALL UTILITY SERVICE LEADS NOT PROPOSED FOR REUSE SHALL BE PERMANENTLY KILLED AT ITS RESPECTIVE MAIN.



**DEMOLITION LEGEND:**

- REMOVE OBJECT
- REMOVE UTILITY PIPE
- ABANDON UTILITY PIPE
- CUT AND BULKHEAD UTILITY PIPE
- REMOVE EXISTING CURB
- LIMITS OF SITE DEMOLITION (SEE NOTE ON PLAN)
- LIMITS OF R.O.W. PAVEMENT REMOVAL
- EXISTING OBJECT TO REMAIN



### SIGHT DISTANCE NOTE

THE POINT OF OBSERVATION HAS BEEN SET AT 15' FROM THE EDGE OF PAVEMENT OF THE THROUGH LANE FOR THE DRIVE OFF OF STADIUM BLVD AND MANCHESTER RD.

STADIUM BLVD IS A 5 LANE 35 MPH ROAD WHICH REQUIRES A SIGHT DISTANCE OF 415'.

MANCHESTER RD IS A 2 LANE 25 MPH ROAD WHICH REQUIRES A SIGHT DISTANCE OF 295'.

NONE OF THE PROPOSED ACTIVITIES SHALL DISRUPT THE REQUIRED SIGHT DISTANCE. ADEQUATE SIGHT DISTANCE FOR BOTH PROPOSED DRIVES HAS BEEN PROVIDED AS REQUIRED.

### EMERGENCY FIRE ACCESS NOTE

THE EMERGENCY FIRE ACCESS LANE, AS SHOWN IN PLAN, HAS BEEN ADDED SPECIFICALLY TO MEET THE IFC FIRE ACCESS REQUIREMENTS. THE LAYOUT OF THIS FIRE ACCESS LANE HAS BEEN COORDINATED WITH AND REQUIRED BY THE CITY'S FIRE MARSHAL. WITHOUT THIS FIRE ACCESS LANE, THE SITE WOULD BE DEFICIENT IN ITS FIRE ACCESS IN THE CASE OF AN EMERGENCY NEEDING SAID ACCESS.

### DRIVEWAY APPROVAL NOTE

FULL TURNING DRIVEWAY HAS BEEN APPROVED BY CITY OF ANN ARBOR TRAFFIC DEPARTMENT WITH THE CONDITION THAT FUTURE SAFETY AND OPERATIONAL ISSUES MAY REQUIRE THIS DRIVEWAY ACCESS TO BE CONVERTED TO RIGHT-IN RIGHT-OUT ONLY.

### FIRE MARSHAL NOTES

1. STORAGE AREA FOR CONSTRUCTION MATERIALS SHALL NOT INTERFERE WITH FIRE/EMERGENCY SITE ACCESS.
2. ADDRESS SHALL BE CLEARLY VISIBLE WHEN APPROACHING THE BUILDING.
3. HYDRANTS SHALL BE IN SERVICE PRIOR TO CONSTRUCTION PHASE AND BEFORE COMBUSTIBLE MATERIAL ARE PLACED ON THE JOB SITE.
4. AERIAL ACCESS SHALL BE THE PAVED COURTYARD AREA.
5. EMERGENCY RESPONDER RADIO COVERAGE MUST MEET REQUIREMENTS AS SPECIFIED IN THE IFC SECTION 510.

### FIRE APPARATUS NOTE

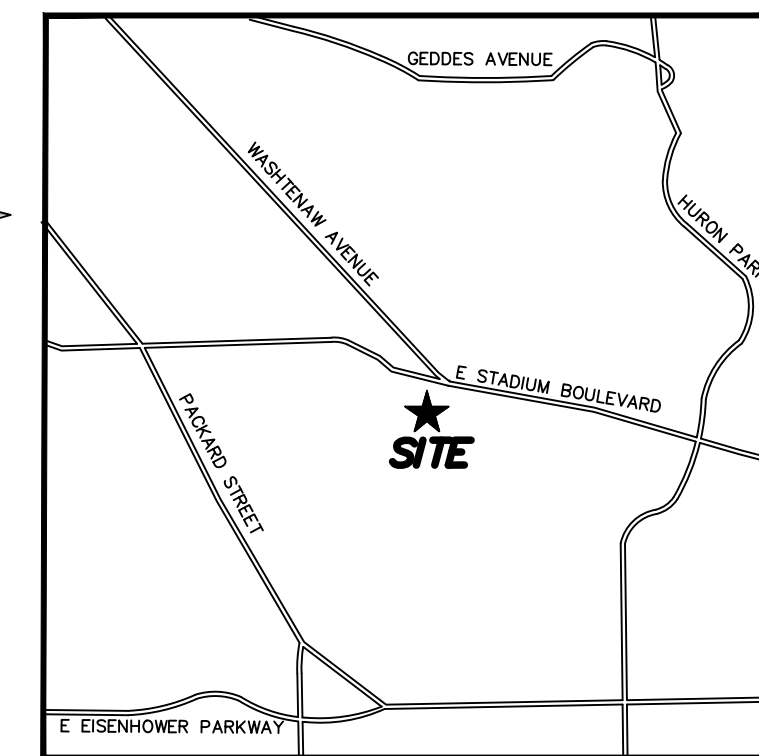
SEE FIRE ACCESS SITE PLAN FOR FIRE APPARATUS TURNING MANUEVERS

### LEGEND

	PR. 26' WIDE FIRE APPARATUS ACCESS ROUTE		PR. ASPHALT
	PR. SANITARY MANHOLE		PR. CONCRETE
	PR. CLEANOUT		PR. ACTIVE OPEN SPACE
	PR. STORM CATCH BASIN		PR. OPEN SPACE
	PR. STORM MANHOLE		
	PR. FIRE HYDRANT		
	PR. LIGHTPOLE		
	REVERSE CURB		
	STANDARD CURB		
	PROPERTY BOUNDARY		
	"HANDICAP PARKING" SIGN		
	"NO PARKING - FIRE LANE" SIGN		
	ELECTRIC VEHICLE CHARGING STATION		
	"RIGHT TURN ONLY" EXIT SIGN		

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF ANN ARBOR, AND ANY OTHER AGENCIES HAVING JURISDICTION.
2. UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WHETHER THEY ARE SHOWN OR NOT ON THE PLANS.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.
4. 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 482-7171 FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
5. ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONSTRUCTION FENCING AS NECESSARY.
7. THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES WHOSE DRIVEWAYS ARE AFFECTED BY HIS SCHEDULE 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.
8. THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE PLANS OR BY THE AGENCY WITH JURISDICTION. ALL TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
9. THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
10. GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
11. ALL ELEVATIONS ON THESE PLANS ARE ON THE NAVD88 DATUM.
12. THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
13. ALL CONSTRUCTION SHALL HAVE INSPECTION PROVIDED BY THE CITY OF ANN ARBOR. THE CONTRACTOR SHALL CONTACT THE CITY OF ANN ARBOR 48 HOURS BEFORE THE START OF CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, AND SHALL PROVIDE ALL NECESSARY MATERIAL AND EQUIPMENT TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS. DUST CONTROL SHALL BE INCIDENTAL TO THE PROJECT.
15. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCE SIGNS, ETC., THAT MAY OR MAY NOT BE INDICATED ON THESE PLANS. THE CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, MINIMUM STANDARD REQUIREMENTS, OR AS SPECIFIED HEREIN, WHICHEVER IS MORE STRINGENT.
16. ROADWAY, DRIVEWAY, AND PARKING AREA FINAL RESTORATION SHALL BE PERFORMED WITH SURFACE AND BASE MATERIALS MATCHING EITHER THE EXISTING MATERIALS IN QUALITY AND THICKNESS, PER MINIMUM REQUIREMENTS.
17. ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
18. FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
19. THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES. THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT.
20. THE MEANS AND METHODS OF CONTROLLING GROUNDWATER AND DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST ASSOCIATED WITH DEWATERING SHALL BE INCIDENTAL TO THE CONTRACT.
21. ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
22. FLAG POLES PROPOSED TO BE 25' HEIGHT FOR STATE AND HOTEL POLES WITH A 30' POLE IN THE CENTER FOR THE US. FLAG.



LOCATION MAP (NOT TO SCALE)

**giffels webster**

Engineers  
Surveyors  
Planners  
Landscape Architects

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Birmingham, MI 48009  
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f (313) 962-5068  
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Executive:	MP
Manager:	AW
Designer:	JR
Quality Control:	-
Section:	34
	T-02-S R-06-E

Professional Seal:

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12.22.2021	SUBMITTAL
04.05.2022	OWNER REVIEW
04.08.2022	RESUBMITTAL
06.07.2022	REVISED SITE PLAN SUBMISSION

Developed For:

**BEZTAK**

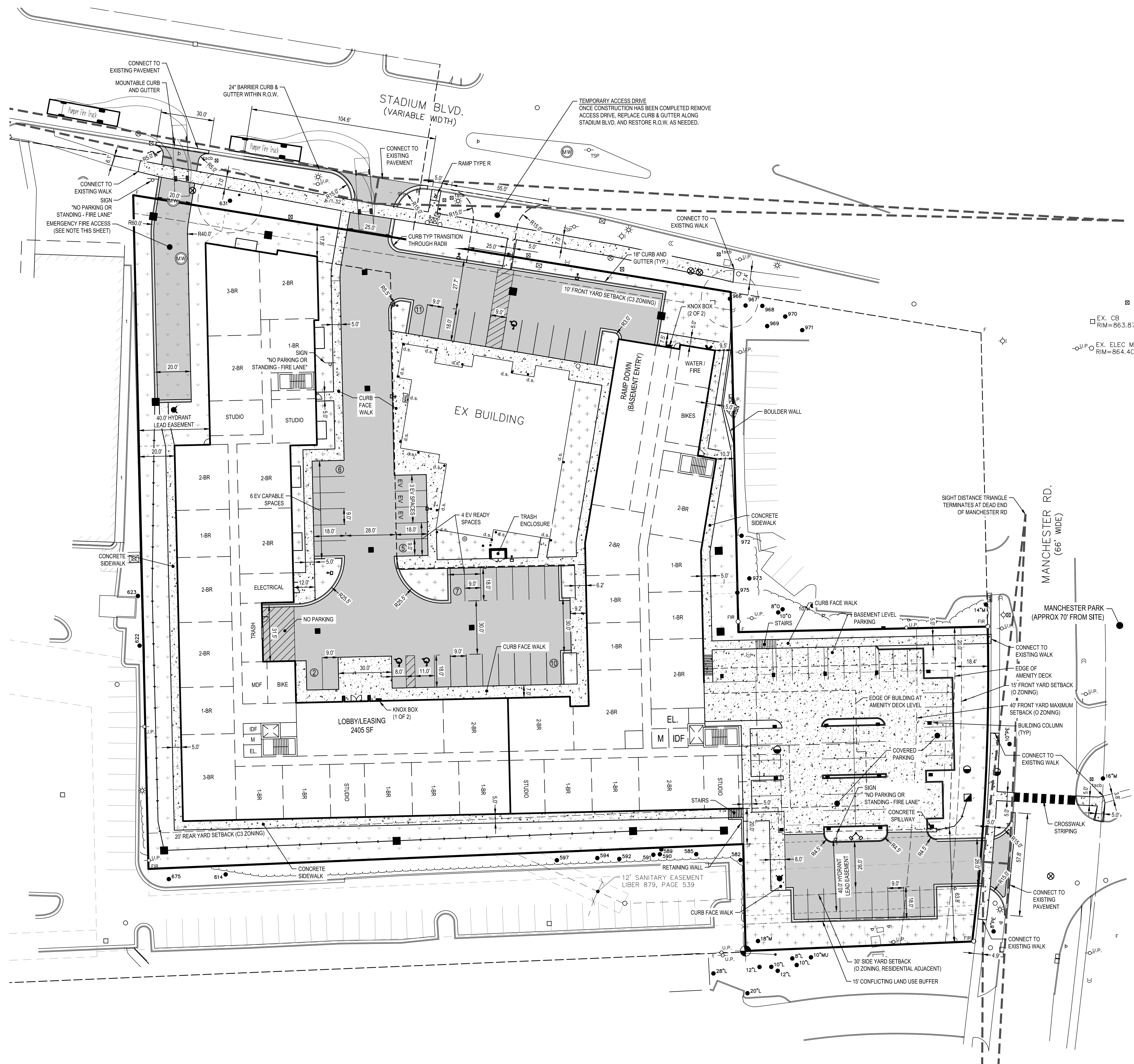
31731 NORTHWESTERN HWY.,  
SUITE 150W  
FARMINGTON HILLS, MI 48334

### SITE PLAN

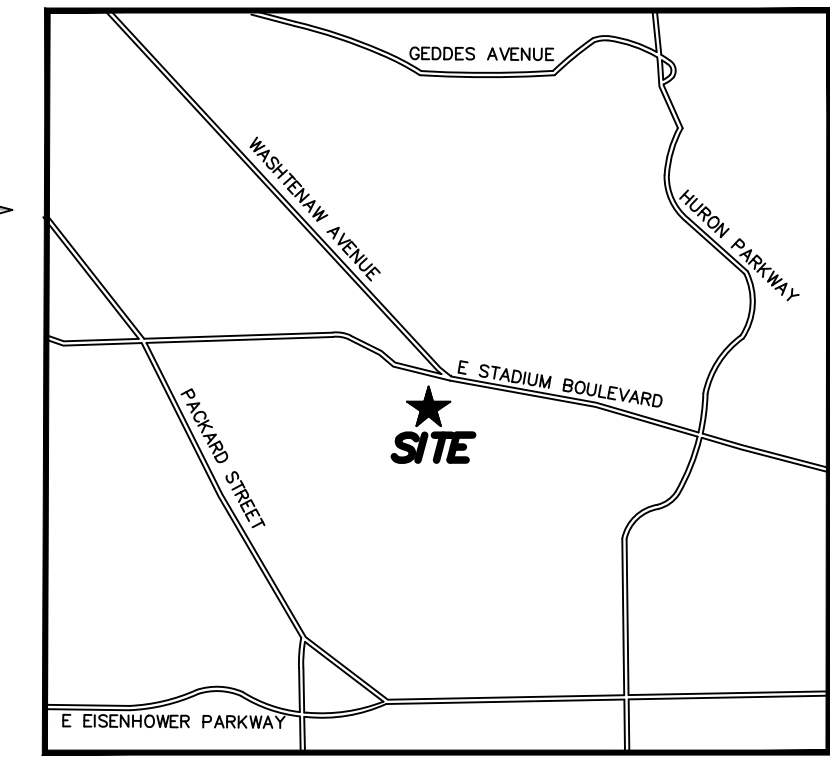
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CITY OF ANN ARBOR  
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Date:	12.06.2021
Scale:	1"=30'
Sheet:	04
Project:	20037.00







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STATE OF MICHIGAN  
DEAN A. WAKELAND  
ENGINEER  
No. 58866  
LICENSED PROFESSIONAL ENGINEER

*D. Webb*

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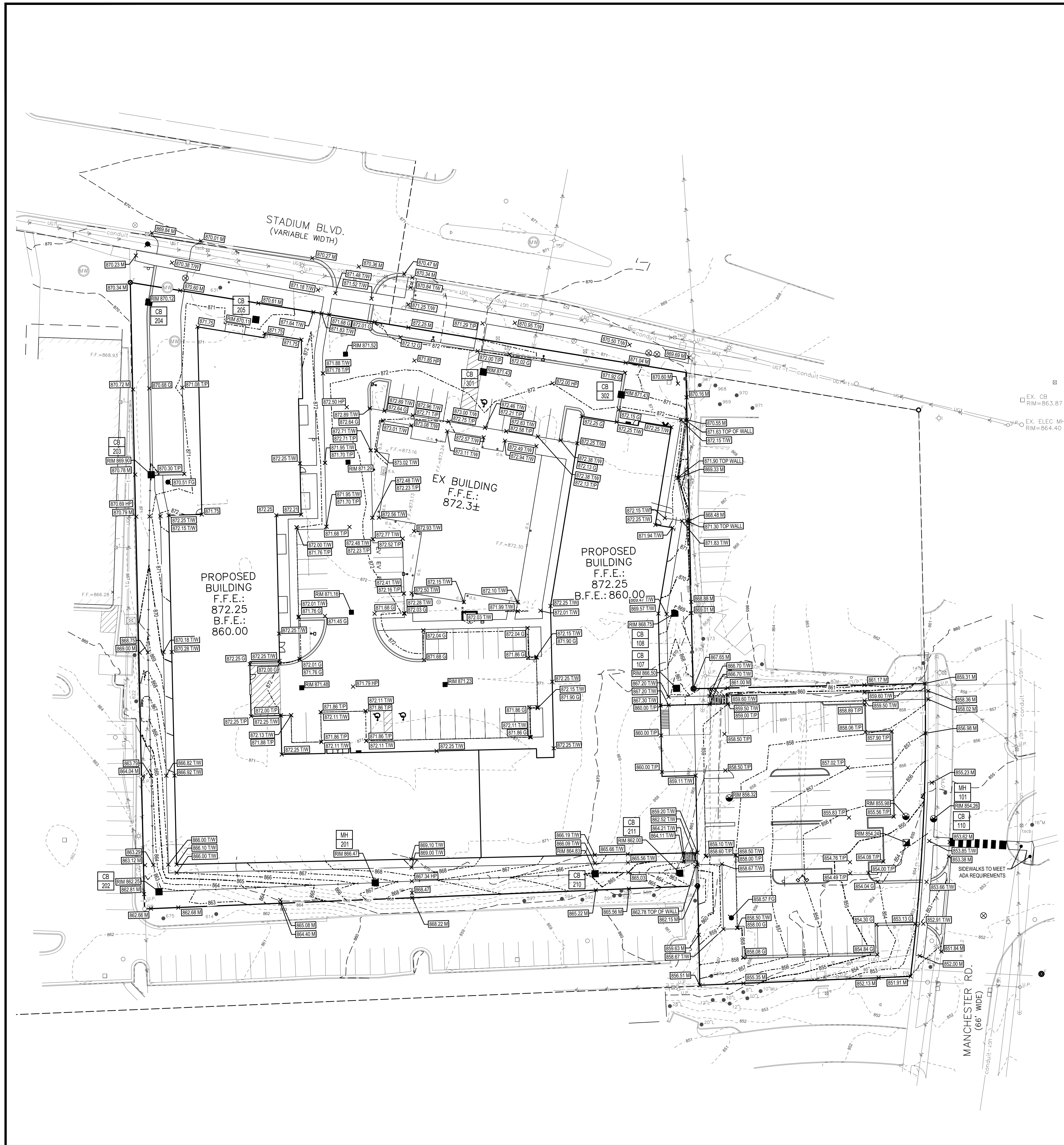
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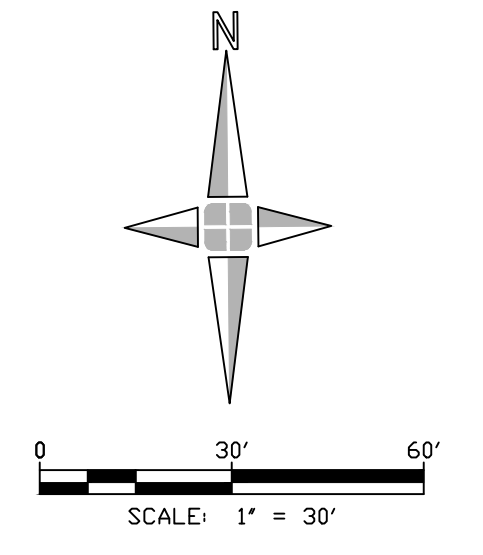
**GRADING PLAN**

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CITY OF ANN ARBOR  
WASHTENAW COUNTY  
MICHIGAN

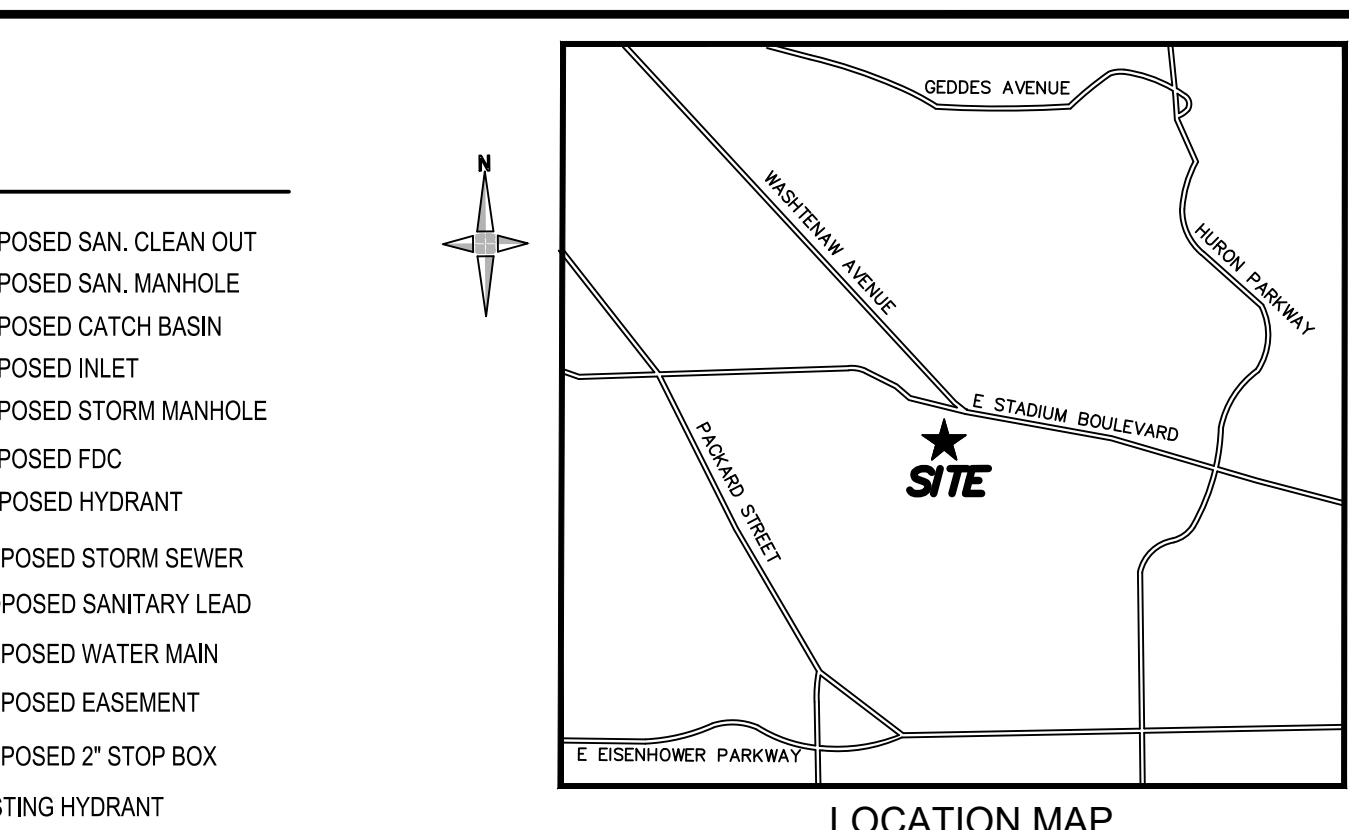
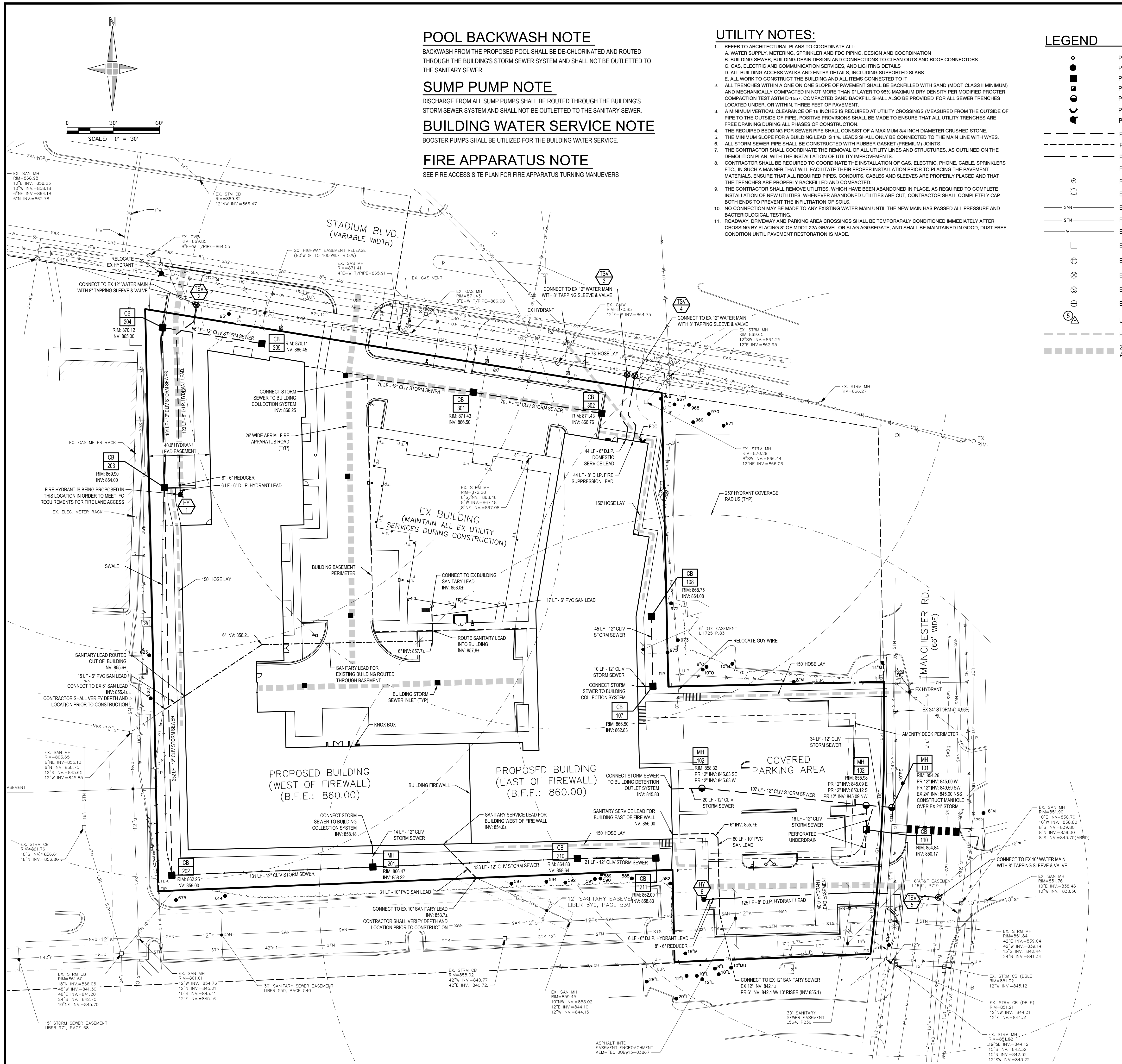
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Scale: 1"=30'  
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- LEGEND**
- ⊗ PR GATE VALVE AND WELL
  - PR HYDRANT
  - PR VALVE AND BOX
  - ⊠ PR STORM CATCH BASIN
  - ⊞ PR STORM MANHOLE
  - ⊟ PR STORM END SECTION
  - PR CLEAN OUT
  - PR SANITARY MANHOLE
  - PR CONTOUR MINOR (1')
  - PR CONTOUR MAJOR (5')
  - EX CONTOUR MINOR (1')
  - EX CONTOUR MAJOR (5')
  - PR CURB AND GUTTER
  - PR RIDGE LINE
  - PR FLOW ARROW
  - PR SPOT ELEVATION
  - PR MATCH EXISTING ELEVATION
  - PR GUTTER ELEVATION
  - PR FINISH GRADE ELEVATION
  - PR HIGH POINT ELEVATION
  - PR TOP OF ASPHALT ELEVATION
  - PR TOP OF CURB ELEVATION
  - PR TOP OF PAVEMENT
  - PR TOP OF WALK ELEVATION
  - PR TOP OF WALK ELEVATION FLUSH WITH PAVEMENT
  - ▭ RETAINING / BOULDER WALL







**LEGEND**

- PROPOSED SAN. CLEAN OUT
- PROPOSED SAN. MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED INLET
- PROPOSED STORM MANHOLE
- PROPOSED FDC
- PROPOSED HYDRANT
- PROPOSED STORM SEWER
- PROPOSED SANITARY LEAD
- PROPOSED WATER MAIN
- PROPOSED EASEMENT
- PROPOSED 2" STOP BOX
- EXISTING HYDRANT
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING CATCH BASIN
- EXISTING BEEHIVE CATCH BASIN
- EXISTING GATE VALVE
- EXISTING SAN. MANHOLE
- EXISTING STORM MANHOLE
- UTILITY CROSSING
- HOSE LAY PATH
- 26" WIDE AERIAL APPARATUS ROAD

**SANITARY SEWER MITIGATION CALCULATIONS**

**PREVIOUS UNIVERSITY INN & OFFICE BLDG'S**

<b>Previous University Inn</b>	
Rooms:	
No. rooms under 400 sf: (55)	
Design Dry Weather flow= 75 gpd/unit	
No. rooms over 400 sf: (0)	
Design Dry Weather flow= 150 gpd/unit	
Flow From Rooms =	4,125 gpd
<b>Office:</b>	
Non-Medical Office: 2462 E. Stadium	
Floor Area= 7,000 GSF	
Design Dry Weather flow = 0.06 gpd/sf gross floor area	
Medical Office: 1950 Manchester	
Floor Area= 3,136 GSF	
Design Dry Weather flow = 0.10 gpd/sf gross floor area	
Flow From Office=	734 gpd
<b>Pool:</b>	
Max. Occupancy= 800 SF (estimated) 16 Max Occ.	
50 sf / person	
Design Dry Weather flow = 20 gpd/capita	
Flow From Pool & Wading Pool=	320 gpd
<b>Total Previous Flow =</b>	<b>5179 gpd</b>

**PROPOSED DEVELOPMENT**

<b>Proposed Bldg.</b>	
Apartments up to 600 sf: 19 Units	
Design Dry Weather flow= 175 gpd/unit	
Apartments 600 sf - 1200sf: 144 Units	
Design Dry Weather flow= 250 gpd/unit	
Apartments over 1200 sf: 11 Units	
Design Dry Weather flow= 300 gpd/unit	
Flow From Apts=	42,625 gpd
<b>Office Space = 7,716 SF</b>	
Design Dry Weather flow= 0.06gpd/sq. ft. of gross floor area	
Flow From Office=	463 gpd
<b>Parking Garage = 172 Spaces</b>	
Design Dry Weather flow= 27gpd/parking space up to 3,375 gpd	
Flow From Parking Garage=	3,375 gpd
<b>Pool:</b>	
Max. Occupancy = 630 SF	
50 sf / person = 12 Max. occ.	
Design Dry Weather flow = 20 gpd/capita	
Flow From Pools=	240 gpd
<b>Total Proposed Flow =</b>	<b>46,703 gpd</b>

**NET CHANGE IN FLOW**

<b>Footing Drain Mitigation Calculations</b>	
Proposed Development	46,703 gpd
Previous University Inn & Offices	5,179 gpd
<b>Proposed - Previous</b>	<b>41,524 gpd</b>
<b>Peak Factor =</b>	<b>4</b>
<b>System Recovery Factor =</b>	<b>1.1</b>
<b>Total Peak Flow =</b>	<b>182707 gpd</b>
	<b>127 gpm</b>

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**BEZTAK**  
31731 NORTHWESTERN HWY., SUITE 150W  
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**UTILITY PLAN**

UNIVERSITY INN RESIDENTIAL ANN ARBOR, MI

CITY OF ANN ARBOR  
WASHTENAW COUNTY  
MICHIGAN

Date: 12.06.2021  
Scale: 1"=30'  
Sheet: 06  
Project: 20037.00



# STORM WATER MANAGEMENT MAINTENANCE NOTES

- MAINTENANCE**
- DURING CONSTRUCTION, IT IS THE DEVELOPER'S RESPONSIBILITY TO PERFORM THE MAINTENANCE.
  - FOLLOWING CONSTRUCTION, IT WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERFORM THE MAINTENANCE.
  - PRIOR TO BEING RECORDED, LANGUAGE SHALL BE ADDED TO THE MASTER DEED WHICH DEFINES ROUTINE MAINTENANCE OF THE STORM WATER FACILITIES AND WHO THE RESPONSIBLE PARTIES SHALL BE.

- FINANCING**
- THE PROPERTY OWNER SHALL BE REQUIRED TO PAY FOR ALL MAINTENANCE ACTIVITIES ON A CONTINUING BASIS.

- MAINTENANCE TASKS AND SCHEDULES**
- SEE CHARTS ON THIS SHEET WHICH DESCRIBE THE ANTICIPATED MAINTENANCE TASKS DURING CONSTRUCTION AND PERMANENT OPERATION.
  - IMMEDIATELY FOLLOWING CONSTRUCTION, THE DEVELOPER WILL HAVE THE STORM WATER MANAGEMENT INSPECTED BY A PROFESSIONAL ENGINEER TO VERIFY GRADES OF THE DETENTION AND FILTRATION SYSTEMS AND MAKE RECOMMENDATIONS NECESSARY TO SEDIMENT.

Maintenance Tasks and Schedule During Construction									
Task	Components								Schedule
	Storm Sewer System	Catch Basin Sumps	Basin Inlet Castings	Ditches & Swales	Outflow Control Structure	Filtration Basins	Storm Detention Areas	Emergency Overflow	
Inspect for sediment accumulation	X				X	X	X		Weekly
Removal of sediment accumulation	X	X			X	X	X		As needed* & prior to turnover
Inspect for floatables and debris			X	X	X	X	X		Quarterly
Cleaning of floatables and debris			X	X	X	X	X		Quarterly & at turnover
Inspection of erosion			X	X	X	X	X		Weekly
Re-establish permanent vegetation on eroded slopes			X			X	X		As needed* & at turnover
Replacement of Stone					X				As needed* & prior to turnover
Mowing		X	X	X	X	X	X		0 - 2 times per year
Inspect* Stormwater system components during wet weather and compare to as-built plans					X	X	X		Annually and at turnover
Make adjustments or replacements as determined by annual wet weather inspection	X	X	X	X	X	X	X	X	As needed

\*As needed means when sediment has accumulated to a maximum of one foot depth  
 \*\*Inspection to be performed by professional engineer reporting to the property owner

Permanent Maintenance Tasks and Schedule						
Task	Components					Schedule
	Catch Basin Inlet Castings	Ditches & Swales	Outflow Control Structure	Storm Detention Areas	Emergency Overflow	
Inspect for sediment accumulation		X	X	X	X	Annually
Removal of sediment accumulation		X	X	X	X	Every 2 years as needed
Inspect for floatables and debris	X	X	X	X	X	Annually
Cleaning of floatables and debris	X	X	X	X	X	Annually
Inspection of erosion		X				Annually
Re-establish permanent vegetation on eroded slopes		X				As Needed
Sweep parking lot and drive aisles						Semi-Annually
Mowing		X				4 - 5 times per year
Inspect Stormwater system components during wet weather and compare to as-built plans	X	X	X	X	X	Annually
Make adjustments or replacements as determined by annual wet weather inspection	X	X	X	X	X	As Needed
Keep records* of all inspections and maintenance activities						Annually
Keep records* of all costs for inspections, maintenance, and repairs						Annually

\*Records shall be kept by the property owner

Storm Water System - Annual Maintenance Budget	
Tasks	Cost
Annual inspection for sediment accumulation	\$100.00
Removal of sediment accumulation every 2 years as needed	\$1,000.00
Inspect for floatables and debris annually and after major storms	\$100.00
Removal of floatables and debris annually and after major storms	\$150.00
Inspect system for erosion annual and after major storms	\$100.00
Re-establish permanent vegetation on eroded slopes as needed	\$200.00
Mowing 4 - 5 times per year	\$600.00
Inspect structural elements during wet weather and compare to as-built plans every 2 years	\$150.00
Make structural adjustments or replacements as determined by inspection as needed	\$400.00
Have professional engineer carry out emergency inspections upon identification of severe problems	\$200.00
<b>Total Annual Budget</b>	<b>\$3,000.00</b>

## STORM WATER NARRATIVE

THE STORM WATER GENERATED FROM THE PROPOSED DEVELOPMENT SHALL BE DETAINED ON-SITE AND RELEASED IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS PUBLISHED BY THE WASHENAW COUNTY WATER RESOURCES COMMISSIONER. THE STORM WATER RUNOFF SHALL BE COLLECTED USING A SERIES OF SWALES, BASINS, BUILDING INLETS, AND STORM PIPES. THE COLLECTED RUNOFF WILL THEN BE ROUTED TO AN UNDERGROUND DETENTION VAULT WHICH WILL BE LOCATED BELOW THE BASEMENT GARAGE FLOOR OF THE PROPOSED BUILDING.

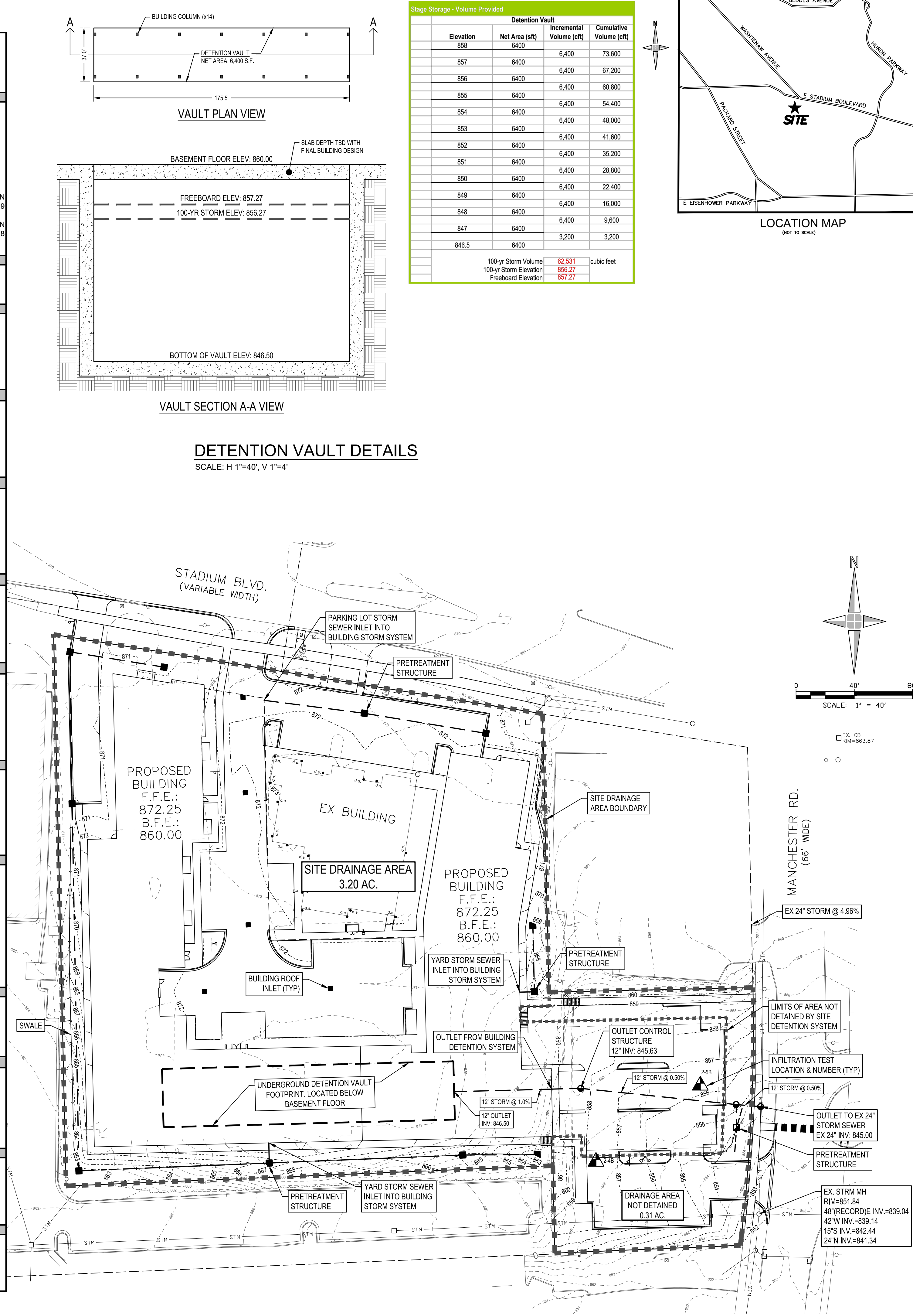
ON-SITE AREAS LOCATED OUTSIDE OF THE PROPOSED BASEMENT GARAGE PERIMETER SHALL USE TRADITIONAL STORM SEWER BASINS AND PIPES TO COLLECT THE STORM WATER RUNOFF. THESE SYSTEMS WILL ROUTE THE COLLECTED WATER INTO THE BUILDING STORM WATER SYSTEM WHERE IT WILL THEN BE DIRECTED TO THE DETENTION VAULT. PRE-TREATMENT STRUCTURES WILL BE UTILIZED TO TREAT THE STORM WATER RUNOFF PRIOR TO IT ENTERING THE BUILDING STORM SYSTEM. LOCATIONS OF THESE PRE-TREATMENT STRUCTURES ARE SHOWN IN PLAN.

ON-SITE AREAS LOCATED ABOVE THE BASEMENT GARAGE SHALL USE ROOF INLETS AND THE BUILDING STORM WATER SYSTEM TO COLLECT AND ROUTE THIS WATER TO THE DETENTION VAULT. THE BUILDING'S STORM WATER SYSTEM SHALL BE DESIGNED TO TREAT THE RUNOFF COLLECTED BY THE BUILDING INLETS. BUILDING ROOF INLETS LOCATED ABOVE THE BASEMENT GARAGE ARE SHOWN IN PLAN.

THE BUILDING STORM WATER SYSTEM SHALL ROUTE ALL BUILDING STORM PIPES INTO THE DETENTION VAULT. THE DETENTION VAULT SHALL BE SIZED TO DETAIN THE STORM WATER RUNOFF FROM THE DRAINAGE AREA AS SHOWN IN PLAN PER COUNTY STANDARDS. OUTLET CONTROL FOR THE DETENTION VAULT SHALL BE ACHIEVED BY UTILIZING AN OUTLET CONTROL STRUCTURE. THE LOCATION FOR THIS STRUCTURE IS SHOWN IN PLAN. THE OUTLET FOR THE SITE WILL BE TO AN EXISTING 24" STORM SEWER LOCATED WITHIN THE MANCHESTER RD. R.O.W. THE EXISTING STORM SYSTEM FLOWS SOUTH THEN EAST INTO AN EXISTING 48" STORM SEWER PIPE.

## DETENTION CALCULATIONS

Project Name:	20037.00 University Inn - Whole Site
Project No.:	20037.00
Name:	J. Ratliff
Date:	14-Mar-22
<b>W1. DETERMINING POST-DEVELOPMENT SITE PARAMETER:</b>	
TOTAL TRIBUTARY ACREAGE	A = 3.20 ACRES
	A <sub>(sf)</sub> = 139,239 SF
C-FACTOR (WEIGHTED)	C-FACTOR AREA (AC)
Pavement/Bldg	0.95 2.63
Grass / Type B Soils	0.30 0.56
Grass / Type D Soils	0.35 0.84
	C <sub>(avg)</sub> = 0.84
Pervious CN Number	AREA PER (SF) AREA (AC) CN
Urban Poor	24509 0.56 79
Impervious CN Number	AREA IMP (SF) AREA (AC) CN
Pavement/Bldg	114730 2.63 98
<b>W2. FIRST FLUSH FLOOD VOLUME REQUIRE:</b>	
A =	3.20 ACRES
C =	0.84
V <sub>(ff)</sub> = (1"/(12")*(43,560ft <sup>2</sup> /1ac)AC	V <sub>(ff)</sub> = 9,696 CF
<b>W3. PRE-DEVELOPMENT BANKFULL FLOOD VOLUME, V<sub>(bf-pre)</sub></b>	
p =	2.35 in
CN =	58
S = (1000/cn)-10	7.24 in
Q = (P-0.2S) <sup>2</sup> / (P+0.8S)	0.10
A <sub>(sf)</sub>	139,239
V <sub>(bf-pre)</sub> = Q(1/12)A <sub>(sf)</sub>	V <sub>(bf-pre)</sub> = 1,159 CF
<b>W4. Pervious POST DEVELOPMENT BANKFULL FLOOD VOLUME, V<sub>(bf-post)</sub></b>	
p =	2.35 in
CN =	79
S = (1000/cn)-10	2.66 in
Q = (P-0.2S) <sup>2</sup> / (P+0.8S)	0.74
Area Per (sf)	24,509
V <sub>(bf-post)</sub> = Q(1/12)A <sub>(sf)</sub>	V <sub>(bf-post)</sub> = 1,509 CF
<b>W5. IMPERVIOUS POST-DEVELOPMENT BANKFULL FLOOD VOLUME, V<sub>(bf-imp-post)</sub></b>	
p =	2.35 in
CN =	98
S = (1000/cn)-10	0.20 in
Q = (P-0.2S) <sup>2</sup> / (P+0.8S)	2.12
Area Imp (sf)	114,730
V <sub>(bf-imp-post)</sub> = Q(1/12)A <sub>(sf)</sub>	V <sub>(bf-imp-post)</sub> = 20,285 CF
<b>W6. Pervious POST-DEVELOPMENT 100 YEAR STORM VOLUME, V<sub>(100-per-post)</sub></b>	
p =	5.11 in
CN =	79
S = (1000/cn)-10	2.66 in
Q <sub>100-per</sub> = (P-0.2S) <sup>2</sup> / (P+0.8S)	2.90
Area Per (sf)	24,509
V <sub>(100-per-post)</sub> = Q(1/12)A <sub>(sf)</sub>	V <sub>(100-per-post)</sub> = 5,916 CF
<b>W7. IMPERVIOUS POST-DEVELOPMENT 100 YEAR STORM VOLUME, V<sub>(100-imp-post)</sub></b>	
p =	5.11 in
CN =	98
S = (1000/cn)-10	0.20 in
Q <sub>100-imp</sub> = (P-0.2S) <sup>2</sup> / (P+0.8S)	4.87
Area Imp (sf)	114,730
V <sub>(100-imp-post)</sub> = Q(1/12)A <sub>(sf)</sub>	V <sub>(100-imp-post)</sub> = 46,590 CF
<b>W8. Time of Concentration T<sub>c</sub> (Tc-hrs)</b>	
K =	0.48
Change in Elevation =	1.8 ft
Length (L) =	170.00 ft
Slope% (S) =	1.06 %
S <sup>0.5</sup> =	1.029
V = K*S <sup>0.5</sup>	0.494
T <sub>c</sub> = L/(V*3600)	T <sub>c</sub> (Tc-hrs) = 0.10
<b>W9.A. RUNOFF SUMMARY TOTAL</b>	
V <sub>(ff)</sub>	9,696 CF
V <sub>(bf-pre)</sub>	1,159 CF
V <sub>(bf-post)</sub>	1,509 CF
V <sub>(bf-imp-post)</sub>	20,285 CF
<b>TOTAL BF Volume V<sub>(bf-post)</sub></b>	<b>21,794 CF</b>
V <sub>(100-per-post)</sub>	5,916 CF
V <sub>(100-imp-post)</sub>	46,590 CF
<b>TOTAL 100-year Volume V<sub>(100)</sub></b>	<b>52,506 CF</b>
<b>W9.B. ONSITE INFILTRATION</b>	
V <sub>(bf-post)</sub>	21,794 CF
V <sub>(bf-pre)</sub>	1,159 CF
<b>Bankfull Volume Difference</b>	<b>20,635 CF</b>
Therefore On-Site Infiltration = V <sub>inf</sub>	20,635 CF
<b>W10. DETENTION REQUIREMENTS, V<sub>det</sub></b>	
Q <sub>0</sub> = 238.6*T <sub>c</sub> <sup>0.82</sup>	Q <sub>0</sub> = 1635.6 cfs/in-mi <sup>2</sup>
A =	3.20 Acres
Q <sub>100</sub> = Q <sub>0</sub> *A	Q <sub>100</sub> = 7.77 in
PF = (Q <sub>0</sub> *Q <sub>100</sub> *A) / 640	PF = 63.47 cfs
Delta = PF - 0.15*A	Delta = 62.99 cfs
V <sub>det</sub> = (Delta / PF)*V <sub>100</sub>	V <sub>det</sub> = 52,110 CF
<b>W13.A. STORMWATER MANAGEMENT SUMMARY</b>	
Required Onsite Requirement, V <sub>inf</sub>	20,635 CF
Infiltration Provided	0 CF
% Infiltration Provided	0.00 %
V <sub>det</sub>	52,110 CF
<b>Net Req. Detention</b>	<b>52,110 CF</b>
<b>W13.B. INFILTRATION PENALTY CALCULATION:</b>	
% Required Infiltration NOT Provided	100.00 %
Net % Penalty	20.00 %
<b>Total Required Detention</b>	<b>V<sub>REQ-DET</sub> = 62,531 CF</b>



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Manager:	AW
Designer:	JR
Quality Control:	-
Section:	34
	T-02-S R-06-E

Professional Seal:

STATE OF MICHIGAN  
 DEAN A. WAKELAND  
 ENGINEER  
 No. 588663  
 LICENSED PROFESSIONAL ENGINEER

*D. Webber*

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04.08.2022	RESUBMITTAL
06.07.2022	REVISED SITE PLAN SUBMISSION

Developed For:

**BEZTAK**

31731 NORTHWESTERN HWY.,  
 SUITE 150W  
 FARMINGTON HILLS, MI 48334

## STORM WATER MANAGEMENT PLAN

UNIVERSITY INN RESIDENTIAL  
 ANN ARBOR, MI

CITY OF ANN ARBOR  
 WASHENAW COUNTY  
 MICHIGAN

Date:	12.06.2021
Scale:	1"=40'
Sheet:	07
Project:	20037.00



**QUANTITY CHART**

ITEM	QUANTITY	UNIT
SILT FENCE	1,700	LF
INLET FILTER	23	EA
MUD MAT	2	EA

**EARTHWORK QUANTITIES**

TOTAL EARTHWORK	QUANTITY	UNIT
CUT	24,420	CYDS
FILL	560	CYDS

**SITE DATA**

EXISTING IMPERVIOUSNESS 74%  
 PROPOSED IMPERVIOUSNESS 84%

AREA DISTURBED: 146,086 sf (3.33 ac.)

DISTANCE TO NEAREST STREAM / DRAIN: 4,000' ± EAST TO CHALMERS DRAIN

SOIL TYPE: WawabB-WAWASEE LOAM, 2 TO 6 PERCENT SLOPES

TEMPORARY SOIL EROSION MEASURES:  
 SILT FENCES  
 INLET FILTERS  
 MUD MATS

PERMANENT SOIL EROSION MEASURES:  
 TOPSOIL, SEED & MULCH

**MAINTENANCE SCHEDULE**

THE CONTRACTOR SHALL INSPECT SESC MEASURES WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF EACH RAIN EVENT, AND DAILY DURING A PROLONGED RAIN EVENT BY DESIGNATED CONTRACTOR.

**MEASURE MAINTENANCE SCHEDULE**

**SILT FENCE** INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS WHEN DEPTH REACHES 1/4 TO 1/2 THE HEIGHT OF THE FENCE. FABRIC SHALL BE REPLACED IF DAMAGED.

**INLET FILTER** INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS. FILTER SHALL BE REPLACED IF DAMAGED.

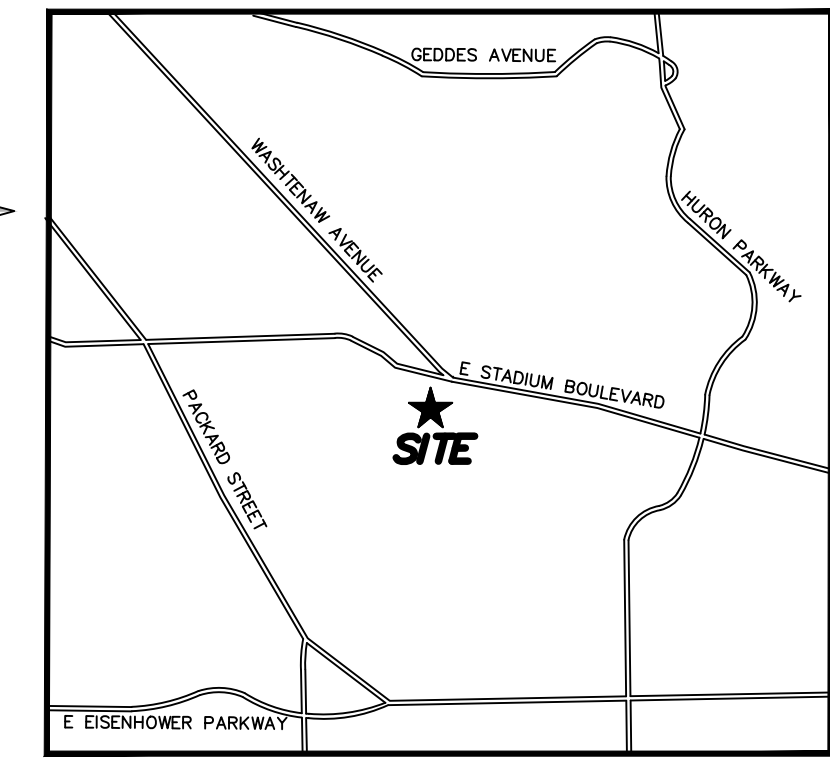
**DUST CONTROL** WATER SHALL BE APPLIED TO EXPOSED AREAS BY THE CONTRACTOR IN THE EVENT OF EXCESSIVE AIRBORNE DUST. DUST CONTROL SHALL BE APPLIED AS DIRECTED BY THE ENGINEER OR CITY PERSONNEL.

**VEGETATION (PERM)** SEED SHALL BE WATERED AND MULCH MAINTAINED UNTIL VIGOROUS TURF HAS BEEN ESTABLISHED.

**MUD MAT** INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS, ADD STONE AS NEEDED AND REQUIRED BY THE ENGINEER, AND REPLACE GEOTEXTILE IF DAMAGED.

**CONSTRUCTION SEQUENCE**

- |                              |   |
|------------------------------|---|
| DECEMBER 2022                | 1. SESC PRE-GRADING MEETING   |
| DECEMBER 2022                | 2. MOBILIZATION   |
| DECEMBER 2022                | 3. INSTALL SILT FENCE AND INLET FILTERS AT EXISTING CATCH BASINS PER PLAN   |
| JANUARY 2023 - FEBRUARY 2023 | 4. REMOVALS PER PLAN  |
| MARCH - JUNE 2023            | 5. EARTHWORK OPERATIONS   |
| APRIL - JULY 2023            | 6. STORM VAULT INSTALLATION PER PLAN  |
| JUNE - AUGUST 2023           | 7. BUILDING FOUNDATION CONSTRUCTION   |
| JULY - AUGUST 2023           | 8. BASE AGGREGATE PLACEMENT FOR PAVEMENT AS WELL AS PAVEMENT OUTSIDE OF THE BUILDING FOUNDATION NOT ALREADY PAVED PER DISCUSSION WITH CITY. |
| AUGUST 2023 - JUNE 2024      | 9. UTILITIES & BUILDING VERTICAL CONSTRUCTION   |
| JULY - AUGUST 2024           | 10. PAVING & LANDSCAPING  |
| AUGUST 2024                  | 11. RESTORATION   |
| SEPTEMBER 2024               | 12. REMOVE SESC MEASURES AFTER STABILIZATION  |



LOCATION MAP (NOT TO SCALE)

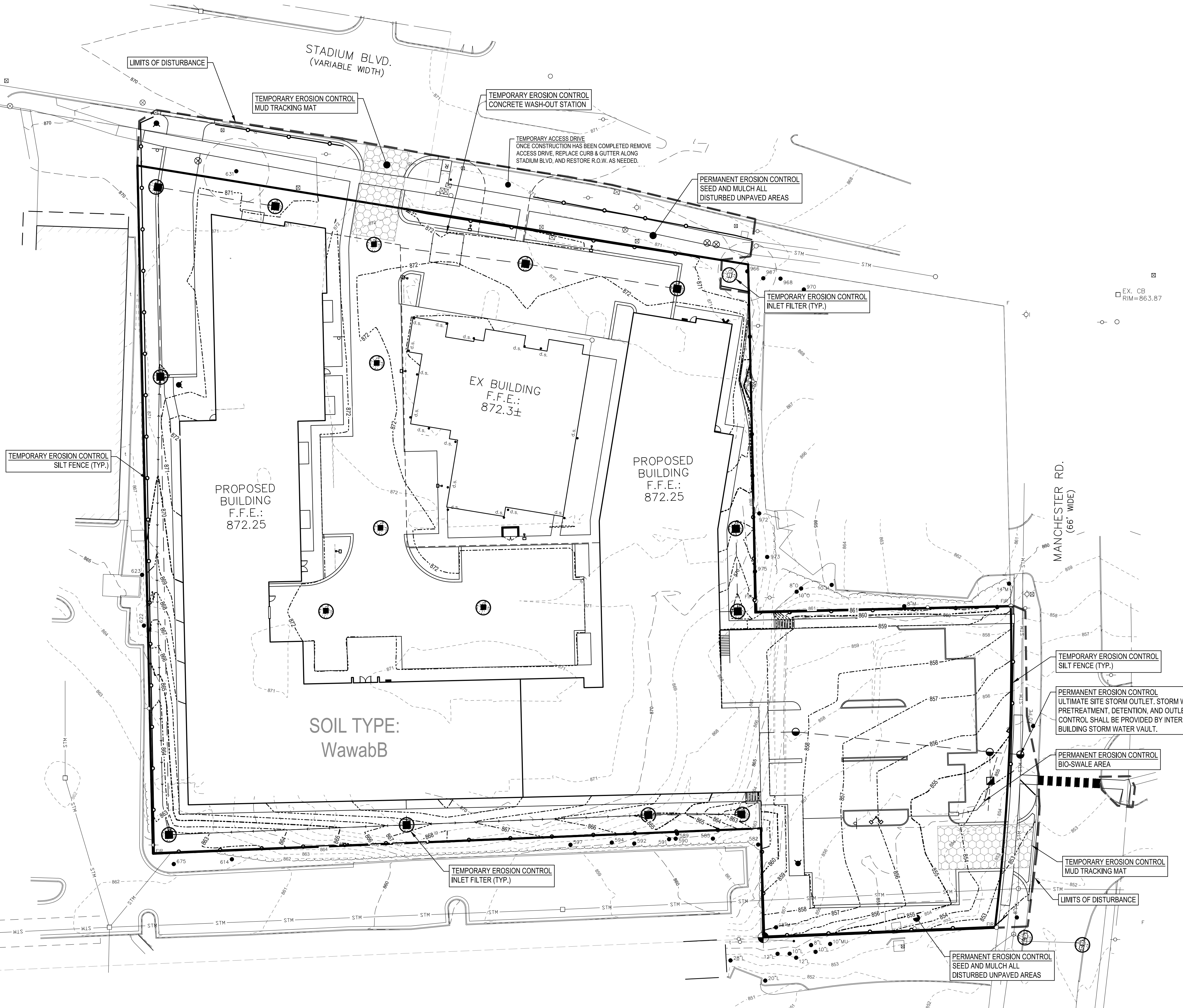
**SOIL EROSION COST ESTIMATE**

No.	Description	Quantity	Unit	Unit Cost	Total Cost
1	SILT FENCE	1700	L.F.	\$3.00	\$5,100.00
2	INLET FILTER	23	EA.	\$80.00	\$1,840.00
3	MUD MAT	2	EA.	\$2,000.00	\$4,000.00
				<b>TOTAL</b>	<b>\$10,940.00</b>

COST TO STABILIZE SITE SHOULD CONSTRUCTION CEASE = \$25,000

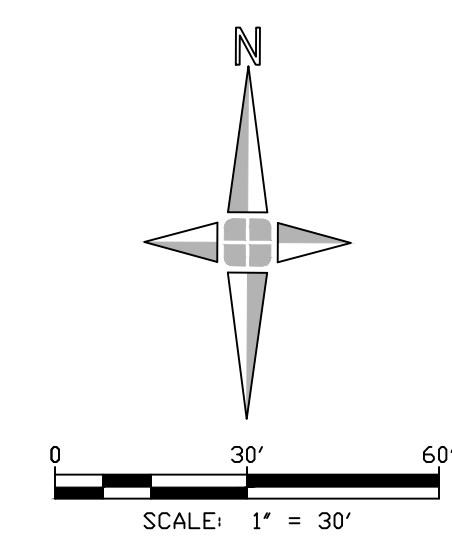
**EROSION CONTROL NOTES**

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ANN ARBOR.
- ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS)
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
- THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
- VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 5 DAYS OF COMPLETION OF FINAL GRADING.
- THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS DIRECTED BY THE ENGINEER OR INSPECTOR. STREET SCRAPING SHALL BE PERFORMED IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS.
- THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING: INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL SOIL EROSION CONTROLS AS INDICATED BY THESE PLANS.
- CONSTRUCTION ACTIVITIES (INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES, STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL) SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
- PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS CONSTRUCTION ACTIVITIES ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.
- IF FOR ANY REASON PERMANENT STABILIZATION CAN NOT BE PROVIDED WITHIN 5 DAYS OF THE COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS. TEMPORARY STABILIZATION SHALL FURTHERMORE BE PROVIDED DURING THE NON-GROWING SEASON (OCTOBER 1 THROUGH APRIL 20) FOR ALL AREAS TO BE SEEDDED.
- TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRAIN STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE, OR MULCH BLANKETS, WHICH SHALL BE ANCHORED IN PLACE TO PREVENT DISPLACEMENT FROM WIND AND RAIN. TEMPORARY STABILIZATION SHALL BE REPAIRED AS OFTEN AS NECESSARY, AS DETERMINED BY THE AGENCY WITH JURISDICTION.
- ALL DEWATERING SHALL BE ACCOMPLISHED IN A MANNER THAT WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.
- THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED.
- SEDIMENT CONTROL FENCING SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF THE FENCE IS SAGGING, OR SOIL HAS REACHED ONE HALF OF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC SHALL BE REMOVED AND DISPOSED OF IN A STABLE AREA OF THE SITE. IF WATER IS SEEPING UNDER THE FENCE, OR THE FABRIC IS DECOMPOSED OR OTHERWISE INEFFECTIVE, THE FENCE SHALL BE REMOVED AND PROPERLY REINSTALLED AS INDICATED ON THESE PLANS.
- MUD MAT ENTRANCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH STORM RAINFALL. THE SURROUNDING ROADS SHALL ALSO BE INSPECTED AT THIS TIME FOR EVIDENCE THAT MUD IS BEING TRACKED OFF OF THE SITE. MAINTENANCE SHALL INCLUDE THE INSTALLATION OF ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. ALL SEDIMENT DROPPED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY SWEEPING AND SCRAPING (AS MAY BE REQUIRED BY THE ENGINEER).
- SEDIMENT INLET FILTERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. THE FILTERS SHALL BE CLEANED PERIODICALLY THROUGHOUT CONSTRUCTION TO AVOID CLOGGING. FILTERS THAT CANNOT BE MAINTAINED BY CLEANING SHALL BE COMPLETELY REPLACED.
- BOTH INTERNAL AND EXTERNAL STREETS WILL BE CLEANED OF ANY TRACKED MUD IMMEDIATELY FOLLOWING EACH MUD-TRACKING OCCURRENCE.



**LEGEND**

- PR SILT FENCE
- PR LIMITS OF EARTH DISRUPTION
- PR TEMP. STONE ACCESS DRIVE
- SOIL TYPE
- INLET FILTER BAG
- INLET FILTER WITH SILT FENCE
- RIP RAP



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Developed For:

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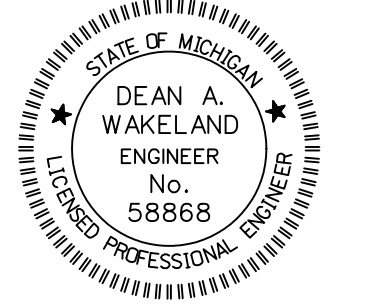
**SOIL EROSION PLAN**

UNIVERSITY INN RESIDENTIAL  
 ANN ARBOR, MI

CITY OF ANN ARBOR  
 WASHTENAW COUNTY  
 MICHIGAN

Date:	12.06.2021
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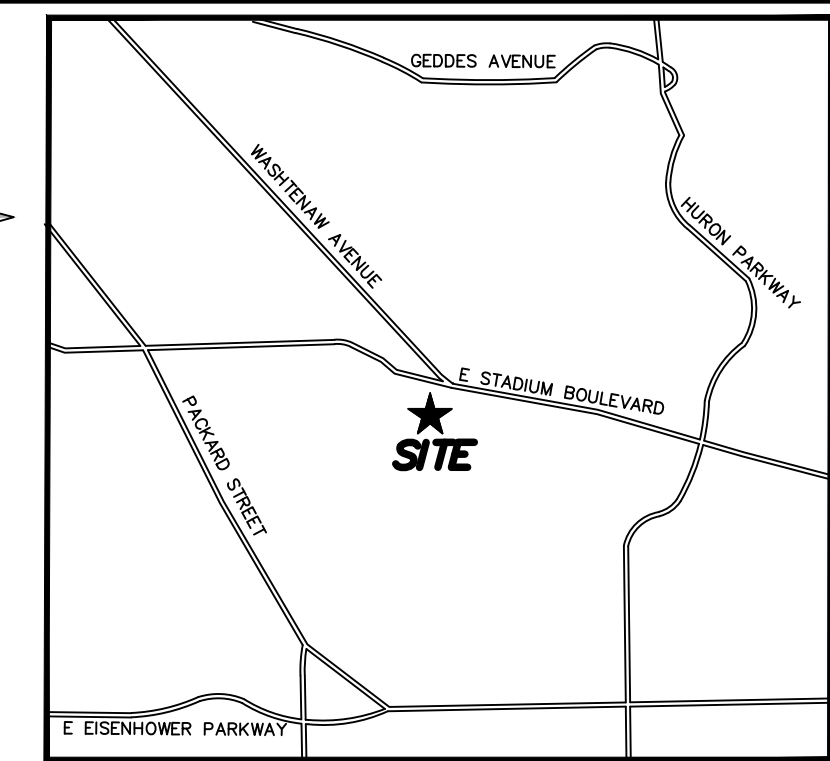
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**SOLID WASTE PLAN**

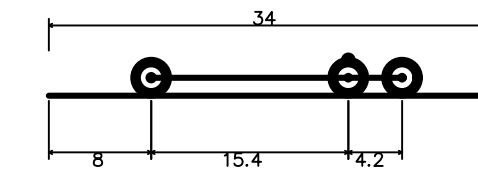
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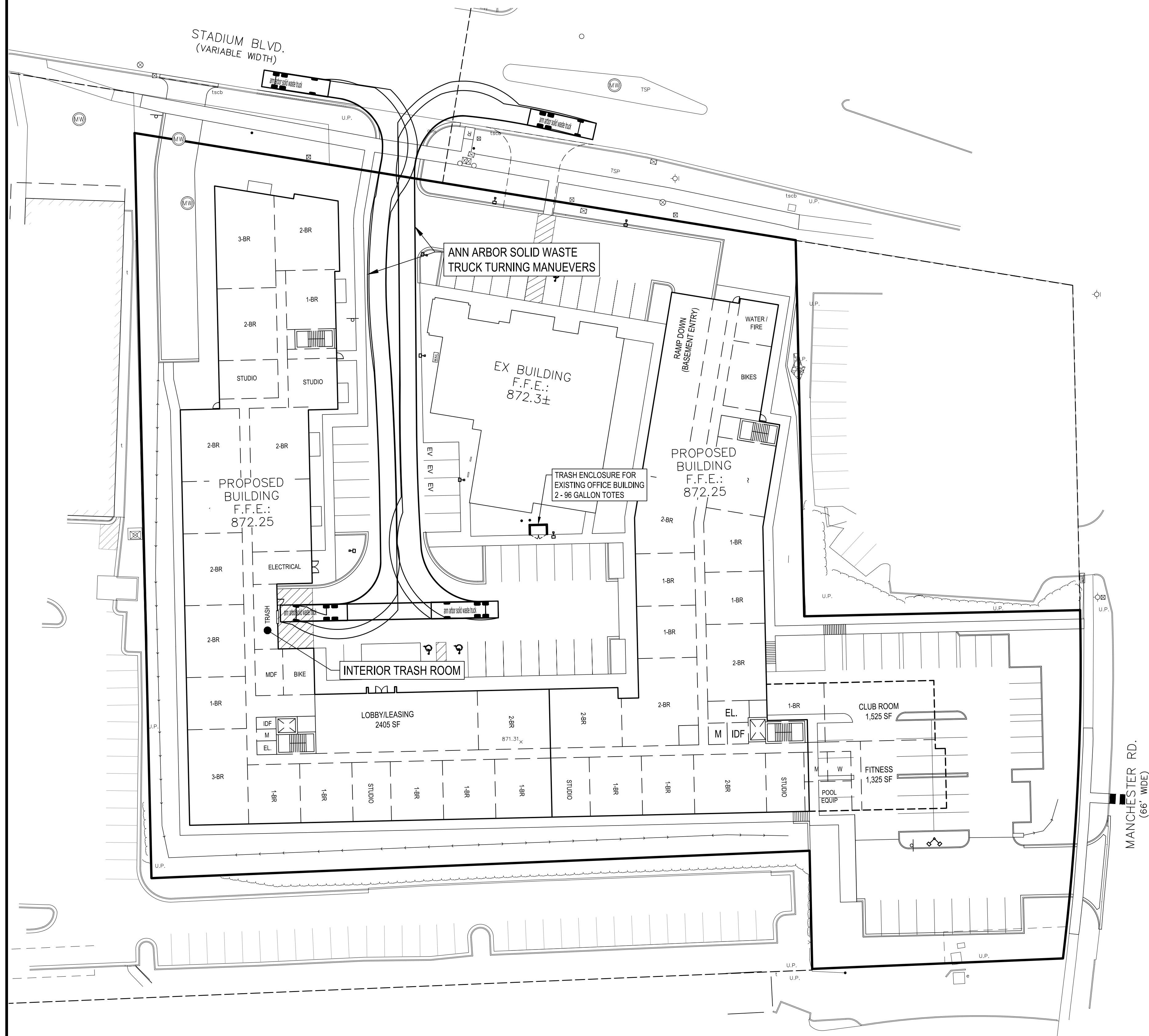
Date:	12.06.2021
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LOCATION MAP  
(NOT TO SCALE)



ANN ARBOR SOLID WASTE TRUCK  
OVERALL LENGTH 34.000ft  
OVERALL WIDTH 8.500ft  
TRACK WIDTH 8.000ft  
LOCK-TO-LOCK TIME 4.00s  
CURB TO CURB TURNING RADIUS 34.900ft  
**TRUCK DETAIL**



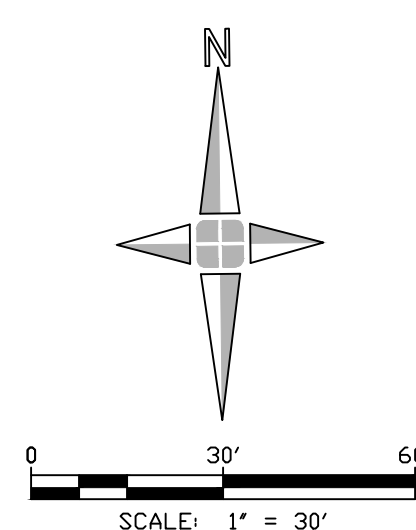
**SOLID WASTE NARRATIVE:**

THE SOLID WASTE FROM THE PROPOSED DEVELOPMENT SHALL BE CONTAINED IN A TRASH ENCLOSURE ROOM IN THE PROPOSED BUILDING. IN BETWEEN WASTE COLLECTION, THE SOLID WASTE FROM THE DEVELOPMENT WILL BE STORED IN WASTE BINS IN THIS ROOM. FOR COLLECTION, THESE WASTE BINS SHALL BE ROLLED OUT OF THE TRASH ENCLOSURE ROOM AND COLLECTED. THE BINS SHALL BE ROLLED BACK INTO THE TRASH ENCLOSURE ROOM ONCE THEY ARE EMPTIED. THE AREA IN FRONT OF THE TRASH ENCLOSURE ROOM SHALL REMAIN UNBLOCKED AND CLEAR AT ALL TIMES.

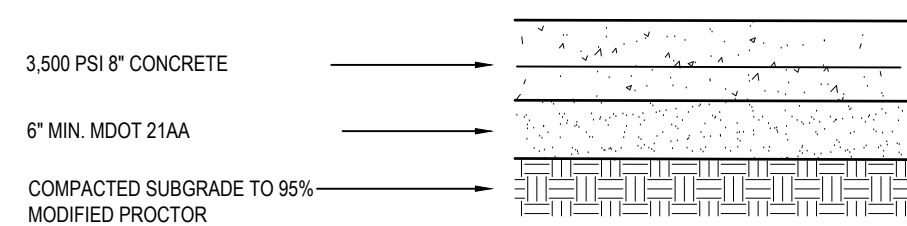
SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE ROOM DETAILS.

**GENERAL NOTES:**

- A CLEAR SPACE MUST BE MAINTAINED DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE. THE CLEAR SPACE SHALL BE A MINIMUM OF FIFTY (50) FEET LONG BY THE WIDTH OF THE INSIDE DIMENSION OF THE ENCLOSURE PLUS FOUR (4) FEET ON BOTH SIDES. A MINIMUM VERTICAL CLEARANCE OF AT LEAST TWENTY-FIVE (25) FEET MUST BE PROVIDED ABOVE THIS AREA.
- INGRESS AND EGRESS ROUTES MUST BE DEVELOPED BASED ON SOLID WASTE SWEEP PATH REQUIREMENTS. A MINIMUM HORIZONTAL CLEARANCE OF TWO (2) FEET FROM THE EDGE OF THE SWEEP PATH AND A MINIMUM VERTICAL CLEARANCE OF AT LEAST FIFTEEN (15) FEET MUST BE PROVIDED ALONG THE ENTIRE ROUTE.
- GATES ON ENCLOSURES MUST BE DESIGNED TO OPEN A MINIMUM OF 120 DEGREES FROM THE CLOSED POSITION. THE GATES MUST NOT REDUCE THE REQUIRED ENCLOSURE OPENING WIDTH, BLOCK ADJACENT PARKING SPOTS, OR BE IMPEDED BY ADJACENT CURBS OR LANDSCAPING.
- GATES SHALL BE DESIGNED TO BE FREE STANDING WITHOUT A CENTER POLE. IF A CENTER POLE DESIGN IS NECESSARY, 12-INCHES SHALL BE ADDED TO THE OVERALL WIDTH OF THE ENCLOSURE.
- GATE DESIGN SHALL INCLUDE A RELIABLE MEANS TO SECURE THE DOOR IN BOTH THE OPEN AND CLOSED POSITIONS.
- THE CONCRETE SLAB IN FRONT OF THE BIN ENCLOSURE SHALL HAVE PAVEMENT MARKINGS TO INDICATE "NO PARKING", AS APPROVED BY CITY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF NO PARKING SIGNS ALONG THE SOLID WASTE INGRESS/EGRESS ROUTE TO ENSURE THE ROUTE REMAINS FREE OF OBSTRUCTIONS.
- REFER TO ASSOCIATED STANDARD DETAILS FOR REQUIREMENTS ON SINGLE AND DOUBLE WIDE SOLID WASTE BIN ENCLOSURE LAYOUT AND DESIGN CRITERIA. THE CITY SHALL HAVE THE ABILITY TO MODIFY OR INTERPRET THESE DETAILS AS NECESSARY, TO ACCOMMODATE THE CITY OR CITY CONTRACTOR NEEDS IN REGARDS TO SOLID WASTE PICK-UP.
- SOLID WASTE ACCESS ROADS AND SERVICE AREA SURFACES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF COLLECTION TRUCKS WEIGHING UP TO 66,000 LBS GROSS VEHICLE WEIGHT (GVW) AND SHALL BE PROVIDED WITH AN APPROVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL SNOW AND ICE REMOVAL REQUIRED FOR SAFE ACCESS OF SOLID WASTE VEHICLES.
- THE SOLID WASTE COLLECTION LOCATION SHALL BE LOCATED A MINIMUM OF TEN (10) FEET AWAY FROM MAJOR ELECTRICAL EQUIPMENT, ABOVE GROUND UTILITY SERVICES, TREE BRANCHES, BALCONIES OR OTHER OVERHEAD OBSTRUCTIONS.
- IF FORWARD ACCESS TO THE PUBLIC STREET IS NOT AVAILABLE FOR THE SOLID WASTE TRUCK, THE SITE DEVELOPMENT LAYOUT MUST ACCOMMODATE A TURN-AROUND LOCATION.
  - SOLID WASTE TRUCKS MUST BE ABLE TO SERVICE DUMPSTERS WITHOUT IMPEDING THE PUBLIC STREET OR SIDEWALK.
  - THE DUMPSTER COLLECTION LOCATION SHALL BE CLEARLY DELINEATED AND NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.
  - BOLLARDS OR ADEQUATE CLEAR SPACE MUST BE PROVIDED BEHIND THE LIFT POINT SO THE DUMPSTERS ARE NOT POTENTIALLY PUSHED INTO ANY BUILDING OR ACCESS ROUTE.
  - ALL SWEEP-PATH CLEARANCE REQUIREMENTS PREVIOUSLY IDENTIFIED SHALL BE PROVIDED.
  - A VERTICAL CLEARANCE OF 25 FEET SHALL BE PROVIDED ABOVE THE COLLECTION LOCATION.
- FOR SITES THAT CANNOT ACCOMMODATE A STANDARD DUMPSTER ENCLOSURE, THE DUMPSTERS MAY BE ROLLED OUT OF A BUILDING OR ALTERNATE ENCLOSURE BY THE PROPERTY OWNER TO A PROPOSED COLLECTION LOCATION. A COLLECTION SCHEDULE FOR RECYCLING AND TRASH COLLECTION SHALL BE PROVIDED ON THE SITE PLAN.
- FOR SITES ADJACENT TO A PUBLIC ALLEY, SOLID WASTE TRUCKS ARE PERMITTED TO ACCESS THE PROPERTY THROUGH THE ALLEY IF SWEEP-PATH CLEARANCE REQUIREMENTS CAN BE PROVIDED.
- SOLID WASTE COLLECTION LOCATIONS MUST BE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTY.

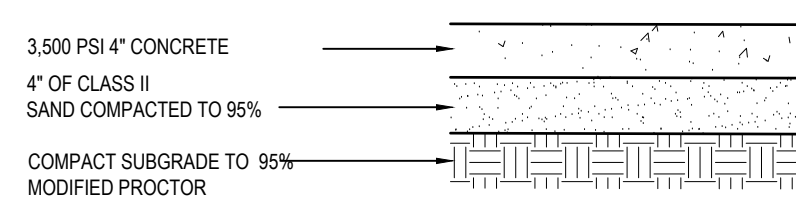






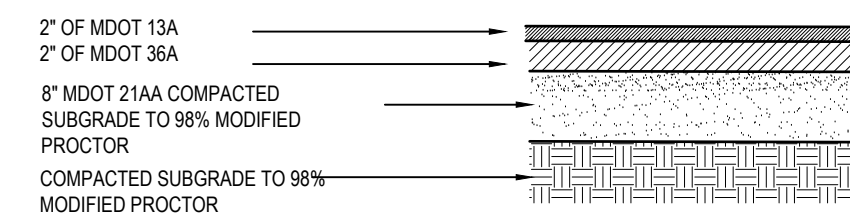
### 8" REINFORCED CONCRETE SLAB

NOT TO SCALE



### 4" CONCRETE SIDEWALK

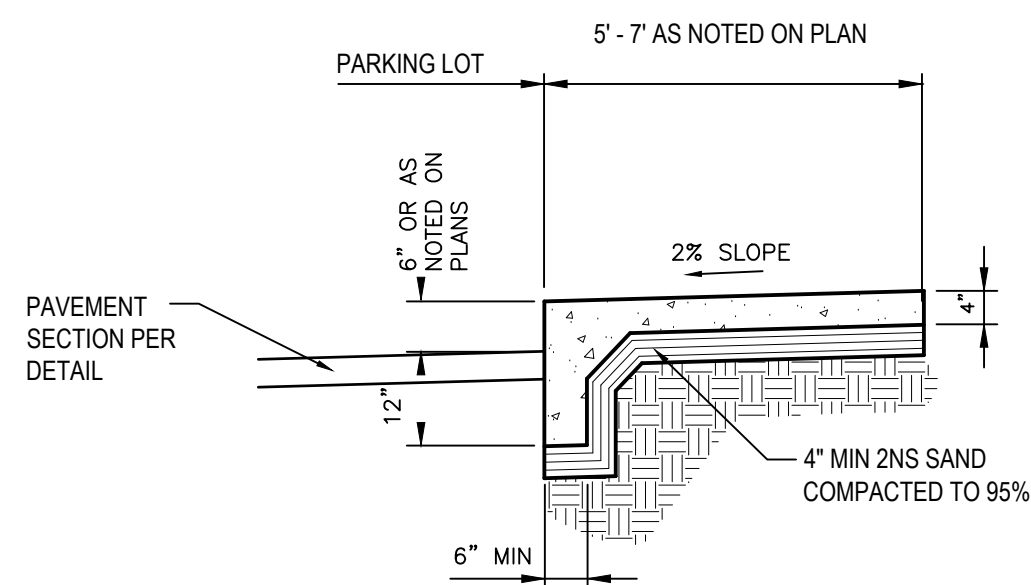
NOT TO SCALE



### STANDARD DUTY ASPHALT PAVEMENT SECTION

NOT TO SCALE

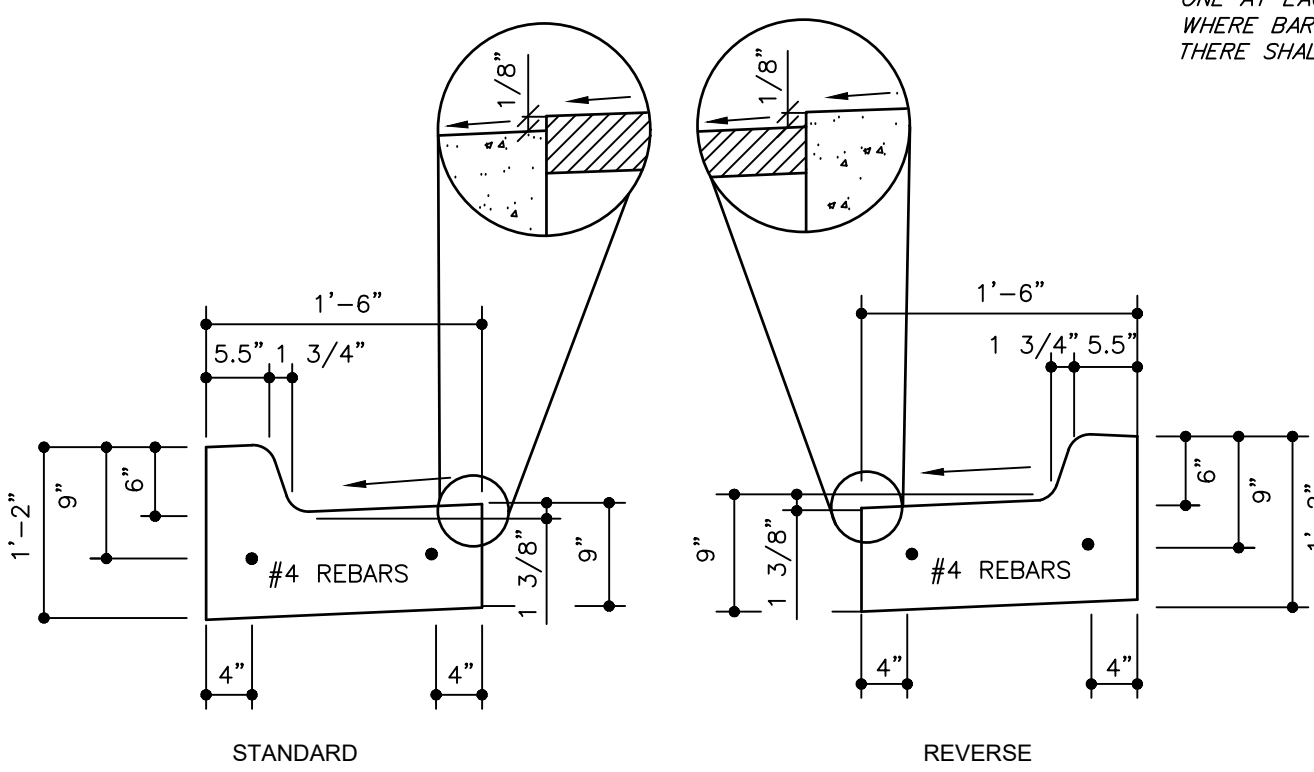
- NOTE:
- IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
  - THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
  - A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED AT A RATE OF 0.10 GALLONS/SY. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.



### 6" INTEGRAL CONCRETE CURB & WALK

NOT TO SCALE

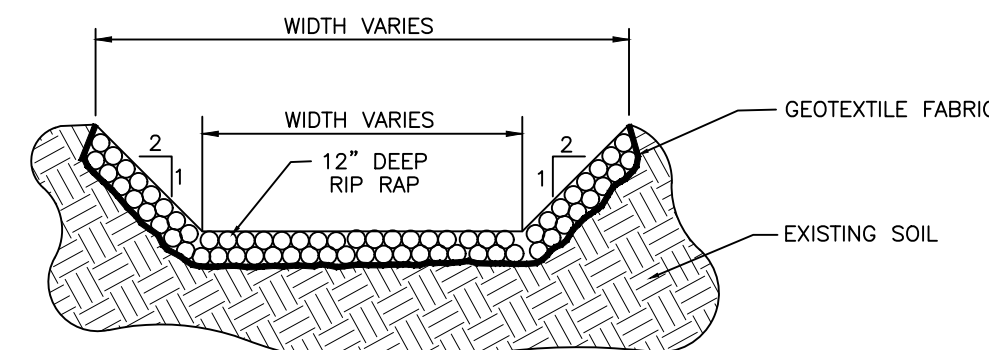
- NOTE:
- USE 8" CONCRETE WALK IF WITHIN DRIVE APPROACH, INTERSECTION OR CALLED OUT ON PLANS. PLACE 2% SAND AS REQUIRED TO OBTAIN GRADE AND COMPACT TO 95% MODIFIED PROCTOR.



### 18" CONCRETE CURB & GUTTER

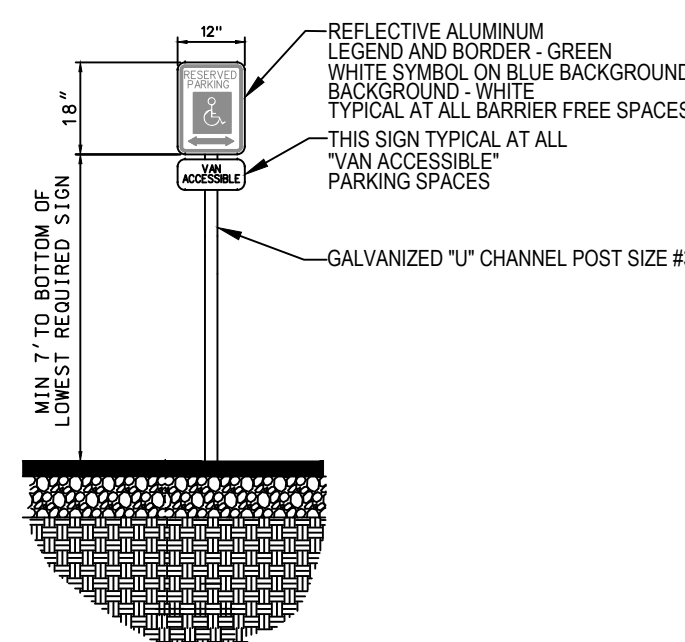
NOT TO SCALE

- NOTE:
- USE MDOT 35P CONCRETE-TYPICAL ALL C&G. REFERENCE MDOT DETAIL II-300 TYPE F4.



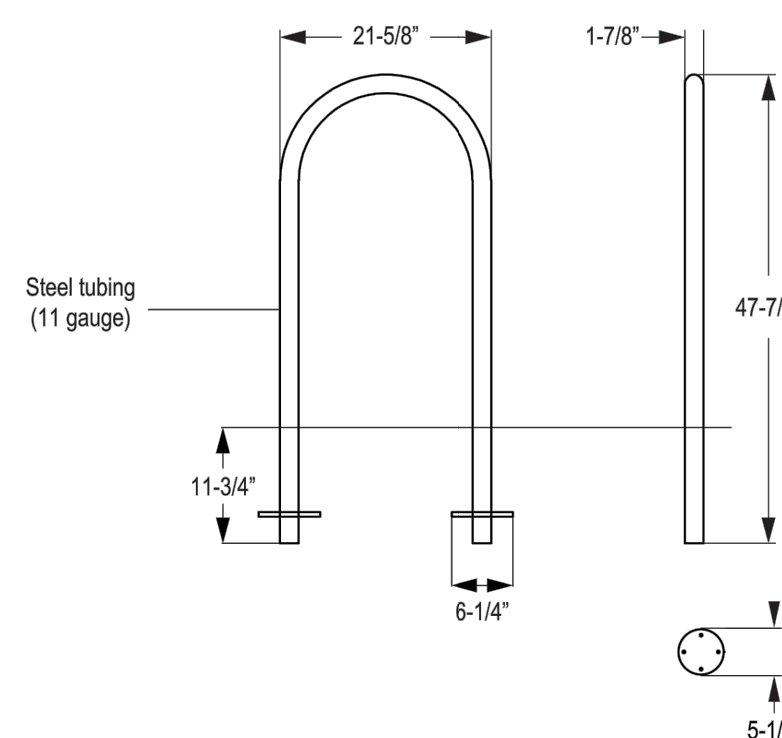
### SPILLWAY DETAIL

NOT TO SCALE



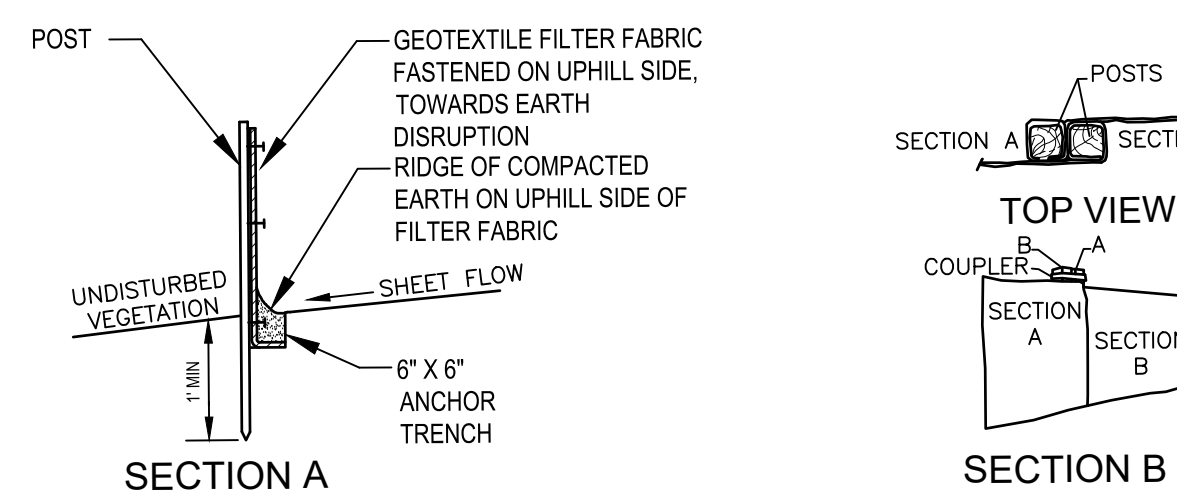
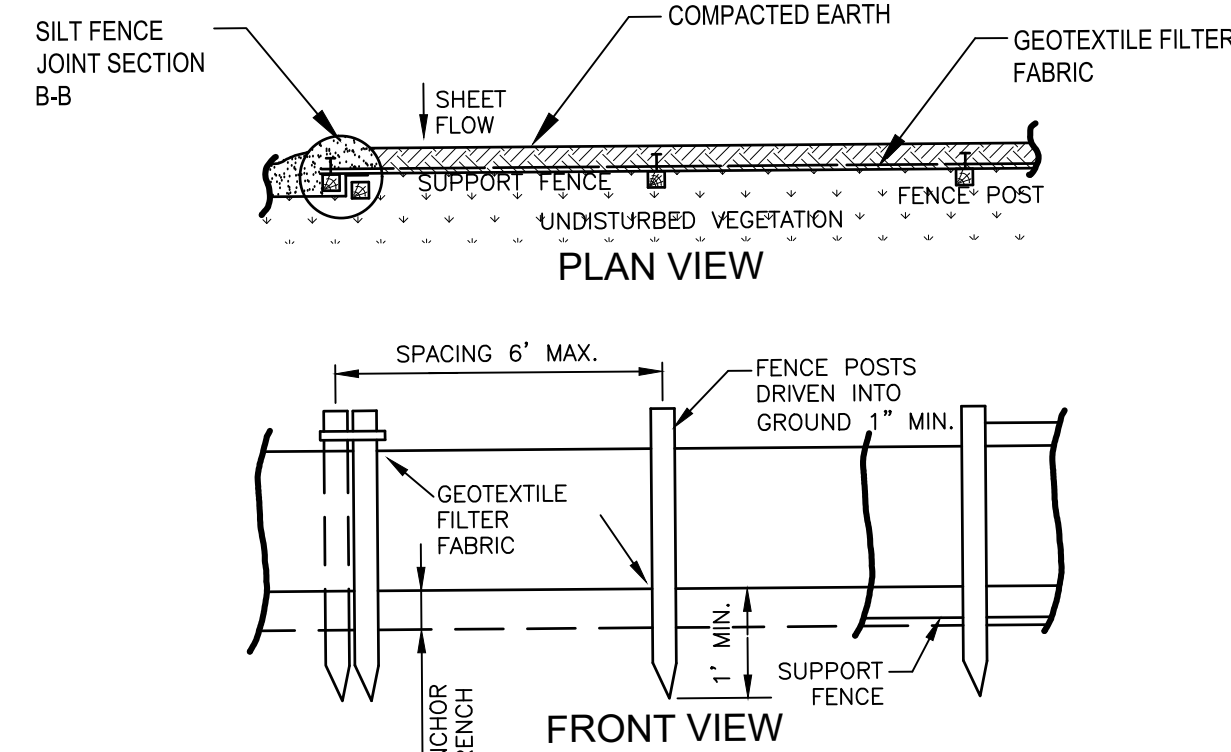
### BARRIER FREE PARKING & "NO PARKING FIRE LANE" SIGN IN GREENBELT

- (DETAIL ALSO TO BE FOLLOWED FOR ALL OTHER TRAFFIC CONTROL SIGNAGE)
- ONE AT EACH BARRIER FREE SPACE.
- WHERE BARRIER FREE SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES



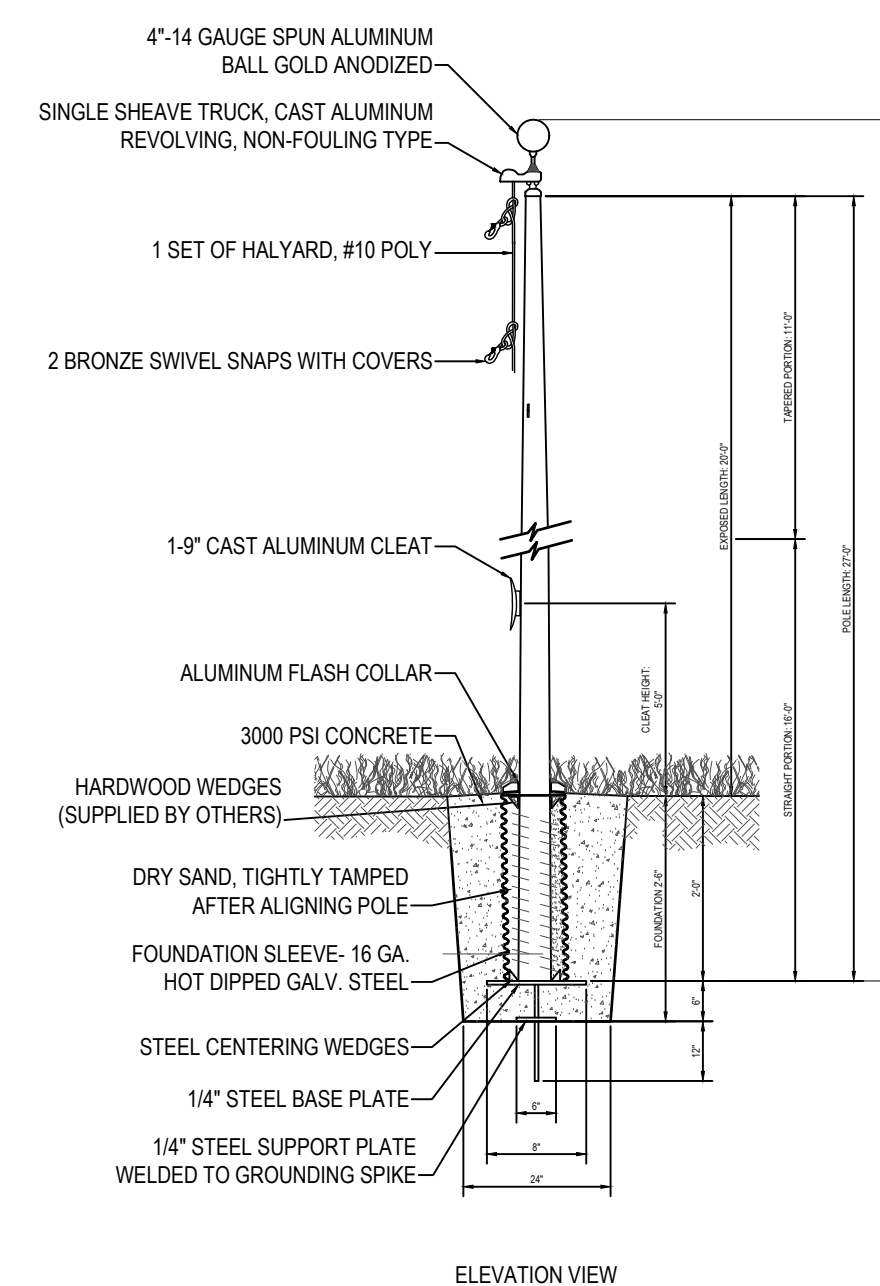
### BIKE RACK DETAIL

NOT TO SCALE



### SEDIMENT CONTROL FENCING

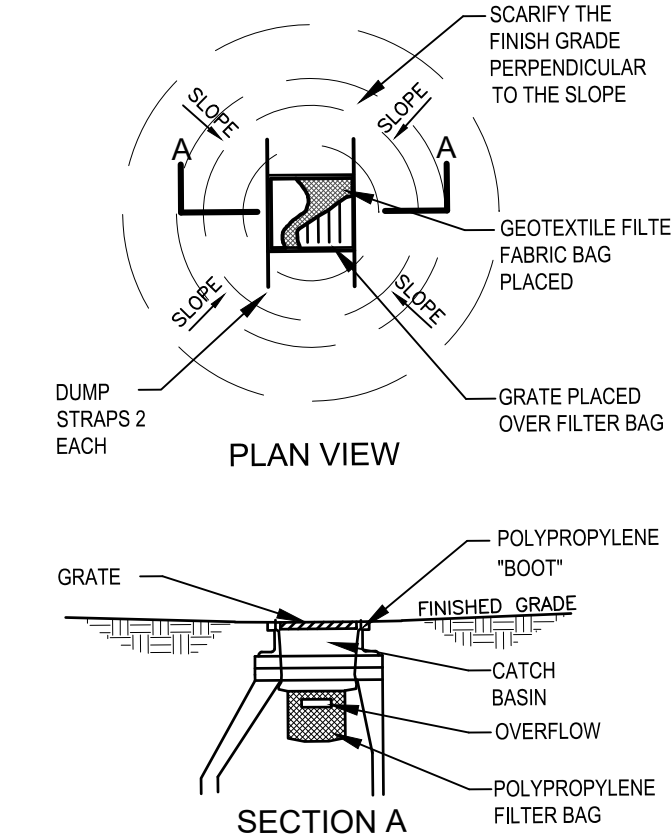
NOT TO SCALE



- NOTE:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
  - DO NOT SCALE DRAWING.

### TYPICAL FLAGPOLE DETAIL

NOT TO SCALE



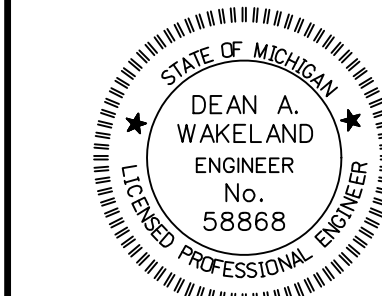
### TEMPORARY SEDIMENT INLET FILTER

NOT TO SCALE

- NOTE:
- TEMPORARY SEDIMENT INLET FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS, OR AS SPECIFIED ON THE SOIL EROSION CONTROL PLAN. INLET FILTER TO BE SIMILAR TO "STEAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (266-767-9441) OR "SILTLOCK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800-448-3636). CLEAN FILTER AS NEEDED, OR AS REQUIRED BY THE SOIL EROSION CONTROL PLAN.

Executive:	MP
Manager:	AW
Designer:	JR
Quality Control:	-
Section:	34
	T-02-S R-06-E

Professional Seal:



*giffels webster*



Know what's below.  
Call before you dig.

DATE:	ISSUE:
12.06.2021	PRE-SUBMITTAL ISSUE TO CITY
12.17.2021	INDIVIDUAL DEPARTMENT REVIEW
12.20.2021	URBAN FORESTRY & OWNER REVIEW
12.22.2021	SUBMITTAL
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04.08.2022	RESUBMITTAL
06.07.2022	REVISED SITE PLAN SUBMISSION

Developed For:

BEZTAK

31731 NORTHWESTERN HWY.,  
SUITE 150W  
FARMINGTON HILLS, MI 48334

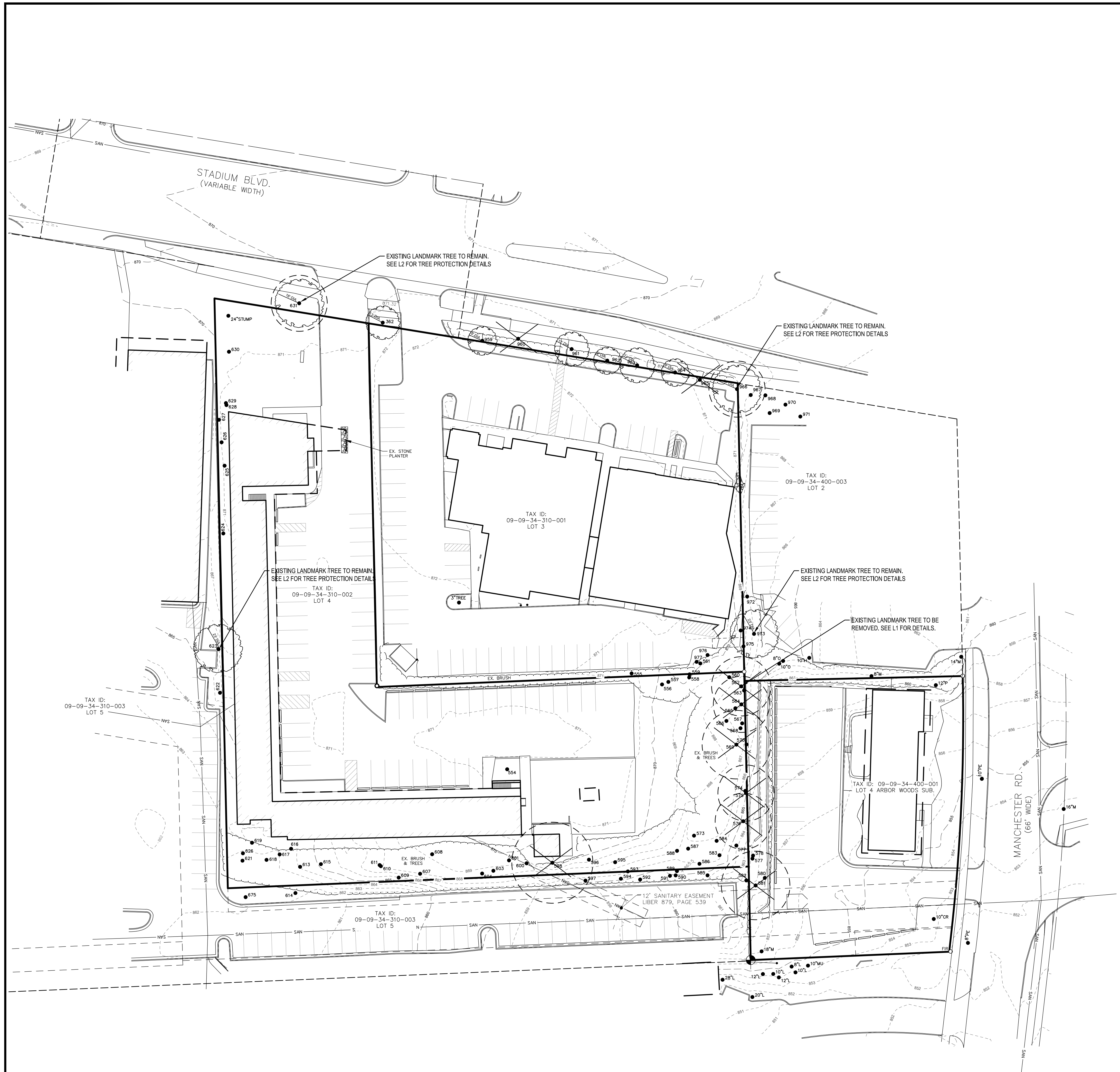
### SITE DETAILS

UNIVERSITY INN RESIDENTIAL  
ANN ARBOR, MI

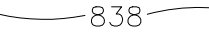




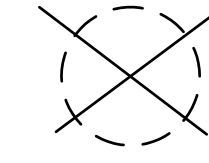


CITY OF ANN ARBOR  
WASHTENAW COUNTY  
MICHIGAN

Date:	12.06.2021
Scale:	NA
Sheet:	10
Project:	20037.00





**LEGEND**

-  8.38 EXIST. CONTOUR
-  EXIST. SINGLE TREE
-  TREE OR BRUSH LIMIT
-  LANDMARK TREE CRITICAL ROOT ZONE
-  LANDMARK TREE TO REMAIN
-  LANDMARK TREE TO BE REMOVED
-  LIMITS OF GRADING LINE
-  SNOW FENCE

**NATURAL FEATURES NOTES**

- NATURAL FEATURE PLAN REQUIREMENTS:
- ENDANGERED SPECIES HABITAT: N/A
  - 100 YEAR FLOODPLAIN: N/A
  - CRITICAL ROOT ZONE OF LANDMARK TREES: PROVIDED ON SHEET L0
  - CONDITION OF LANDMARK TREES: PROVIDED ON SHEET L2
  - LOCATION OF STEEP SLOPES: N/A
  - WATERCOURSE DEPTHS, LEVELS, SHORELINES, BANK RETENTION, SHORE VEGETATION: N/A
  - WETLAND BOUNDARIES: N/A

PROTECTION MEASURES FOR EXISTING LANDMARK TREE TO REMAIN - SEE SHEET L2

Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5068  
www.giffelswebster.com

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Section:	34
	T-02-S R-06-E

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Developed For:

**BEZTAK**

31731 NORTHWESTERN HWY.,  
SUITE 150W  
FARMINGTON HILLS, MI 48334

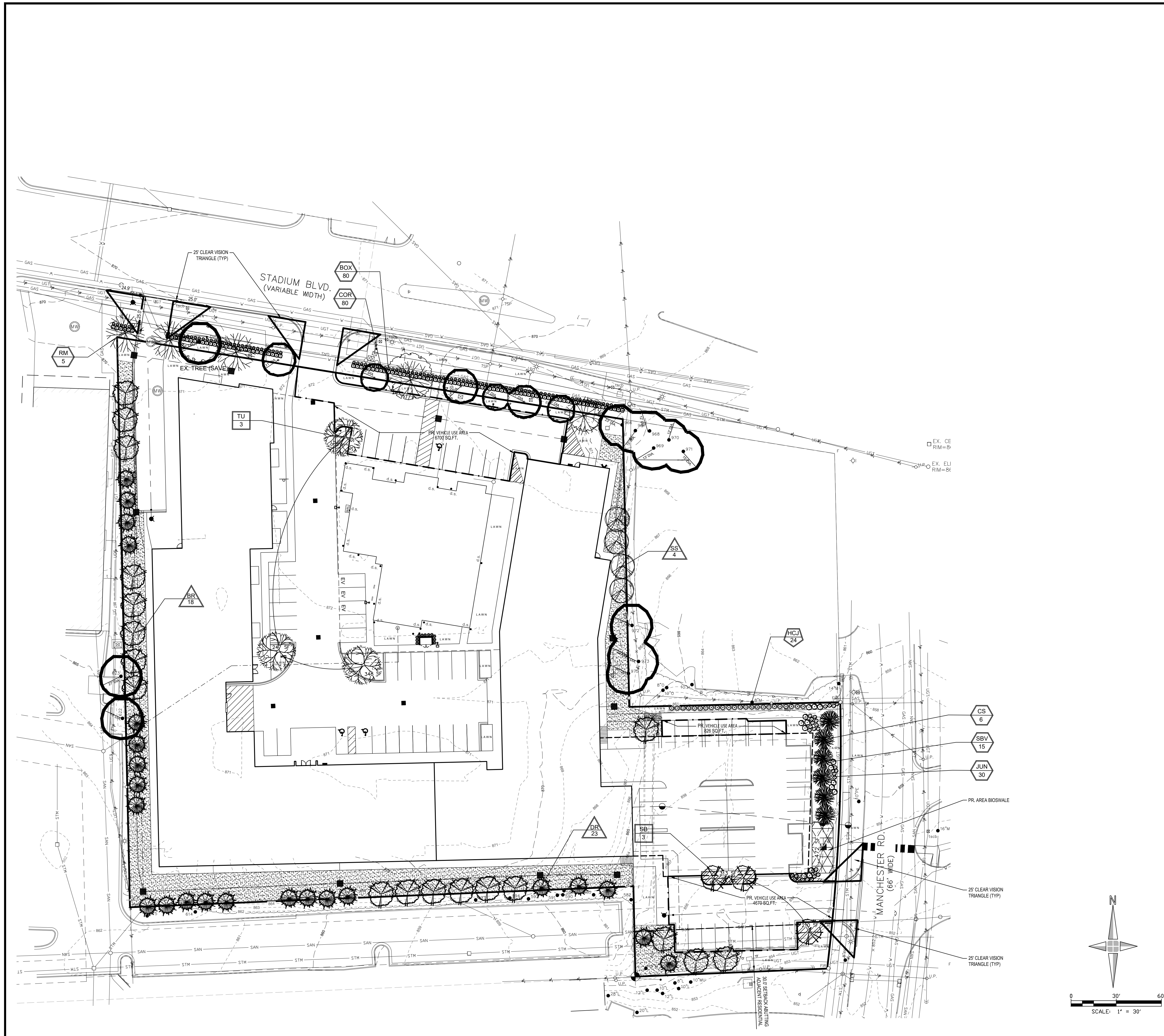
**NATURAL FEATURES PLAN**

UNIVERSITY INN RESIDENTIAL  
ANN ARBOR, MI

CITY OF ANN ARBOR  
WASHTENAW COUNTY  
MICHIGAN

Date:	12.06.2021
Scale:	1"=30'
Sheet:	L0
Project:	20037.00





**LANDSCAPING & SCREENING NOTE:**

RIGHT-OF-WAY ON STADIUM BOULEVARD 1 PER 30 L.F. 340 / 30 = 12 1 30' HT. SHRUB PER 4 L.F. 340 / 4 = 85	REQUIRED: 340' BUFFER 12 TREES 85 SHRUBS	PROVIDED: 340' BUFFER 12 TREES 85 SHRUBS
RIGHT-OF-WAY ON MANCHESTER ROAD 1 PER 30 L.F. 175 / 30 = 6 1 30' HT. SHRUB PER 4 L.F. 175 / 4 = 44	REQUIRED: 175' BUFFER 6 TREES 44 SHRUBS	PROVIDED: 175' BUFFER 6 TREES 44 SHRUBS
STREET TREES ON STADIUM BOULEVARD \$1.30 PER L.F. 48' x 1.3 = \$62.40 (EX. TREE 960 15" DIA., EX. TREE 965 9" DIA. REMOVED)	REQUIRED: 175' FRONTAGE 2 TREES	PROVIDED: 175' FRONTAGE 2 TREES
STREET TREE CANOPY LOSS FEE 24 INCHES REMOVED - 0 INCHES REPLACED X \$207/INCH = \$4,968.00 DUE		
INTERIOR LANDSCAPING (12,196 SQ.FT. VUA) PROPOSED VEHICLE USE AREA = 12,196 SQ.FT.	813 SQ.FT.	1,248 SQ.FT.
PROPOSED TREES 813 / 250 = 3.25 TREES	4 TREES	6 INT. TREES 24 TOTAL TREES
AREA BIO SWALE 833 SQ.FT. X 50% = 416.5	417 SQ.FT.	472 SQ. FT.

**INTERIOR LANDSCAPE PLANT LIST:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
1	VARIEGATED TULIP TREE	LIRIODENDRON TULIPIFERA 'AUREO-MARGINATUM'	3" CAL. BAB	TU
3	STANDING OAVATION SERVICEBERRY	AMELANCHIER ALNIFOLIA 'DRELSK'	3" CAL. BAB	SB
11	SPYROCKETS JUNIPER	JUNIPERUS S. 'SPYROCKETS'	4.2' HT.	SBV

**R.O.W. BUFFER PLANT LIST:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
30	BLUE ANEMONE JUNIPER	JUNIPERUS S. 'BLUE ANEMONE'	5 GAL. POT	JUN
15	SHASTA DOUBLE-LEAF VIBURNUM	VIBURNUM P. 'SHASTA'	5 GAL. POT	SBV
80	BONNANA GOLD BURNINGBUSH	SPERMATOPHYTES THYMELAEACEAE BONNANA GOLD	5 GAL. POT	CS
80	FRANKLIN'S GEM BOXWOOD	BUXUS SINICA VAR. INSULARIS 'FRANKLIN'S GEM'	5 GAL. POT	CS

**TREES:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
5	GREENSPHERE LINDEN	TILIA CORDATA 'NINI 6025'	3" CAL. BAB	RM
6	COLORADO SPRUCE	PICEA PURGENSIS	8' HT. BAB	CS

**REPLACEMENT TREE LIST:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
13	BAL SAM FIR	ABIES BALSAMICA	6" HT. BAB	DR
4	SASSAPARILLA	BETULA NIGRA 'SILVER SPLASH'	1" CAL. BAB	SB

**REPLACEMENT TREE CALCULATIONS:**

1) LANDMARK TREES TO BE REMOVED: 12 TREES  
 2) OF REGULATED LANDMARK TREES REMOVED: 12 TREES TO BE REMOVED. 80' TOTAL CRITICAL ROOT ZONE OF TREES REMOVED  
 LANDMARK TREE MITIGATION LOSS FEE CALCULATION: 9072 X \$207/INCH = \$1,867,824. 40' REPLACEMENT TREES PROPOSED \$0.00 DUE  
 TREES TO BE SAVED: 6 HEALTHY STREET TREES

**REFUSE / TRANSFORMER SCREEN PLANTS:**

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
24	HETZ COLUMNAR JUNIPER	JUNIPERUS CHINENSIS 'HETZ COLUMNARIS'	2' WIDE / HT.	HCJ

**CRITERIA FOR LANDMARK TREES IN THE CITY OF ANN ARBOR:**

12" CHERRY; 16" HICKORY, LOCUST, MAPLE, & OAK;  
 8" CEDAR; 18" ELM, PINE, SPRUCE, & WALNUT.

**NOTES:**

- NO MODIFICATION REQUESTS SOUGHT.
- STREET TREE PROVIDED ON SITE. NO ADDITIONAL ESCROW NEEDED.

**LEGEND:**

- LIMITS OF GRADING LINE - [Symbol]
- SNOW FENCE - [Symbol]
- LANDMARK TREE CRITICAL ROOT ZONE - [Symbol]
- 10' MINIMUM CRITICAL ROOT ZONE - (ALL REGULATED TREES) - [Symbol]
- VEHICULAR USE AREA PERIMETER - [Symbol]
- SNOW STORAGE AREA - [Symbol]
- AREA OF BIOSWALE - [Symbol]

**giffels webster**

Engineers  
 Surveyors  
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Developed For:

**BEZTAK**

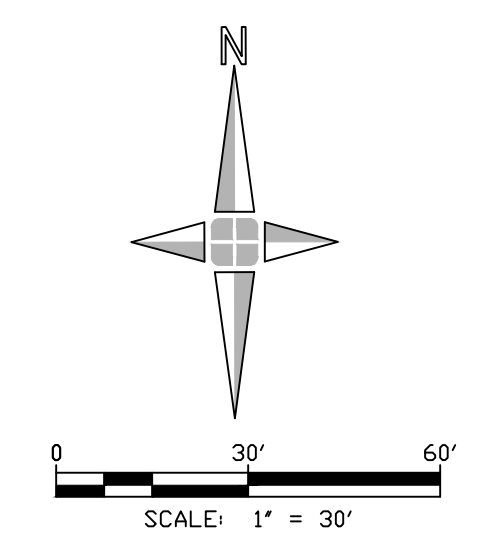
31731 NORTHWESTERN HWY.,  
 SUITE 150W  
 FARMINGTON HILLS, MI 48334

**LANDSCAPE PLAN**

UNIVERSITY INN RESIDENTIAL  
 ANN ARBOR, MI

CITY OF ANN ARBOR  
 WASHTENAW COUNTY  
 MICHIGAN

Date:	12.06.2021
Scale:	1"=30'
Sheet:	L1
Project:	20037.00



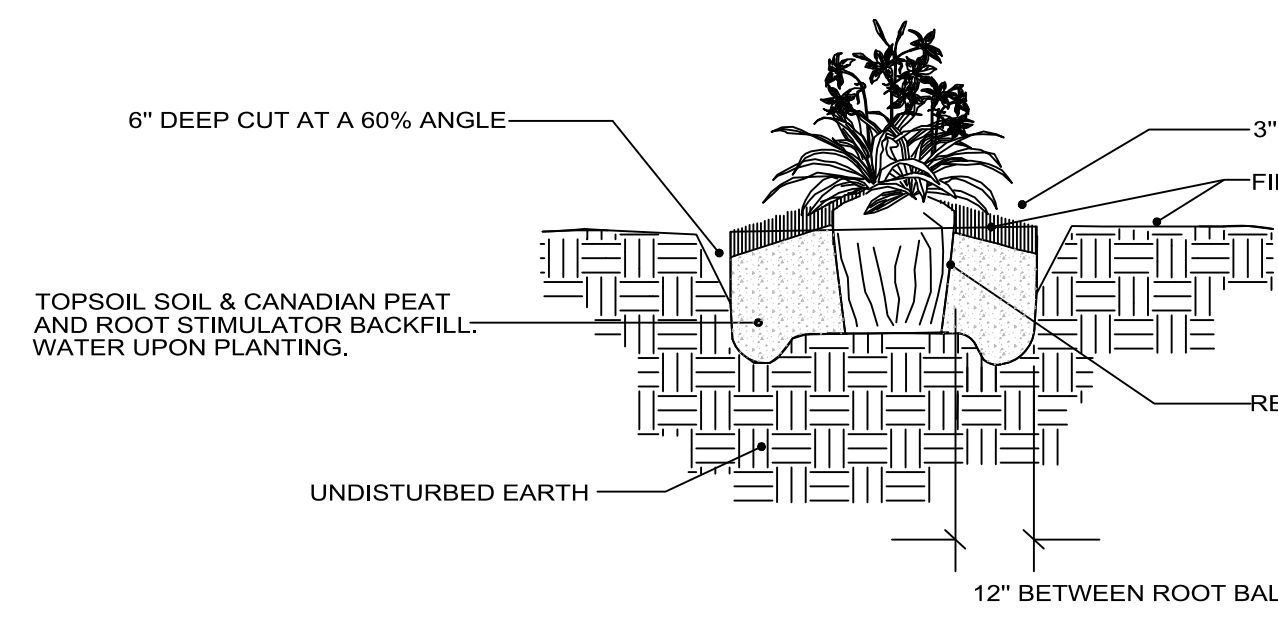


**PLANT NOTES:**

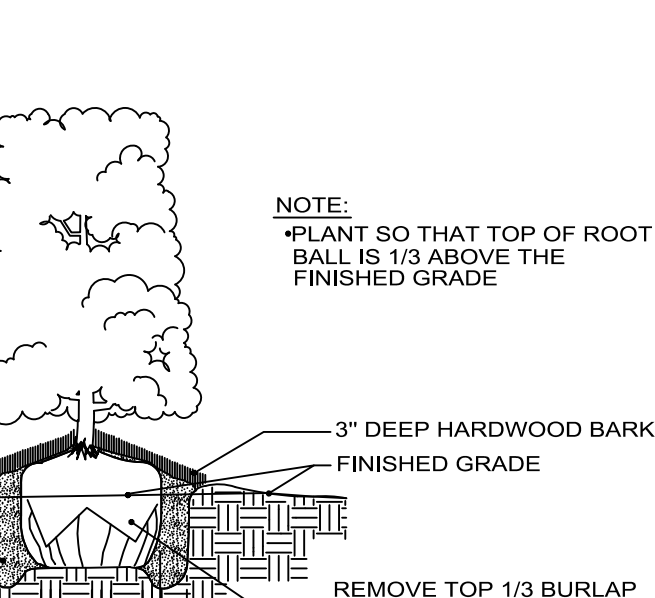
- PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 6" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-60.1 + A300 2004.)
- PLANTING BED SOIL FOR ANNUALS SHALL BE SCREENED TOPSOIL, TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL & PERENNIAL BED. APPLY A PRE-EMERGENT (GREEN OR EQUAL) AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
- PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL, SAUCER SHALL BE MADE ON THE EDGES OF PLANTING POCKET.
- ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
- MULCH SHALL BE SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
- TREES SHALL BE MULCHED WITH MIN. 3" DEEP HARDWOOD BARK MULCH
- GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND UNDESIRABLE NATIVE GRASSES. SEEDED AREAS SHALL NOT BE PERMITTED TO DRY OUT. ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING AROUND PLANTS. SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING LAWN.
- PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (24 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE IN WRITING A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASONS.
- REMOVE TOP 1/3 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
- PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF COUNTY COOPERATIVE EXTENSION SERVICE.

**LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"**

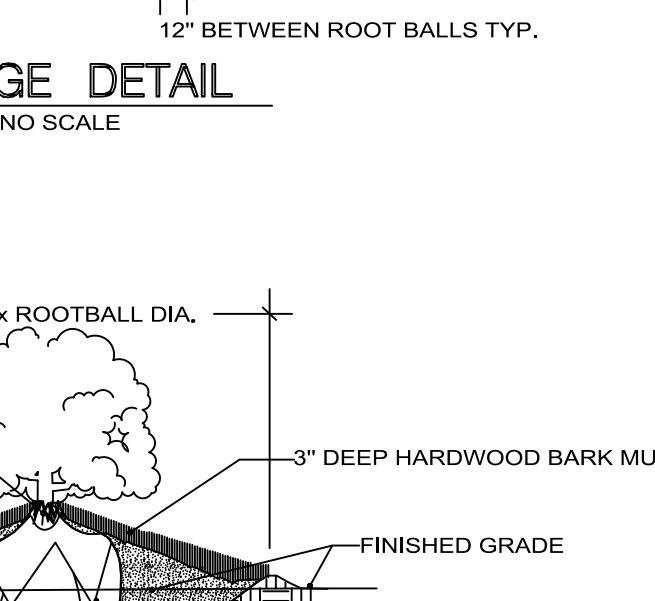
IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIALS, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD", THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.



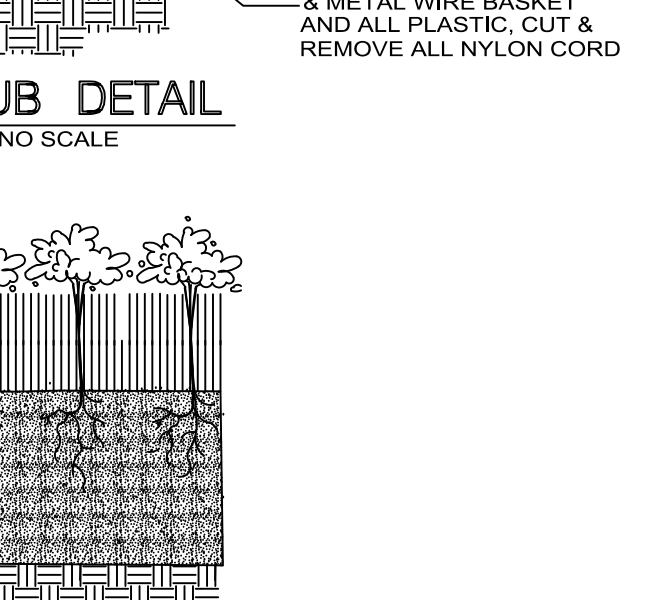
**PERENNIAL DETAIL**



**HEDGE DETAIL**



**SHRUB DETAIL**

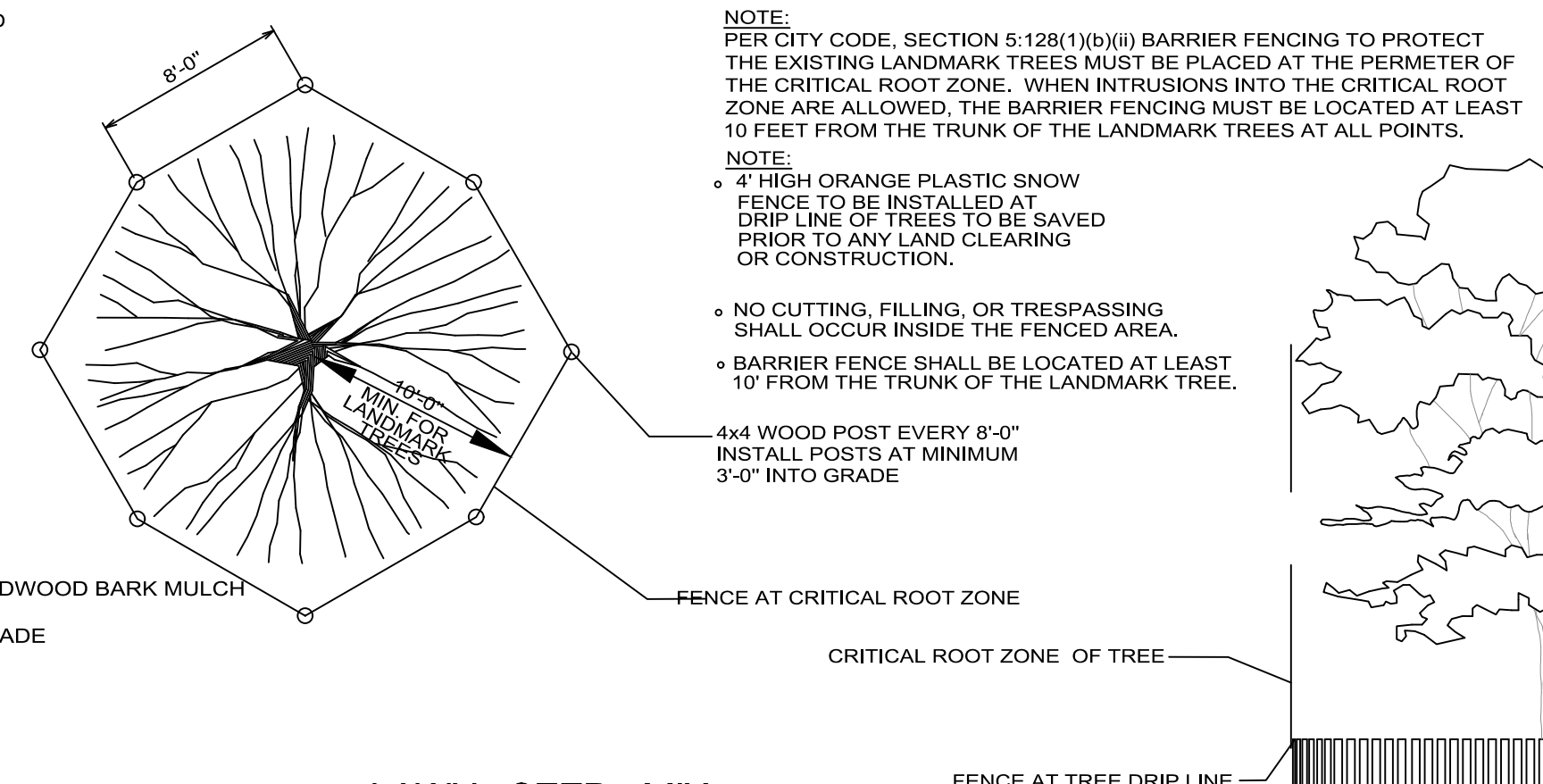


**GROUNDCOVER DETAIL**



**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ANN ARBOR.
- ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON SHALL BE SEEDDED OR SODDED. TERRA SEED SYSTEM OR APPROVED EQUAL IS ENCOURAGED.
- ALL LAWN AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. IRRIGATION HEADS SHALL BE PLACED SUCH THAT WATER WILL NOT HIT ANY HARD STRUCTURES OR SURFACES.
- TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE CITY'S REPRESENTATIVE A LANDSCAPE ARCHITECT OR NURSERYMAN, AND PRIOR TO THE AUTHORIZATION OF THE OCCUPANCY PERMIT. THIS IS THE FIRST OF TWO REQUIRED CITY INSPECTIONS OF THE LANDSCAPE PLAN INSTALLATION.
- BUILDING DEPARTMENT WILL NOT RELEASE CONSTRUCTION BONDS UNTIL CITY APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF LANDSCAPE PLANS. FINAL BOND WILL NOT BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND FINAL INSPECTION IS MADE.
- OWNER IS THEN RESPONSIBLE FOR CARE AND MAINTENANCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE NATURAL LIFE OF THE PLANT. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.
- APPLICATIONS OF FERTILIZER BYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHORUS.
- ALL DISEASED DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED BY THE FOLLOWING GROWING SEASON (THE INTENT IS THAT THIS BE DONE BY THE OWNER IN PERPETUITY).
- ALL SPECIES DEVIATIONS FROM THE APPROVED SITE PLAN MUST BE APPROVED BY THE CITY OF ANN ARBOR IN WRITING PRIOR TO INSTALLATION.
- THE CITY OF ANN ARBOR HAS ADOPTED AN ORDINANCE LIMITING PHOSPHORUS IN FERTILIZER. TO ASSIST IN COMPLIANCE WITH THE STATE MANDATED TMDL FOR PHOSPHORUS WITHIN THE MIDDLE HULL RIVER BASIN, PLEASE INCLUDE AN ADDITIONAL NOTE STATING THAT APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHORUS.

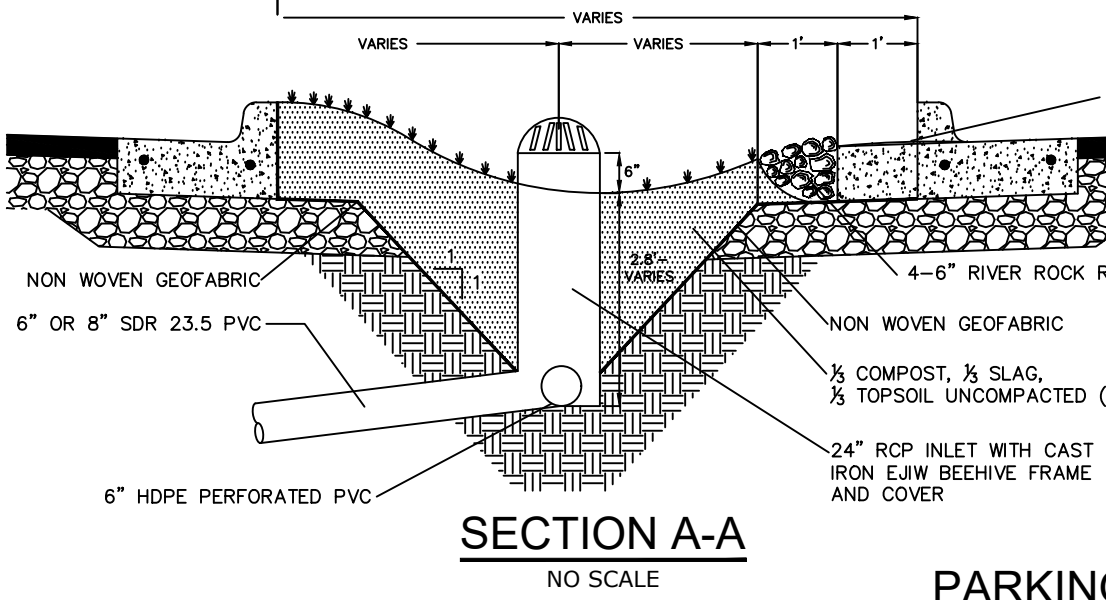
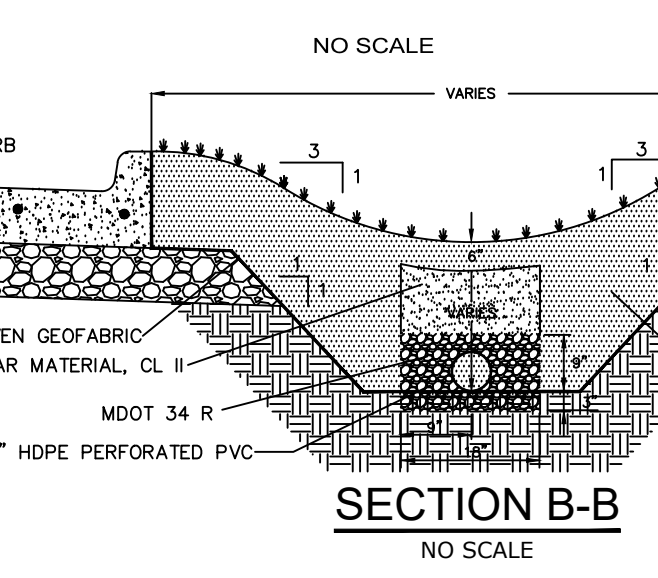


**LAWN SEED MIX:**

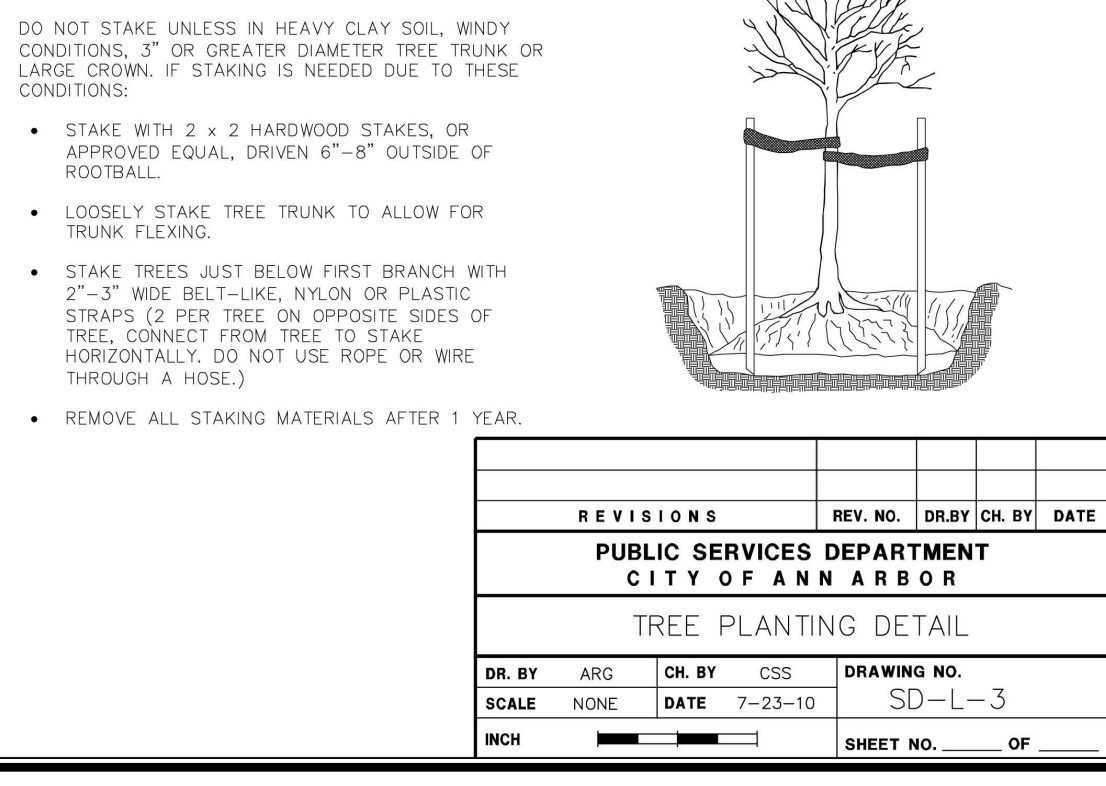
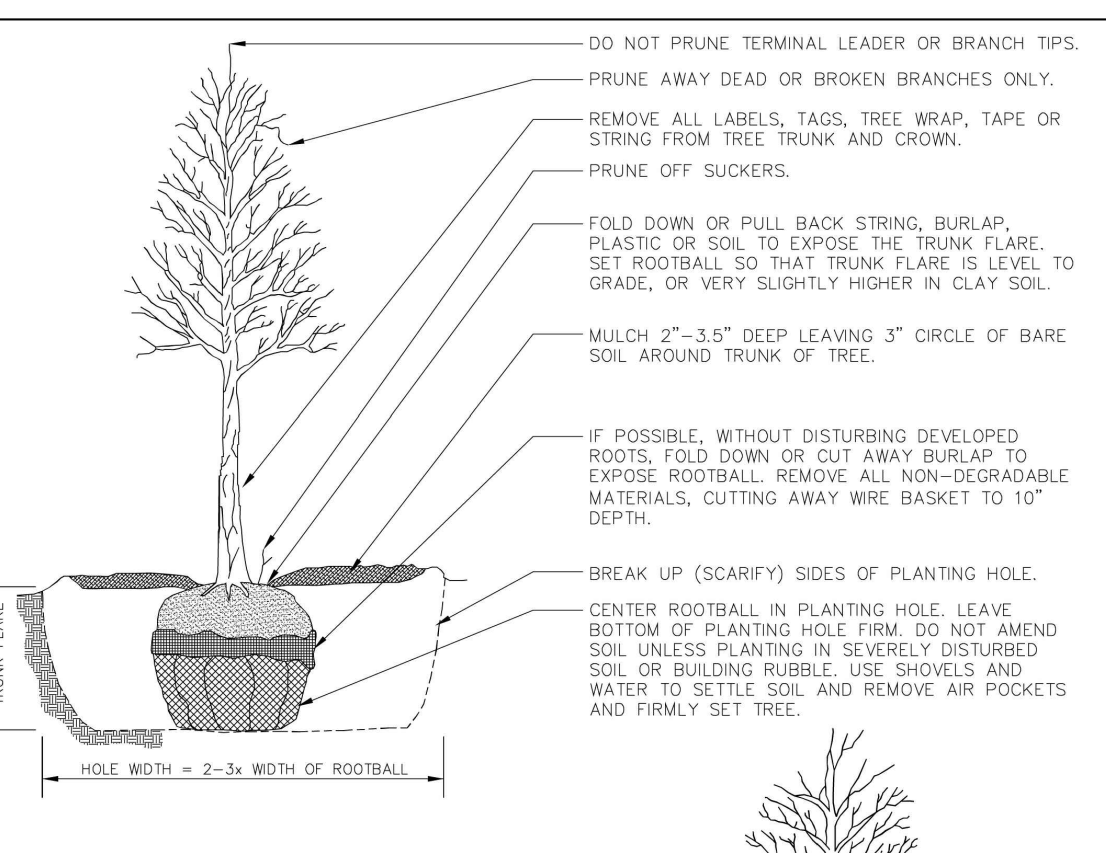
- 30% PERENNIAL RYGRASS
- 20% PARK KENTUCKY BLUEGRASS
- 45% CREEPING RED FESCUE
- 5% ANNUAL RYEGRASS

4\*/1000 S.F. SEEDING RATE

**TREE PROTECTION DETAIL**



**PARKING LOT BIO SWALE**



REV. NO.	DATE	DR BY	CHK BY	DATE
1	7-23-10	SS	SS	

**PUBLIC SERVICES DEPARTMENT**  
**CITY OF ANN ARBOR**

**TREE PLANTING DETAIL**

DR BY: ARG, CH BY: CSS, DRAWING NO: SD-L-3  
SCALE: NONE, DATE: 7-23-10, SHEET NO. OF: 1

**EXISTING TREE INVENTORY:**

TAG#	DBH	COMMON NAME	GENUS/SPECIES	STEMS	INVASIVE	LANDMARK	Tree Replacer	Intent
554 9'	Blue Spruce	Robinia pseudoacaci	Robinia pseudoacaci	twin	yes		Remove	
555 13'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
556 6'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
557 6'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
558 7'	Canada spicata	Ulmus americana	Ulmus americana	yes			Remove	
559 9'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
560 9'	Red Elm	Ulmus alba	Ulmus alba	yes			Remove	
561 14'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
562 19'	White Oak	Quercus alba	Quercus alba	yes	10'		Remove	
563 7'	Shagbark Hickory	Carya ovata	Carya ovata	yes			Remove	
564 18'	Shagbark Hickory	Carya ovata	Carya ovata	yes	9'		Remove	
565 15'	Shagbark Hickory	Carya ovata	Carya ovata	yes			Remove	
566 9'	Red Oak	Quercus palustris	Quercus palustris	yes			Remove	
567 12'	White Oak	Quercus palustris	Quercus palustris	yes			Remove	
568 11'	Pignut Hickory	Carya glabra	Carya glabra	yes			Remove	
569 22'	Red Oak	Quercus palustris	Quercus palustris	yes	11'		Remove	
570 9'	Red Oak	Quercus palustris	Quercus palustris	yes			Remove	
571 15'	Linden	Tilia americana	Tilia americana	yes			Remove	
572 8'	Linden	Tilia americana	Tilia americana	yes			Remove	
573 21'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
574 11'	Pignut Hickory	Carya glabra	Carya glabra	yes	9'		Remove	
575 18'	Pignut Hickory	Carya glabra	Carya glabra	yes			Remove	
576 36'	Black Cherry	Prunus serotina	Prunus serotina	yes	18'		Remove	
577 12'	White Oak	Quercus alba	Quercus alba	yes			Remove	
578 12'	Linden	Tilia americana	Tilia americana	yes			Remove	
579 8'	Linden	Tilia americana	Tilia americana	yes			Remove	
580 9'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
581 22'	Honey Locust	Gleditsia triacanthos	Gleditsia triacanthos	yes	11'		Remove	
582 8'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
583 7'	Linden	Tilia americana	Tilia americana	yes			Remove	
584 6'	Linden	Tilia americana	Tilia americana	yes			Remove	
585 13'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
586 14'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
587 9'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
588 7'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
589 7'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
590 14'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
591 18'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
592 7'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
593 15'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
594 16'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
595 19'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
596 8'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
597 7'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
598 26'	American Elm	Ulmus americana	Ulmus americana	yes	13'		Remove	
599 9'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
600 6'	Tree-of-heaven	Ailanthus altissima	Ailanthus altissima	twin	yes		Remove	
601 6'	Tree-of-heaven	Ailanthus altissima	Ailanthus altissima	yes			Remove	
602 6'	White Oak	Quercus alba	Quercus alba	yes			Remove	
603 7'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
604 11'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
605 7'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
606 6'	Common Apple	Malus pumila	Malus pumila	yes			Remove	
607 6'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
608 6'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
609 12'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
610 13'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
611 13'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
612 15'	American Elm	Ulmus americana	Ulmus americana	yes			Remove	
613 7'	Shagbark Hickory	Carya ovata	Carya ovata	yes			Remove	
614 10'	Honey Locust	Gleditsia triacanthos	Gleditsia triacanthos	yes			Remove	
615 9'	Honey Locust	Gleditsia triacanthos	Gleditsia triacanthos	yes			Remove	
616 15'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes			Remove	
617 8'	White Oak	Quercus alba	Quercus alba	yes			Remove	
618 13'	Linden	Tilia americana	Tilia americana	yes			Remove	
619 17'	Box Elder	Acer negundo	Acer negundo	yes	9'		Remove	
620 11'	Box Elder	Acer negundo	Acer negundo	yes			Remove	
621 13'	Black Locust	Robinia pseudoacaci	Robinia pseudoacaci	yes			Remove	
622 13'	Siberian Elm	Ulmus pumila	Ulmus pumila	twin	yes		Remove	
623 27'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes	yes		Remove	
624 12'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes	yes		Remove	
625 18'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes	yes		Remove	
626 12'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes	yes		Remove	
627 23'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes	yes		Remove	
628 7'	Red Cedar	Juniperus virginiana	Juniperus virginiana	yes			Remove	
629 7'	Red Cedar	Juniperus virginiana	Juniperus virginiana	yes			Remove	
630 16'	Norway Maple	Acer platanoides	Acer platanoides	yes			Remove	
631 18'	Honey Locust	Gleditsia triacanthos	Gleditsia triacanthos	yes			Remove	
632 11'	Linden	Tilia americana	Tilia americana	yes			Remove	
633 12'	Linden	Tilia americana	Tilia americana	yes			Remove	
634 15'	Linden	Tilia americana	Tilia americana	yes			Remove	
635 11'	Linden	Tilia americana	Tilia americana	yes			Remove	
636 10'	Linden	Tilia americana	Tilia americana	yes			Remove	
637 9'	Linden	Tilia americana	Tilia americana	yes			Remove	
638 12'	Siberian Elm	Ulmus pumila	Ulmus pumila	yes			Remove	
639 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
640 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
641 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
642 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
643 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
644 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
645 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
646 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
647 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
648 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
649 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
650 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
651 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
652 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
653 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
654 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
655 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
656 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
657 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
658 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
659 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
660 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
661 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
662 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
663 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
664 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
665 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
666 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
667 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
668 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
669 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
670 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
671 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
672 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
673 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
674 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
675 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
676 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
677 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
678 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
679 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
680 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
681 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
682 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	
683 12'	Black Pine	Pinus nigra	Pinus nigra	yes			Remove	



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**BENCHMARKS:**

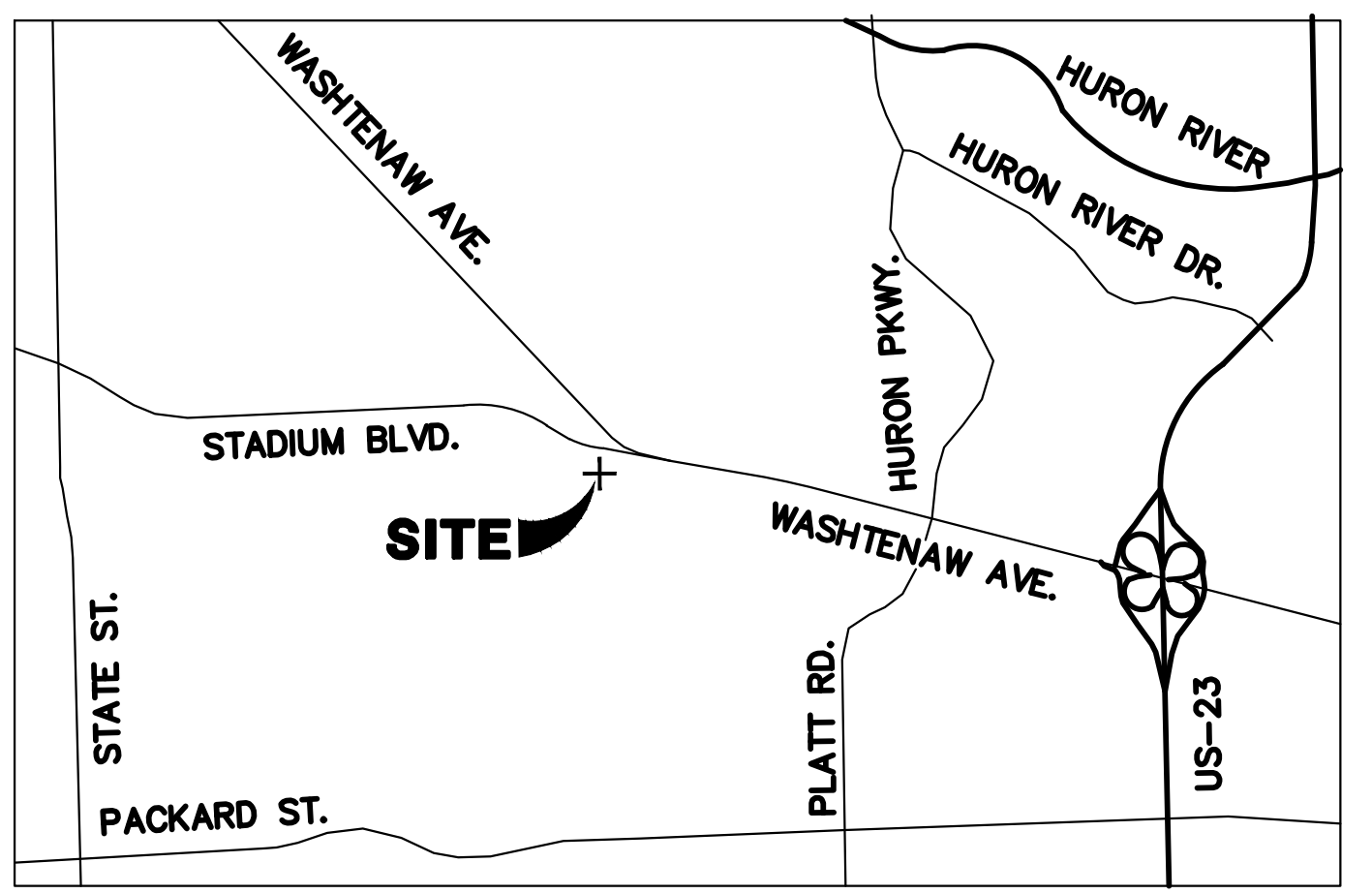
BENCHMARK AAGRS No. 0015B  
TOP OF BRASS DISC, LOCATED IN THE CONCRETE TRAFFIC ISLAND AT THE INTERSECTION OF EAST STADIUM BLVD. AND WASHTEWAVE AVE., ±49 FEET EAST OF THE WESTERLY FACE OF CURB AT THE BULLNOSE OF THE TRAFFIC ISLAND, AND ±6 FEET SOUTH OF THE BACK OF CURB OR THE AFOREMENTIONED ISLAND.  
ELEVATION = 871.33 (NAVD 88 DATUM)  
BENCHMARK #1  
TOP OF MAIN STEAMER VALVE ON A HYDRANT LOCATED ON THE SOUTH SIDE OF STADIUM BLVD., ±72' WEST OF THE CENTER OF THE ENTRANCE, AND ±28' NORTH OF THE NORTHWEST PROPERTY CORNER.  
ELEVATION = 872.46 (NAVD 88 DATUM)

**LEGEND**

- 838 EXIST. CONTOUR
- x836.2 EXIST. SPOT ELEVATION
- O.U.P. EXIST. UTILITY POLE
- GP EXIST. GUY POLE
- EX. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- \* EXIST. LIGHT POLE
- t EXIST. TELEPHONE LINE
- e EXIST. ELECTRIC LINE
- g EXIST. GAS LINE
- EX. GAS VALVE
- f.o. EXIST. FIBER OPTIC LINE
- w EXIST. WATER MAIN
- EX. HYDRANT
- EX. GATE VALVE IN BOX
- EX. GATE VALVE IN WELL
- EX. CURB STOP & BOX
- EX. STORM SEWER
- EX. CATCH BASIN OR INLET
- EX. SANITARY SEWER
- EX. CLEANOUT
- ELEC. TRANSFORMER
- TELEPHONE RISER
- ELECTRIC METER
- GAS METER
- GAS LINE MARKER
- FIBER OPTIC MARKER
- TRAFFIC SIGNAL CONTROL BOX
- POST
- MONITORING WELL
- FENCE
- SINGLE TREE
- TREE OR BRUSH LIMIT
- EX. BOULDER
- EX. SPRINKLER HEAD
- FOUND IRON PIPE
- EX. FOUND IRON ROD
- CONTROL PT.
- EX. DOWNSPOUT
- SECTION CORNER

**NOTES:**

- This survey was prepared using title commitments issued by Chicago Title Insurance Company, Commitment No. 19070354, Dated: July 5, 2019 and Commitment No. 19120624, Dated: December 10, 2019 and a commitment by Absolute Title Inc. File No. 90367, dated February 2, 2021.
- The property described herein lies within Zone X, according to Federal Emergency Management Agency Flood Insurance Rate Map #26161C0264E, Effective April 3, 2012.
- There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- There was no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- There were no observed wetland delineation markers observed in the process of conducting the fieldwork.



VICINITY MAP  
NOT TO SCALE

**LEGAL DESCRIPTION**

BEGINNING at the S 1/4 corner of Section 34, T2S, R6E, City of Ann Arbor, Washtenaw County, Michigan,  
thence N 0°01'00" W 60.01 feet along the N-S 1/4 line of said Section 34, as monumented, to the SE Corner of Lot 4 of "Assessor's Plat No. 49" as recorded in Liber 17 of Plats, Pages 33 & 34, Washtenaw County Records;  
thence S 88°53'30" W 334.36 feet along the South line of said Lot 4;  
thence N 0°01'00" W 378.45 feet along the West line of said Lot 4;  
thence S 79°31'00" E 339.99' (340.00' recorded) along the North line of said Lot 4 and along the North line of Lot 3 of said "Assessor's Plat No. 49";  
thence S 0°01'00" E 191.04 feet along the East line of said Lot 3 & said Lot 4 and along the N-S 1/4 line of said Section 34, as monumented;  
thence N 89°59'00" E 140.00 feet along the North line of Lot 4 of "Arbor Woods Subdivision", as recorded in Liber 17 of Plats, Pages 35 & 36, Washtenaw County Records;  
thence Southwesterly 168.45 feet along the arc of a circular curve to the right, radius 1240.03 feet, central angle 07°47'00", long chord S03°52'30" W 168.32 feet (recorded as S 05°13'30" W 168.45 feet) and along the East line of said Lot 4 of "Arbor Woods Subdivision" and along the West line of Manchester Road (66.00 feet wide);  
thence S 07°46'00" W 8.74 feet (recorded as S 09°07'00" W) along the East line of said Lot 4 of "Arbor Woods Subdivision" and along the West line of said Manchester Road;  
thence S 88°51'35" W 127.42 feet along the South line of said Lot 4 of "Arbor Woods Subdivision" to the POINT OF BEGINNING. Being Lot 3 and Lot 4 of said "Assessor's Plat No. 49" and being Lot 4 of said "Arbor Woods Subdivision", and being a part of the S 1/2 of said Section 34, T2S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 3.20 acres of land, more or less.

Being Subject to:

- Terms, conditions, and provisions which are recited in Warranty Deed as recorded in Liber 770, Page 578. (UNABLE TO PLOT)
- Easement for broadband communications granted to Comcast of the South, Inc. as set forth in instrument recorded in Liber 4978, Page 182. (BLANKET)
- Easement granted to The Detroit Edison Company as set forth in instrument recorded in Liber 1725, Page 83. (PLOTTED)
- Building and use restrictions contained in instrument recorded in Liber 717, Page 5, Washtenaw County Records, but omitting any such covenant or restrictions based on race, color, religion, sex, handicap, familial status or national origin.
- Right of way in favor of Michigan Bell Telephone Company, as recorded in Liber 261, Page 435, Washtenaw County Records.
- Right of way for sanitary sewer, in favor of the City of Ann Arbor, as recorded in Liber 564, Page 236, Washtenaw County Records.
- Easement for sewer as shown on the recorded plat.
- Easement in favor of Michigan Bell Telephone Company, as recorded in Liber 4632, Page 719, Washtenaw County Records.
- Asphalt into easement encroachment, as shown on Kem-Tec mortgage certificate dated October 1, 2015, Job No. 15-03867.

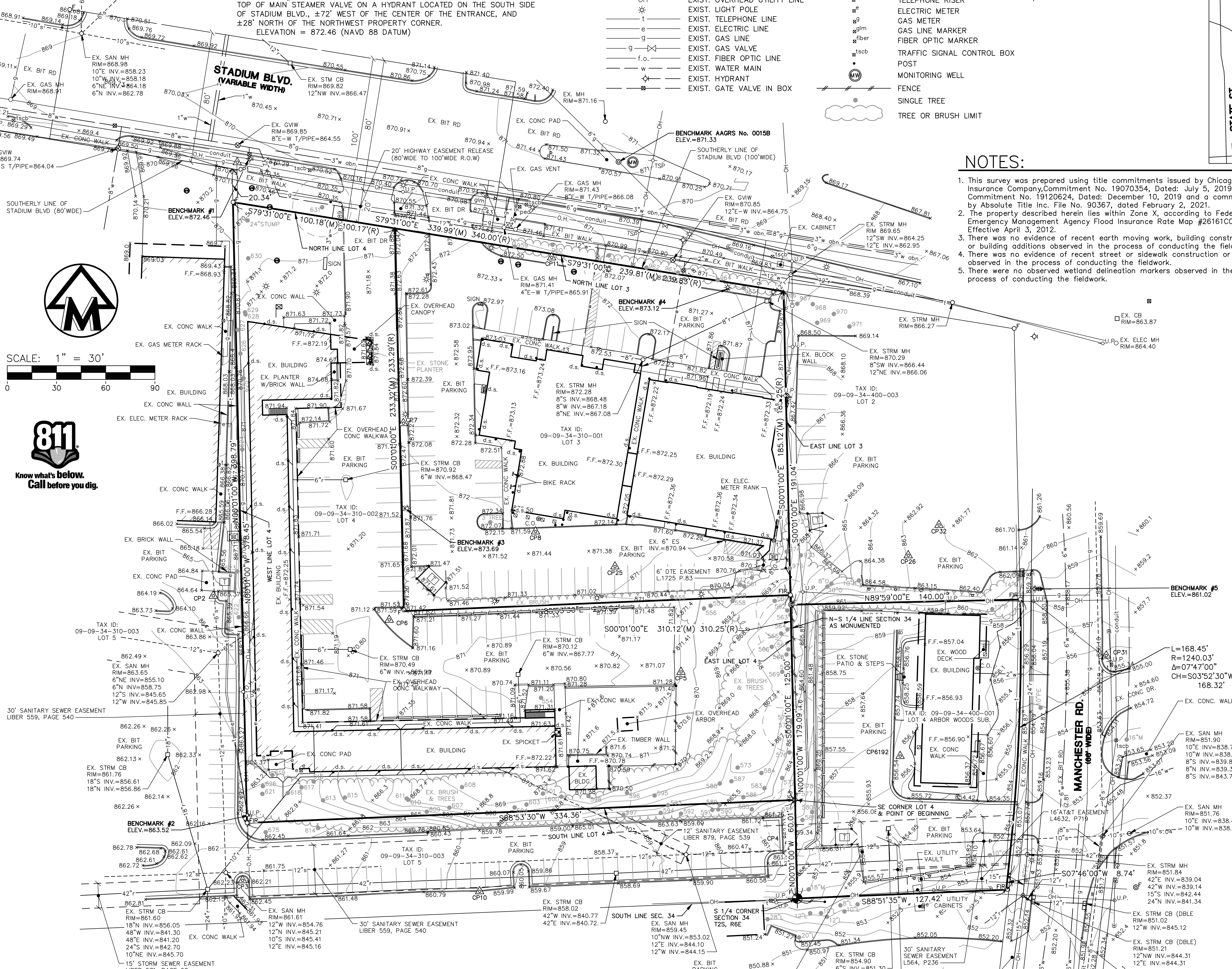
**SURVEYOR'S CERTIFICATE**

To: Beztak Companies, Stadium Investors 1 LLC, Stadium Investors 2 LLC, KeyBank National Association, and its successors and assigns and Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 7(a), 7(b), 8, 9, 11, 13, 16, 17, 18, & 19 of Table A thereof. The fieldwork was completed on January 6, 2020.

Date of Plat or Map: January 22, 2020

Patrick L. Hastings, P.S. #37277



The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

**MIDWESTERN CONSULTING**  
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**CLIENT**  
BEZTAK COMPANIES  
31733 NORTHWESTERN HWY, SUITE 250W  
FARMINGTON HILLS, MI 48334  
ATTN: 248-505-5371

**UNIVERSITY INN**  
ALTA/NSPS LAND TITLE SURVEY OF TWO PARCELS OF LAND  
LOCATED IN THE SW 1/4 OF SECTION 34, T2S, R6E,  
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

**1**

JOB No.	19192
DATE	09/03/19
SHEET	1 OF 1
REV. DATE	
REV. BY	
DATE	
BY	
DATE	
BY	
DATE	
BY	