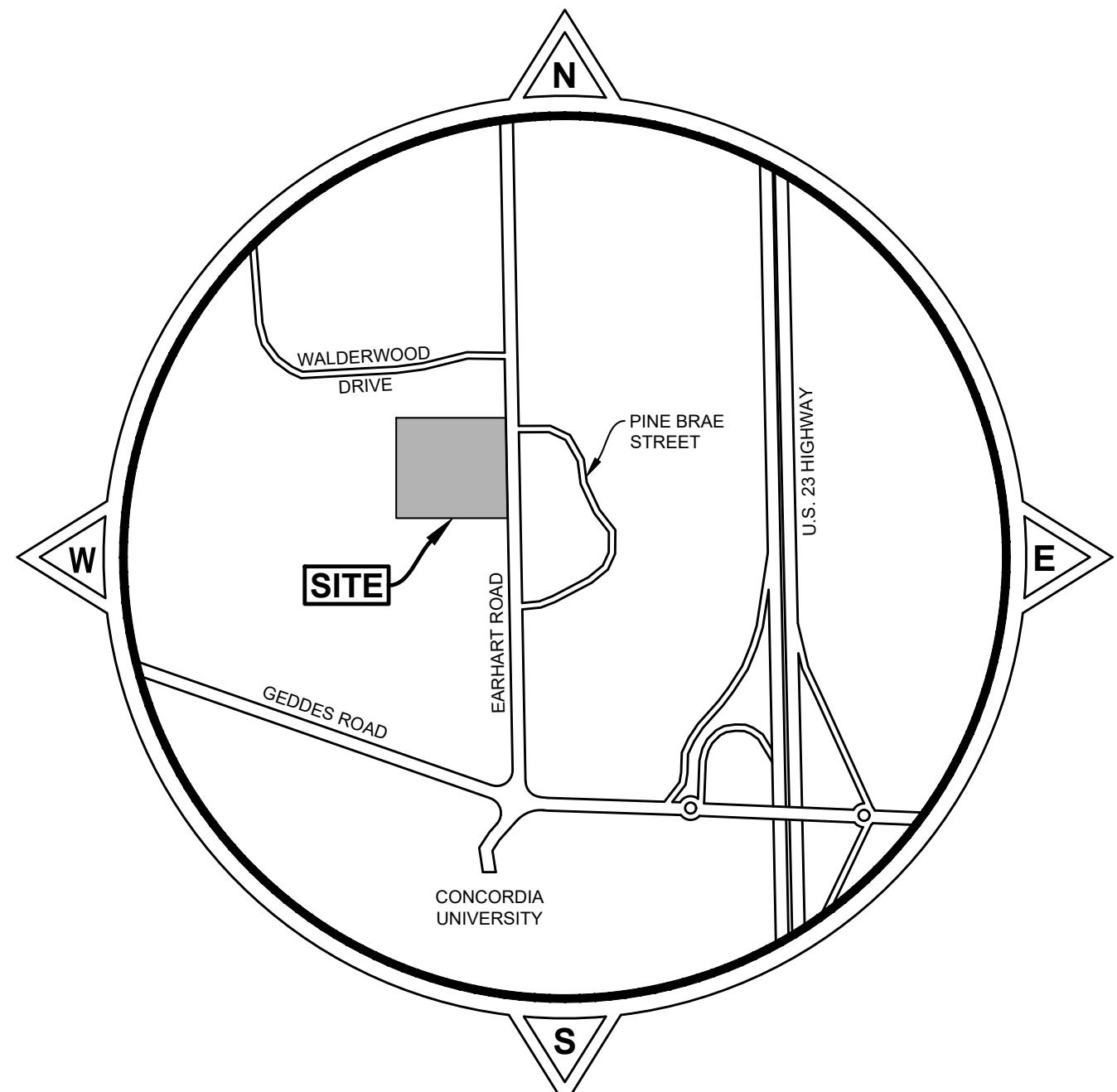


# St. Paul Lutheran School

## 495 Earhart Road City of Ann Arbor, Washtenaw County, Michigan Site Plan for Planning Commission Approval (Type 2)



### COMPARISON CHART

	EXISTING	REQUIRED/ALLOWABLE	PROPOSED
ZONING	R1-B	-	R1-B
LOT AREA	29.92 ac	10,000	29.92 ac
LOT WIDTH	1391	70	1391
FLOOR AREA	23,750	58,000	26,368
FLOOR AREA RATIO	1.8%	-	2%
FRONT SETBACK (EAST)	208.5	30	208.5
REAR SETBACK (WEST)	241.3	40	241.3
SIDE SETBACK (NORTH)	77.8	Min 5, Total 14	44.9
SIDE SETBACK (SOUTH)	888.1	Min 5, Total 14	888.1
HEIGHT	15	30	25.5
PARKING SPACES	112	0 Min/Max	171
BICYCLE SPACES	60	70*	70
EV-I SPACES	-	{10%} 18	18
EV-C SPACES	-	{40%} 69	69

\* 5 PER CLASSROOM @ 14 CLASSROOMS = 70 CLASS C  
BICYCLE PARKING SPACES  
NOTE: ALL BICYCLE SPACES, EXISTING AND PROPOSED, ARE TYPE C

### OWNER/APPLICANT

ST. PAUL LUTHERAN CHURCH  
495 EARHART ROAD  
ANN ARBOR, MICHIGAN 48105  
DENNIS KUHN  
SS\_PAC@YAHOO.COM  
(734) 277-5898

### INDEX TO SHEETS

COVER SHEET .....	C1
OVERALL SITE PLAN .....	C2
TOPOGRAPHICAL SURVEY OVERALL .....	C3
TOPOGRAPHICAL SURVEY NORTH .....	C3A
REMOVAL PLAN .....	C4
LAYOUT PLAN .....	C5
EV PARKING PLAN .....	C5A
UTILITY PLAN .....	C6
GRADING AND STORM WATER MANAGEMENT PLANS .....	C7-C8A
BUILDING ADDITION PLAN .....	C9
SOIL EROSION AND SEDIMENTATION CONTROL PLANS .....	C10-C11
SIGNAGE AND PAVEMENT MARKING PLAN .....	C12
PHOTOMETRIC PLAN .....	C13
LANDSCAPE PLAN .....	C14
TREE SURVEY .....	C15
TREE LISTING .....	C16
SOLID WASTE PLAN .....	C17
ALTA SURVEY .....	C18
FLOOR PLAN .....	A101
ELEVATIONS .....	A201

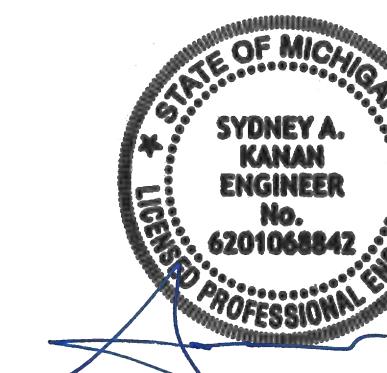
### LEGAL DESCRIPTION

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWN 2 SOUTH, RANGE 6 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN BEING DESCRIBED AS:  
BEGINNING AT THE EAST QUARTER CORNER OF SECTION 26, TOWN 2 SOUTH, RANGE 6 EAST, THENCE SOUTH 68 DEGREE 09 MINUTES 10 SECONDS WEST 1325.20 FT; THENCE SOUTH 00 DEGREE 18 MINUTES 26 SECONDS EAST 206.38 FT; THENCE NORTH 80 DEGREE 09 MINUTES 10 SECONDS EAST 471.96 FT; THENCE SOUTH 00 DEGREE 00 MINUTES 50 SECONDS EAST 1084.55 FT; THENCE NORTH 89 DEGREE 09 MINUTES 10 SECONDS EAST 859.32 FT; THENCE NORTH 00 DEGREE 01 MINUTES 10 SECONDS WEST 1390.98 FT TO THE POINT OF BEGINNING; CONTAINING 31.03 ACRES MORE OR LESS. BEING SUBJECT TO ROW OVER EASTERLY 33 FEET AND ANY OTHER EASEMENT OR RESTRICTION OF RECORD, SPLIT ON 11/03/1999 FROM 09-09-26-400-006. SUBJECT TO ANY AND ALL EASEMENTS AND RIGHTS OF WAY OF RECORD OR OTHERWISE. FROM RECORDS ONLY. NO FIELD SURVEY PERFORMED.

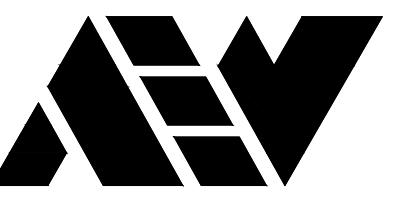
### STATEMENTS

INTEREST IN LAND  
THE PETITIONER WILL BE THE OWNER AND DEVELOPER OF THE PROPERTY.  
APPLICATIONS  
PETITIONER IS SEEKING PLANNING COMMISSION APPROVAL FOR SITE PLAN (TYPE 2). PROPERTY IS SUBJECT TO SEU, NO MODIFICATIONS ARE BEING REQUESTED. NO REGULATED WETLANDS ARE PROPOSED TO BE DISTURBED.  
DEVELOPMENT PROGRAM  
THE SITE CONSISTS OF AN EXISTING SCHOOL AND PARKING LOT AND THE PROJECT CONSISTS OF A PROPOSED 2,582 SQUARE FOOT BUILDING ADDITION FOR A NEW LIBRARY, REMOVAL OF THE EXISTING PARKING LOT, CONSTRUCTING A RE-CONFIGURED PARKING LOT, AND PROVIDING INCREASED STORM WATER DETENTION FOR THE INCREASED STORM WATER RUNOFF.  
THE PROPOSED DEVELOPMENT IS ANTICIPATED TO HAVE A POSITIVE IMPACT ON THE COMMUNITY, PROVIDING A STATE OF THE ART LIBRARY, INCREASED PARKING LOT EFFICIENCY AND MANEUVERABILITY, AND SAFER DROP OFF FOR STUDENTS AND PARENTS.  
THE ESTIMATED PROBABLE COST OF THIS PROJECT IS \$4,000,000.  
COMMUNITY ANALYSIS  
THE SITE IS USE: NOT RESIDENTIAL, NO IMPACT ON PUBLIC SCHOOLS. THE RELATIONSHIP OF THE INTENDED USE TO THE NEIGHBORING USES WILL NOT CHANGE WITH PROPOSED IMPROVEMENTS. ADJACENT USES ARE UNDEVELOPED, NO POTENTIAL IMPACT FROM THEIR DEVELOPMENT. PROPOSED IMPROVEMENTS DO NOT AFFECT AIRWATER QUALITY. NATURAL FEATURES ON SITE ARE BEING IMPACTED DUE TO THE STORM WATER DETENTION REQUIREMENTS, BUT EXISTING DETENTION IS BEING RETROFIT TO MINIMIZE IMPACT TO EXISTING NATURAL FEATURES. NO HISTORIC IMPACT APPLICABLE.  
NO ADDITIONAL TRIPS ARE BEING GENERATED FROM THE PROPOSED IMPROVEMENTS.  
ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE PROPERTY. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING SIDEWALKS FOR THIS SITE. ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH THE CITY STANDARDS.  
NATURAL FEATURES EXIST ON SITE, INCLUDING LANDMARK TREES, WETLANDS, WOODLANDS. SEE NATURAL FEATURES ASSESSMENT REPORT PREPARED BY ASTI ENVIRONMENTAL, DATED OCTOBER 20, 2023.

**ANDERSON, ECKSTEIN AND WESTRICK, INC.**  
CIVIL ENGINEERS, LAND SURVEYORS, ARCHITECTS  
SHELBY TOWNSHIP, MICHIGAN







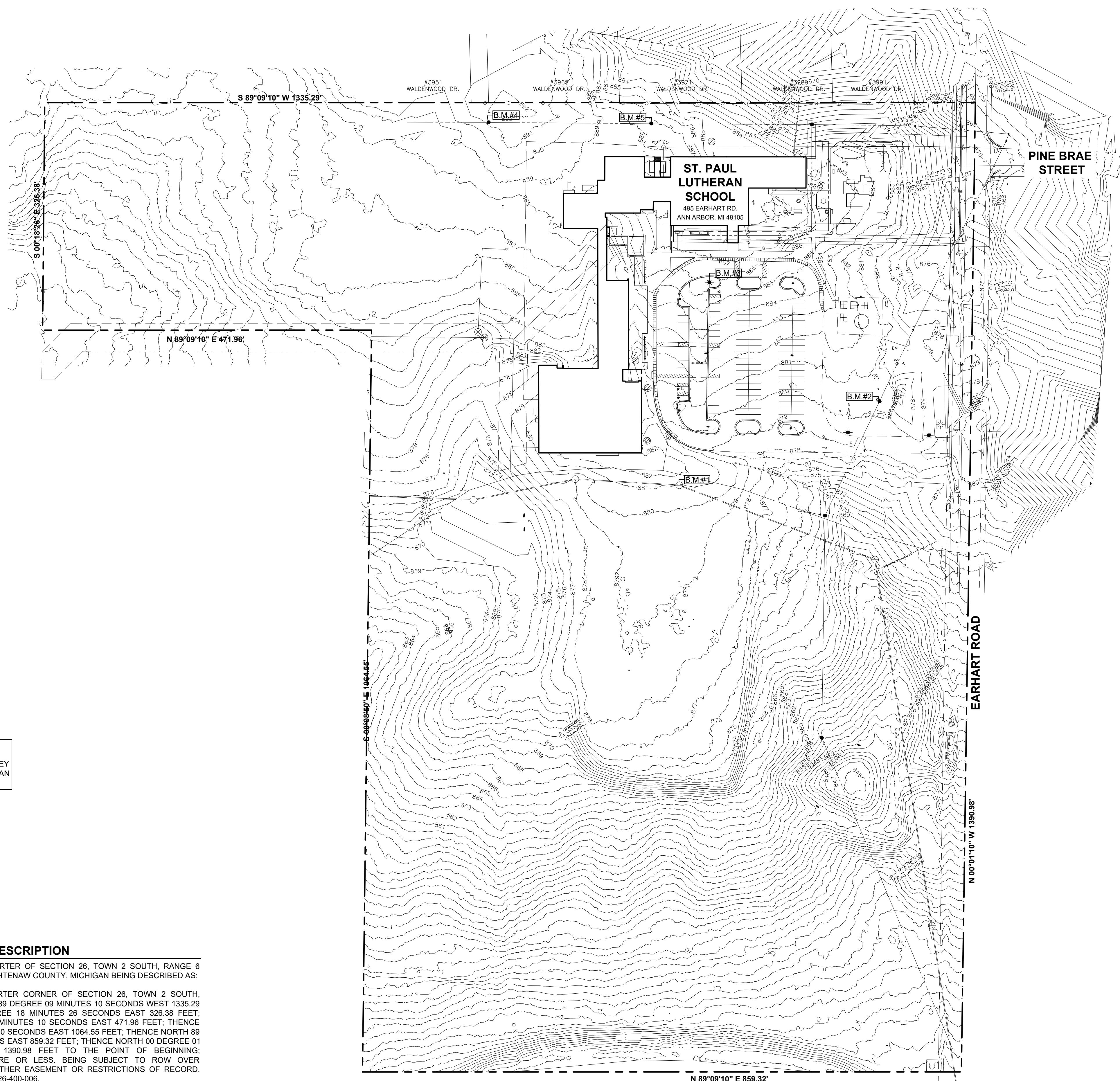
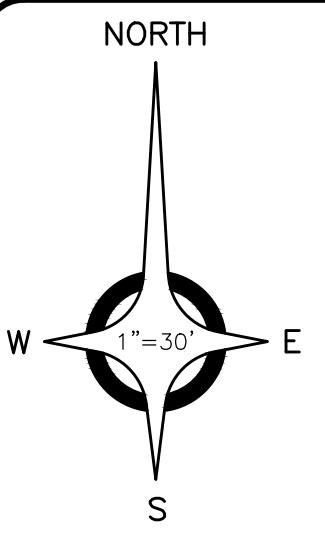
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CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234  
Shelby Township Fax 586 726 8780  
Michigan 48315

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ENGINEERING STRONG COMMUNITIES



LOCATION MAP  
NOT TO SCALE

**BENCH MARKS  
(NAVD88 DATUM)**

BENCH MARK NO.1  
CHIS "X" NORTH RIM SANITARY  
M.H. 75 SOUTHEAST OF  
SOUTHEAST CORNER AT  
#20001  
ELEVATION: 880.74

BENCH MARK NO.2  
SET RR SPIKE SOUTHWEST  
FACE OF UTILITY POLE  
W/TRANSFORMER 50' NORTH  
OF ENTRANCE TO LOT, 80'  
EAST OF EAST LOT.  
ELEVATION: 881.57

BENCH MARK NO.3  
CHIS "1" BOX ON SOUTHWEST  
TICONIC LIGHT POLE BASE #60  
SOUTH WEST OF MAIN  
ENTRANCE DOOR TO SCHOOL.  
ELEVATION: 889.06

BENCH MARK NO.4  
SET MAG NAIL SOUTH FACE OF  
UTILITY POLE, ±150'  
NORTHWEST OF NORTHWEST  
PF CORNER SCHOOL.  
ELEVATION: 892.03

BENCH MARK NO.5  
SET MAG NAIL SOUTH FACE  
UTILITY POLE, ±40' NORTH OF  
NORTH F/SCHOOL, ±125', EAST  
OF WEST F/SCHOOL.  
ELEVATION: 888.51

09-09-26-400-006 SITE PLAN SUBMITTAL  
07-09-2025 SITE PLAN SUBMITTAL  
01-05-2024 SITE PLAN SUBMITTAL  
01-05-2024 BIDS & CITY SUBMITTAL

DATE SUBMITTALS/REVISIONS

PROJECT NAME:

**ST. PAUL LUTHERAN  
SCHOOL SITE  
IMPROVEMENTS**

SHEET TITLE:

**TOPOGRAPHICAL  
SURVEY  
OVERALL**

CLIENT:  
ST. PAUL LUTHERAN CHURCH

PRELIMINARY  CONSTRUCTION  RECORD  
DRAWN BY:  CHECKED BY:  DATE:  
MJS SAK AUGUST 25, 2023  
SCALE: 1" = 30'  
0 15 30 60



Know what's below. Call  
72 hours before you dig.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITIES CONCERNED. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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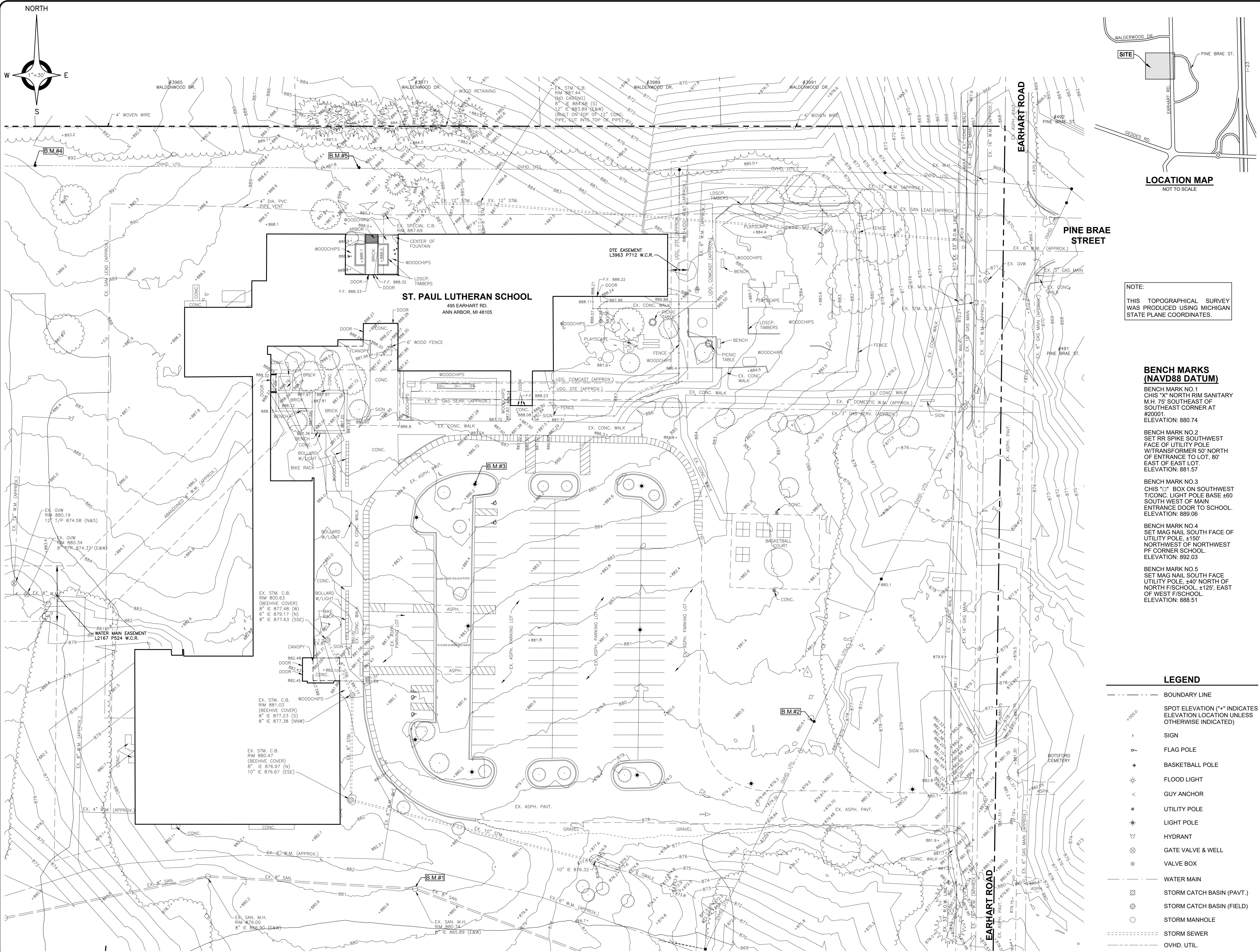
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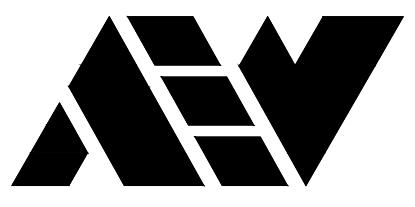
SHEET NO.

C3

**LEGEND**

- Boundary Line
- Spot Elevation ("\*" indicates elevation location unless otherwise indicated)
- ⊕ Sign
- ⊖ Flag Pole
- ⊕ Basketball Pole
- ⊕ Flood Light
- ⊖ Guy Anchor
- Utility Pole
- ⊕ Light Pole
- ⊖ Hydrant
- ⊗ Gate Valve & Well
- ⊖ Valve Box
- Water Main
- Storm Catch Basin (Pav.)
- Storm Catch Basin (Field)
- Storm Manhole
- Storm Sewer
- Ovhd. Util.





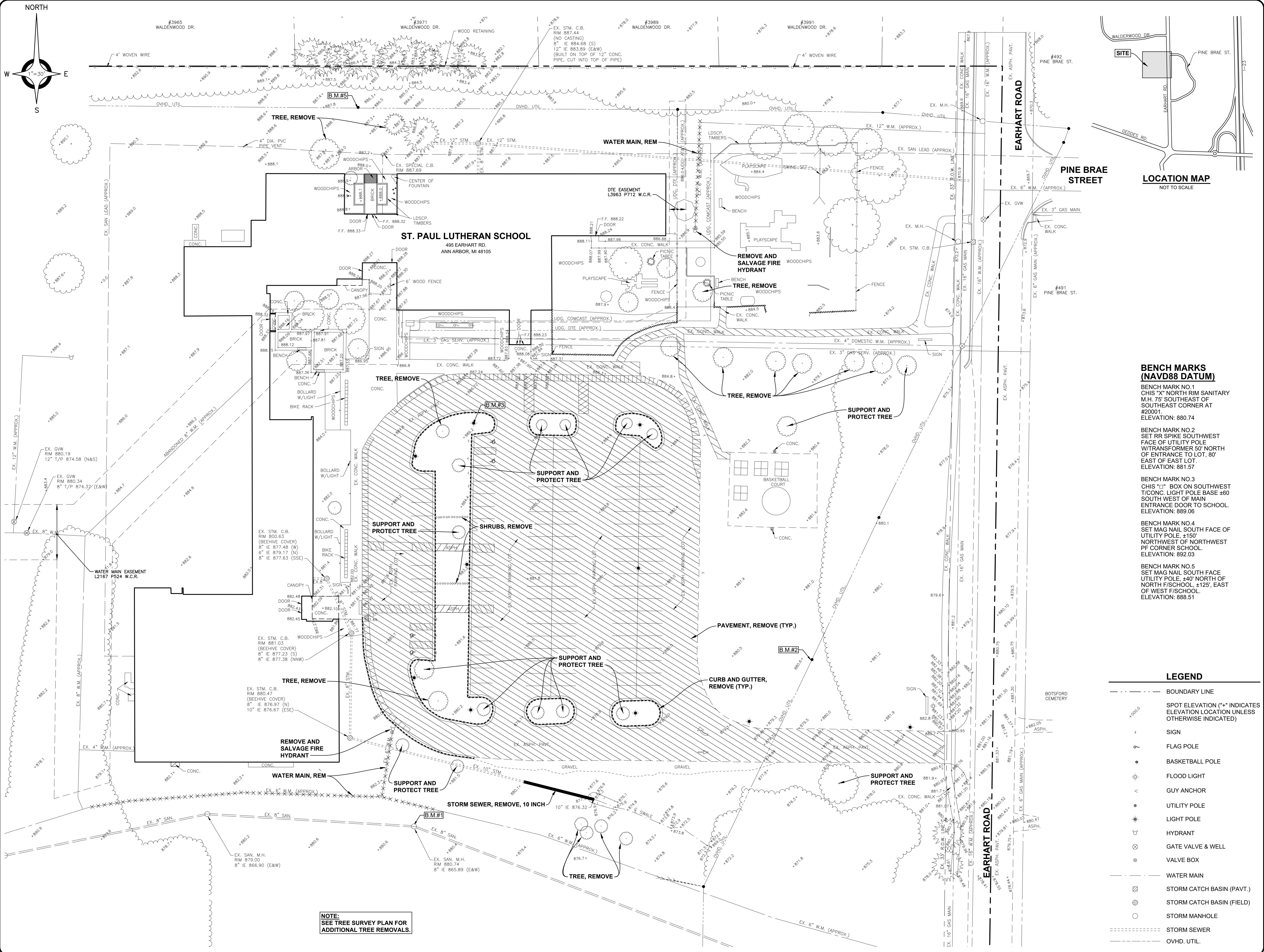
ANDERSON, ECKSTEIN AND  
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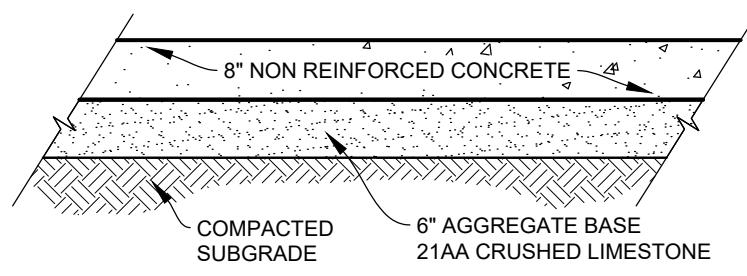
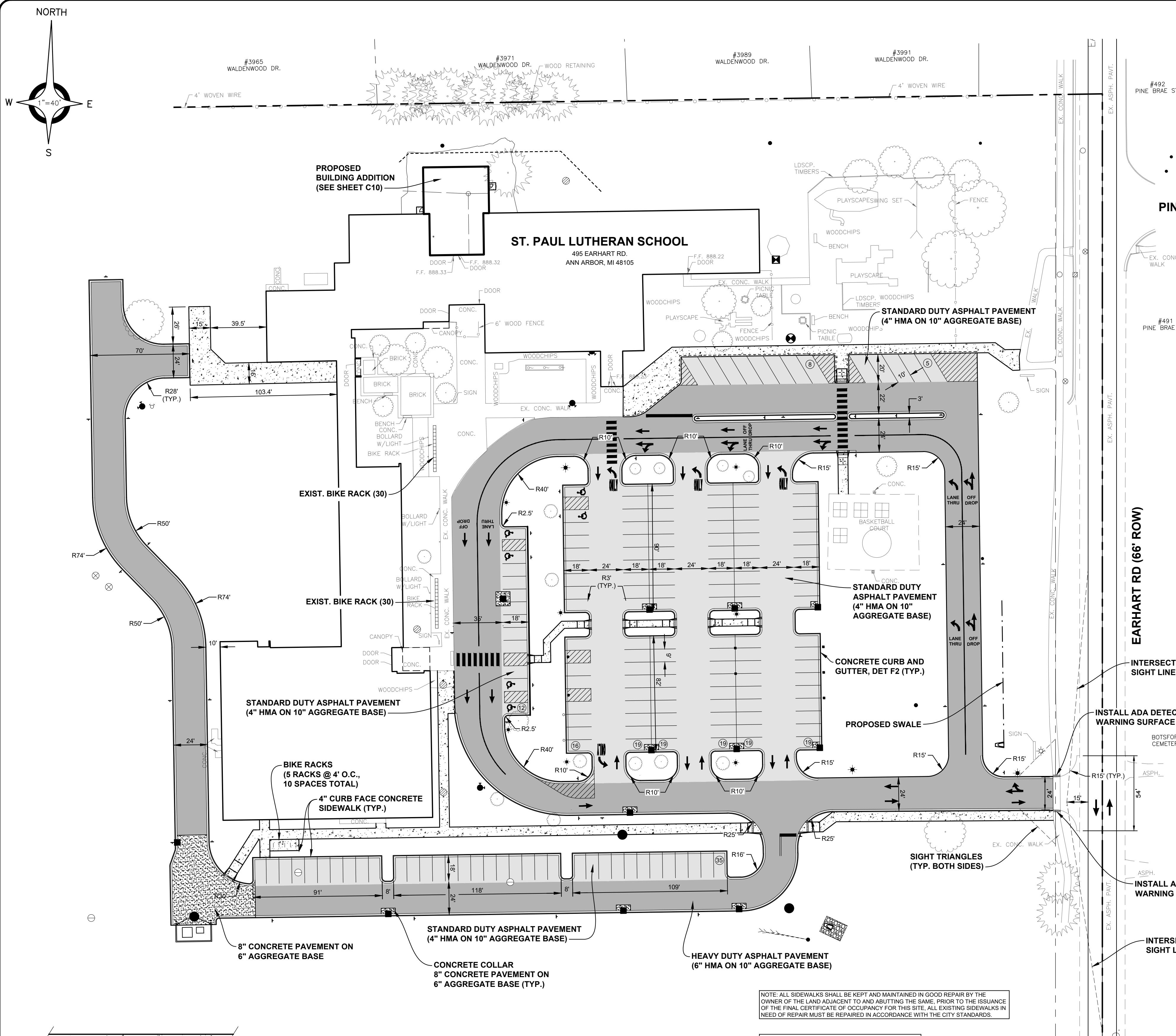
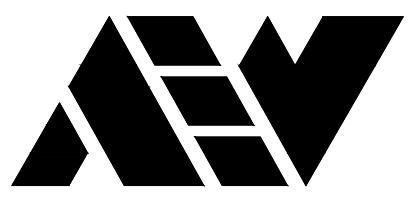
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Michigan 48315  
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Fax 586 726 8780

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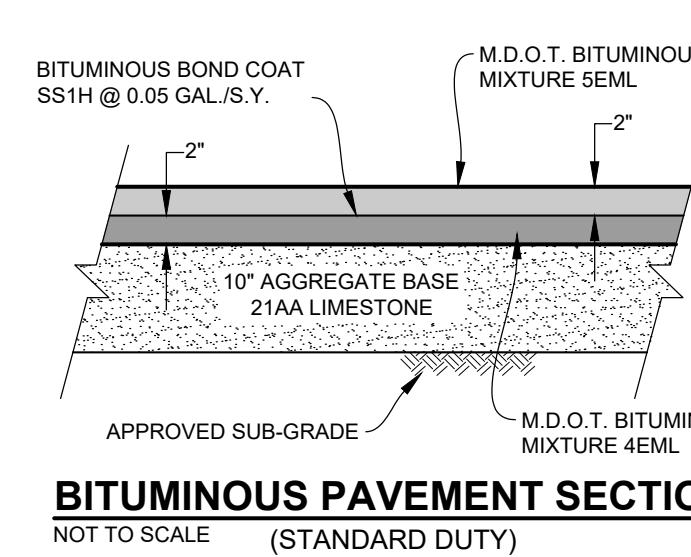
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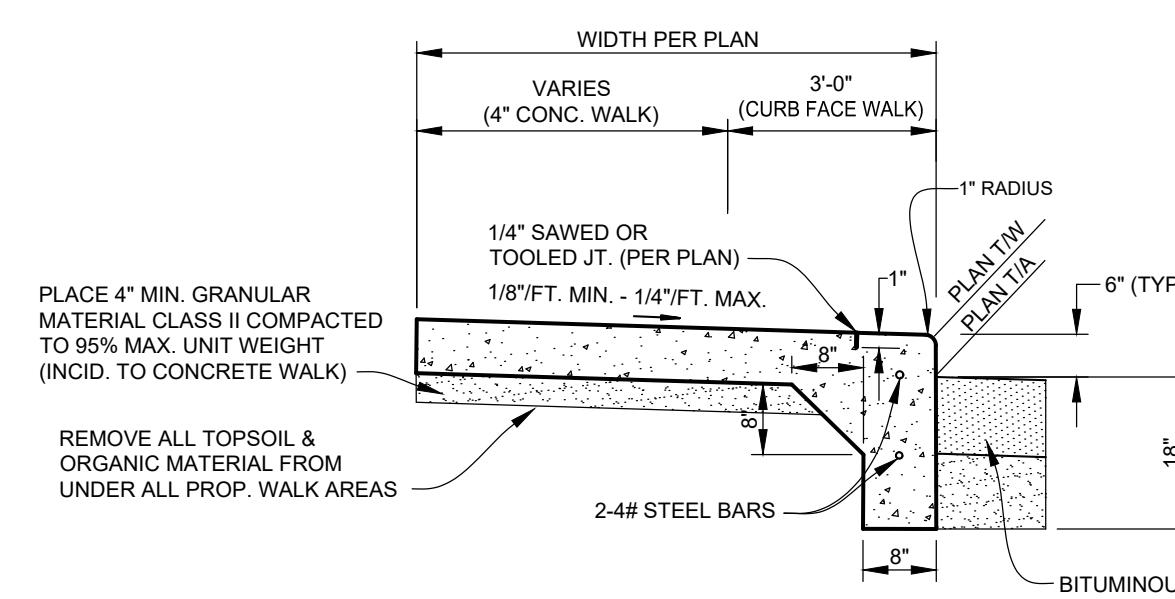


# **TYPICAL 8" CONCRETE PAVEMENT SECTION**

NOT TO SCALE

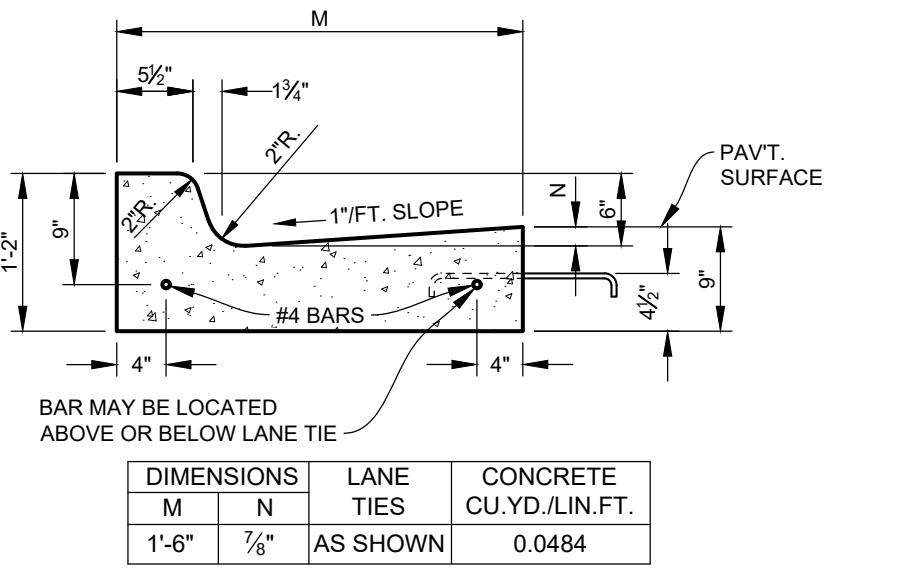


**BITUMINOUS PAVEMENT SECTION**  
NOT TO SCALE (STANDARD DUTY)



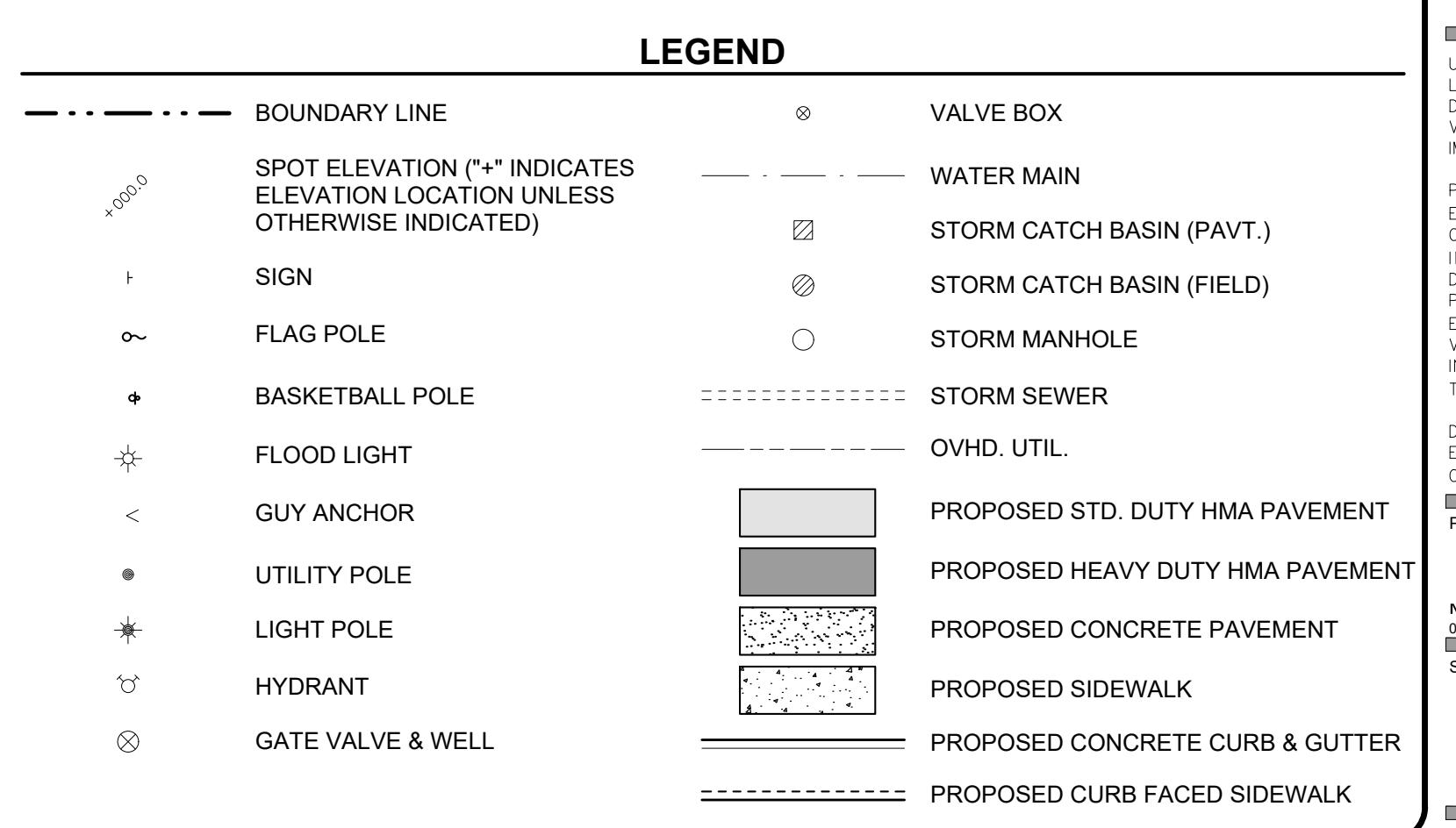
# **TYPICAL CONCRETE WALK WITH STANDARD CONCRETE CURB FACE**

**NOT TO SCALE**

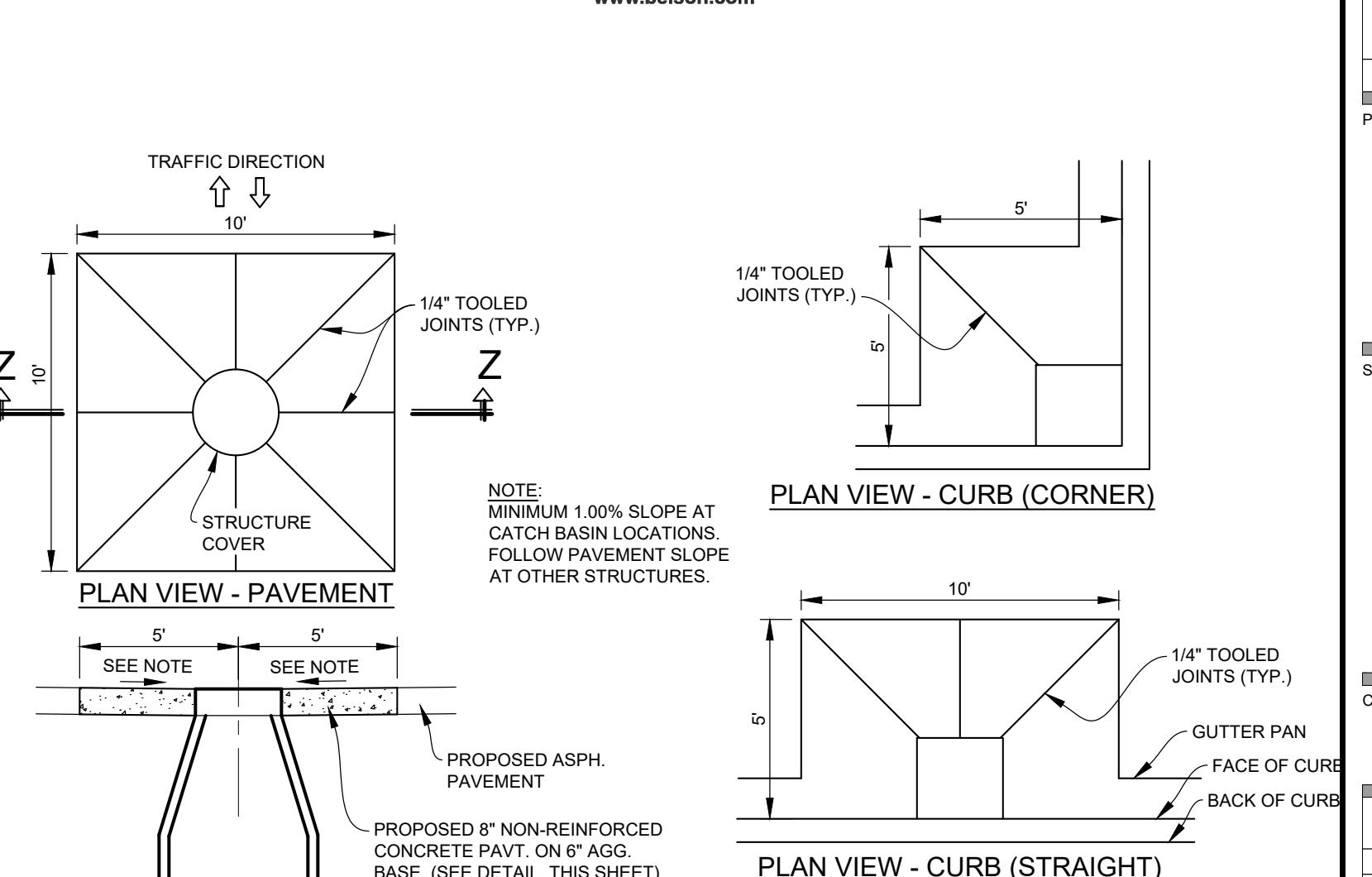


# **CONCRETE CURB "F1"**

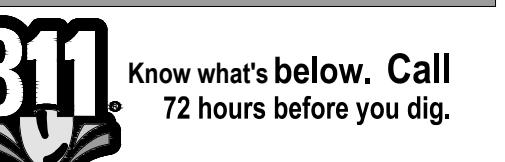
NOT TO SCALE



## LEGEND



# CONCRETE COLLAR



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INFORMATION, AS SHOWN, INDICATES APPROXIMATE  
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CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF  
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T WITH THE CONSTRUCTION OF THESE PROPOSED  
EMENTS) SHALL BE VERIFIED IN THE FIELD.  
THE CONSTRUCTION, THE CONTRACTOR SHALL  
CT AND SUPPORT ALL UTILITIES THAT ARE  
TERED. (ALL COSTS FOR UTILITY LOCATION  
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D IN THE PROPOSED PAY ITEM CONFLICTING WITH  
T.)

CONSTRUCTION, THE CONTRACTOR SHALL USE CAUTION WHEN OPERATING NEAR ANY AND ALL AD AND / OR BURIED UTILITIES.

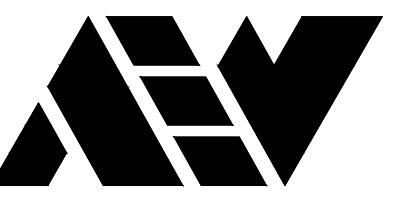
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Page 1 of 1



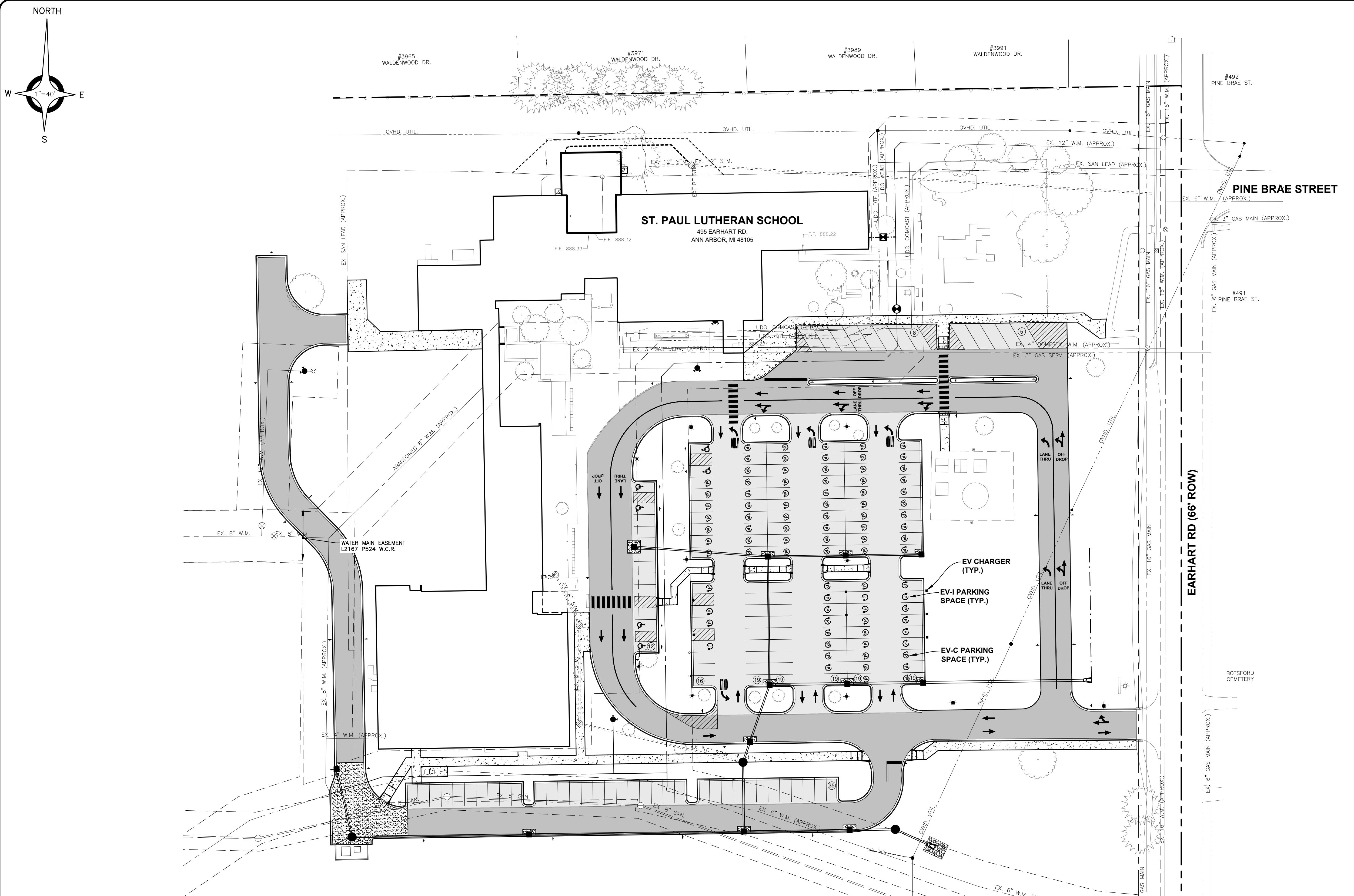
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Michigan 48315

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08-08-2025 SITE PLAN SUBMITTAL  
07-26-2025 SITE PLAN SUBMITTAL  
07-09-2024 SITE PLAN SUBMITTAL  
01-05-2024 BIDS & CITY SUBMITTAL  
DATE SUBMITTALS/REVISIONS

PROJECT NAME:

## ST. PAUL LUTHERAN SCHOOL SITE IMPROVEMENTS

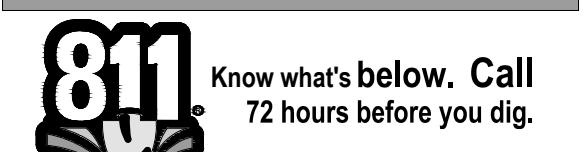
SHEET TITLE:

### EV PARKING PLAN

CLIENT:

ST. PAUL LUTHERAN CHURCH

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY:	CHECKED BY:	DATE:
MJS	SAK	AUGUST 25, 2023
SCALE:	1" = 40'	



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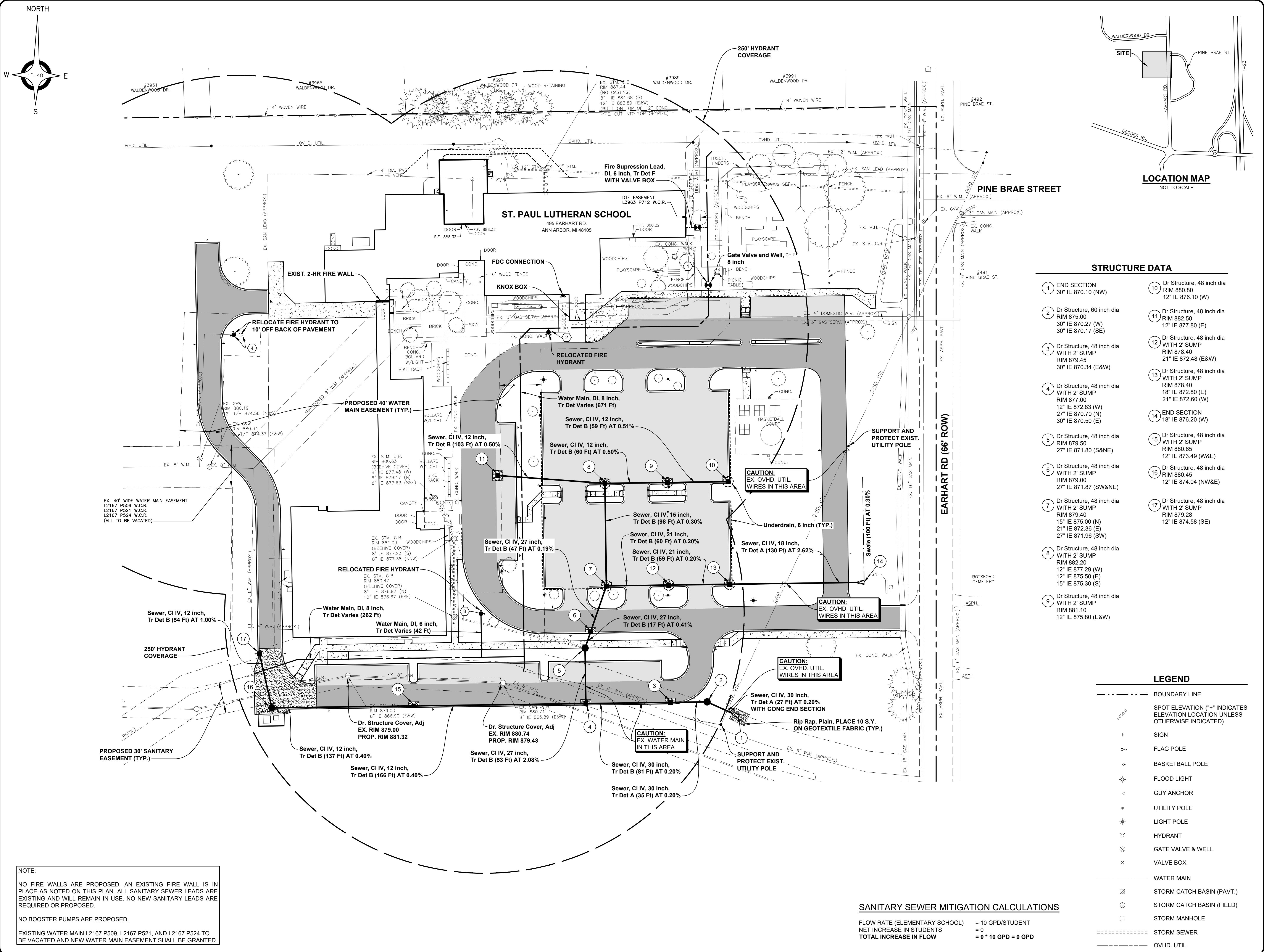
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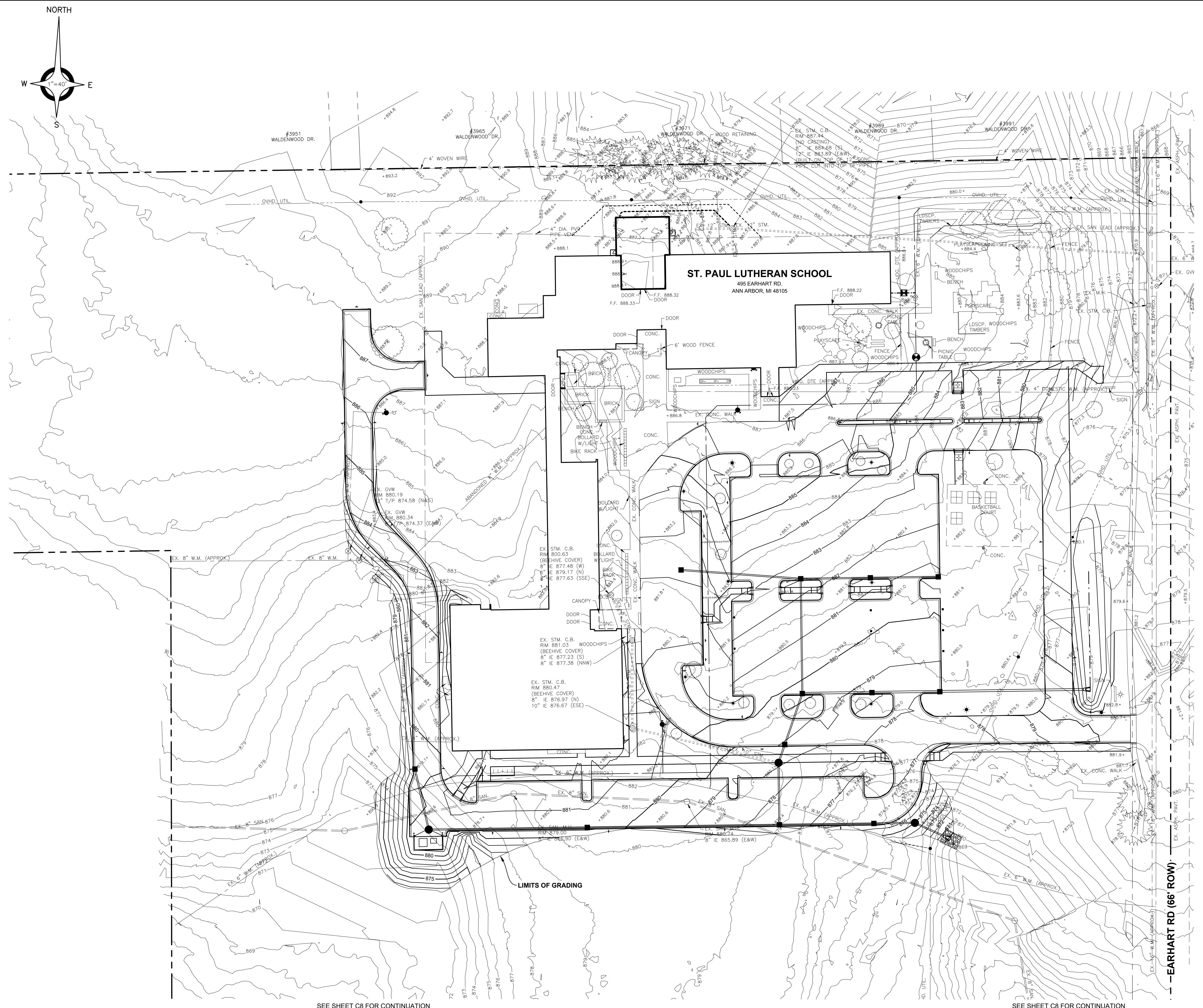
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C5A





08-08-2025 SITE PLAN SUBMITTAL  
07-26-2025 SITE PLAN SUBMITTAL  
07-09-2024 SITE PLAN SUBMITTAL  
01-05-2024 BIDS & CITY SUBMITTAL  
DATE SUBMITTALS/REVISIONS

PROJECT NAME:

## ST. PAUL LUTHERAN SCHOOL SITE IMPROVEMENTS

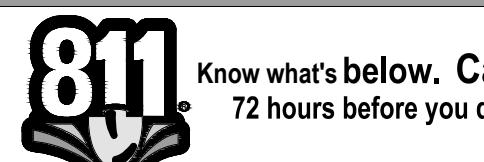
SHEET TITLE:

## GRADING AND STORMWATER MANAGEMENT PLAN

CLIENT:

ST. PAUL LUTHERAN CHURCH

PRELIMINARY  CONSTRUCTION  RECORD  
 DRAWN BY:  CHECKED BY:  DATE:  
 MJS  SAK  AUGUST 25, 2023  
 SCALE:  1" = 40'  
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**WCWRC STORMWATER CALCULATIONS**

Wadsten County WRC Stormwater Design Standards - St. Paul Lutheran School

W1-Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients

Total Disturbed Area =	5.85 Ac				
Total Containing Area =	9.86 Ac				
Area Detained For =	9.86 Ac				
<b>Cover Type</b>	<b>Soil Type</b>	<b>Area (ft<sup>2</sup>)</b>	<b>Area (ac)</b>	<b>Runoff Coefficient (C)</b>	<b>(C)(Area)</b>
Asphalt	B	100,996	2.32	0.95	2.20
Concrete	B	34,47	0.78	0.95	0.72
Grass	B	282,665	6.93	0.25	1.62
Water		0	0.00	1	0.00
Total - $\Sigma$ (Area) =	4.82				
Area Total - $\Sigma$ ac or $\Sigma$ ft <sup>2</sup> =	9.86				
Weighted C - $\Sigma$ C(Area)/ $\Sigma$ ac or $\Sigma$ ft <sup>2</sup> =	0.49				

NRCS Variables	NRCS Variables

NRCS Variables (I)	NRCS Variables (C)

NRCS Variables (I)	NRCS Variables (C)

NRCS Variables (I)	NRCS Variables (C)

NRCS Variables (I)	NRCS Variables (C)

NRCS Variables (I)	NRCS Variables (C)

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## Storm Water Maintenance Plan

ST. PAUL LUTHERAN SCHOOL

**1. Responsibility for Maintenance**

- During following construction, it is the Owners responsibility to perform the maintenance.
- Routine maintenance of the storm water facilities must be completed within 90 days of receipt of written notification that action is required, unless other acceptable arrangements are made with the (City of Ann Arbor), (Washtenaw County Water Resources Commissioner) or successors. Emergency maintenance (i.e. when there is endangerment to public health, safety, or welfare) shall be performed immediately upon receipt of written notice. Should the Owner fail to act within these time frames, the (City of Ann Arbor), (Washtenaw County Water Resources Commissioner) or successors may perform the needed maintenance and assess the costs to the Owner.

**2. Source of Financing**

- The Owner is required to pay for all maintenance activities on a continuing basis.

**3. Maintenance Tasks and Schedule**

- See charts on the next two pages 2 and 3:
  - The first describes maintenance tasks during construction to be performed by the developer.
  - The second describes maintenance tasks post construction to be performed by the Condominium Association.
- Immediately following construction, the Owner will have the storm water management system inspected by an engineer to verify grades of the detention and filtration areas and make recommendations for any necessary sediment removal.

**4. Maintenance Plan Budget**

- See chart on page 4

## MAINTENANCE TASKS AND SCHEDULE DURING CONSTRUCTION

TASKS	STORM SEWER SYSTEMS	CATCH BASIN Sumps	CATCH BASIN INLET CASTINGS	CHANNELS AND SWALES	OUTFLOW CONTROL STRUCTURE	RIP-RAP	STORM DETENTION AREAS	EMERGENCY OVERFLOW	SCHEDULE	
									WEEKLY	AS NEEDED AND PRIOR TO TURNOVER
INSPECT FOR SEDIMENT ACCUMULATION		X	X							
REMOVAL OF SEDIMENT ACCUMULATION		X	X							
INSPECT FOR FLOATABLES AND DEBRIS		X	X							QUARTERLY
CLEANING OF FLOATABLES AND DEBRIS		X	X							QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION		X	X							WEEKLY
GENERAL NPDS INSPECTION FOR PERTINENT SOIL EROSION CONTROL MEASURES										WEEKLY OR AFTER RAINFALL EVENT
RE-ESTABLISH PERMANENT VEGETATION ON ERODED SLOPES										AS NEEDED AND PRIOR TO TURNOVER
REPLACEMENT OF STONE										AS NEEDED
MOWING										0 TO 2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS										ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY PRE TURNOVER INSPECTION										AS NEEDED

Page 2 of 4

## ENGINEER'S CERTIFICATE OF OUTLET



## ENGINEER'S CERTIFICATE OF OUTLET

Date: July 24, 2025

**Development Name:** St. Paul Lutheran School  
 City, Village or Township of: Ann Arbor, Section 26  
 Washtenaw County, Michigan

I hereby certify that the existing outlet to the Earhart Road ROW is the only reasonably achievable stormwater outlet for the proposed stormwater management system, the detention pond is designed for a 100 year storm event, and the storm water discharge is limited to predevelopment runoff rates.

Signed,  
  
 Sydney A. Kanan, PE  
 Project Manager

51301 Schoenherr Road, Shelby Township, MI 48315  
 Engineering Strong Communities

## MAINTENANCE PLAN BUDGET

ANNUAL INSPECTION FOR SEDIMENT ACCUMULATION	\$ 400.00
REMOVAL OF SEDIMENT ACCUMULATION EVERY 2 YEARS AS NEEDED	\$ 2,400.00
INSPECT FOR FLOATABLES AND DEBRIS ANNUALLY AND AFTER MAJOR STORMS	\$ 400.00
REMOVAL OF FLOATABLES AND DEBRIS ANNUALLY AND AFTER MAJOR STORMS	\$ 900.00
INSPECT SYSTEM FOR EROSION ANNUALLY AND AFTER MAJOR STORMS	\$ 400.00
RE-ESTABLISH PERMANENT VEGETATION ON ERODED SLOPES AS NEEDED	\$ 1,800.00
REPLACEMENT OF STONE	\$ 1,600.00
MOWING 0-2 TIMES PER YEAR	\$ 900.00
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS BUILT PLANS EVERY 2 YEARS	\$ 600.00
MAKE STRUCTURAL ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY INSPECTION AS NEEDED	\$ 1,800.00
HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS	\$ 900.00
<b>TOTAL ANNUAL BUDGET \$ 12,100.00</b>	

Page 4 of 4

## PERMANENT MAINTENANCE TASKS AND SCHEDULE

TASKS	CATCH BASIN INLET CASTINGS	DITCHES AND SWALES	OUTFLOW CONTROL STRUCTURE	RIP-RAP	STORM DETENTION AREAS	WETLANDS	EMERGENCY OVERFLOW	SCHEDULE	
								ANNUALLY	EVERY 2 YEARS AS NEEDED
INSPECT FOR SEDIMENT ACCUMULATION	X	X							
REMOVAL OF SEDIMENT ACCUMULATION	X	X							
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X						
CLEANING OF FLOATABLES AND DEBRIS	X	X	X						
INSPECTION FOR EROSION	X	X	X						
RE-ESTABLISH PERMANENT VEGETATION ON ERODED SLOPES									AS NEEDED
REPLACEMENT OF STONE									EVERY 3-5 YEARS AS NEEDED
CLEAN STREETS									SEMI-ANNUALLY
MOWING									0 TO 2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS									ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION									AS NEEDED
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO CONDOMINIUM ASSOCIATION									ANNUALLY
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO CONDOMINIUM ASSOCIATION									ANNUALLY

Page 3 of 4

## STORMWATER NARRATIVE



July 24, 2025

Peter Stephens  
 City of Ann Arbor  
 301 E. Huron St.  
 Ann Arbor, Michigan 48104

Reference: **Stormwater Narrative**  
 St. Paul Lutheran School  
 AEW Project No. 1688-0001

Dear Mr. Stephens:

St. Paul Lutheran School is an existing development with a detention pond that outlets on grade near the southeast corner of the site, ultimately discharging overland to the Earhart Road ROW. The proposed improvements for the site include removal and reconstruction of the existing parking lot, parking lot addition, ring road construction, stormwater sewer collection system, and detention pond expansion.

The expanded detention pond is sized to accommodate the total area tributary to the pond (9.86 ac), including area by direct runoff, or through the stormwater collection system.

In addition to detention, infiltration testing was conducted in the existing detention pond, and the resulted in an infiltration rate of 0.5 in/hr. The calculations presented on the plans and described herein include release rates for the both infiltration into the soil, and release through the outlet control structure. All calculations were completed in accordance with the Washtenaw County Water Resources Commissioner Rules and Guidelines for Stormwater Management.

The first flush calculations resulted in a required detention of 17,501 cf. It is proposed to restrict this volume using one 2-inch orifice hole, resulting in a release time of 29.20 hours, meeting the standard of releasing this volume over a span of time no less than 24 hours.

St. Paul 51301 Schoenherr Road, Shelby Township, MI 48315  
 Engineering Strong Communities  
 Page 2

The bankfull calculations resulted in a required detention of 29,436 cf. It is proposed to restrict this volume using the same 2-inch orifice hole, resulting in a release time of 43.11 hours, meeting the standard of releasing this volume at a time between 36 and 48 hours.

The 100-year calculations resulted in a required detention of 90,809 cf. It is proposed to restrict this volume using the 2-inch orifice hole and three 2.5-inch orifice holes, resulting in a release time of 23.48 hours at a rate of 1.07 cfs, meeting the standard of releasing this volume at a time between not greater than 72 hours and at a rate not greater than 1.48 cfs.

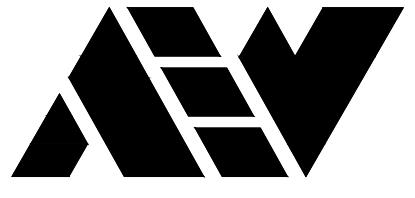
Sincerely,  
  
 Sydney A. Kanan, PE  
 Project Manager

## PERMANENT MAINTENANCE TASKS AND SCHEDULE

TASKS	CATCH BASIN INLET CASTINGS	DITCHES AND SWALES	OUTFLOW CONTROL STRUCTURE	RIP-RAP	STORM DETENTION AREAS	WETLANDS	EMERGENCY OVERFLOW	SCHEDULE	
								ANNUALLY	EVERY 2 YEARS AS NEEDED
INSPECT FOR SEDIMENT ACCUMULATION	X	X							
REMOVAL OF SEDIMENT ACCUMULATION	X	X							
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X						
CLEANING OF FLOATABLES AND DEBRIS	X	X	X						
INSPECTION FOR EROSION	X	X	X						
RE-ESTABLISH PERMANENT VEGETATION ON ERODED SLOPES									AS NEEDED
REPLACEMENT OF STONE									EVERY 3-5 YEARS AS NEEDED
CLEAN STREETS									SEMI-ANNUALLY
MOWING									0 TO 2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS									ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION									AS NEEDED
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO CONDOMINIUM ASSOCIATION									ANNUALLY
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO CONDOMINIUM ASSOCIATION									



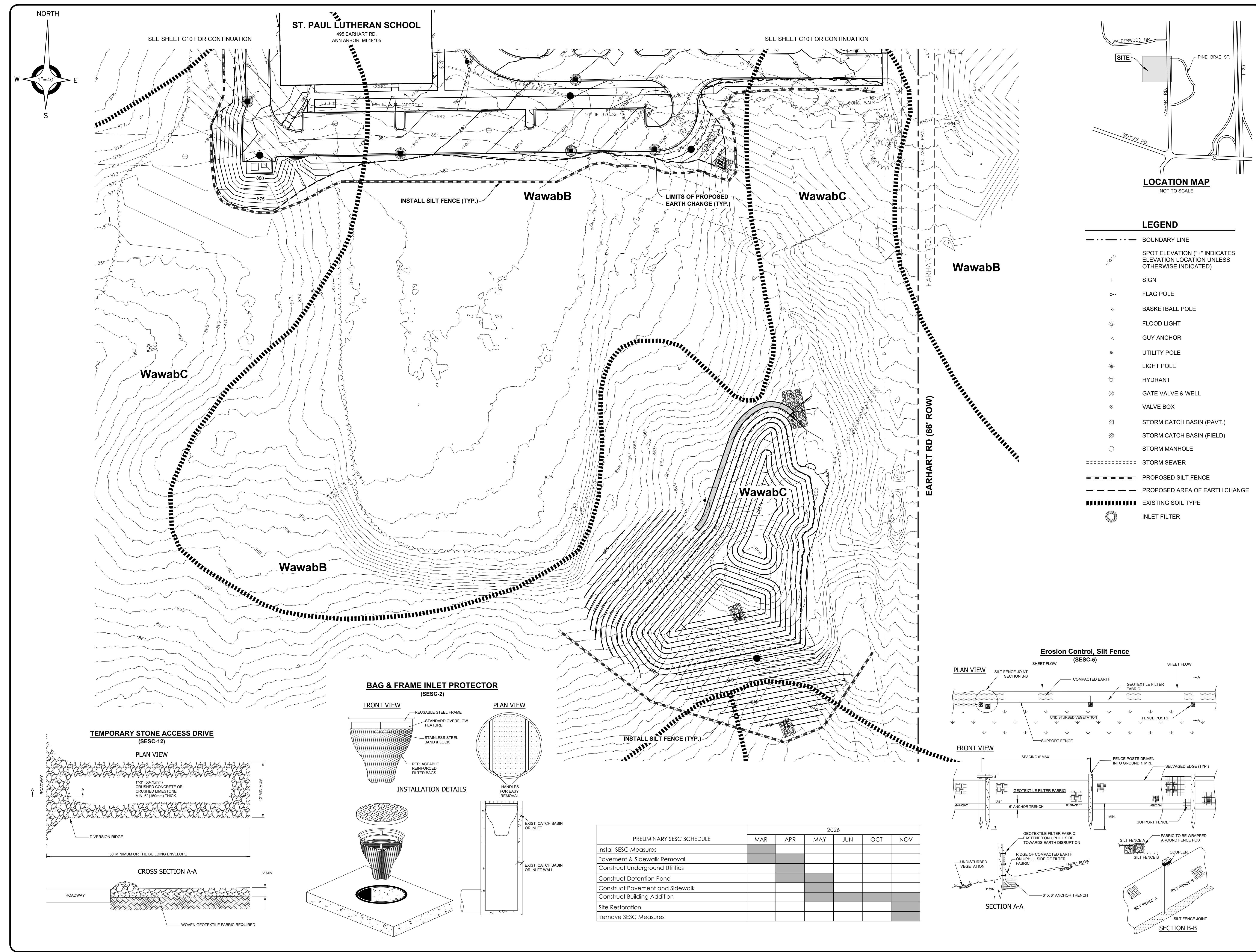




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ENGINEERING STRONG COMMUNITIES

Page 1 of 1

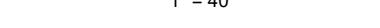


# ST. PAUL LUTHERAN SCHOOL SITE IMPROVEMENTS

SHEET TITLE:

# SOIL EROSION AND SEDIMENTATION CONTROL PLAN

**CLIENT:**  
**ST. PAUL LUTHERAN CHURCH**

PRELIMINARY		<input type="checkbox"/>	CONSTRUCTION	<input type="checkbox"/>	RECORD
DRAWN BY:		CHECKED BY:		DATE:	
MJS		SAK		AUGUST 25, 2023	
SCALE:					
1" = 40'					
0	20	40	80		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1688-0001

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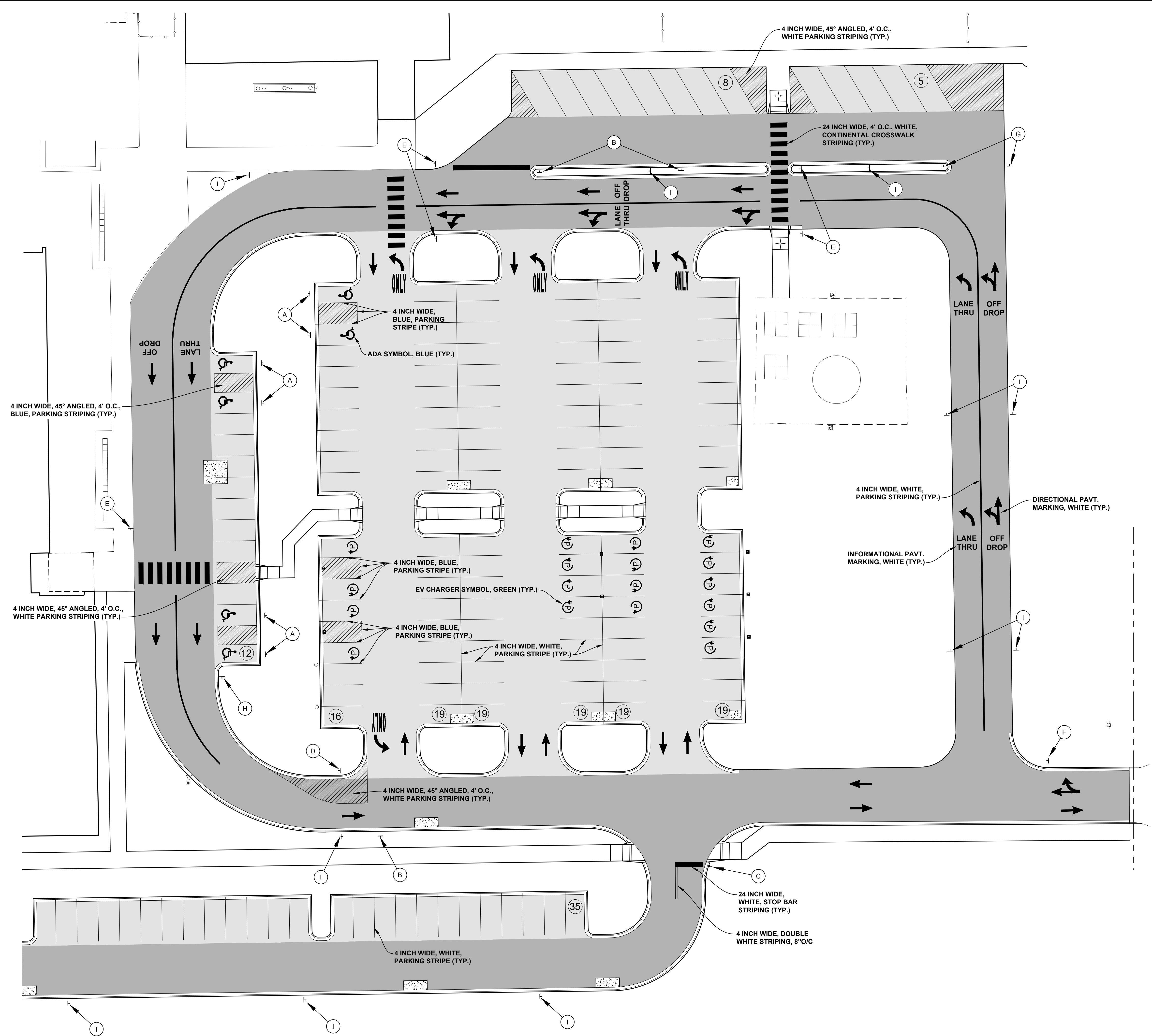
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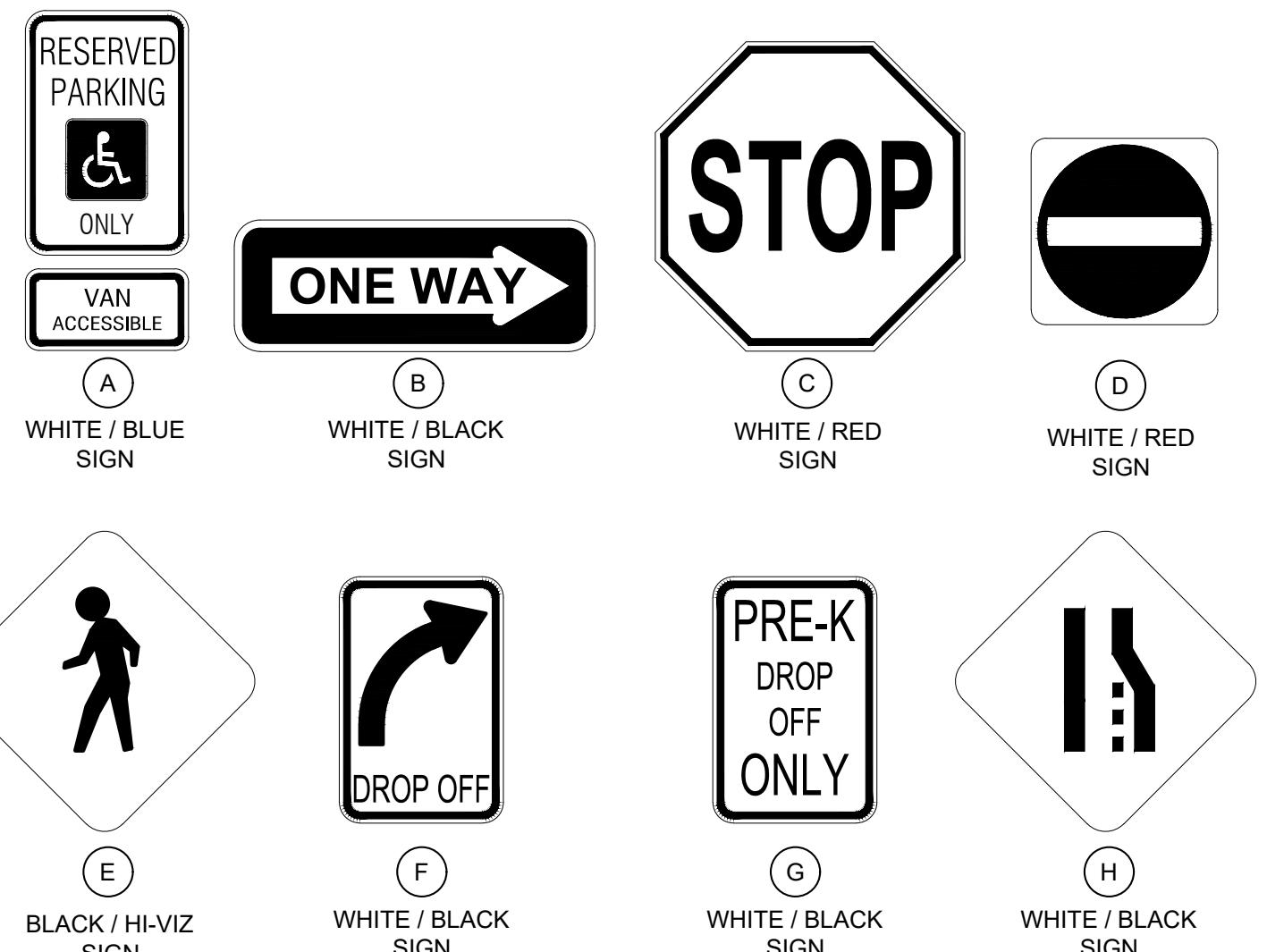
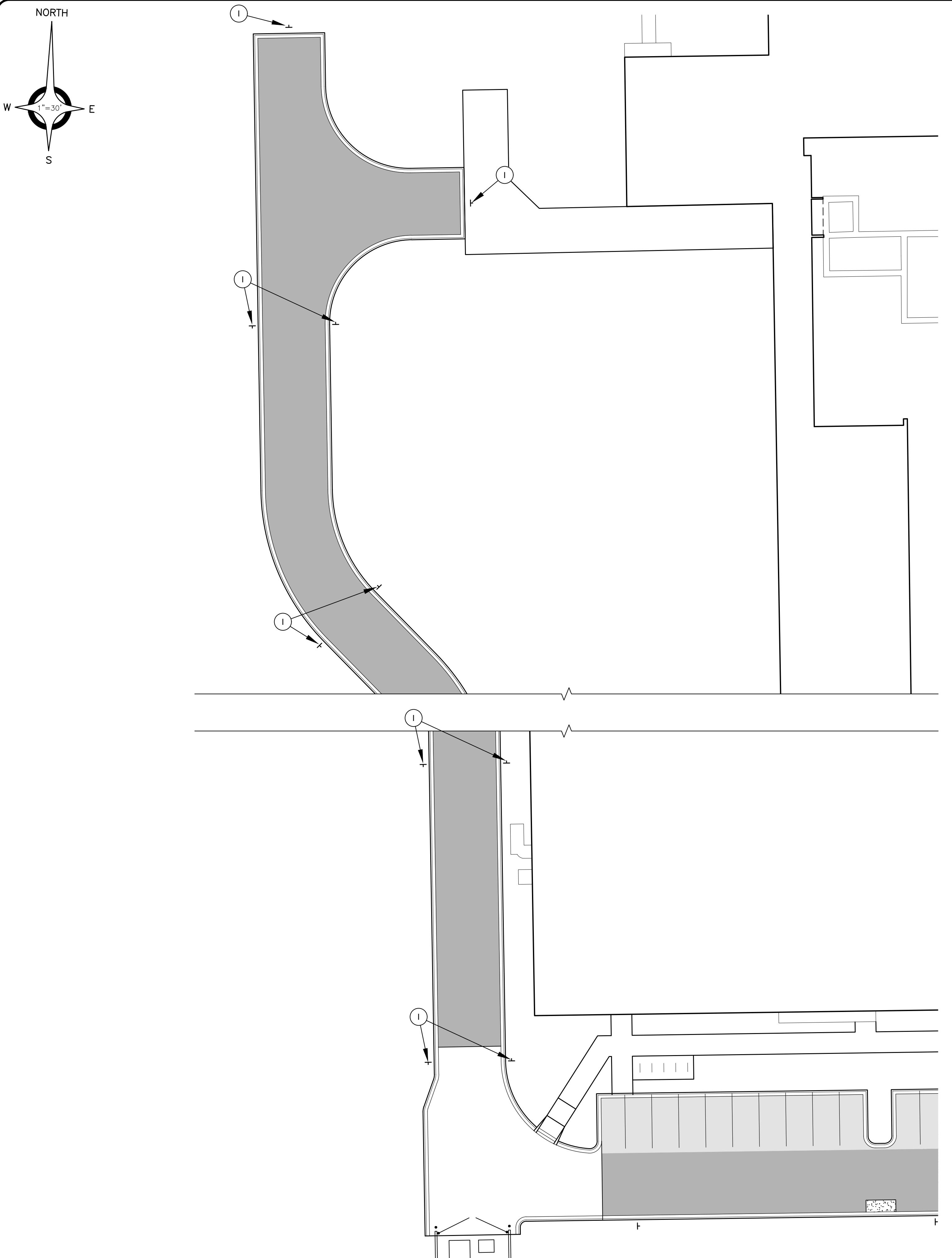
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511

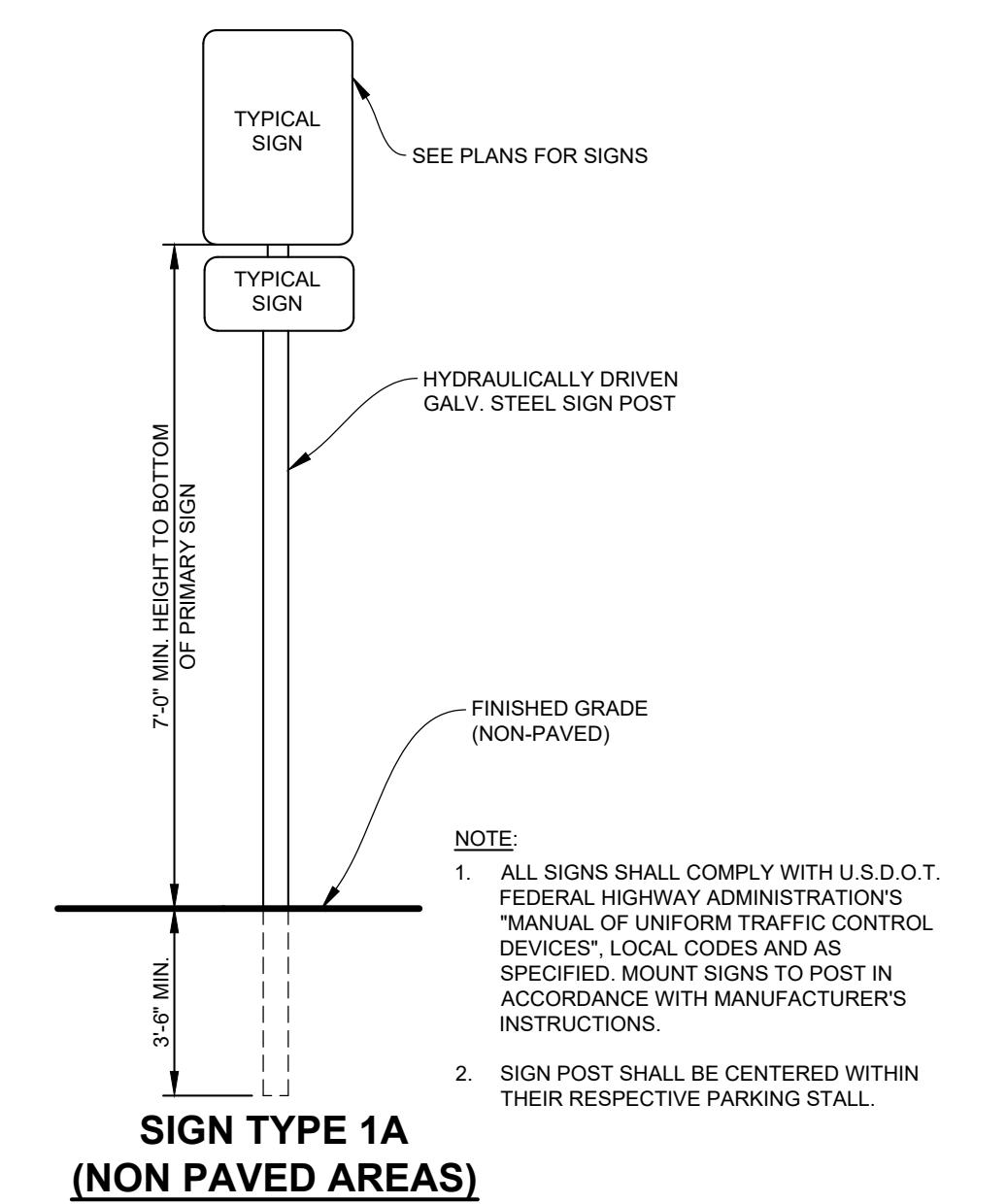
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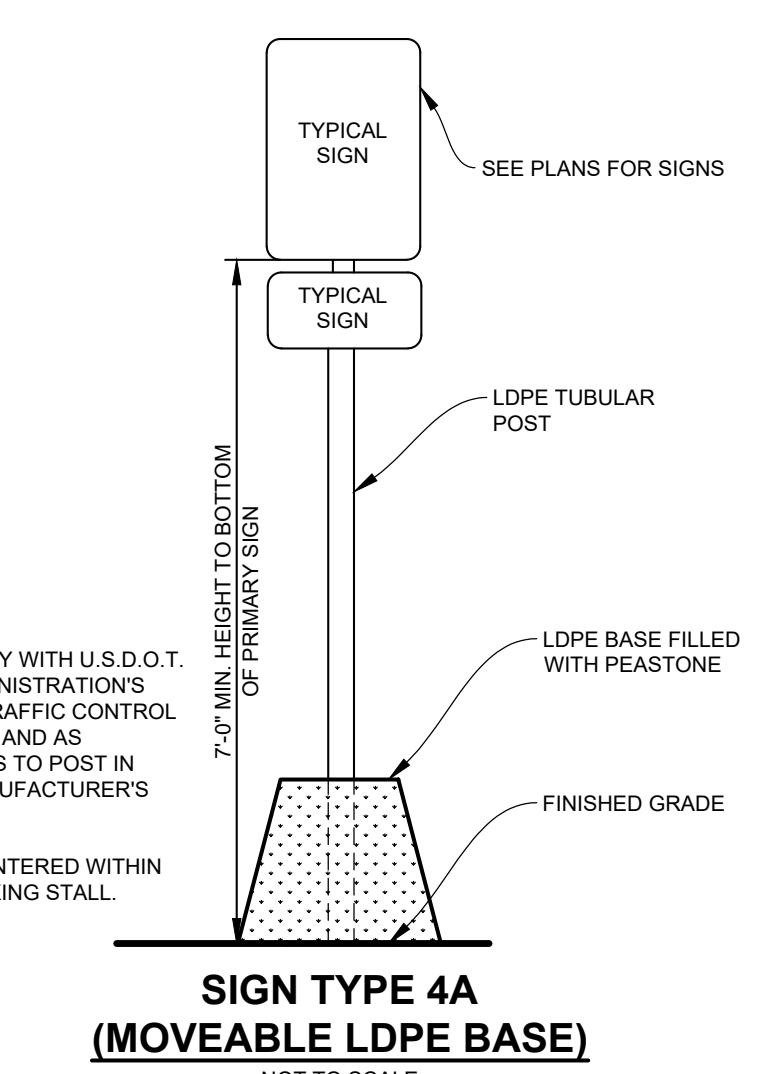


NOTE:  
ALL VEHICULAR SIGNS SHALL  
BE RETROREFLECTIVE



**SIGN TYPE 1A  
(NON PAVED AREAS)**

NOT TO SCALE



**SIGN TYPE 4A  
(MOVEABLE LDPE BASE)**

NOT TO SCALE

NOTE:  
1. ALL SIGNS SHALL COMPLY WITH U.S.D.O.T.  
FEDERAL HIGHWAY ADMINISTRATION'S  
"MANUAL OF UNIFORM TRAFFIC CONTROL  
DEVICES" AND LOCAL CODES AND AS  
SPECIFIED. MOUNT SIGNS TO POST IN  
ACCORDANCE WITH MANUFACTURER'S  
INSTRUCTIONS.  
2. SIGN POST SHALL BE CENTERED WITHIN  
THEIR RESPECTIVE PARKING STALL.

**SIGN SUMMARY (THIS SHEET)**

KEY	DESCRIPTION	QUANT.
(A)	ADA PARKING AND VAN ACCESSIBLE SIGN - TYPE 1A - SINGLE SIDED	0
(B)	ONE WAY SIGN - TYPE 1A - SINGLE SIDED	0
(C)	STOP SIGN - TYPE 1A - SINGLE SIDED	0
(D)	DO NOT ENTER / WRONG WAY SIGN - TYPE 1A - SINGLE SIDED	0
(E)	PEDESTRIAN CROSSING SIGN - TYPE 1A - SINGLE SIDED	0
(F)	PEDESTRIAN CROSSING SIGN - TYPE 4A - SINGLE SIDED	0
(G)	DROP OFF SIGN - TYPE 1A - SINGLE SIDED	0
(H)	PRE-K DROP OFF ONLY SIGN - TYPE 1A - SINGLE SIDED	0
(I)	MERGE RIGHT SIGN - TYPE 1A - SINGLE SIDED	0
(J)	NO PARKING FIRE LANE SIGN - TYPE 1A - SINGLE SIDED	10

NOTICE: APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY. AS  
DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE  
MANUFACTURER, CONTRACTOR, OR OTHER. NO WARRANTY IS GIVEN OR  
IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.  
PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF  
EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN  
CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED  
IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.  
DURING THE CONSTRUCTION, THE CONTRACTOR SHALL  
PROTECT AND SUPPORT ALL UTILITIES AND  
ENCOUNTERED. FALSE COSTS FOR UTILITY LOCATION  
VERIFICATION, SUPPORT AND PROTECTION SHALL BE  
INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH  
THAT UTILITY.

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE  
EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL  
OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1688-0001

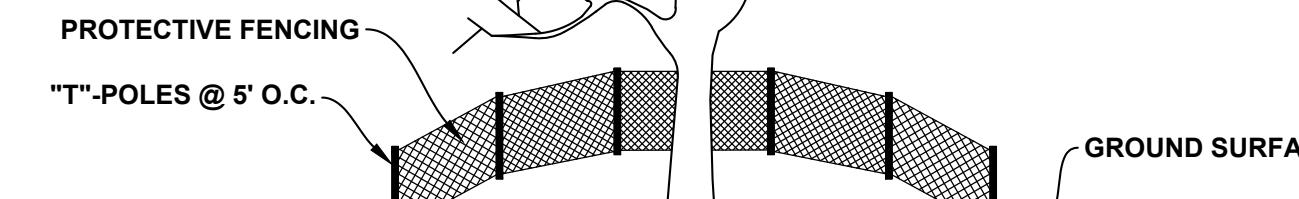
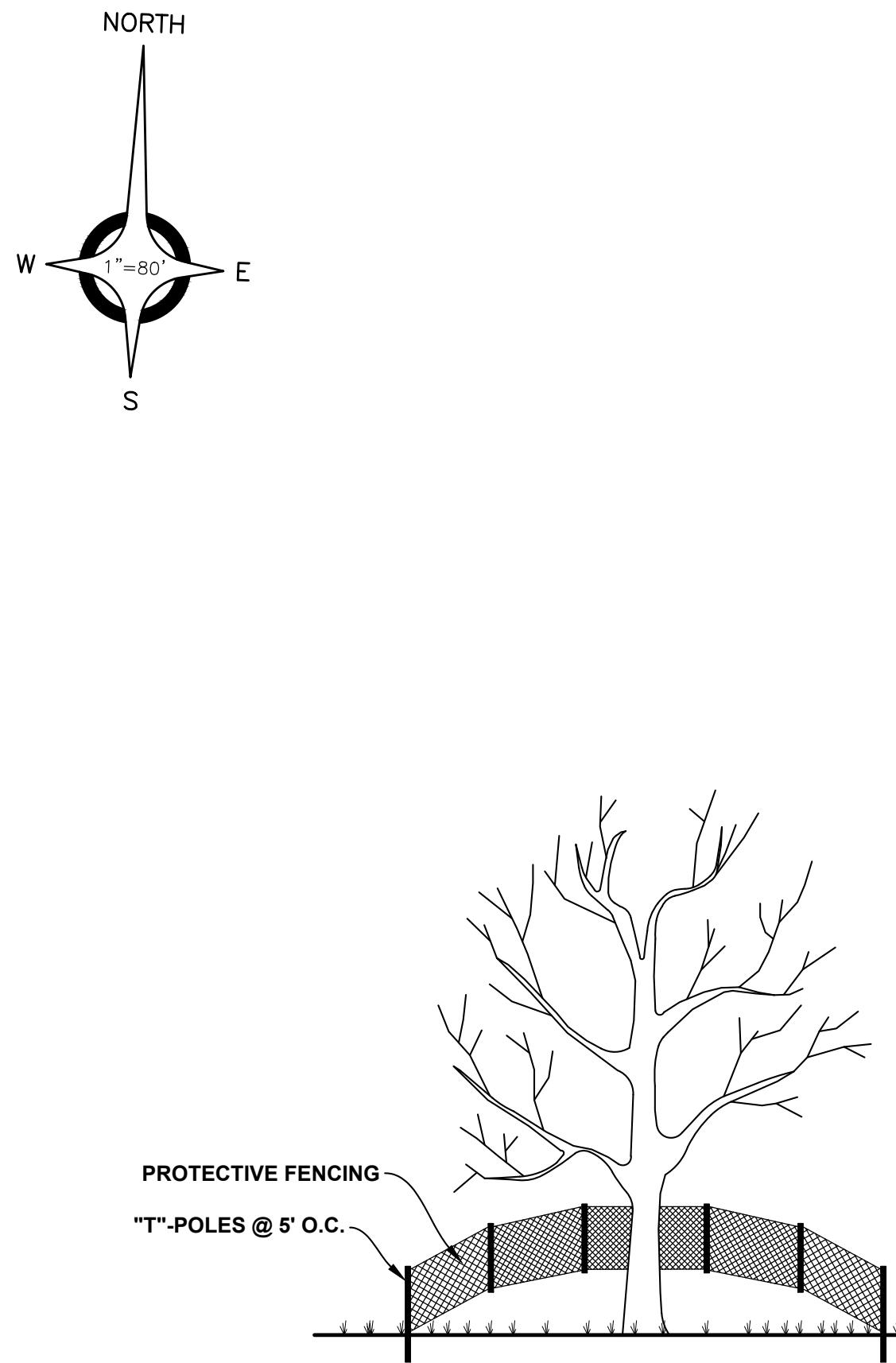
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SHEET NO. 12A

**C12A**






**NOTES:**

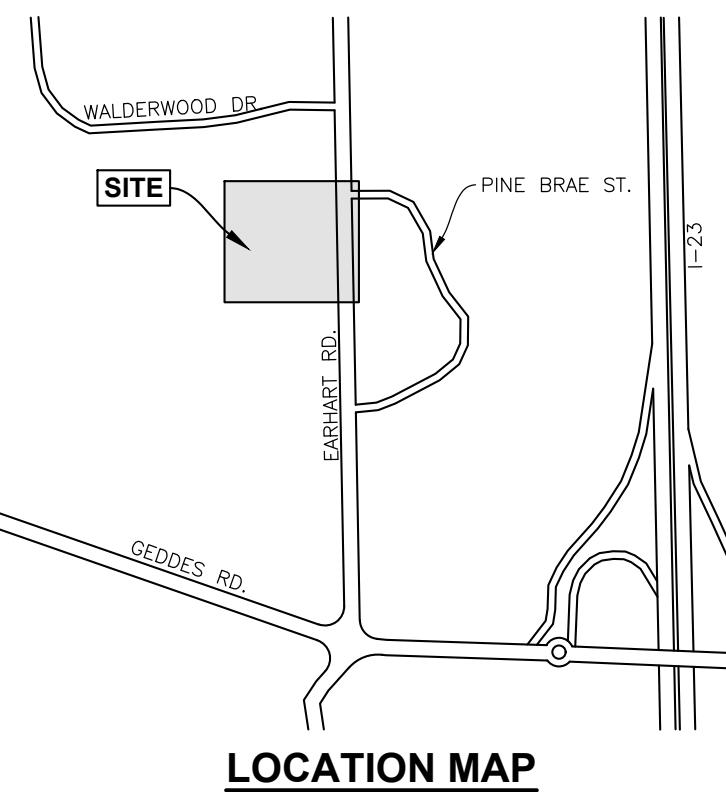
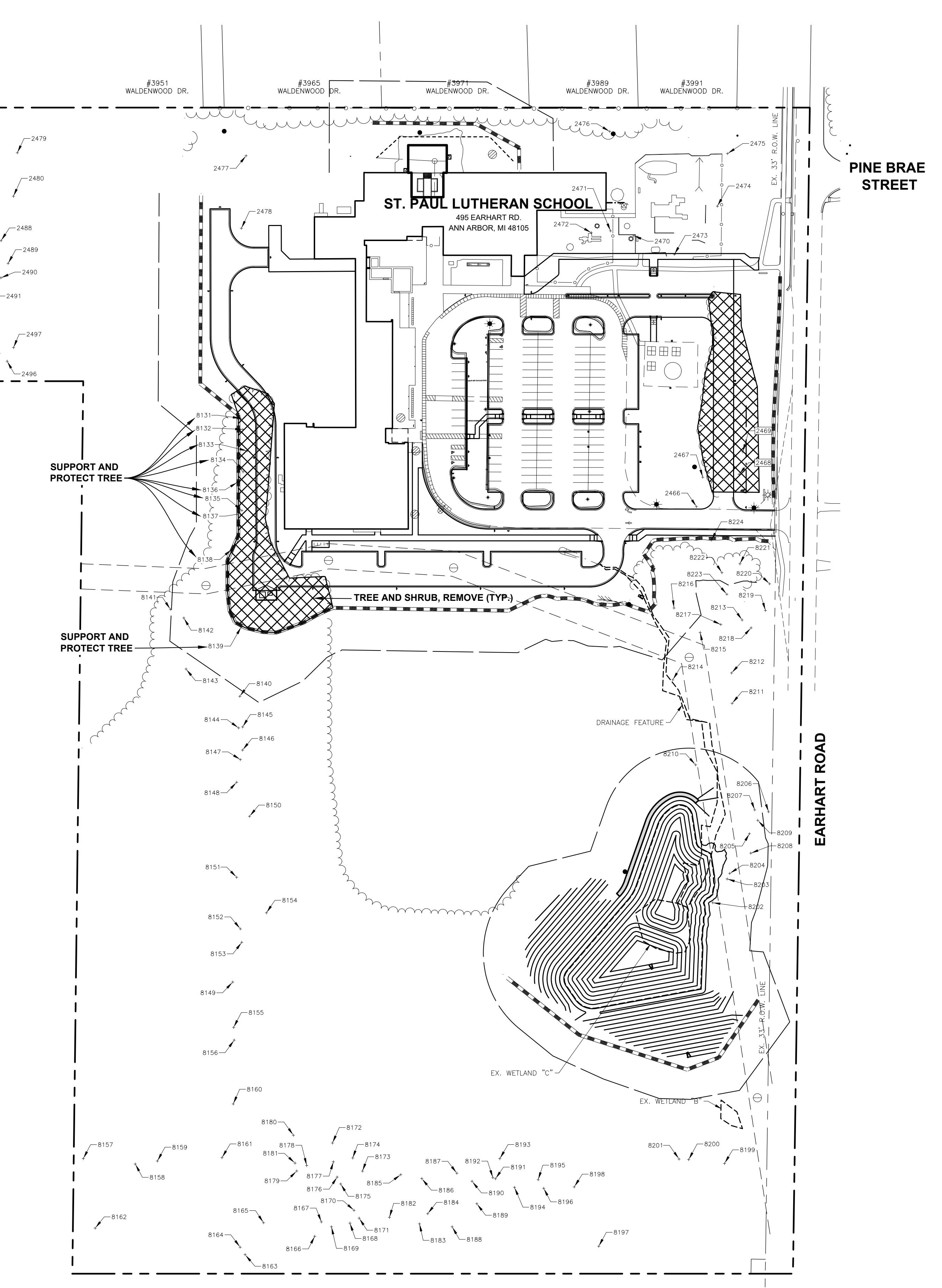
1. EITHER PLASTIC OR WOOD ORANGE SNOW FENCING SHALL BE INSTALLED AT OR BEYOND THE DRIPLINE, UNLESS MORE SUBSTANTIAL FENCING IS REQUIRED.
2. STAKES SHALL BE METAL "T" POLES SPACED NO FURTHER THAN 5' ON CENTER.
3. FENCING SHALL NOT BE INSTALLED CLOSER TO THE TREE THAN THE CRITICAL ROOT ZONE OF THOSE TREES TO BE SAVED. THE CRITICAL ROOT ZONE IS DEFINED AS A CIRCLE WITH 1 FOOT RADIUS FOR EACH 1 INCH DBH. FOR THE TREE. SPECIAL CIRCUMSTANCES SHALL BE REVIEWED BY THE CITY.
4. FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION. THE CITY SHALL BE NOTIFIED ONCE THE FENCING IS INSTALLED FOR INSPECTION.
5. UNDER NO CIRCUMSTANCES SHALL THE PROTECTIVE FENCING BE REMOVED WITHOUT PROPER APPROVAL FROM THE CITY.
6. NO PERSON SHALL CONDUCT ANY ACTIVITY WITHIN THE AREAS PROPOSED TO REMAIN. THIS SHALL INCLUDE, BUT NOT LIMITED TO:
  - A. NO SOLVENTS OR CHEMICALS WITHIN THE PROTECTED AREAS.
  - B. NO BUILDING MATERIALS OR CONSTRUCTION EQUIPMENT WITHIN THE PROTECTED AREAS.
  - C. NO GRADE CHANGES, INCLUDING FILL, WITHIN THE PROTECTED AREAS.
  - D. NO REMOVAL OF VEGETATION FROM THE GROUND UP WITHOUT PERMISSION FROM THE PROPER REVIEWING AUTHORITY, INCLUDING THE WOODLAND REVIEW BOARD.
  - E. ANY REQUIRED SWALE NEEDS TO BE DIRECTED AROUND THE PROTECTED AREAS. IN INSTANCES WHERE SWALES ARE APPROVED THROUGH A PROTECTED AREA, THE SWALES NEED TO BE HAND DUG. MACHINERY OF ANY KIND IS PROHIBITED.
7. REGULATED WETLANDS OR REGULATED TREES ADJACENT TO THE PROPERTY ARE ALSO REQUIRED TO BE PROTECTED WHETHER OR NOT THEY ARE SHOWN ON THE PLAN.
8. THE LOCATION OF TREE PROTECTION FENCES WILL BE INSPECTED AND APPROVED IN THE FIELD BY THE CITY PRIOR TO ANY TREE REMOVAL, GRADING OR LAND BALANCING OCCURRING ON THE SITE.
9. ANY TREE WITHIN 10 FEET OF A SEWER OR STORMWATER PIPE MUST BE DESIGNATED FOR REMOVAL.

**TREE PROTECTION DETAIL**

NOT TO SCALE

**TREE SUMMARY**

TOTAL NUMBER OF TREES SURVEYED	= 229 TREES
TOTAL NUMBER OF LANDMARK TREES	= 159 TREES
TOTAL NUMBER OF LANDMARK TREES BEING REMOVED	= 2 TREES
TOTAL DBH BEING REMOVED	= 32.8 INCHES
REQUIRED REPLACEMENT DBH (50%)	= 16.4 INCHES
REPLACEMENT TREES PROVIDED	= 6 TREES (@ 3 INCH CAL.) = 18 INCHES


 09-09-2025 SITE PLAN SUBMITTAL  
07-26-2025 SITE PLAN SUBMITTAL  
07-09-2024 SITE PLAN SUBMITTAL  
01-05-2024 BIDS & CITY SUBMITTAL  
DATE SUBMITTALS/REVISIONS

PROJECT NAME:

**ST. PAUL LUTHERAN  
SCHOOL SITE  
IMPROVEMENTS**

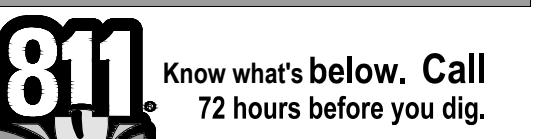
SHEET TITLE:

**TREE SURVEY**

CLIENT:

ST. PAUL LUTHERAN CHURCH

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY:	CHECKED BY:	DATE:
MJS	SAK	OCTOBER 2023
SCALE:		
1" = 80'		


 Know what's below. Call  
72 hours before you dig.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY. AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITIES AND COMMUNITIES, NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

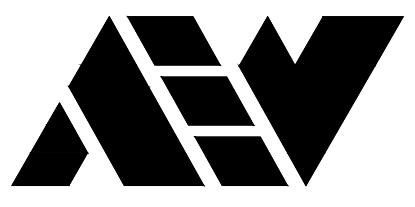
PROJECT NO. 1688-0001

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15 Tree Survey-18\2023\10\23\8 AM

SHEET NO.

1688-0001

C15



ANDERSON, ECKSTEIN AND  
WESTRICK, INC.

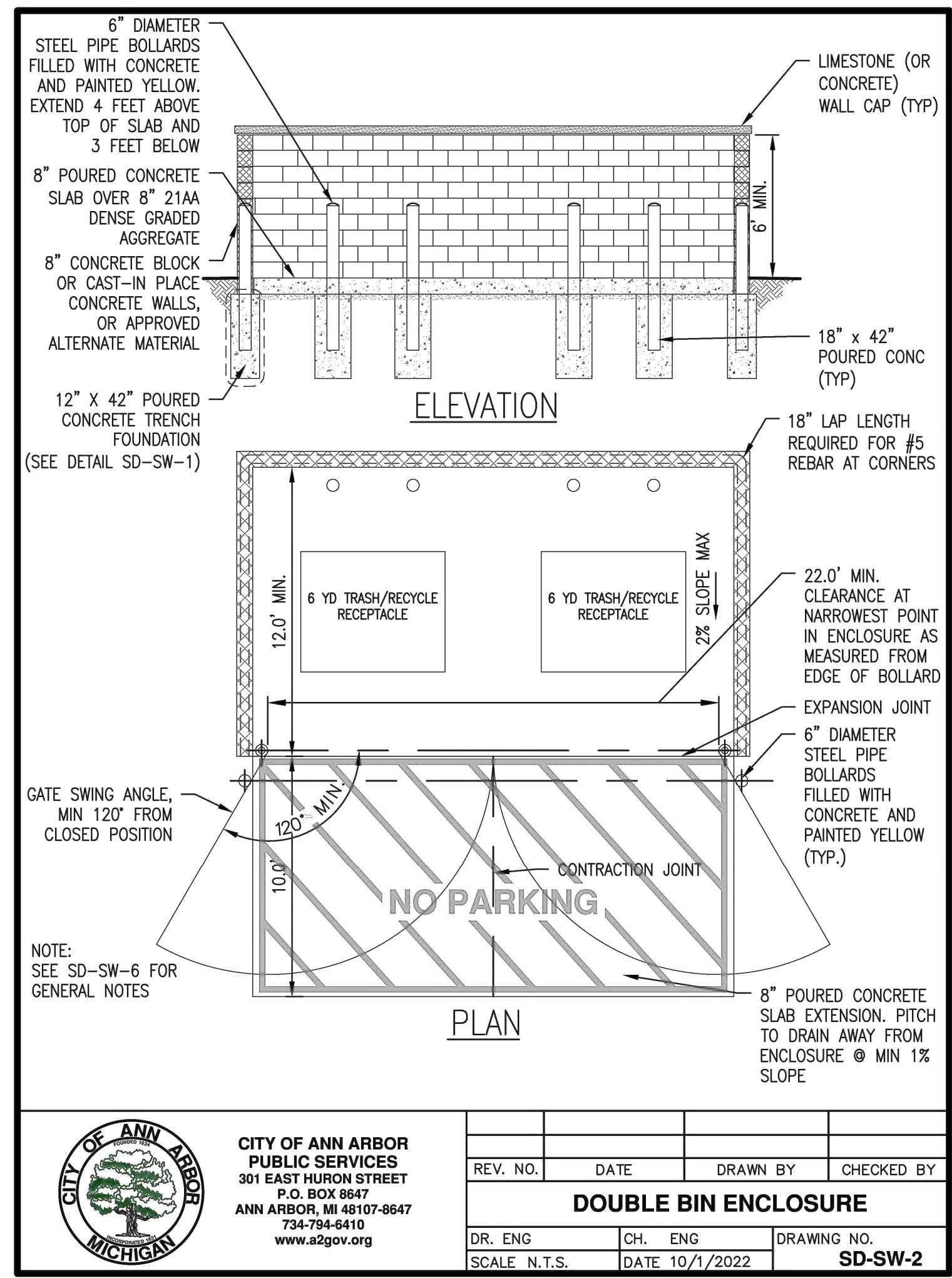
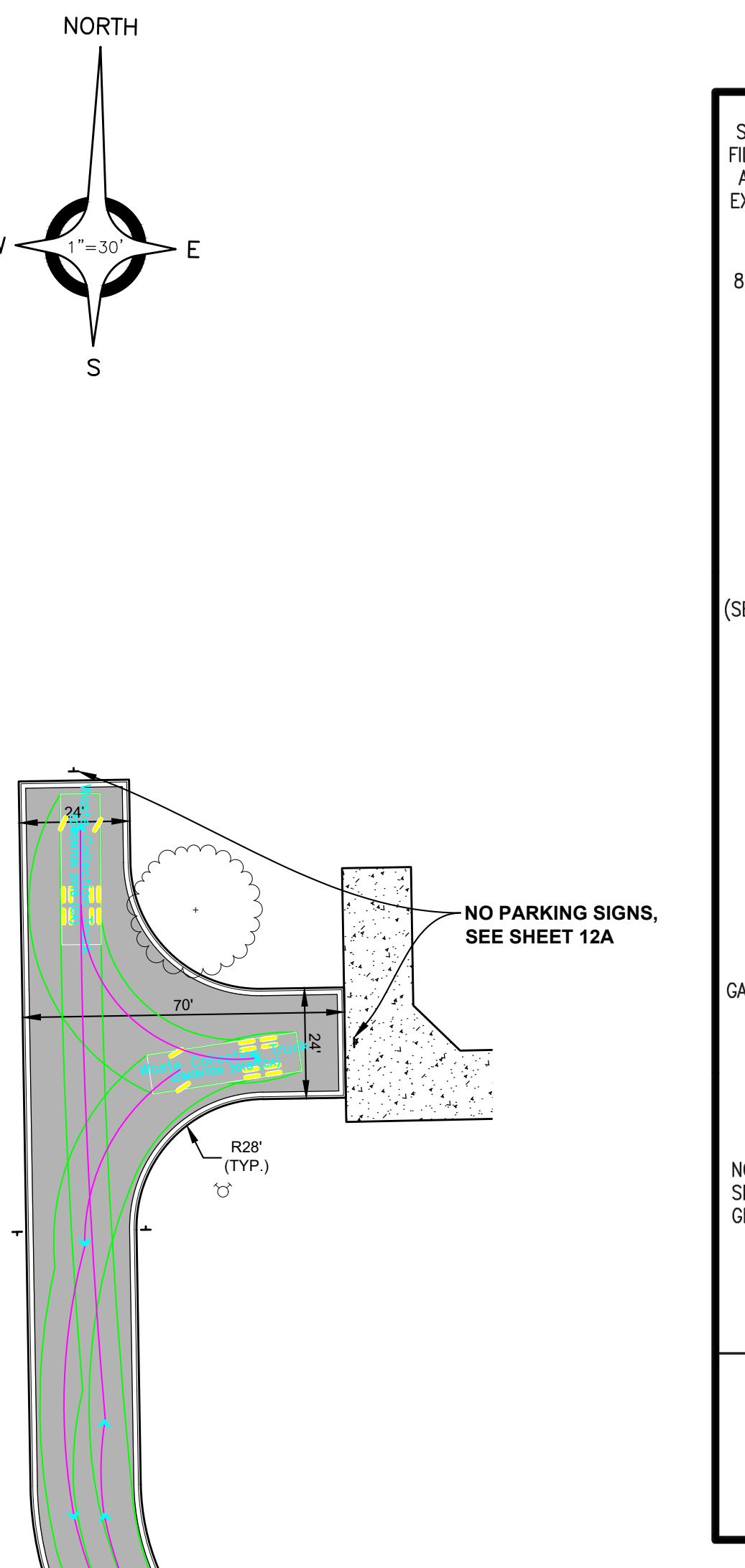
CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234  
Shelby Township Fax 586 726 8780  
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES

Tree Tag #	Common Name	Scientific Name	# DBHs	DBH1 (inches)	DBH2 (inches)	DBH3 (inches)	DBH4 (inches)	Condition	Bat Tree	Woodland	Landmark	Assessment	Justification	Inspect	Notes
984	White Pine	<i>Pinus strobus</i>	1	18.1	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
985	White Pine	<i>Pinus strobus</i>	1	18.6	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
986	White Pine	<i>Pinus strobus</i>	1	22.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
987	White Pine	<i>Pinus strobus</i>	1	26.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	Overgrown with vines.
988	White Pine	<i>Pinus strobus</i>	1	24.2	0.0	0.0	0.0	Fair	No	Yes	L	NULL	NA	NA	Thin canopy.
989	Apple	<i>Malus pumila</i>	1	12.1	0.0	0.0	0.0	Fair	No	Yes	L	NULL	NA	NA	
990	White Pine	<i>Pinus strobus</i>	1	21.3	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
991	White Pine	<i>Pinus strobus</i>	1	18.0	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
992	White Pine	<i>Pinus strobus</i>	1	19.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
993	White Pine	<i>Pinus strobus</i>	1	22.0	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
994	Sugar Maple	<i>Acer saccharum</i>	1	16.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
995	White Pine	<i>Pinus strobus</i>	1	21.7	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
996	Black Walnut	<i>Juglans nigra</i>	1	23.0	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
997	Black Walnut	<i>Juglans nigra</i>	1	19.6	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
998	Bur Oak	<i>Quercus macrocarpa</i>	1	17.6	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
999	White Oak	<i>Quercus alba</i>	1	24.5	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
1000	White Pine	<i>Pinus strobus</i>	2	19.5	18.2	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2466	Pin Oak	<i>Quercus palustris</i>	1	23.5	0.0	0.0	0.0	Good	No	No	L	NULL	NA	Chlorosis.	
2467	Pin Oak	<i>Quercus palustris</i>	1	17.5	0.0	0.0	0.0	Fair	No	No	L	NULL	NA	Chlorosis.	
2468	Sweet Cherry	<i>Prunus avium</i>	1	14.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2469	Black Walnut	<i>Juglans nigra</i>	1	18.3	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2470	Silver Maple	<i>Acer saccharinum</i>	1	17.6	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2471	Silver Maple	<i>Acer saccharinum</i>	1	36.5	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2472	Copper Beech	<i>Fagus sylvatica</i>	2	19.7	10.6	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2473	Red Pine	<i>Pinus resinosa</i>	1	20.9	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2474	Silver Maple	<i>Acer saccharinum</i>	1	44.1	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2475	Norway Maple	<i>Acer platanoides</i>	1	22.1	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2476	Black Walnut	<i>Juglans nigra</i>	1	21.3	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2477	Shagbark Hickory	<i>Carya ovata</i>	1	25.0	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2478	Shagbark Hickory	<i>Carya ovata</i>	1	22.5	0.0	0.0	0.0	Good	No	No	L	NULL	NA	NA	
2479	White Pine	<i>Pinus strobus</i>	1	20.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2480	White Pine	<i>Pinus strobus</i>	1	20.8	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	Chlorosis.	
2481	White Pine	<i>Pinus strobus</i>	1	21.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	Chlorosis.	
2482	White Pine	<i>Pinus strobus</i>	1	18.6	0.0	0.0	0.0	Fair	No	Yes	L	NULL	NA	Chlorosis. Thin canopy.	
2483	White Pine	<i>Pinus strobus</i>	1	19.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2484	White Pine	<i>Pinus strobus</i>	1	18.0	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2485	White Pine	<i>Pinus strobus</i>	1	23.8	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2486	White Pine	<i>Pinus strobus</i>	1	18.1	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2487	White Pine	<i>Pinus strobus</i>	1	21.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2488	White Pine	<i>Pinus strobus</i>	1	20.3	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2489	White Pine	<i>Pinus strobus</i>	1	22.3	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2490	White Pine	<i>Pinus strobus</i>	1	18.8	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2491	White Pine	<i>Pinus strobus</i>	1	24.8	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2492	Box-elder	<i>Acer negundo</i>	3	16.5	10.5	9.7	0.0	Fair	No	Yes	L	NULL	NA	NA	
2493	White Pine	<i>Pinus strobus</i>	1	23.6	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	Overgrown with vines.
2494	White Pine	<i>Pinus strobus</i>	1	20.7	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2495	White Pine	<i>Pinus strobus</i>	1	18.4	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2496	White Pine	<i>Pinus strobus</i>	1	20.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2497	White Pine	<i>Pinus strobus</i>	2	16.8	10.2	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2498	White Pine	<i>Pinus strobus</i>	1	20.7	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2499	White Pine	<i>Pinus strobus</i>	1	18.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
2500	White Pine	<i>Pinus strobus</i>	1	18.6	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5989	White Pine	<i>Pinus strobus</i>	1	18.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5990	White Pine	<i>Pinus strobus</i>	1	18.0	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5991	White Pine	<i>Pinus strobus</i>	1	19.7	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5992	White Pine	<i>Pinus strobus</i>	1	20.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5993	White Pine	<i>Pinus strobus</i>	1	20.5	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5994	White Pine	<i>Pinus strobus</i>	1	23.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5995	Red Cedar	<i>Juniperus virginiana</i>	1	11.0	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5996	Red Pine	<i>Pinus resinosa</i>	1	9.2	0.0	0.0	0.0	Good	No	Yes	L	NULL	NA	NA	
5997	Red Pine</td														



- Maintain a clear space directly in front of the solid waste enclosure. The clear space shall be a minimum of fifty (50) feet long by the width of the inside dimension (I.D.) of the enclosure walls plus four (4) feet on each side. A minimum vertical clearance of at least twenty-five (25) feet must be provided above this area.
- Ingress and egress routes must be developed based on solid waste swept path requirements per SD-SW-4. A minimum horizontal clearance of four (4) feet from the edge of the swept path and a minimum vertical clearance of at least fifteen (15) feet must be provided along the entire solid waste collection route.
- Provide ten (10) feet minimum horizontal clearance from solid waste enclosure to major electrical equipment, above ground utility services, and edge of overhead obstructions such as tree branches, balconies, and overhangs.
- If forward access to the public street is not available for the solid waste vehicle, the site development layout must accommodate a turn-around location meeting requirements within solid waste reference specific turn-around detail (SD-SW-5) and acceptable to the PSAA.
- For sites that cannot accommodate a turn-around, the following additional requirements must be met:
  - Solid waste vehicles must be able to service dumpsters without impeding the public street or sidewalk.
  - The collection location shall be clearly delineated and not have a slope greater than 2% in any direction.
  - Bollards or adequate clear space must be provided behind the lift point so the dumpsters are not pushed into any building or access route.
  - All swept-path clearance and vertical clearance requirements previously identified shall be provided.
  - Solid waste vehicle back-up distances must be less than 30' along servicing route.
  - Gates on bin enclosures shall open a minimum of 120 degrees from the closed position. The gates shall not impede on the required bin enclosure opening width, shall not block adjacent parking spots, and not be impeded by adjacent curbs or landscaping.
  - Gates shall be designed to be free standing without center pole design. If center pole design is necessary, 12 inches shall be added to the minimum interior width of the enclosure.
  - Gate design shall include a reliable means to secure the door in both the open and closed positions.


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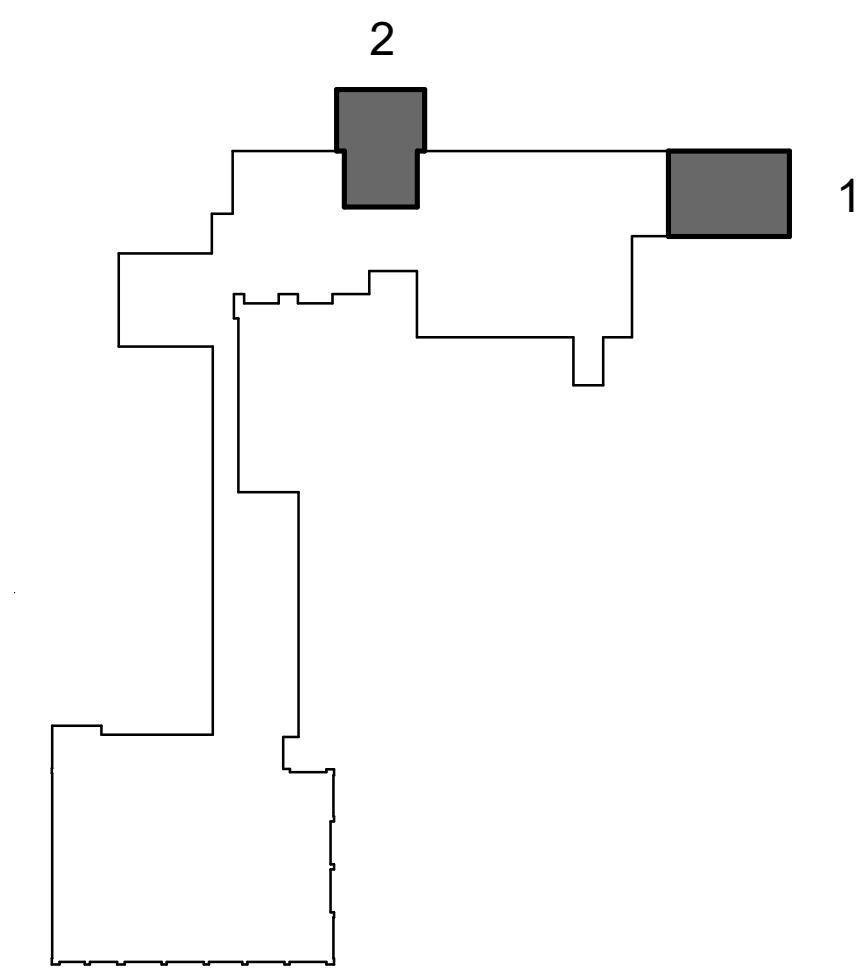
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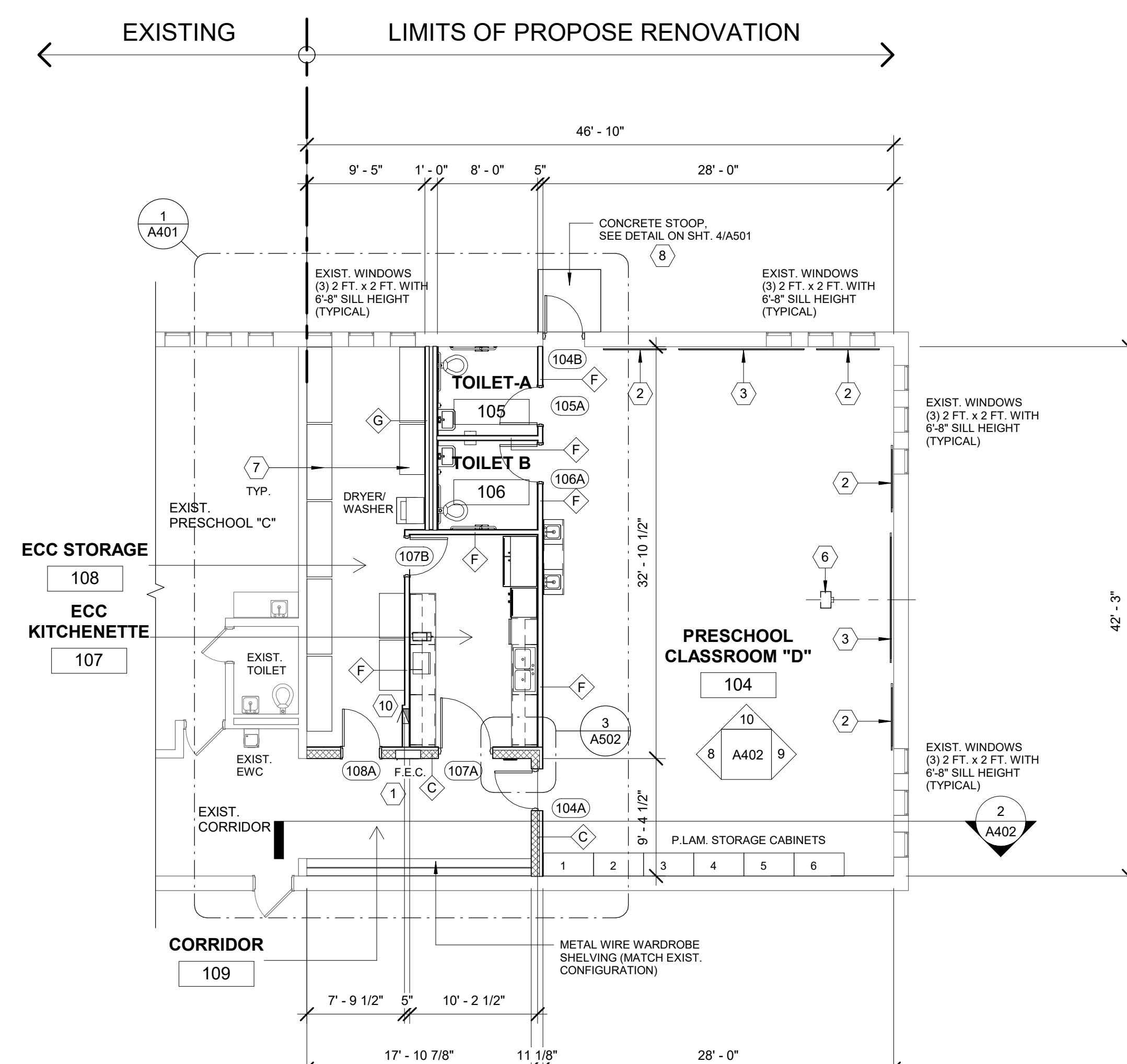
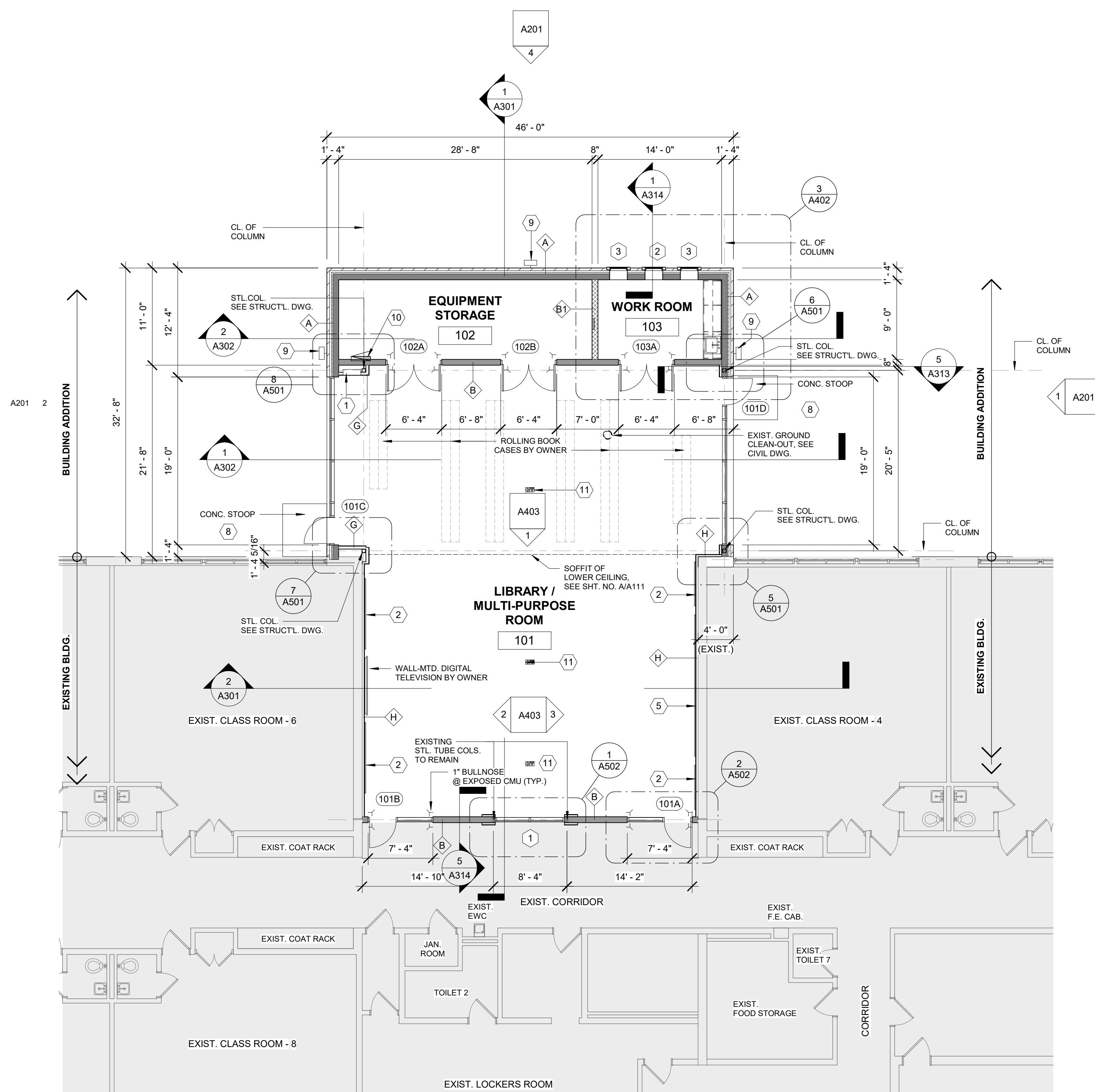
KEY PLAN  
NTS

### PARTITION TYPES :

- A** 4" BRICK VENEER OVER AIR GAP OVER 2" RIGID INSULATION, WITH AIR BARRIER ON 8" CMU
- B** 8" GROUND FACE CMU (BOTH SIDES)
- B1** 8" CMU EXTEND TO STL. JOIST + GYP. BOARD BOTH SIDES W/ 3 5/8" METAL STUD @ 16" O.C. TIGHT TO DECK
- C** 8" CMU WITH 2 1/2" METAL STUDS @ 16" O.C. + GYP. BOARD ON ONE SIDE IN STL. JOIST FACE - EXTEND TO STL. JOIST ABOVE (PAINT)
- F** 3 5/8" 18 GA. METAL STUDS @ 16" O.C. TIGHT TO DECK AND STRUCTURE ABOVE WITH BATT INSULATION AND 5/8" GWB BOTH SIDES PAINTED
- G** 3 5/8" 18 GA. METAL STUDS @ 16" O.C. TIGHT TO DECK AND STRUCTURE ABOVE WITH BATT INSULATION AND 5/8" GWB ON ONE SIDE (PAINTED)
- H** 2 1/2" 18 GA. METAL STUDS @ 16" O.C. TO 4" ABOVE THE CEILING WITH BATT INSULATION AND 5/8" GWB ON ONE SIDE (PAINT)

### FLOOR PLAN KEY NOTES

- 1** FIRE EXTINGUISHER AND CABINET, CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
- 2** 5 FT. (W) x 4 FT. (H) BULLETIN BOARD, OWNER PROVIDED, CONTRACTOR INSTALLED
- 3** 10 FT. (W) x 4 FT. (H) DRY MARKER BOARD, OWNER PROVIDED, CONTRACTOR INSTALLED
- 4** 8 FT. (W) x 4 FT. (H) DRY MARKER BOARD, OWNER PROVIDED, CONTRACTOR INSTALLED
- 5** 16 FT. (W) x 4 FT. (H) DRY MARKER BOARD, OWNER PROVIDED, CONTRACTOR INSTALLED
- 6** PROJECTOR ON SUSPENDED CARRIER, OWNER PROVIDED, OWNER INSTALLED
- 7** METAL WIRE STORAGE SHELVING (7'-0" HIGH), CONTRACTOR PROVIDED, CONTRACTOR INSTALLED
- 8** CONCRETE STOOP, SEE TYPICAL DETAIL ON SHT. 4/A501
- 9** EXTERIOR LED LIGHT, SEE ELECTRICAL DWG.
- 10** ELECTRICAL PANEL BOX, SEE ELECTRICAL DWG.
- 11** ELECTRICAL FLOOR OUTLET & DATA, SEE ELECTRICAL DWG.
- X** WINDOW TYPE, SEE WINDOW SCHEDULE; SHEET A601

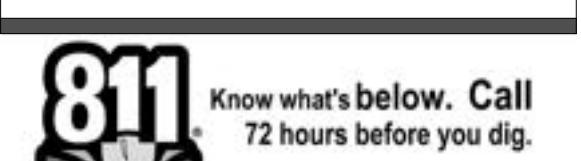


01-05-2024  
09-15-2023  
02-28-2023  
02-10-2023  
DATE SUBMITTALS/REVISIONS

PROJECT NAME: ST. PAUL LUTHERAN SCHOOL ADDITION / RENOVATION  
SHEET TITLE:

**FLOOR PLANS (LIBRARY / MULTI-PURPOSE RM & PRESCHOOL RM)**

CLIENT: ST. PAUL LUTHERAN SCHOOL  
DRAWN BY: AGP  
CHECKED BY: JR/MJM  
DATE: 12/07/22  
SCALE: AS NOTED



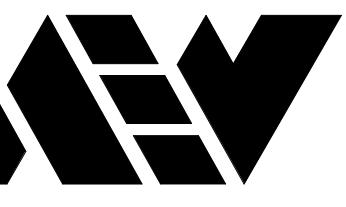
UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES. THIS INFORMATION WAS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES AND NEW UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION, VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1688-0001  
M11688-1688-0001DwgArchDD/ST PAUL SCHOOL-AGP.rvt  
1/4/2024 11:43:46 AM  
SHEET NO.

A102



ANDERSON, ECKSTEIN AND  
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234  
Shelby Township Fax 586 726 8780  
Michigan 48315  
www.aewinc.com

ENGINEERING STRONG COMMUNITIES

01-05-2024  
09-15-2023  
02-28-2023  
02-10-2023  
DATE  
SUBMITTALS/REVISIONS

BIDS & STATE SUBMITTAL  
OWNER REVIEW  
DESIGN DEVELOPMENT  
OWNER REVIEW

PROJECT NAME:

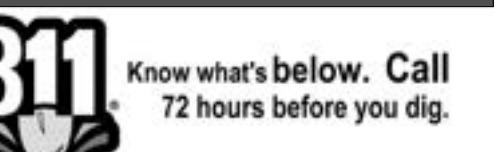
## ST. PAUL LUTHERAN SCHOOL ADDITION / RENOVATION

SHEET TITLE:

### EXTERIOR ELEVATIONS

CLIENT:  
ST. PAUL LUTHERAN SCHOOL

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY:	CHECKED BY:	DATE:
AGP	JRA/MJM	12/10/22
SCALE:	AS NOTED	



Know what's below. Call  
72 hours before you dig.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES. THIS INFORMATION WAS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES AND NEW UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION, VERIFICATION, REPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

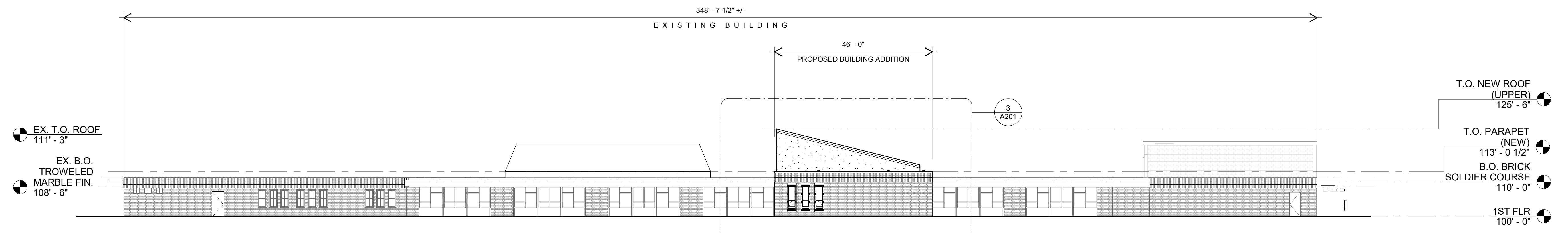
DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1688-0001  
M1688-1688-0010degArchDD/ST PAUL SCHOOL-AGP.rvt  
1/4/2024 12:52:42 PM

SHEET NO.

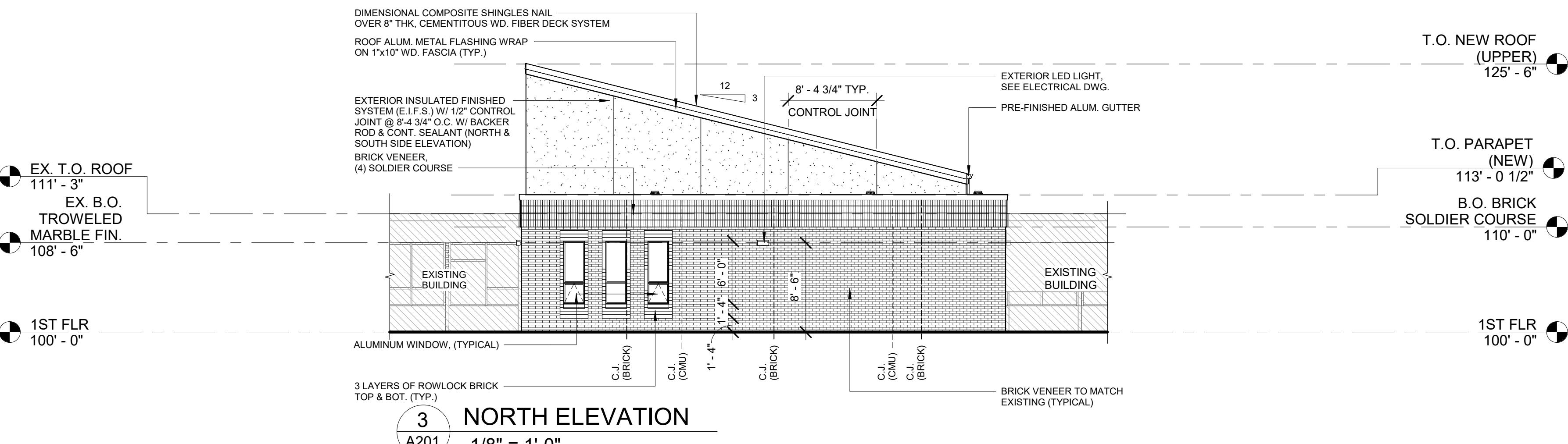
A201

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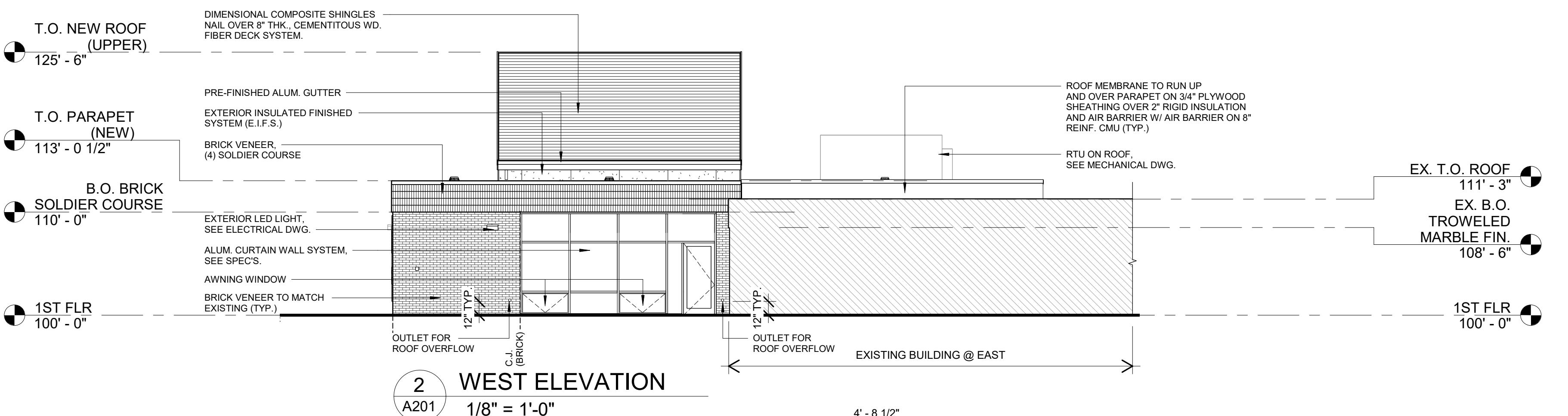
4 COMPOSITE NORTH ELEVATION

1/16" = 1'-0"



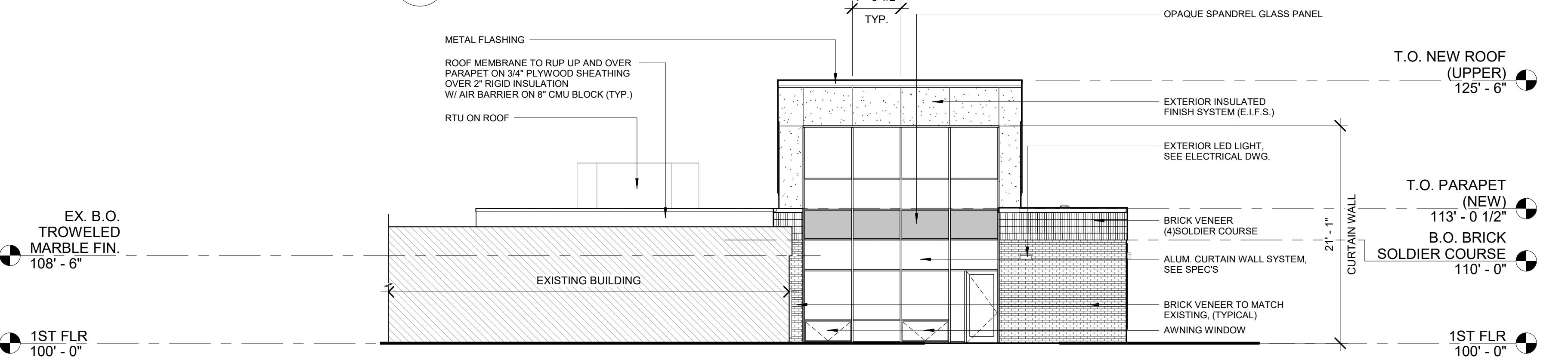
3 NORTH ELEVATION

1/8" = 1'-0"



2 WEST ELEVATION

1/8" = 1'-0"



1 EAST ELEVATION

1/8" = 1'-0"