

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of February 5, 2019

**SUBJECT: Bristol Ridge Townhomes Site Plan for City Council Approval
File No. SP18-034**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the Bristol Ridge Townhomes Site Plan and Development Agreement conditioned upon combining the lots and ZBA approval.

STAFF RECOMMENDATION

Staff recommends that the site plan be **approved** because it would comply with all local, state and federal laws and regulations; the development would limit the disturbance of natural features to the minimum necessary to allow a reasonable use of the land; and the development would not cause a public or private nuisance and would not have a detrimental effect on public health, safety or welfare.

LOCATION

The site is located on the east side of Pontiac Trail, south of Dhu Varren Road (Northeast Area). This site is located in the Traver Creek watershed. Ward 1.

DESCRIPTION OF PETITION

The petitioner seeks to demolish the existing structures on site and combine the three lots totaling approximately 7 acres and construct 69 three-story townhouse units in 11 buildings. The estimated cost of construction is \$8,400,000 and be constructed in one phase.

Two existing curb cuts to the site are proposed to be closed with access to the development off a single curb cut off Pontiac Trail. This single drive loops through the site leading to 25 surface parking spaces and 69 below structure single bay garages. The requirement for the R4A, Multiple-Family, zoning is 2 parking spaces per unit. A variance from the Zoning Board of Appeals would be required as this proposal is 44 spaces short of ordinance requirements. Bicycle parking is proposed in the garage of each unit.

The proposed development provides for 100-year storm water detention as the total amount of impervious surface on site is greater than 15,000 square feet. Storm water detention basins are located at the northeastern and southwestern corners of the site. Infiltration is occurring in both basins. Multiple bioswales are also provided throughout the site. Storm water review was conducted by the Washtenaw County Water Resources Office.

A 15-foot wide vegetated conflicting land use buffer is located along the south and north property line as required to screen from the adjacent residences. No landmark or woodland trees are proposed to be removed for this proposal. A mid-quality woodland located along the eastern edge of this site is to remain.

The petitioner mailed postcards to owners and occupants within 1,000 feet of the site. At the time this staff report was written, no comments about the project have been received from the public. A copy of the meeting minutes and attendees is attached.

COMPARISON CHART

		EXISTING	PROPOSED	PERMITTED/REQUIRED
Zoning		R4A (Multiple-Family Residential District)	R4A	R4A
Gross Lot Area		317,228 sq ft (combined) (7.28 acres)	317,228 sq ft (combined) (7.28 acres)	21,780 sq ft MIN (.5 acres)
Minimum Lot Width		203 ft & 209 ft per lot (412 ft combined)	412 ft	120 ft MIN
Minimum Lot Area per Dwelling Unit in sq. ft.		NA	4,400 sq ft (based on Net Lot Area)	4,300 sq ft MIN
Minimum Usable Open Space in Percentage of Lot Area		NA	65.4% (198,616 sq ft.)	65% MIN
Setbacks	Front	2710 Pontiac Tr. – 164 ft 2750 Pontiac Tr. -125 ft	33 ft	15 ft MIN 40 ft MAX
	Side(s)	60 ft – north 33 ft - south	31.65 ft - North 39.7 ft*- South	31 ft MIN* - North 39.7 ft MIN*- South
	Rear	381 ft	214 ft	30 ft MIN
Building Height		1-2 stories	44.7 ft	35 ft MAX 45 ft MAX w/parking below building
Parking - Automobiles		Gravel parking areas	94 spaces **	138 spaces (2 spaces/dwelling unit)
Parking – Bicycles		NA	69 spaces – Class A (garage parking)	7 spaces MIN - Class A 7 spaces MIN – Class C

* Additional side setback required when length of building exceeds 50 feet and height exceeds 30 feet.

** Reduced parking variance requested from ZBA

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Multiple-Family Residential	PUD (Planned Unit Development)
EAST	Landfill/Vacant	TWP (Township)
SOUTH	Single-Family Dwelling & Vacant	TWP
WEST	Single & Multiple-Family Residential	R1D& R1E (Single-Family Dwelling District) R4B (Multiple-Family Dwelling District)

HISTORY

2750 Pontiac Trail – the 2-story house was built in 1950. 2730 Pontiac Trail is vacant. 2710 Pontiac Trail contains 3 storage buildings built approximately 35-40 years ago and are currently vacant.

COMMENTS PENDING, DISMISSED OR UNRESOLVED

Parks and Recreation Services – Requested park contribution of 69 units *.0125*\$50,000 = \$43,000. For nearby parks such as Huron Highlands, Cloverdale, Olsen, and Leslie.

Systems Planning – An easement for the proposed 17’ of Pontiac Trail right-of-way is required. The mitigation calculations for the increase in sanitary sewer flow have been reviewed and are approved. Flow equivalent to 63 GPM, will need to be removed from the sanitary sewer system in order to mitigate new flow from this proposed development. Alternatively, a payment in lieu of performing actual flow removal may be made.

Traffic – Comments pending.

Water Resources Commissioner - Worksheet W11 for the east basin utilizes a design infiltration rate of 10 inches per hour. A revised geotechnical report, including infiltration testing data related to Test Pit 6 (excavated on July 16, 2018), must be submitted for review.

Worksheet W11 for the southwest basin does not indicate any surface storage volume, but the outlet calculations indicate that infiltration volume credits are being applied in the outlet calculations to both the first flush and bankfull storm volumes. Since the outlet is being designed as a single-stage outlet, the entire infiltration volume credit below the lowest outlet orifice should be quantified on W11.

Planning – Applications to the Zoning Board of Appeals (ZBA) to permit tandem parking have been submitted to Planning & Zoning. If the Planning Commission acts upon the site plan petition at the February 5th meeting, the variance requests will be heard at the February 27th, 2019 ZBA meeting.

This site is zoned R4A and requires two parking spaces/dwelling unit, while the other multiple-family dwelling districts, R4B, R4C, R4D and R4E requires 1.5 spaces/dwelling unit. Staff suspects the increased parking requirements are due to the R4A district large lot size and the

general location of these parcels located further from downtown and therefore are more automobile dependent.

The proposed site layout provides 94 legal parking spaces on site (69 garage and 25 surface parking spaces) falling short of the minimum required parking by 44 spaces. The petitioner included 34 tandem parking spaces in garages along with 69 driveway parking spaces bringing the revised parking total to 197 parking spaces (103 additional parking spaces that cannot be counted per the parking ordinance).

This site plan approval is subject to approval of a parking variance request of 44 legal parking spaces. The petitioner has built garage parking spaces below the dwelling units as recommended in the Master Plan, reduced impervious surface on site and designed the development to prevent any natural features impacts.

Prepared by Christopher Cheng
Reviewed by Brett D. Lenart
mg/1/29/19

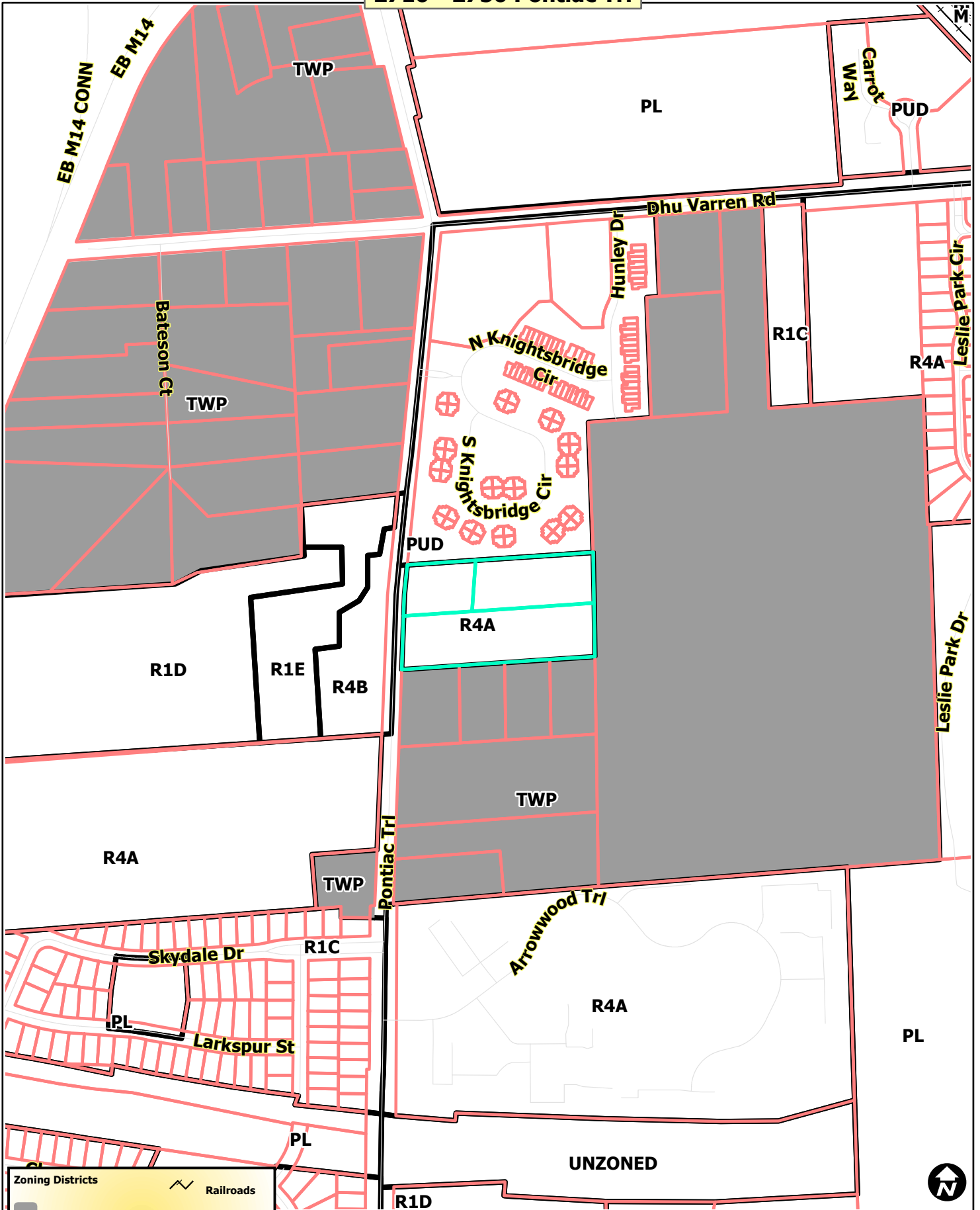
Attachments: [Zoning Map](#)
[Aerial Map](#)
[Site Plan Set](#)
[Elevations](#)
[Neighborhood Meeting Notes](#)
Draft Development Agreement

c: Owner: Commercial Property Investors of Pontiac Trail, LLC
8178 Jackson Rd., Suite D
Ann Arbor, MI 48103

Petitioner: Scott Betzoldt, P.E.
Midwestern Consulting, LLC
3815 Plaza Drive
Ann Arbor, MI 48108

Systems Planning
File Nos. SP19-034

2710 - 2750 Pontiac Trl



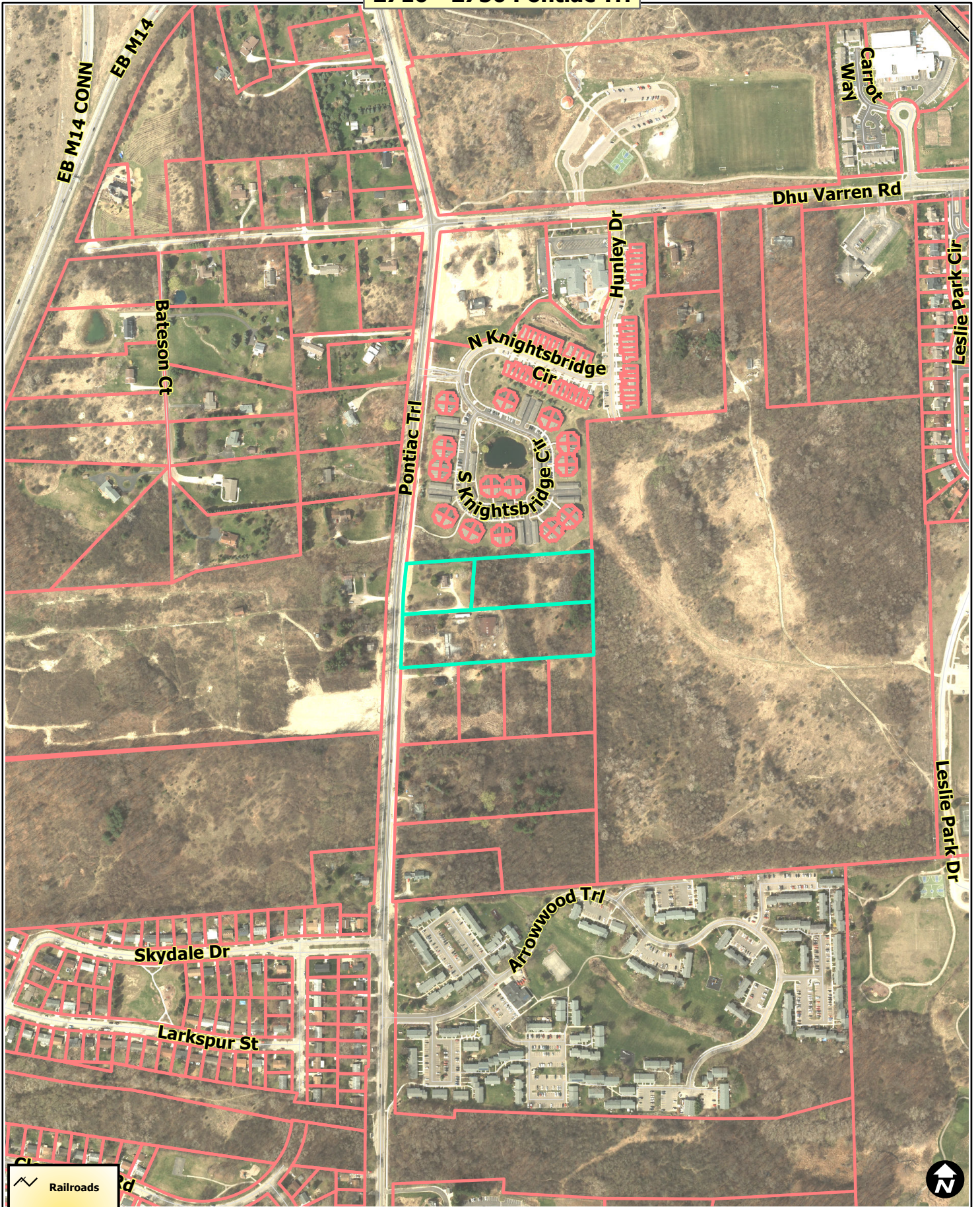
	Zoning Districts		Railroads
	Township Islands		Huron River
	City Zoning Districts		Tax Parcels



Map date 5/18/2018
 Any aerial imagery is circa 2015 unless otherwise noted
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2710 - 2750 Pontiac Trl

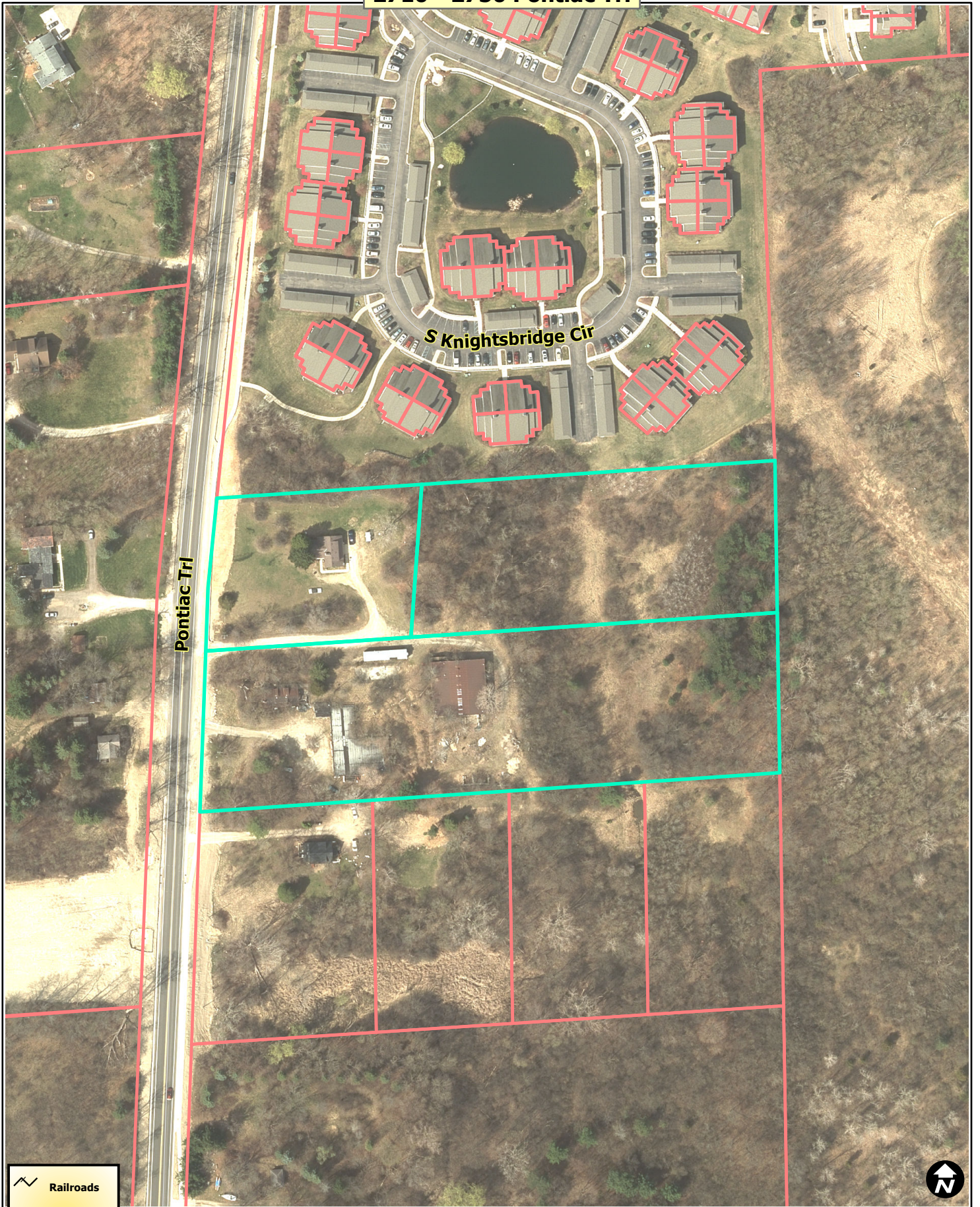


- Railroads
- Huron River
- Tax Parcels






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2710 - 2750 Pontiac Trl



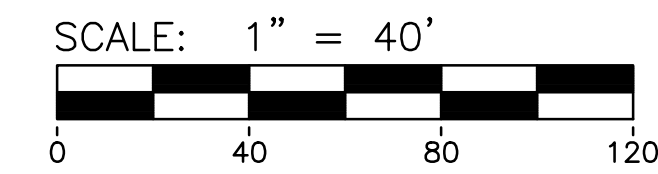
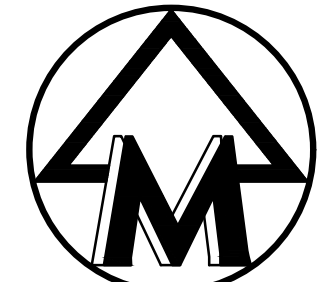
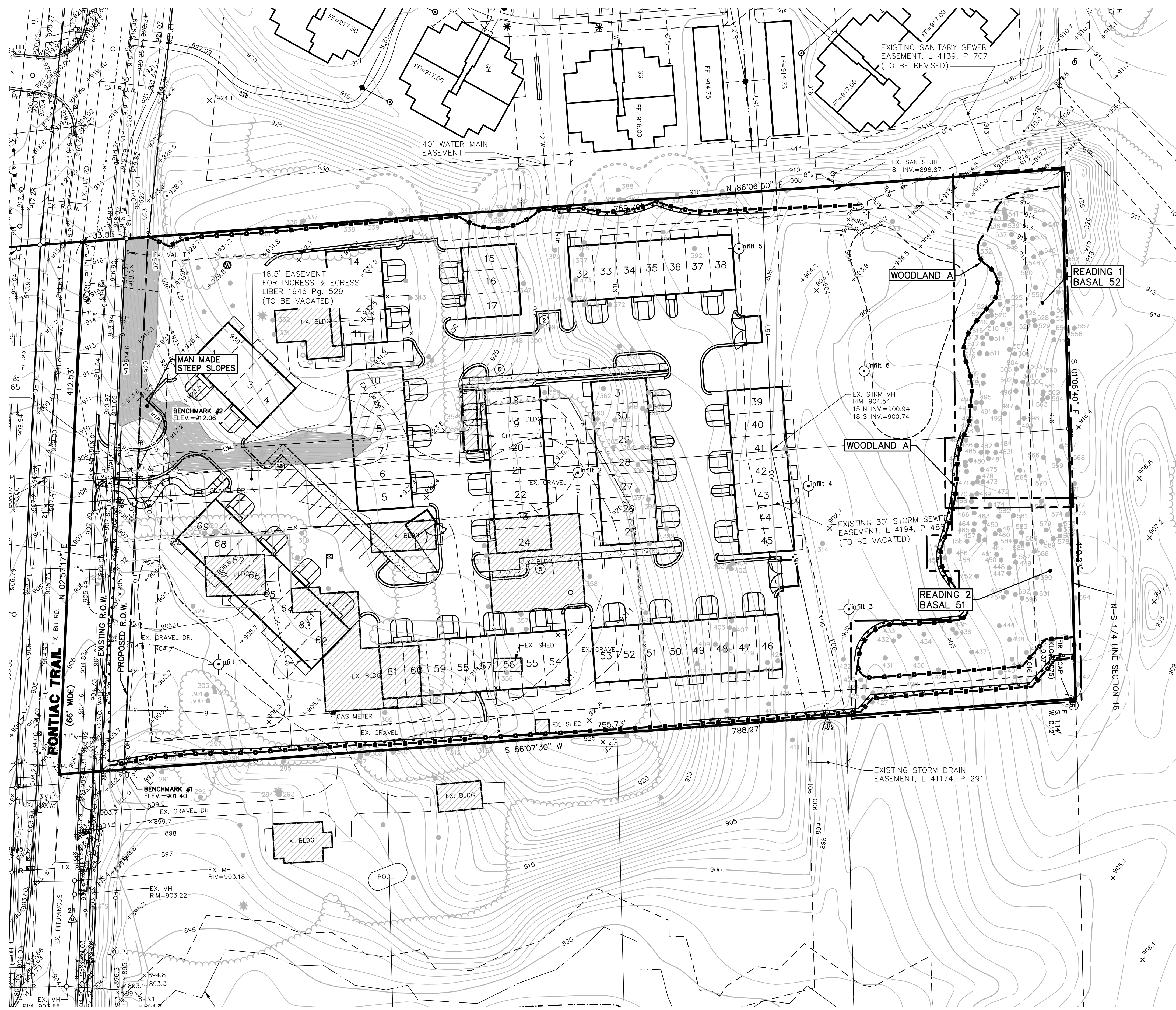
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Pontiac Trl

-  Railroads
-  Huron River
-  Tax Parcels



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LEGEND

- 8.38 EXIST. CONTOUR
- U.P. EXIST. UTILITY POLE
- GP EXIST. GUY POLE
- GUY WIRE
- ⊠ ELEC. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- ⊠ EXIST. LIGHT POLE
- t EXIST. TELEPHONE LINE
- e EXIST. ELECTRIC LINE
- g EXIST. GAS LINE
- g EXIST. GAS VALVE
- w EXIST. WATER MAIN
- ⊠ EXIST. HYDRANT
- ⊠ EXIST. GATE VALVE IN BOX
- ⊠ EXIST. GATE VALVE IN WELL
- ⊠ EXIST. CURB STOP & BOX
- ⊠ EXIST. STORM SEWER
- ⊠ EXIST. CATCH BASIN OR INLET
- ⊠ EXIST. BEEHIVE INLET
- END SECTION
- CULVERT
- EXIST. SANITARY SEWER
- EXIST. CLEANOUT
- C/L OF DITCH
- ← DRAINAGE DIRECTION
- SIGN
- MAILBOX
- TELEPHONE RISER
- CABLE TELEVISION RISER
- ELECTRIC METER
- WATER METER
- GAS METER
- POST
- WELL
- FENCE
- GUARDRAIL
- SINGLE TREE
- SINGLE TREE
- TREE OR BRUSH LIMIT
- EXIST. BOULDER
- SECTION CORNER
- S SET IRON PIPE
- F FOUND IRON PIPE
- S SET MONUMENT
- F FOUND MONUMENT
- FIR SET IRON ROD
- FIR FOUND IRON ROD
- SOIL TYPE BOUNDARY
- STEEP SLOPES
- PROP. SILT FENCE
- PROP. TREE
- PROTECTION FENCE
- LIMITS OF DISTURBANCE
- SOIL BORING LOCATION

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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BRISTOL RIDGE
 SITE PLAN
 NATURAL FEATURES OVERLAY PLAN

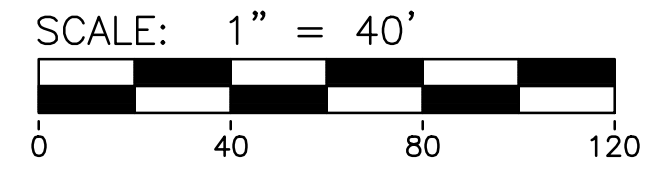
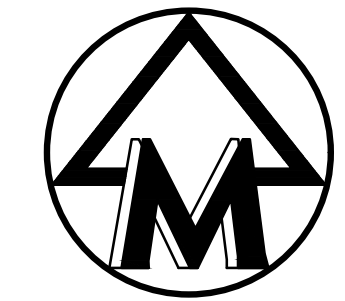
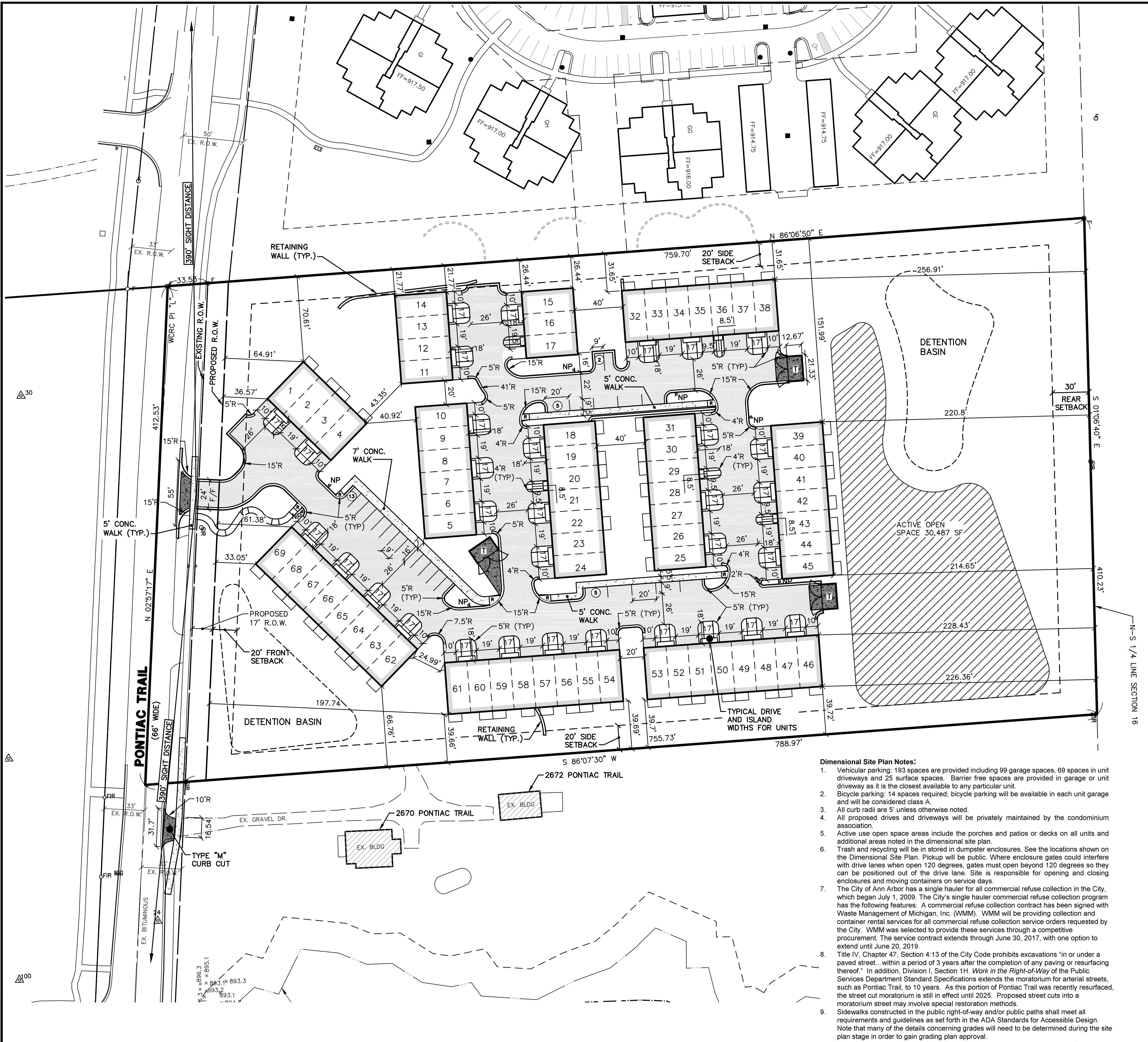
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JOB No. **18013**

DATE: 7/20/18
 SHEET 4 OF 16

REV. DATE: 07/08/18
 CADD: WJA
 PER. CITY COMMENTS: 09/27/18 ENG. JCA
 PER. CITY COMMENTS: 11/12/18 P.M. SWB
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 TECH: 18013.MF.dwg

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LEGEND

- ⊙ NUMBER OF STANDARD PARKING SPACES IN ROW
- ⊠ NUMBER OF SMALL CAR PARKING SPACES IN ROW
- ⊕ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- BF BARRIER FREE PARKING SIGN
- BFV VAN ACCESSIBLE BARRIER FREE PARKING SIGN
- R BARRIER FREE SIDEWALK RAMP
- PROP. CURB & GUTTER
- ▒ PROP. BITUMINOUS PAVEMENT
- ▒ PROP. CONCRETE PAVEMENT
- ▒ PROP. HEAVY DUTY CONCRETE
- NP NO PARKING/FIRE LANE SIGN
- PROP. SINGLE LIGHT
- PROP. DOUBLE LIGHT

PARKING REQUIREMENTS:

Vehicular Spaces:	Required:	2.0 spaces/unit (4% Barrier-Free Total Required)	138 spaces 6 spaces 138 spaces
	Provided:	Viewout/walkout Unit Garages Slab on Grade Unit Garages Driveway spaces Lot Spaces Total Spaces	39 spaces 60 spaces 69 spaces 25 spaces 193 spaces
Bicycle Spaces:	Required:	1 space / 5 units Class: 50% A, 50% C	14 spaces
	Provided:		69 spaces Class A In garages

SITE DATA CHART:

Zoning:	R-4A	
Gross Site Area:	317,228 sf	7.28 ac
Existing 33' ROW:	13,614 sf	0.31 ac
Net Site Area:	303,614 sf	6.97 ac
Prop. Add'l 17' ROW	7,013 sf	0.16 ac
Net Site Area:	296,601 sf	6.81 ac
Space Use Summary:		
Building Footprints:		55,393 sf
Parking and Drives:		49,605 sf
Useable Open Space:		198,616 sf

ZONING COMPARISON INFORMATION:

	Required	Proposed
Minimum Lot Area Per Dwelling Unit:	4300 sf	4400 sf
Minimum Usable Open Space:	65%	65.4%
Active Open Space:	20,700 sf	35,662 sf
Front Setback:	15.40 ft	33.05 ft
Side Setback:	20 ft	21.77 ft
Rear Setback:	30 ft	214.65 ft
Maximum Building Height:	35.45 ft	44.72 ft
Minimum Lot Size:	21,780 sf	303,614 sf
Minimum Lot Width:	120 ft	412 ft
Density:	10 du/ac	9.9 du/ac
Units Allowed:	69 du	69 du

- 20 foot minimum side setback plus:
3 inches per foot of building height over 35 feet abutting residentially zoned land.
1 1/2 inches per foot of building length over 50 feet abutting residentially zoned land.
- 30 foot minimum rear setback plus:
1 1/2 inches per foot of building height over 35 feet abutting residentially zoned land.
1 1/2 inches per foot of building length over 50 feet abutting residentially zoned land.
- Building height of 45' is permitted with parking under at least 35% of the building.
- 30,487 sf at east end of the site plus 75 sf for each unit patio or deck.

BUILDING SIDEYARD ADDITIONAL SETBACKS*

BLDG # / NAME	REQUIRED MINIMUM	BUILDING HEIGHT	ADDDL. SETBACK	BUILDING LENGTH	ADDDL. SETBACK	TOTAL MIN. SETBACK	MIN.
32-38	20 FT	40.67' AVE.	1.42 FT	127 FT	9.63 FT	31.05 FT	31.65 FT
46-53	20 FT	36.21' AVE.	0.30 FT	145 FT	11.88 FT	32.18 FT	39.7 FT
54-61	20 FT	38.44' AVE.	0.86 FT	145 FT	11.88 FT	32.74 FT	39.66 FT

* REQUIRED SIDEYARD SETBACK INCREASES:
 - 3 INCHES PER FOOT OF HEIGHT OVER 35 FT
 - PLUS 1 1/2 INCHES PER FOOT FOR LENGTH OVER 50 FT PARALLEL TO PROPERTY LINE
 ** MAXIMUM HEIGHT AT REAR WALKOUT

BUILDING REARYARD ADDITIONAL SETBACKS*

NONE REQUIRED

* REQUIRED REARYARD SETBACK INCREASES:
 - 1 FT PER FOOT OF HEIGHT OVER 30 FT ABUTTING RESIDENTIALLY ZONED LAND
 - PLUS 1 1/2 INCHES PER FOOT OF BUILDING HEIGHT OVER 35 FT
 - PLUS 1 1/2 INCHES PER FOOT FOR WIDTH OVER 50 FT

- Dimensional Site Plan Notes:**
- Vehicular parking: 193 spaces are provided including 99 garage spaces, 69 spaces in unit driveways and 25 surface spaces. Barrier free spaces are provided in garage or unit driveway as it is the closest available to any particular unit.
 - Bicycle parking: 14 spaces required; bicycle parking will be available in each unit garage and will be considered class A.
 - All curb radii are 5' unless otherwise noted.
 - All proposed drives and driveways will be privately maintained by the condominium association.
 - Active use open space areas include the porches and patios or decks on all units and additional areas noted in the dimensional site plan.
 - Trash and recycling will be in stored in dumpster enclosures. See the locations shown on the Dimensional Site Plan. Pickup will be public. Where enclosure gates could interfere with drive lanes when open 120 degrees, gates must open beyond 120 degrees so they can be positioned out of the drive lane. Site is responsible for opening and closing enclosures and moving containers on service days.
 - The City of Ann Arbor has a single hauler for all commercial refuse collection in the City, which began July 1, 2009. The City's single hauler commercial refuse collection program has the following features: A commercial refuse collection contract has been signed with Waste Management of Michigan, Inc. (WMM). WMM will be providing collection and container rental services for all commercial refuse collection service orders requested by the City. WMM was selected to provide these services through a competitive procurement. The service contract extends through June 30, 2017, with one option to extend until June 30, 2019.
 - Title IV, Chapter 47, Section 4.13 of the City Code prohibits excavations "in or under a paved street...within a period of 3 years after the completion of any paving or resurfacing thereof." In addition, Division I, Section 1H, *Work in the Right-of-Way* of the Public Services Department Standard Specifications extends the moratorium for arterial streets, such as Pontiac Trail, to 10 years. As this portion of Pontiac Trail was recently resurfaced, the street cut moratorium is still in effect until 2025. Proposed street cuts into a moratorium street may involve special restoration methods.
 - Sidewalks constructed in the public right-of-way and/or public paths shall meet all requirements and guidelines as set forth in the ADA Standards for Accessible Design. Note that many of the details concerning grades will need to be determined during the site plan stage in order to gain grading plan approval.
 - No part of a trash enclosure shall be located within a public utility easement. Confirm this with a note on the plans.
 - There are 3 trash enclosures, each with one 6 cubic-yard dumpster for trash and one 6 cubic-yard dumpster for recycling. The preliminary schedule is to service these areas twice per week. This will be reviewed again when the units are occupied, and will be revised if necessary.

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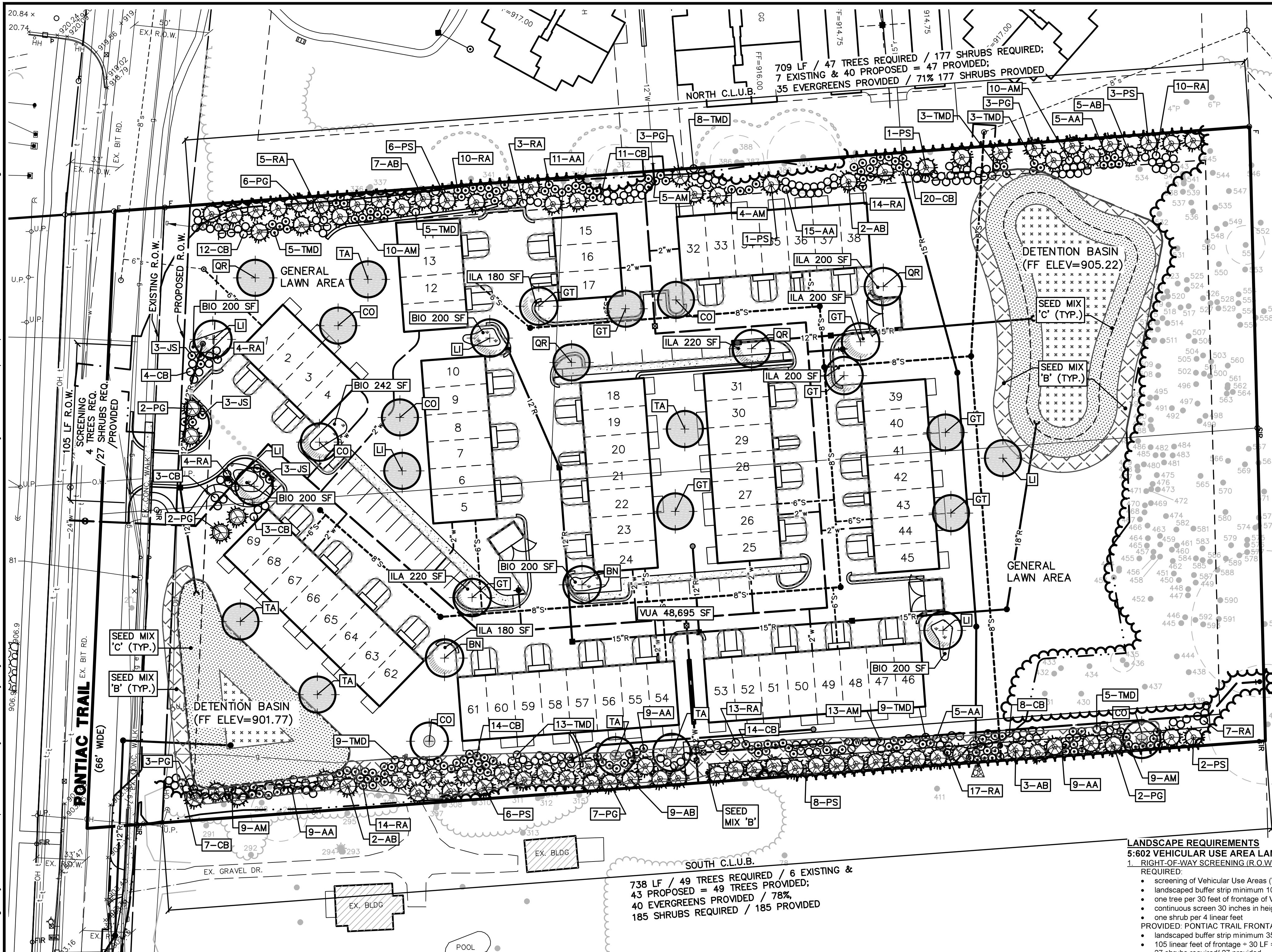
BRISTOL RIDGE
 SITE PLAN
 DIMENSIONAL SITE PLAN

5

DATE: 7/20/18	SHEET: 5 OF 16
REV. DATE: 05/27/18	ADD. WJ
REV. DATE: 11/12/18	ENG. JCA
REV. DATE:	PK. SWB
REV. DATE:	TECH: 18073SP1.dwg

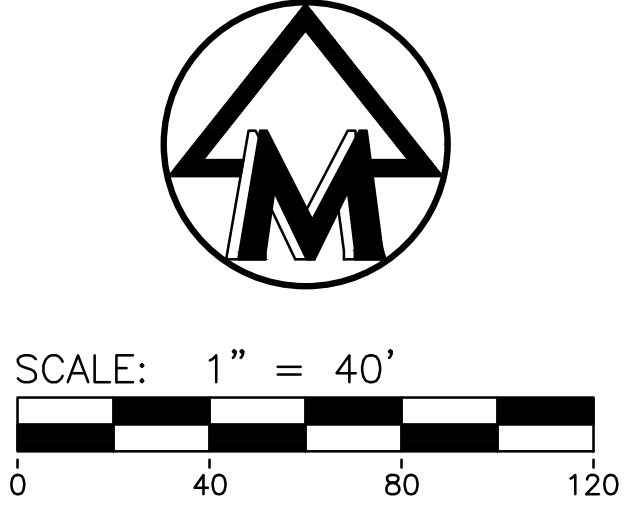
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LANDSCAPE NOTES

- Water outlets will be provided within 150 feet of all required plantings.
- Plant materials shall be selected and installed as detailed. Street trees shall be installed in accordance with standards established by the City of Ann Arbor and as shown on the Street Tree Planting Detail.
- All diseased, damaged or dead material shown on the site plan as proposed plantings shall be replaced by the end of the following growing season as a continuing obligation for the duration of the site plan.
- All trees are to be located a minimum of 8 feet from public utilities. Shrubs and trees are to be a minimum of 5 feet from hydrants and 5 feet from trash enclosures.
- All single trunk deciduous trees shall have a straight trunk and symmetrical crown with a central leader. One sided trees or those with thin or open crowns shall not be accepted.
- Shade trees are to be a minimum of 15 feet on center.
- All evergreen trees shall be branched fully to the ground, symmetrical in shape and have not been sheared within the last three years.
- Evergreen trees are to be a minimum of 12 feet on center.
- Trees in the Conflicting Land Use Buffer areas are to be a maximum of 30 feet on center.
- All compacted subgrade soils in proposed landscape areas shall be tilled to a minimum 12-inch depth prior to placement of topsoil, geotextile fabric, or other planting media as specified.
- Restore all disturbed and proposed landscape areas with a minimum of three (3) inches of topsoil and then sod or seed/fertilizer/mulch per the plan. Provide sod or seed and erosion control blankets on all slopes 3:1 or steeper.
- Deciduous plants shall be planted between March 1 and May 15 and from October 1 until the prepared soil becomes frozen. Evergreen plants shall be planted between March 1 and June 1 and from August 15 and September 15.
- Planting Soil:
 - Topsoil placed in the detention areas to be amended with 20 - 30 percent composted organic material.
 - Existing, in-place or stockpiled topsoil. Supplement with imported topsoil as needed. Verify suitability of existing surface soil to produce viable planting soil. Remove stones, roots, plants, sod, clods, clay lumps, pockets of coarse sand, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous material harmful to plant growth. Mix surface soil with the following soil amendments to produce planting soil:
 - Ratio of Loose Compost to Topsoil by Volume: 1:4.
 - Weight of Lime per 1000 sq. ft.: Amend with lime only on recommendation of soil test to adjust soil pH.
 - Weight of sulfur or aluminum sulfate per 1,000 sq. ft.: amend with sulfur or aluminum sulfate only on recommendation of soil test to adjust soil pH.
 - Volume of Sand: amend with sand only on recommendation of the Landscape Architect to adjust soil texture.
 - Weight of Slow-release Fertilizer per 1,000 sq. ft.: amend with fertilizer only on recommendation of soil test to adjust soil fertility.
- All plants except ground cover are to receive four (4) inches of shredded bark mulch. Ground cover areas are to receive two (2) inches of Canadian peat mulch. All mulch beds to have landscape fabric between mulch and planting soil.
- Seed mixes and fertilizer:
 - A. General Lawn Areas:**
 - Seed mix - or approved equal
 - 15% Rugby Kentucky Bluegrass
 - 10% Park Kentucky Bluegrass
 - 40% Ruby Creeping Red Fescue
 - 15% Pennine Perennial Ryegrass
 - 20% Scalds Hard Fescue
 - Seed shall be applied at the rate of five pounds (5 lbs) per 1,000 sq. ft.
 - Fertilizer for the initial installation of lawns seeding shall provide not less than one (1) pound of actual nitrogen per 1000 sq. ft. of lawn area and shall contain not less than two percent (2%) potassium and four percent (4%) phosphoric acid. After the first growing season, only fertilizers that contain no phosphorus shall be used on the site.
 - Mulch within 24 hours with two (2) tons of straw per acre, or 71 bales of excelsior mulch per acre. Anchor straw mulch with spray coating of adhesive material applied at the rate of 150 gals./acre.
 - Fertilizer shall provide not less than one (1) pound of actual nitrogen per 1000 sq. ft. of lawn area and shall contain not less than two percent (2%) potassium and four percent (4%) phosphoric acid. After the first growing season, only fertilizers that contain no phosphorus shall be used on the site.
 - B. No Moving/Natural Areas: seed mix 'B' and mulch as follows:**
 - Natural area seed mix shall be as follows: MDOT Standard Specifications for THM (turf loamy to heavy).
 - Seed shall be applied at the rate of two hundred and twenty pounds (220 lbs) per acre. Fertilizer shall be MDOT Class B applied at the rate of one hundred and twenty pounds (120 lbs) per acre.
 - Mulch within 24 hours with two (2) tons of straw per acre, or 71 bales of excelsior mulch per acre. Anchor straw mulch with spray coating of adhesive material applied at the rate of 150 gals./acre.
 - C. Bio-retention Area and Detention Basin Side Slope Seed Mix: Seed mix 'C' or approved equal**
- Snow can be pushed onto any interior islands and bio-retention areas.
- No chemicals are allowed in stormwater features or buffer zones with the following exception: invasive species may be treated with chemicals by a certified operator.



LANDSCAPE LEGEND

- PROPOSED CANOPY TREE
- PROPOSED FLOWERING TREE
- PROPOSED EVERGREEN TREE
- PROPOSED CANOPY TREE (INTERIOR VUA)
- PROPOSED EVERGREEN TREE (INTERIOR VUA)
- PROPOSED CANOPY TREE (RIGHT-OF-WAY SCREEN)
- PROPOSED EVERGREEN TREE (RIGHT-OF-WAY SCREEN)
- PROPOSED CANOPY TREE (CONFLICTING LAND USE BUFFER)
- PROPOSED EVERGREEN TREE (CONFLICTING LAND USE BUFFER)
- PROPOSED CANOPY TREE (MITIGATION)
- PROPOSED EVERGREEN TREE (MITIGATION)
- PROPOSED SHRUBS
- EXISTING LANDMARK TREE TO REMAIN
- SEED MIX "C"
- SEED MIX "B"
- PROPOSED BIO-RETENTION NATIVE SEED
- PROPOSED PLANT PLUGS (BASIN BOTTOM TO FIRST FLUSH LEVEL)
- VEHICULAR USE AREA LIMITS

NOTE:
SEE SHEET 13 FOR PLANTING DETAILS AND SEED MIXES B AND C.

LANDSCAPE REQUIREMENTS

- 5:602 VEHICULAR USE AREA LANDSCAPE AND SCREENING.**
- 1. RIGHT-OF-WAY SCREENING (R.O.W.S.):**
- REQUIRED:
- screening of Vehicular Use Areas (VUA) visible from a public right-of-way
 - landscaped buffer strip minimum 10 feet wide
 - one tree per 30 feet of frontage of VUA, maximum 5' on center
 - continuous screen 30 inches in height above VUA grade, hedge, berm, wall or combination
 - one shrub per 4 linear feet
- PROVIDED: PONTIAC TRAIL FRONTAGE
- landscaped buffer strip minimum 35 feet wide provided
 - 105 linear feet of frontage = 30 LF = 4 trees required/ 4 provided
 - 27 shrubs required/ 27 provided
- 2. INTERIOR PARKING LOT LANDSCAPE AREAS:**
- REQUIRED:
- one square foot of landscape area per 20 square feet of vehicular use area
 - one tree per 250 square feet required
 - minimum 50% bio-retention islands
- PROVIDED:
- Vehicular Use Area = 48,935 sf
 - Interior Landscape required = 2,447 sf; 2,640 sf provided
 - Trees required = 10 trees; 13 trees provided
 - Bio-retention required = 1,218 sf; 1,240 sf provided
- 5:603 CONFLICTING LAND USE BUFFERS (C.L.U.B.)**
- A. C.L.U.B. REQUIRED ON THE NORTH AND SOUTH EDGES OF THE SITE:**
- landscaped buffer strip minimum 15' wide
 - one tree per 15 feet of abutting land, minimum 50% evergreens
 - trees maximum 30 feet on center
 - continuous screen 4 feet in height: hedge, berm, wall or combination.
- B. PROVIDED:**
- NORTH EDGE:**
- 15' minimum wide buffer strip provided.
 - 709 ft = 15 = 47 trees required/ 47 trees provided (7 exist + 40 proposed)
 - 47 x 50% = minimum 24 evergreens required/ 40 provided
 - 709 linear feet shrub screen = 4 = 177 shrubs required/ 177 provided
- SOUTH EDGE:**
- 15' minimum wide buffer strip provided.
 - 738 ft = 15 = 49 trees required/ 49 trees provided (6 exist + 43 proposed)
 - 49x 50% = minimum 25 evergreens required/ 38 provided
 - 739 linear feet shrub screen = 4 = 185 shrubs required/ 185 provided

738 LF / 49 TREES REQUIRED / 6 EXISTING & 43 PROPOSED = 49 TREES PROVIDED;
40 EVERGREENS PROVIDED / 78%;
185 SHRUBS REQUIRED / 185 PROVIDED

PLANT MATERIAL SCHEDULE

QUANTITIES*		SYM	BOTANICAL NAME	COMMON NAME	SIZE**	ROOT	REMARKS	
1	2							3
DECIDUOUS TREES								
2	2	BN	Betula nigra	River birch	2' cal	bb	5 branch ht	
6	2	CO	Celtis occidentalis	Hackberry	2' cal	bb	5 branch ht	
8	4	GT	Gleditsia 'inermis' 'Skycole'	Skyline thornless honeylocust	2' cal	bb	5 branch ht	
4	4	LI	Liriodendron tulipifera	Tulip tree	2' cal	bb	5 branch ht	
6	2	QR	Quercus rubra	Red oak	2' cal	bb	5 branch ht	
6	2	TA	Tilia americana	Basswood	2' cal	bb	5 branch ht	
Sub.	4	0	13	15				
EVERGREEN TREES								
28	28	AB	Abies balsamea	Balsam fir	7' ht	bb		
28	24	PG	Picea glauca	White spruce	7' ht	bb		
27	27	PS	Pinus strobus	Eastern white pine	7' ht	bb	Full	
Sub.	79	4	0					
SHRUBS								
63	63	AA	Aronia a. 'Brilliantissima'	Brilliant red chokeberry	2' ht	#5 cont	5' o.c.	
60	60	AM	Aronia melanocarpa	Black chokeberry	2' ht	#5 cont	5' o.c.	
96	86	10	CB	Cornus s. 'Bailey'	Bailey's red twig dogwood	2' ht	bb/cont	5' o.c.
9	9	JS	Juniperus ch. 'Sea Green'	Sea Green juniper	3 gal	cont.	5' o.c.	
101	93	8	RA	Rhus aromatica	Fragrant sumac	2' ht	#5 cont.	5' o.c.
60	60	TMD	Taxus x. media 'Tautoni'	Tauton yew	30" ht	bb/cont	5' o.c.	
Sub.	362	27	0	0				
Totals	445	31	13	15				

***KEY**

- TOTAL QUANTITY REQUIRED.
- CONFLICTING LAND USE BUFFER PLANTINGS.
- RIGHT-OF-WAY SCREEN PLANTINGS.
- INTERIOR PARKING AREA PLANTINGS.
- LANDMARK AND WOODLAND TREE MITIGATION PLANTINGS.

**NOTE THAT TREE CALIPER INCLUDING LANDMARK AND WOODLAND TREE MITIGATION PLANTINGS IS MEASURED 6 INCHES ABOVE THE ROOT BALL.

DETENTION PLANT PLUG SCHEDULE

Stormwater Live Plantings - Species to be planted as a mixed composition at bottom of basin

Qty E Basin	Qty SW Basin	Total	Scientific Name	Common Name	Root	Spacing	Notes
175	80	255	Aster novae-angliae	New England Aster	Plug	24" o.c.	Quantity per flat varies
175	80	255	Carex hystericina	Porcupine Sedge	Plug	24" o.c.	Quantity per flat varies
175	80	255	Carex vulpinoidea	Fox Sedge	Plug	24" o.c.	Quantity per flat varies
175	80	255	Glyceria striata	Fowl Manna Grass	Plug	24" o.c.	Quantity per flat varies
175	80	255	Helenium autumnale	Sneezeweed	Plug	24" o.c.	Quantity per flat varies
175	80	255	Juncus effusus	Soft Rush	Plug	24" o.c.	Quantity per flat varies

Note: Quantity per flat varies per supplier

DETENTION SEED MIX B = 18,100 SF
 DETENTION SEED MIX C = 16,400 SF
 SEE SHEET 13 FOR SEED MIXES

EAST BASIN BOTTOM AREA = 4,228 SF
 SOUTHWEST BASIN BOTTOM AREA = 1,184 SF

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

MIDWESTERN CONSULTING

3815 Plaza Drive Ann Arbor, Michigan 48108
 (734) 995-0200 • www.midwesternconsulting.com
 Land Development • Land Survey • Institutional • Municipal
 Wireless Communications • Transportation • Landfill Services

CLIENT

COMMERCIAL PROPERTY INVESTORS
 OF PONTIAC TRAIL, LLC
 8178 JACKSON ROAD, SUITE D
 ANN ARBOR, MICHIGAN 48103
 SEAN LEFFERE (734) 408-0777

BRISTOL RIDGE
 SITE PLAN
 LANDSCAPE PLAN

JOB No. 18013

DATE: 7/20/18

SHEET 8 OF 16

REV. DATE: 05/08/18

REV. WORK: 09/27/18

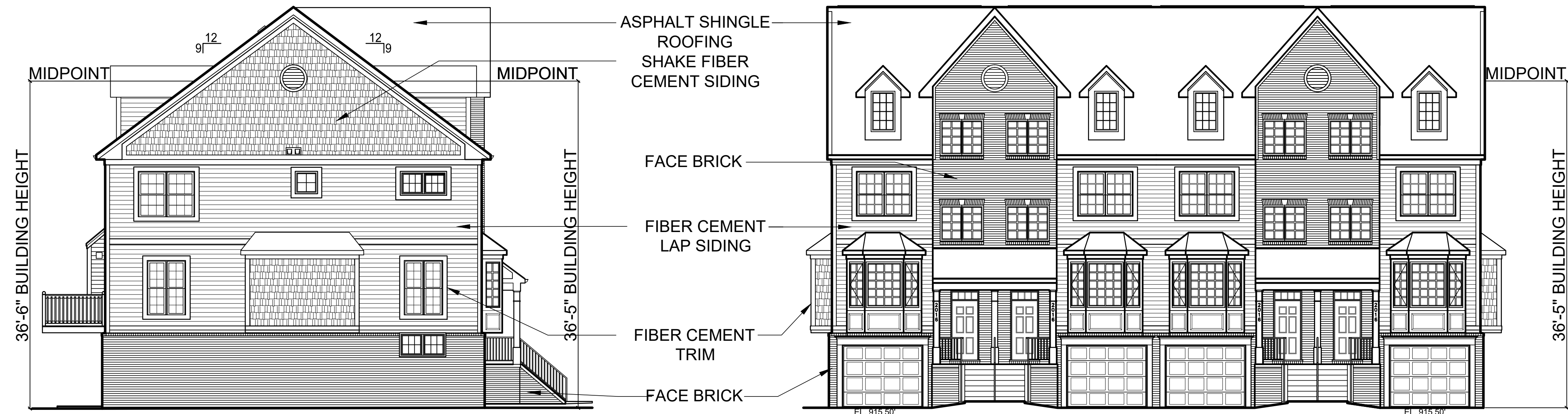
PER. CITY COMMENTS: 11/12/18

PER. CITY COMMENTS: 11/12/18

TECH: 18013/PL/ldwg

811

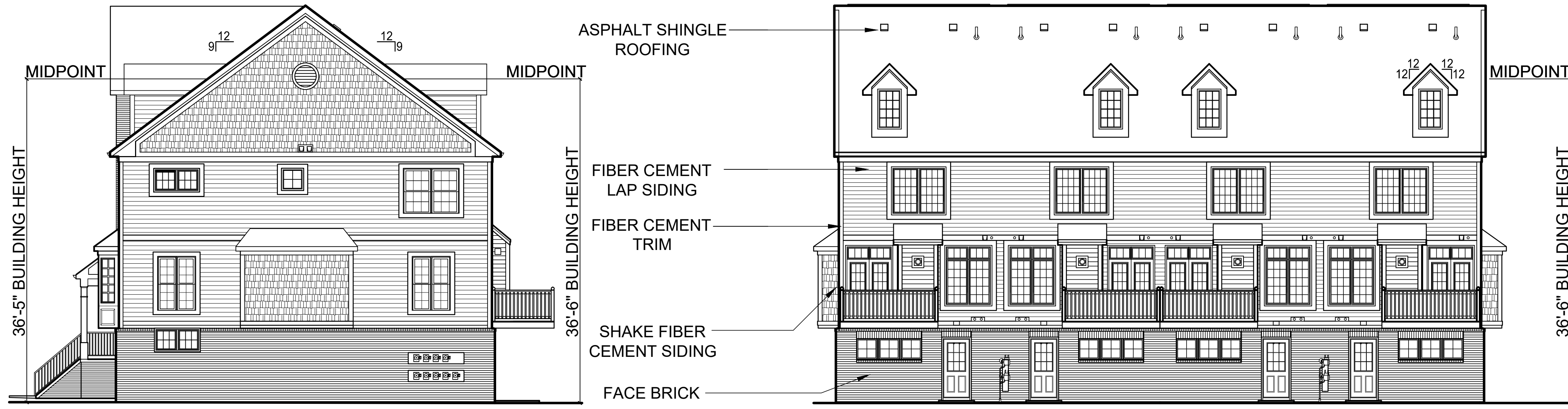
Know what's below.
Call before you dig.



AVG. BLDG. HT. = 36'-5"

SIDE ELEVATION - BLDG. A
 SCALE: 1/8" = 1'-0" 4 Unit Slab-on-grade

FRONT ELEVATION - BLDG. A
 SCALE: 1/8" = 1'-0" 4 Unit Slab-on-grade

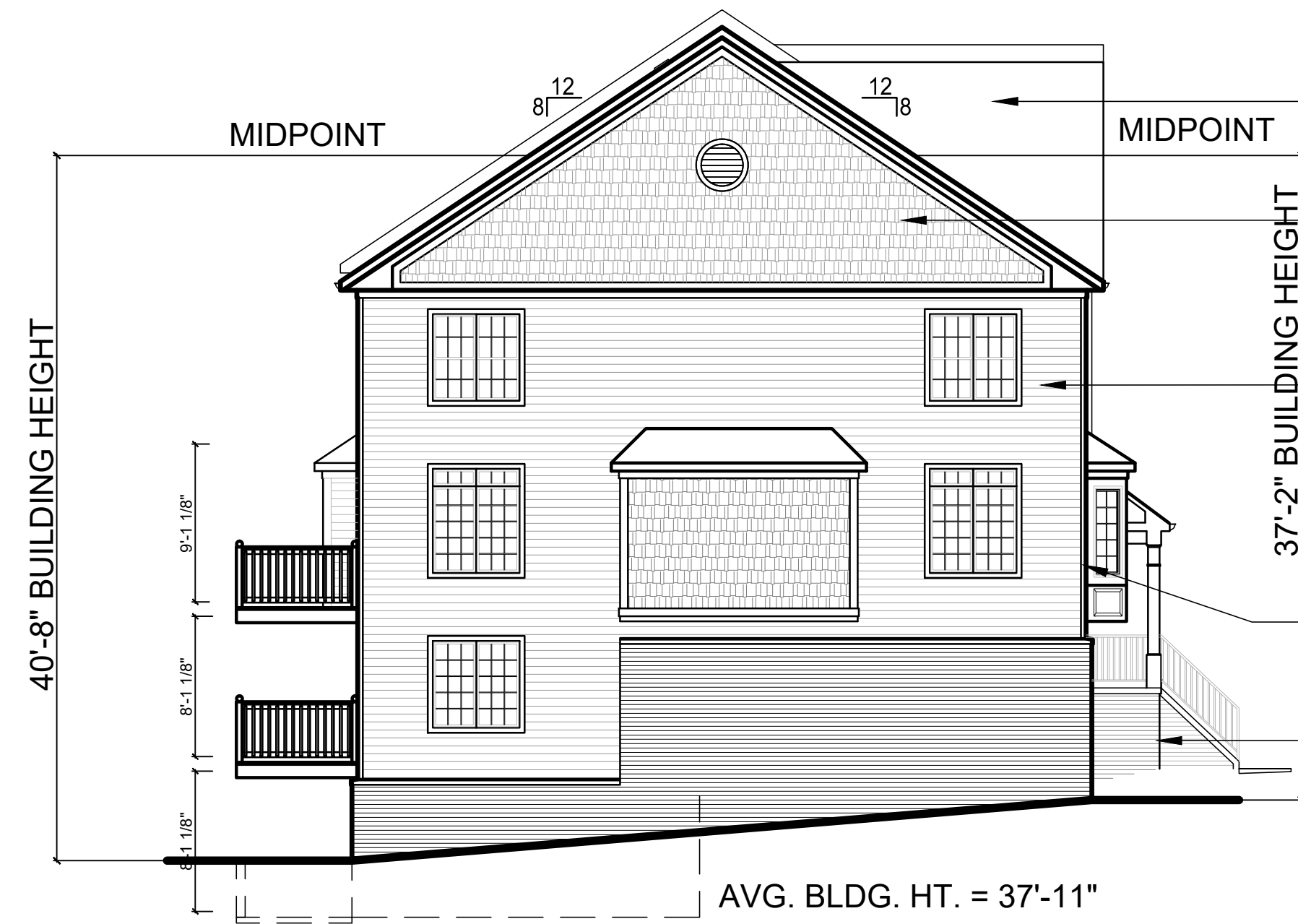


AVG. BLDG. HT. = 36'-5"

SIDE ELEVATION - BLDG. A
 SCALE: 1/8" = 1'-0" 4 Unit Slab-on-grade

REAR ELEVATION - BLDG. A
 SCALE: 1/8" = 1'-0" 4 Unit Slab-on-grade

PLANNING REVIEW	10.23.18

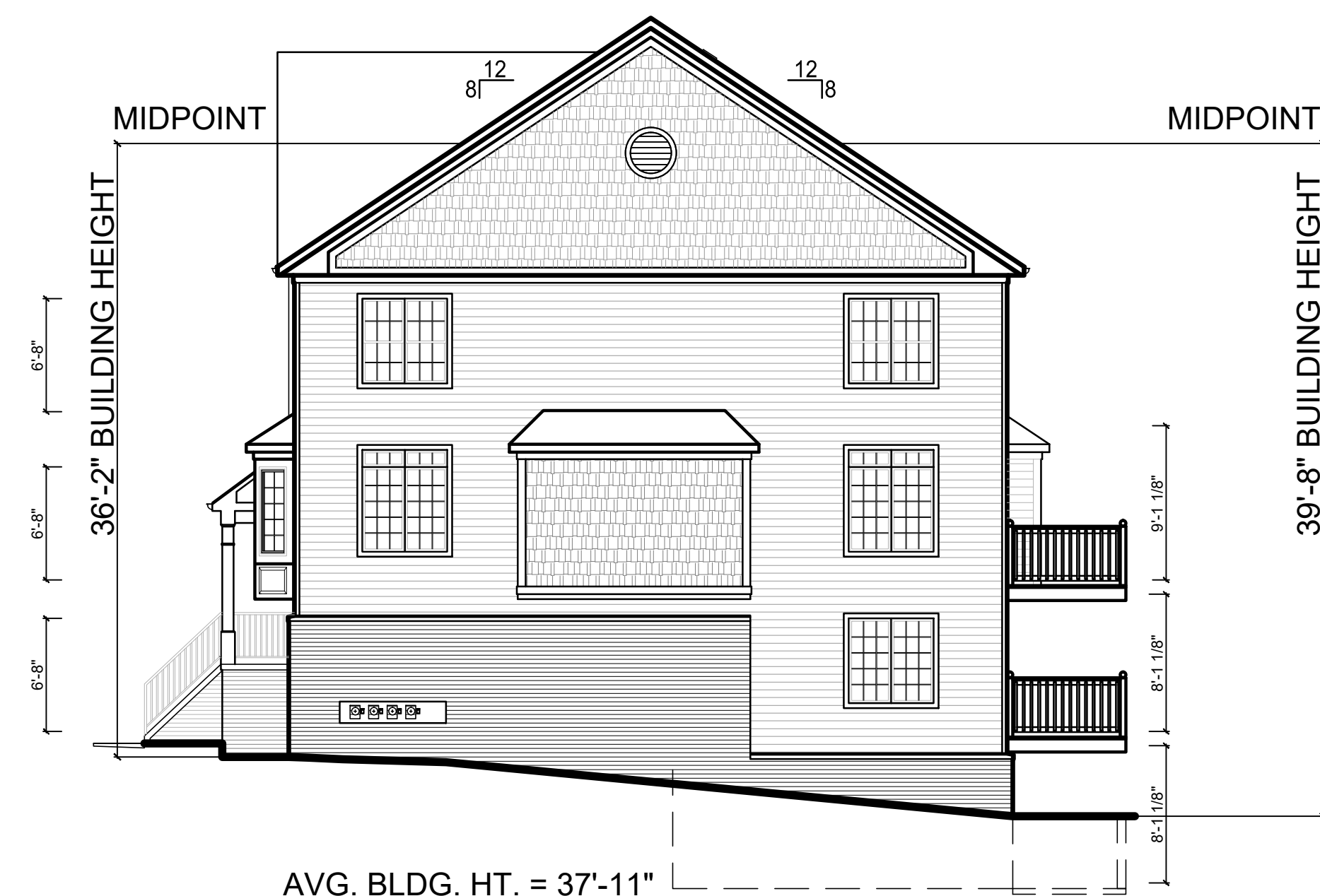


SIDE ELEVATION - BLDG. B
SCALE: 1/8" = 1'-0"
6 Unit View-out

- ASPHALT SHINGLE ROOFING
- SHAKE FIBER CEMENT SIDING
- FACE BRICK
- FIBER CEMENT LAP SIDING
- FIBER CEMENT TRIM
- FACE BRICK



FRONT ELEVATION - BLDG. B
SCALE: 1/8" = 1'-0"
6 Unit View-out



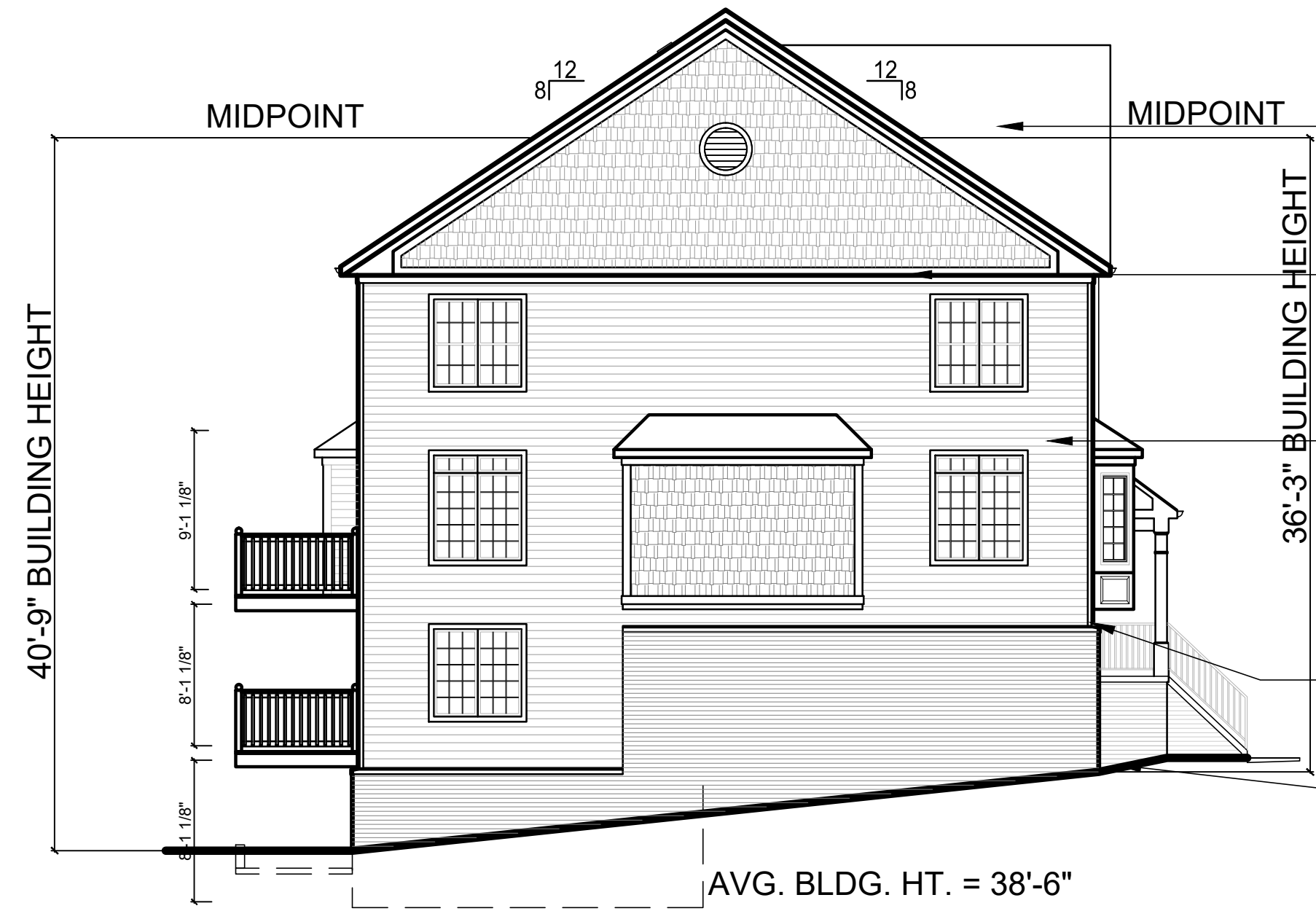
SIDE ELEVATION - BLDG. B
SCALE: 1/8" = 1'-0"
6 Unit View-out

- ASPHALT SHINGLE ROOFING
- FIBER CEMENT LAP SIDING
- FIBER CEMENT TRIM
- SHAKE FIBER CEMENT SIDING
- FACE BRICK



REAR ELEVATION - BLDG. B
SCALE: 1/8" = 1'-0"
6 Unit View-out

PLANNING REVIEW	10.23.18

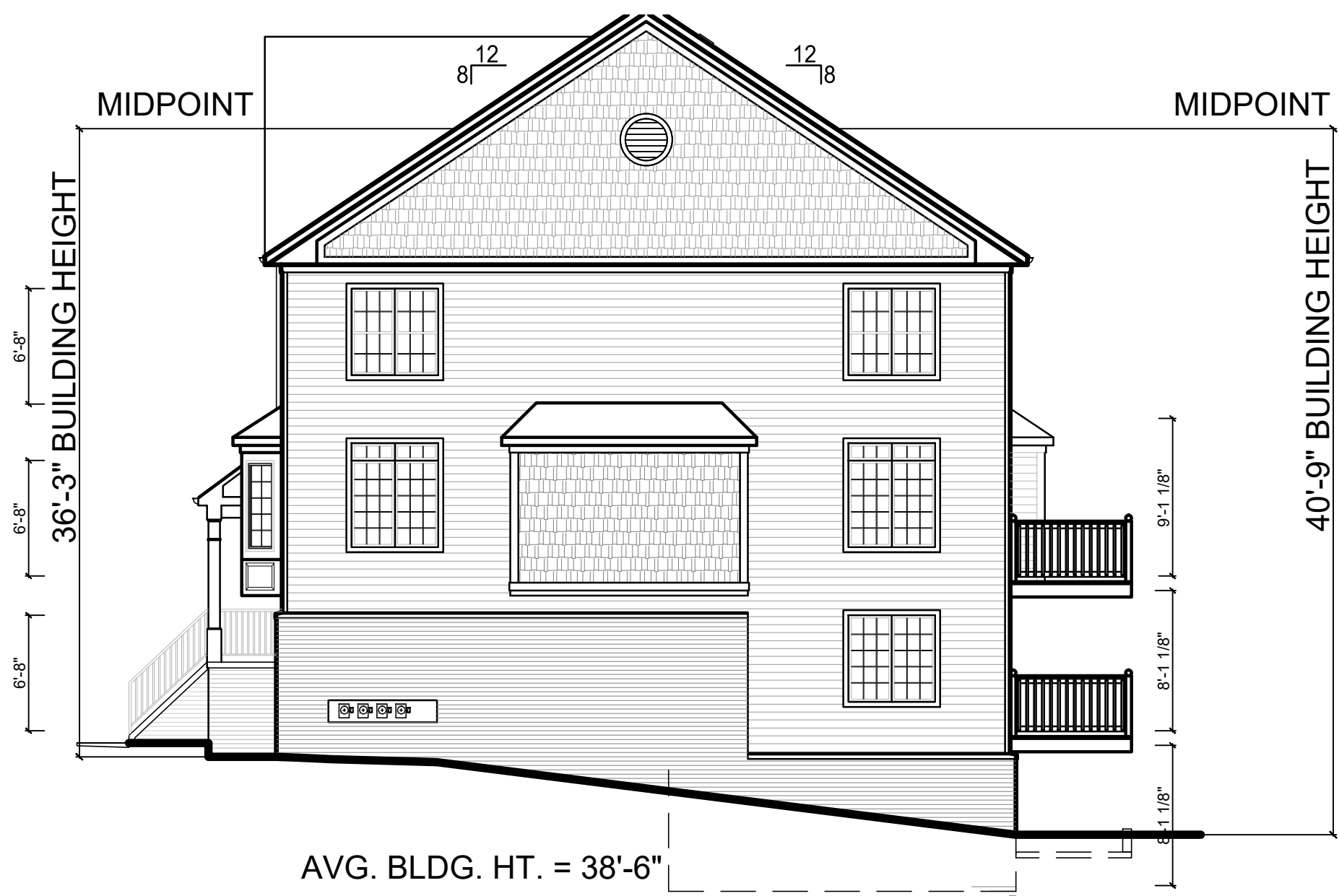


SIDE ELEVATION - BLDG. C
SCALE: 1/8" = 1'-0" 4 Unit View-out

- ASPHALT SHINGLE ROOFING
- SHAKE FIBER CEMENT SIDING
- FACE BRICK
- FIBER CEMENT LAP SIDING
- FIBER CEMENT TRIM
- FACE BRICK



FRONT ELEVATION - BLDG.C
SCALE: 1/8" = 1'-0" 4 Unit View-out



SIDE ELEVATION - BLDG. C
SCALE: 1/8" = 1'-0" 4 Unit View-out

- ASPHALT SHINGLE ROOFING
- FIBER CEMENT LAP SIDING
- FIBER CEMENT TRIM
- SHAKE FIBER CEMENT SIDING
- FACE BRICK



REAR ELEVATION - BLDG.C
SCALE: 1/8" = 1'-0" 4 Unit View-out

PLANNING REVIEW	10.23.18

Traverwood Branch – Ann Arbor District Library

Meeting began with overview of Norfolk homes and a history of the property. Many questions about which parcels is this and what is currently there.

Brief description of the general site topography and direction and outlet of the stormwater. We will be doing infiltration testing and design the detention ponds to not increase the runoff.

Q – When do you look to start construction?

A – Probably 12 months depending on the approval process with the City.

Q – Will these be rental units? We don't want any more student dormitories.

A – No, these will be for sale units.

Q – What are the setbacks from the property lines?

A – 30' rear, 20' side and 15'/25' front.

Q – Will these buildings be visible from Northside Glen?

A – There are some landmark trees and other vegetation along the property line but yes, they will be visible. The buildings are similar in height to the existing buildings along the property line. Parts of the site sit on a ridge and they will be visible.

Q – Will existing trees be removed?

A – There are landmark trees along the property line that will be saved. Trees within the site will be removed. There is an existing area of trees in the back that we have attempted to save as much as possible.

Q – Is it possible to align drives with the North Sky project?

A – No. North Sky has one entrance at the north end of their site and one at the south end of the site. It is not possible to align them to this proposed entrance.

Q – Many concerned - Traffic is horrible. It takes forever to make a turn on Pontiac Trail now. The sight distance is horrible. People come flying in on Pontiac Trail from the North.

A – We will be performing our own traffic study and working with the City regarding warranted improvements.

Q – The Barton Drive/M-14 interchange is horrible. Wasn't additional ROW dedicated to improve this? Is Huron Parkway ever going to be extended all the way through? Is there any thought to extending the left turn lane up from North Sky?

A – We will defer to the City for the large scale master planning for traffic but this really beyond our control.

Q – Who will these homes be targeted toward?

A – We have found that these units primarily attract young professionals and empty nesters. Of course families are welcome but typically attract young professionals and single parent households.

Q – How many parking spaces will be provided? Will there be additional parking on the site?

A – Each units will have one or two garage spaces as well as each unit will have a space in front of their garage. There are also another maybe 30 spaces around the site for visitor.

Q – Will it be possible to provide more spaces.

A – The City requires 1.5 spaces per unit and then beyond that the City discourages additional parking in attempts to reduce the amount of impervious surfaces.

Q – The North Sky project has been a nightmare. The constant beeping of construction traffic, dust, trash and styrafoam constantly blowing. I find mails all over Pontiac Trail. What are you going to do to prevent this from happening again? How are you going to stop all the mud from running into the buildings along the property line?

A – In general the site flows to the south and east but we will provide silt fence and check dams to control the erosion. Norfolk will make all attempt to keep a clean site.

Q- How long will the construction last?

A – That will depend on the sales market and the economy but if the economy continues to do well, a year to year and a half buildout.

Q –What happens when existing roads are damaged by the construction? Dhu-Varren has had a lot of damage.

A – The City will hold the developer accountable to repair any damage caused by the construction.

Q – What happens to the wildlife on the property? Do you ever consider the wildlife when selecting a site to build on.

A- That is the purpose for promoting higher density development near the City where everyone want to live, preserving more open space outside the City.

Q- Where was the gravel pit and the dump?

A- Sean attempted to show on aerial on his laptop.

Q- Do you know the extents of the dump. You should explore the potential for PFAS contamination and the effect on your residents.

A – We will look into this.

Q – What is going to happen with the commercial component at the Dhu-Varren intersection?

A – We are still looking for a user for that. Eventually it will be some sort of commercial with the possibility for residential overhead but at this time we do not know.

Q - Is there additional vegetation on the Northside Commons site that is not shown?

A -Yes. The plan does not show the planting were put in, only the trees that were saved along the property line.

Q- Where will the project get its water supply?

A- There will be connections to Pontiac Trail and Northside Commons with existing stub. The City has an existing model of the overall water system. They will add the new project to the model to ensure enough supply and pressure is available.

**Bristol Ridge, 2710, 2730 & 2750 Pontiac Trail
 Citizens Participation Meeting
 June 26, 2018 4:30 pm - 5:30 pm**

Name	Address
MATERIALS TESTING CONSULTANTS RAMESH GANATRA	253 DINO Drive, rganatra@mtc-test.com ANN ARBOR, MI 48103
Michael Cox	2808 S. Knightsbridge Cir, Ann Arbor, MI
Ralph & Deborah Katz	605 Skydale Dr, Ann Arbor 48105
Brigitte Romero	2830 S. Knightsbridge AA 48105
Keith Liebetreu	2712 S. Knightsbridge Cir AA 48105
Janet Denson	2326 Arrowwood Trail 48105
Iain Burrell	Arrowwood
Sandra Wiley	2920 N. Knightsbridge
Josh Hathaway Reema Kadri	2796 S. Knightsbridge Cir
KURT HEINOLD	2768 S. Knightsbridge Cir. AA 48105
Rachel Francisco	1519 Pear St.
Ken Garber	2387 Hilldale Dr. A ² 48105
JOSEPH FLACK	2678 S. KNIGHTSBRIDGE CIRCLE 48105

BRISTOL RIDGE DEVELOPMENT AGREEMENT

THIS AGREEMENT, made this ____ day of _____, 2019, by and between the City of Ann Arbor, a Michigan municipal corporation, with principal address at 301 East Huron Street, Ann Arbor, Michigan 48107, hereinafter called the CITY, and Commercial Property Investors of Pontiac Trail LLC, with principal address at 8178 Jackson Road, Suite D, Ann Arbor, MI 48103, hereinafter called the DEVELOPER, witnesses that:

WHEREAS, the DEVELOPER owns certain land in the City of Ann Arbor, described below ("Property") and site planned as Bristol Ridge, and

WHEREAS, the DEVELOPER has had the Property surveyed, mapped and site planned as Bristol Ridge, and desires site plan and development agreement approval thereof, and

WHEREAS, on _____, City Council approved the Bristol Ridge Site Plan ("Site Plan") and Bristol Ridge Development Agreement ("Agreement") pursuant to a resolution adopted on that date, and

WHEREAS, the Developer desires to build or use certain improvements with and without the necessity of special assessments by the CITY, and

WHEREAS, the CITY desires to ensure that all of the Improvements required by pertinent CITY ordinances and regulations be properly made, and that the DEVELOPER will install these Improvements prior to any permits being issued.

THE DEVELOPER HEREBY AGREES:

(P-1) To prepare and submit to the CITY for approval plans and specifications ("the Plans") prepared by a registered professional engineer for private storm water management systems, public water mains, and sidewalks ("the Improvements") provided that no work on the Improvements shall be commenced until the Plans have been approved by the City Administrator or designee, and until such other relevant information to CITY service areas as shall be reasonably required has been provided.

(P-2) To construct all Improvements set forth in Paragraph P-1 of this Agreement in accordance with the approved Plans and to repair all defects in the Improvements that occur within one year from the date of acceptance of the Improvements by the CITY, commencing on the latest date of the acceptance of any Improvements by the CITY. If the DEVELOPER fails to construct the Improvements, the CITY may send notice via first class mail to the DEVELOPER at the address listed above requiring it to commence and complete the Improvements in the notice within the time set forth in the notice. The CITY may cause the work to be completed at the expense of the DEVELOPER, if the DEVELOPER does not complete the work within the time set forth in the notice.

(P-3) To furnish, within 30 days of completion, an engineer's certificate that the construction of the public Improvements set forth in Paragraph P-1 above have been

completed in accordance with the specifications of the CITY in accordance with the approved plans. The engineer's certificate will cover only those items the DEVELOPER'S engineer inspects.

(P-4) To install all water mains, storm sewers, and sanitary sewers, pursuant to CITY approved plans and specifications, necessary to connect the site with existing CITY systems adjacent to the site prior to the issuance of any building permits.

(P-5) To indemnify, defend and hold the CITY harmless from any claims, losses, liabilities, damages or expenses (including reasonable attorney fees) suffered or incurred by the CITY based upon or resulting from any acts or omissions of the DEVELOPER, its employees, agents, subcontractors, invitees, or licensees in the design, construction, maintenance or repair of any of the Improvements required under this Agreement and the Site Plan.

(P-6) To cause to be maintained General Liability Insurance and Property Damage Insurance in the minimum amount of \$1,000,000 per occurrence and naming the CITY as an additional insured to protect and indemnify the CITY against any claims for damage due to public use of the public Improvements in the development prior to final written acceptance of the public Improvements by the CITY. Evidence of such insurance shall be produced prior to any construction of Improvement and a copy filed with the City Clerk's Office and shall remain in full force and effect during construction of the public Improvements and until notice of acceptance by the CITY of the Improvements.

(P-7) For the benefit of the residents of the DEVELOPER'S development, to make a park contribution of \$43,000 to the CITY Parks and Recreation Services Unit prior to the issuance of certificates of occupancy for Improvements to Huron Highlands, Cloverdale, Olsen or Leslie Parks.

(P-8) To construct, repair and/or adequately maintain the on-site storm water management system. If the DEVELOPER fails to construct, repair and/or maintain the private storm water management system, the CITY may send notice via first class mail to the DEVELOPER at the address listed above, requiring it to commence and complete the items stated in the notice within the time set forth in the notice. The CITY may cause the work to be completed at the expense of the DEVELOPER if the DEVELOPER does not complete the work within the time set forth in the notice.

(P-9) After construction of the private on-site storm water management system, to commission an annual inspection of the system by a registered professional engineer evaluating its operation and stating required maintenance or repairs, and to provide a written copy of this evaluation to the CITY Public Services Area upon request.

(P-10) To remove all discarded building materials and rubbish from the development at least once each month during construction of the development Improvements, and within one month after completion or abandonment of construction.

(P-11) DEVELOPER is the sole title holder in fee simple of the land described below except for any mortgage, easements and deed restrictions of record and that the persons signing below on behalf of DEVELOPER has legal authority and capacity to enter into this Agreement for DEVELOPER.

(P-12) Failure to construct, repair and/or maintain the site pursuant to the Site Plan and/or failure to comply with any of this Agreement's terms and conditions shall constitute a material breach of the Agreement and the CITY shall have all remedies in law and/or in equity necessary to ensure that the DEVELOPER complies with the Site Plan and/or the terms and conditions of the Agreement. The DEVELOPER shall be responsible for all costs and expenses including reasonable attorney fees incurred by the CITY in enforcing the terms and conditions of the Site Plan and/or Agreement.

(P-14) In addition to any other remedy set forth in this Agreement or in law or equity, if DEVELOPER fails to make a timely or full payments to the CITY as set forth elsewhere in the Agreement to the CITY in the agreed upon manner, any unpaid amount(s) shall become a lien, as provided under Ann Arbor City Code and recorded with the Washtenaw County Register of Deeds, against the land described below and may be placed on the CITY tax roll as a single lot assessment, or if the development is converted to condominium ownership, every owner of a portion of the property shall pay a pro-rata share of the amount of the payments attributable to each condominium unit. If the unpaid amount(s), in whole or in part, has been recorded as a lien on the CITY'S tax roll and with the Washtenaw County Register of Deeds, upon payment of the amount in full along with any penalties and interest, the CITY, upon request, will execute an instrument in recordable form acknowledging full satisfaction of this condition.

(P-15) To pay for the cost of recording this Agreement with the Washtenaw County Register of Deeds, and to pay for the cost of recording all documents granting easements to the CITY.

THE CITY HEREBY AGREES:

(C-1) In consideration of the above undertakings, to approve the Bristol Ridge Site Plan.

(C-2) To use the park contribution described above for improvements to Huron Highlands, Cloverdale, Olsen or Leslie Parks.

(C-4) To provide timely and reasonable CITY inspections as may be required during construction.

(C-5) To record this Agreement with the Washtenaw County Register of Deeds.

GENERAL TERMS

Both the DEVELOPER and the CITY agree as follows:

(T-1) This Agreement is not intended to create a contractual right for third parties.

(T-2) This Agreement and any of its terms, conditions, or provisions cannot be modified, amended, or waived unless in writing and unless executed by both parties to this Agreement. Any representations or statements, whether oral or in writing, not contained in this Agreement shall not be binding on either party.

(T-3) This Agreement and any of its terms or conditions shall not be assigned or transferred to any other individual or entity unless prior approval of the CITY is received. Such approval shall not be withheld unreasonably.

(T-4) The obligations and conditions on the DEVELOPER, as set forth above in this Agreement and in the Site Plan, shall be binding on any successors and assigns in ownership of the following described parcel:

THE LAND SITUATED IN THE CITY OF ANN ARBOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

Parcel ID Nos.:09-09-16-200-170
09-09-16-200-171
09-09-16-200-172

(T-5) In addition to any other remedy in law or in equity failure to comply with all of the above paragraphs on the part of the DEVELOPER, or any part of the Site Plan, in part or in whole, shall give the CITY adequate basis and cause to issue a stop work order for any previously-issued building permits and shall be an adequate basis and cause for the CITY to deny the issuance of any building permits, certificates of occupancy, or any other permits unless and until the CITY has notified the DEVELOPER in writing that the DEVELOPER has satisfactorily corrected the item(s) the DEVELOPER has failed to perform.

(T-6) This Agreement shall be interpreted, enforced and governed under the laws of the State of Michigan and Ann Arbor City Code. DEVELOPER submits to the personal jurisdiction of any competent court in Washtenaw County, Michigan, for any action arising out of this Agreement. DEVELOPER also agrees that no action will be commenced against the City because of any matter arising out of this Agreement in any courts other than those in the County of Washtenaw, State of Michigan, unless original jurisdiction can be established in the United States District Court for the Eastern District of Michigan, Southern Division, the Michigan Supreme Court, or the Michigan Court of Appeals.

CITY OF ANN ARBOR, MICHIGAN
301 East Huron Street
Ann Arbor, Michigan 48107

By: _____
Christopher Taylor, Mayor

By: _____
Jacqueline Beaudry, City Clerk

Approved as to Substance:

Howard Lazarus, City Administrator

Approved as to Form:

Stephen K. Postema, City Attorney

Commercial Property Investors
of Pontiac Trail, LLC

By: _____
James Frank, President

STATE OF MICHIGAN)
) ss:
County of Washtenaw)

The foregoing instrument was acknowledged before me this _____ day of _____, 201__
by Christopher Taylor, Mayor, and Jacqueline Beaudry, Clerk of the City of Ann Arbor, a Michigan
municipal corporation, on behalf of the corporation.

NOTARY PUBLIC
County of Washtenaw, State of Michigan
My Commission Expires: _____
Acting in the County of Washtenaw

STATE OF MICHIGAN)
) ss:

County of _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 201__
by James Frank, President, of Commercial Property Investors of Pontiac Trail, LLC, on behalf of the
company.

NOTARY PUBLIC

County of _____, State of Michigan

My Commission Expires: _____

Acting in the County of _____

DRAFTED BY AND AFTER RECORDING RETURN TO:

Ann Arbor Planning & Development Services
ATTN: Brett Lenart
Post Office Box 8647
Ann Arbor, Michigan 48107
(734) 794-6265

DRAFT