

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 450 South First Street, Application Number HDC13-148

DISTRICT: Old West Side Historic District

REPORT DATE: September 6 for the September 12, 2013 HDC Meeting

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, September 9, 2013

	OWNER	APPLICANT
Name:	David and Carol Morse	Same
Address:	450 S First Street Ann Arbor, MI 48103	
Phone:	(734) 997-9425	

BACKGROUND: This one and three-quarter story gable-fronter features a full width stuccoed front porch, wood clapboard siding on the upper floor and stucco on the lower, and retains its original four-over-one double hung windows. The first occupant was Theodore Kauffman, a clerk, in 1923.

LOCATION: The site is located on the west side of South First Street, south of West William and one lot north of West Jefferson.

APPLICATION: The applicant seeks HDC approval to construct a 113 square foot rear addition with a trellised roof deck, and a 120 square foot shed and trellis in the back yard. The addition's siding and soffits are cement board, with wood corner boards and fascia. A pair of original double hung windows have been relocated from the current rear wall to the new addition's rear wall. A wood deck and trellis on top of the addition are accessed through an existing second floor door. The shed is 8' tall, has a flat roof, and horizontal wood board and batten siding. A simple 8' trellis is located along the north property line between the house and shed. An existing horizontal board wood fence behind the shed and trellis is retrofitted with wood battens. In addition, non-original attic vents both gables would be replaced with the original wood windows, which were found stored in the house.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:



- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Additions

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Building Site

Recommended: Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Not Recommended: Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

From the City of Ann Arbor Design Guidelines:

All Additions

Appropriate: Placing a new addition on non-character-defining or inconspicuous elevations and limiting the size and scale in relationship to the historic property.

Designing a new addition in a manner that makes clear what is historic and what is new.

Not Appropriate: Designing an addition to appear older than, or the same age as, the original building.

STAFF FINDINGS:

1. The proposed addition increases the size of an existing first floor office that is too small to hold a double bed. The new space is large enough for a bed and desk, and allows a half-bath to be converted to a three-quarter bath by adding a shower. The addition has a membrane roof with a deck over it, and the deck features a wood guardrail and trellis. The addition replaces an existing second story deck that is supported by wood posts.
2. The garden and bike shed are located where a garage once stood. Its small size and low height will have a minimal impact on surrounding properties.
3. Moving the existing pair of windows from the house's rear elevation to the rear elevation of the addition is appropriate, since they are a character-defining feature of the house. The four-over-one windows are in good condition.
4. Staff recommends approval of the application. The addition is compatible but does not duplicate the existing structure, and should have no negative impacts on neighboring properties. The shed and trellis are simple and compatible, and restoring the original attic windows is appreciated by staff. The work is generally compatible in exterior design, arrangement, texture, material and relationship to the historic house, the lot, and the surrounding area.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 450 South First Street, a contributing property in the Old West Side Historic District, to construct a 113 square foot rear addition with a trellised roof deck, and a 120 square foot shed, as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for additions and building site, as well as the *Ann Arbor Historic District Design Guidelines*, particularly as they pertain to additions.

MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 450 S First Street in the Old West Side Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that*

apply): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, letter, photos, drawings.

450 S First Street (2008 Survey Photo)





**City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING
SERVICES**

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p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information

Address of Property: 450 South First Street

Historic District: Old West Side

Name of Property Owner (If different than the applicant):
David Morse & Carol Tell

Address of Property Owner: 450 S. First St., Ann Arbor, MI 48103

Daytime Phone and E-mail of Property Owner: 734-997-9425 MORSEDL@umich.edu

Signature of Property Owner: [Signature] Date: 8-21-13

Section 2: Applicant Information

Name of Applicant: Marc Rueter

Address of Applicant: 515 Fifth St., Ann Arbor, MI 48103

Daytime Phone: (734) 769-0070 Fax: (734) 769-0167

E-mail: mr Rueter@rueterarchitects.com

Applicant's Relationship to Property: owner architect contactor other

Signature of applicant: [Signature] Date: 8/21/13

Section 3: Building Use (check all that apply)

Residential Single Family Multiple Family Rental

Commercial Institutional

Section 4: Stille-DeRossett-Hale Single State Construction Code Act
(This item **MUST BE INITIALED** for your application to be **PROCESSED**)

Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."

Please initial here: [Initials]

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. See attached.

2. Provide a description of existing conditions. See attached.

3. What are the reasons for the proposed changes? See attached.

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

See attached.

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC

Project No.: HDC Fee Paid: 300⁰⁰ - ck # 1038

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ _____ HDC NTP _____ Staff COA

Comments:

MEMORANDUM

DATE: Aug 22, 2013
TO: City of Ann Arbor Historic District Commission
FROM: Marc M Rueter AIA
PROJECT: 450 South First Street Rear Addition
CC:

REGARDING: Supplement to HDC Application

DESCRIPTION OF EXISTING PROPERTY:

The House is a compact simplified Craftsman-style design with one and one half stories. The home is 1234 square feet and is on a small 35 x 87 foot lot zoned R4C. The lower story is stucco applied over wood frame and the second floor is clad with wood bevel siding having a narrow exposure. The rafter tails are nicely coped with a half banjo design. The rake boards are oversized and are blunt cut at the bottoms.

The house was a two family home for a long time and has been converted back into a single family. The second floor was one apartment with a second floor door and fire escape added. After conversion back into a single family, the fire escape was removed and a wood deck installed.

The small one car garage was demolished years ago. There is no facility for outside storage of garden equipment and bicycles.

DESCRIPTION OF PROPOSED CHANGES:

The Owner wishes to remove the wood deck and add a small one story 13' 7" by 8' 8" addition at the rear. A small study will then be expanded into this space to create a new bedroom with an attached bath. The addition will have a flat roof providing a new deck for the master bedroom upstairs. The existing second floor door will be used to access the deck. The deck will be shaded from the west sun with an open trellis.

A small 10' x 12' wood garden shed will be constructed at the rear of the site.

REASON FOR PROPOSED CHANGES:

The Owners wish to create a small ground level bedroom and bath for their visiting parents. They also need outside storage for garden equipment and bicycles

PROVIDE ADDITIONAL INFORMATION THAT WILL FURTHER EXPLAIN OR CLARIFY THE PROPOSAL:

See the attached site plan, floor plans and elevation drawings of the exterior.



Marc Rueter AIA
Rueter Associates Architects

A REAR ADDITION TO 450 SOUTH FIRST STREET,
ANN ARBOR, MI 48103

DRAWING INDEX

- 0 DRAWING INDEX & PHOTOGRAPHS
- 1 EXISTING SITE PLAN
- 2 EXISTING PLANS AND ELEVATIONS
- 3 PROPOSED SITE PLAN
- 4 PROPOSED PARTIAL ENLARGED FLOOR PLAN
- 5 PROPOSED ELEVATIONS
- 6 PROPOSED ELEVATIONS



Photo of west elevation (deck to be removed) and new addition at right to be constructed

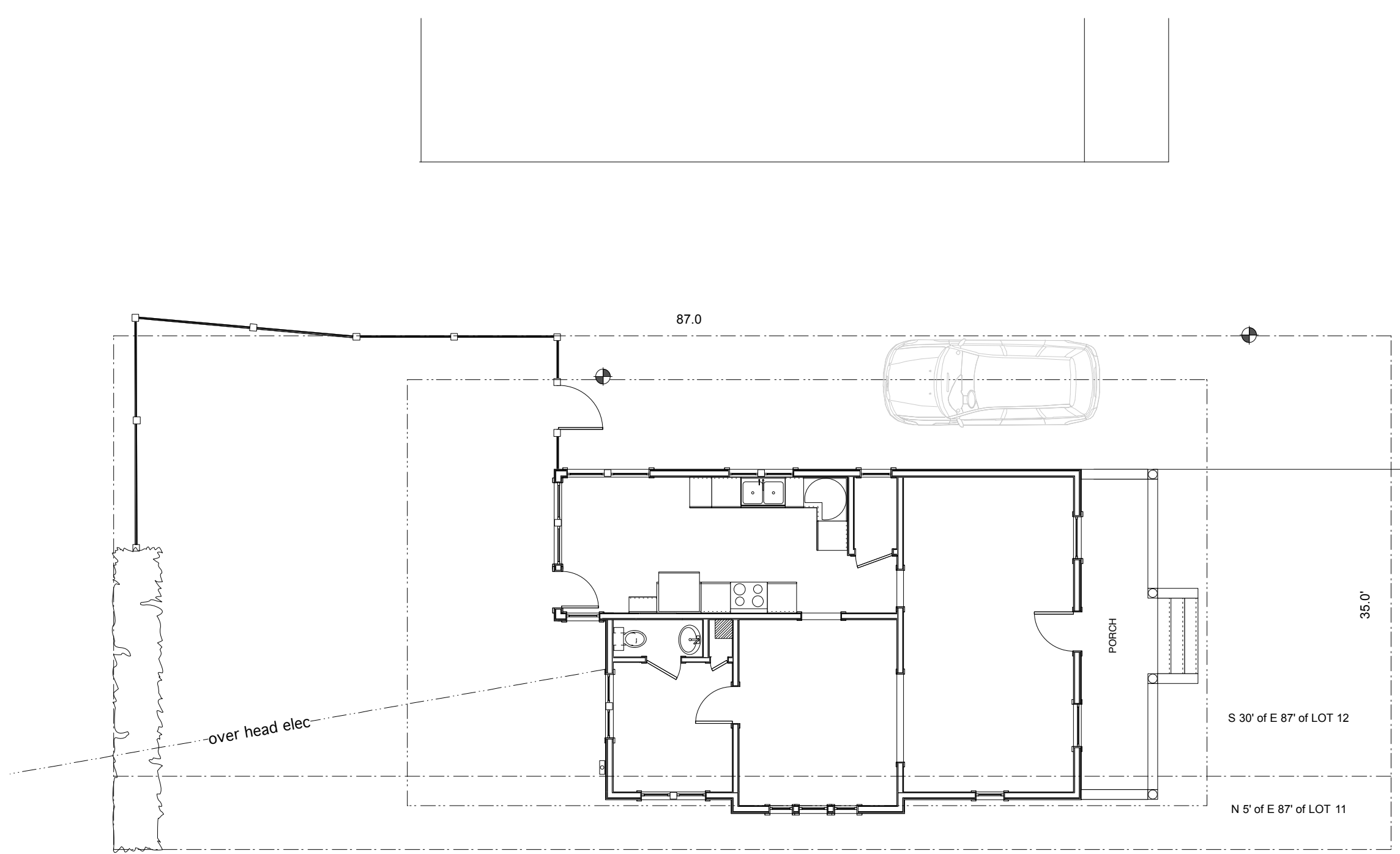


Photo of east elevation upper deck (door to remain-deck to be removed)



Photo of east elevation (no changes)

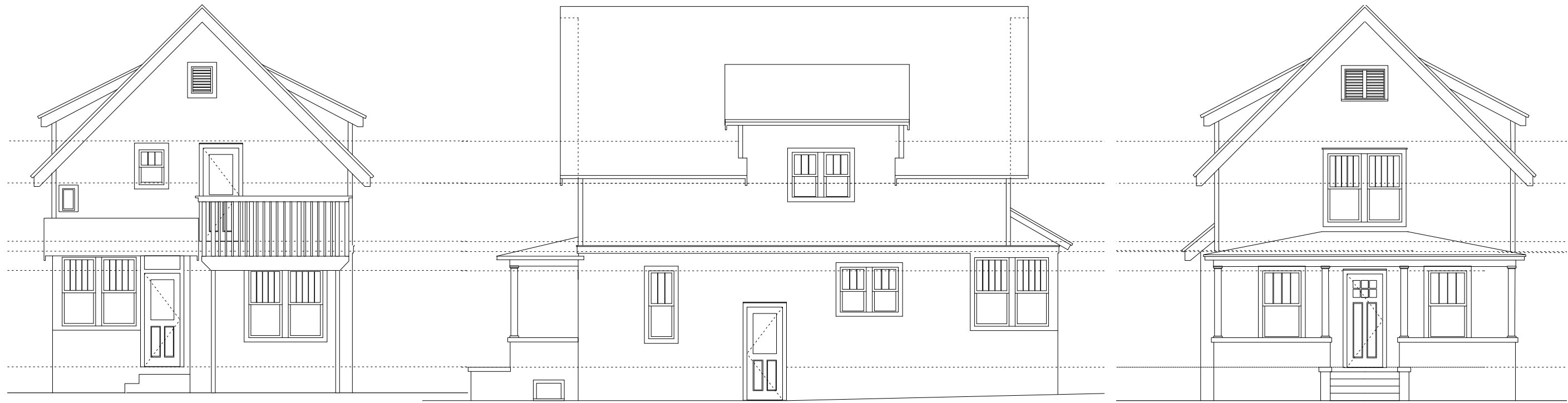
HDC 08 22 13



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FIRST STREET. 66' ROW.

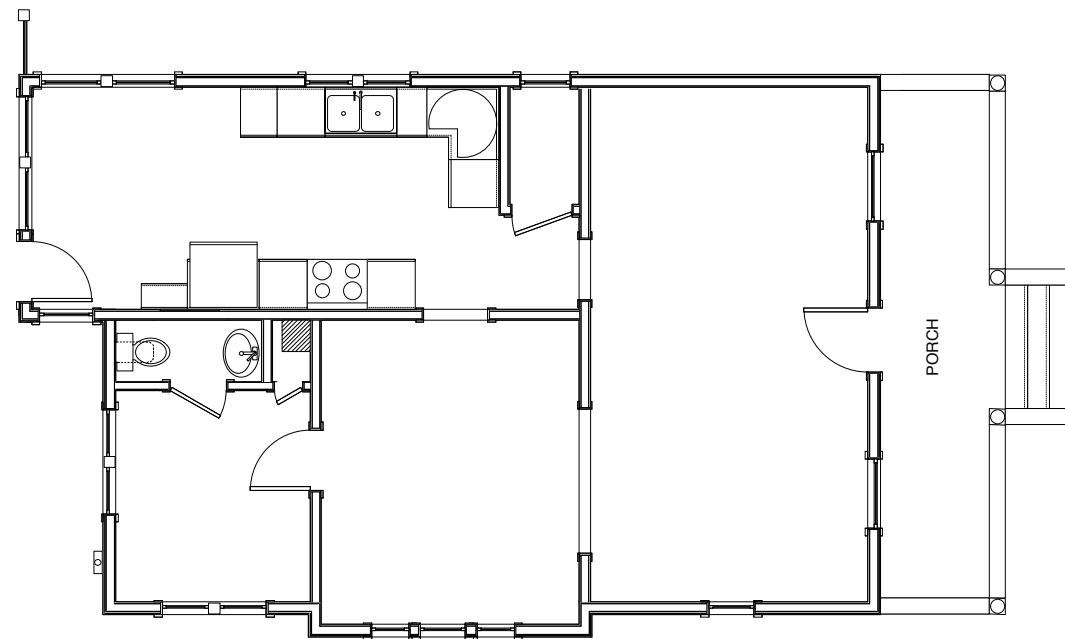
EXISTING SITE PLAN



Existing West Elevation

Existing North Elevation

Existing East Elevation



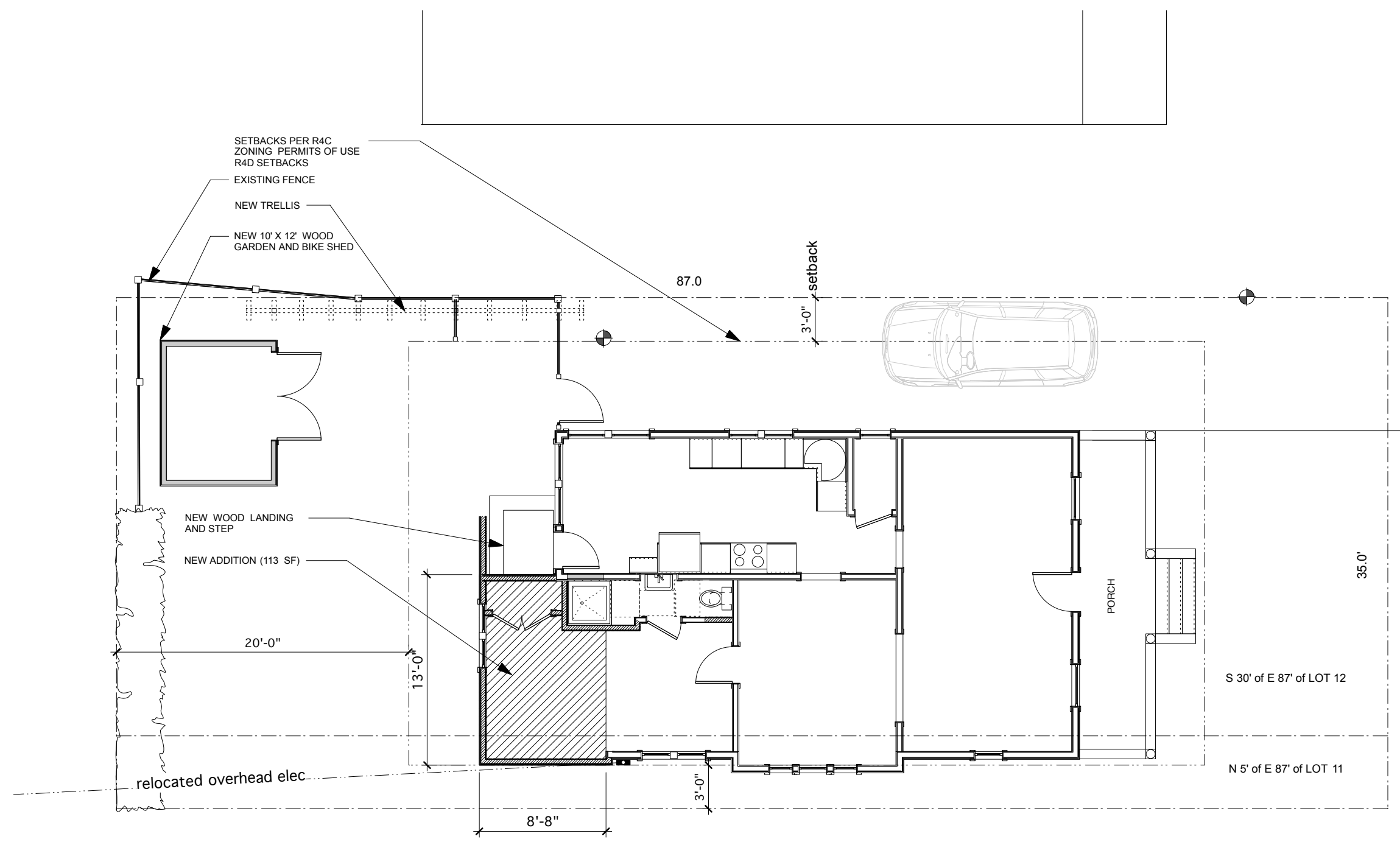
Existing First Floor Plan



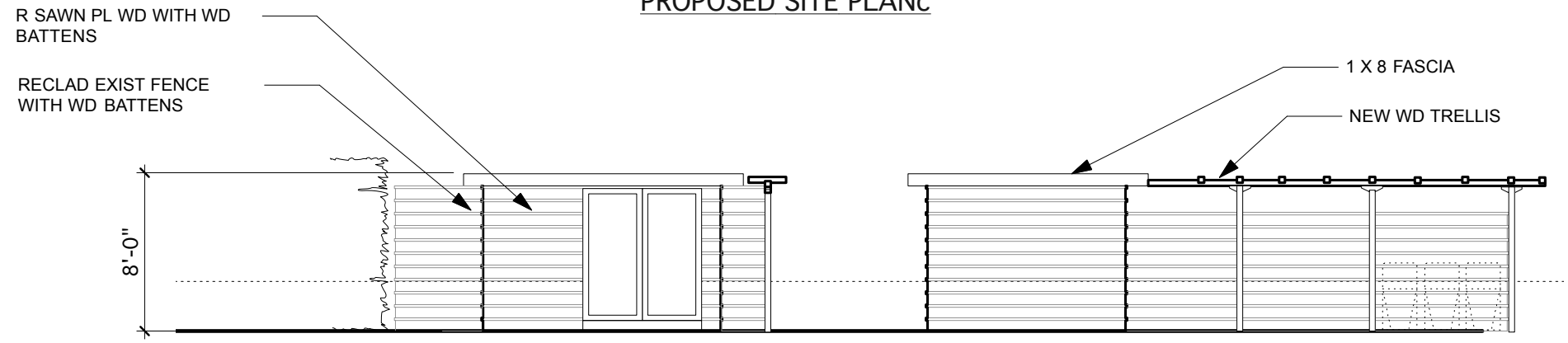
Existing South Elevation



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PROPOSED SITE PLANc



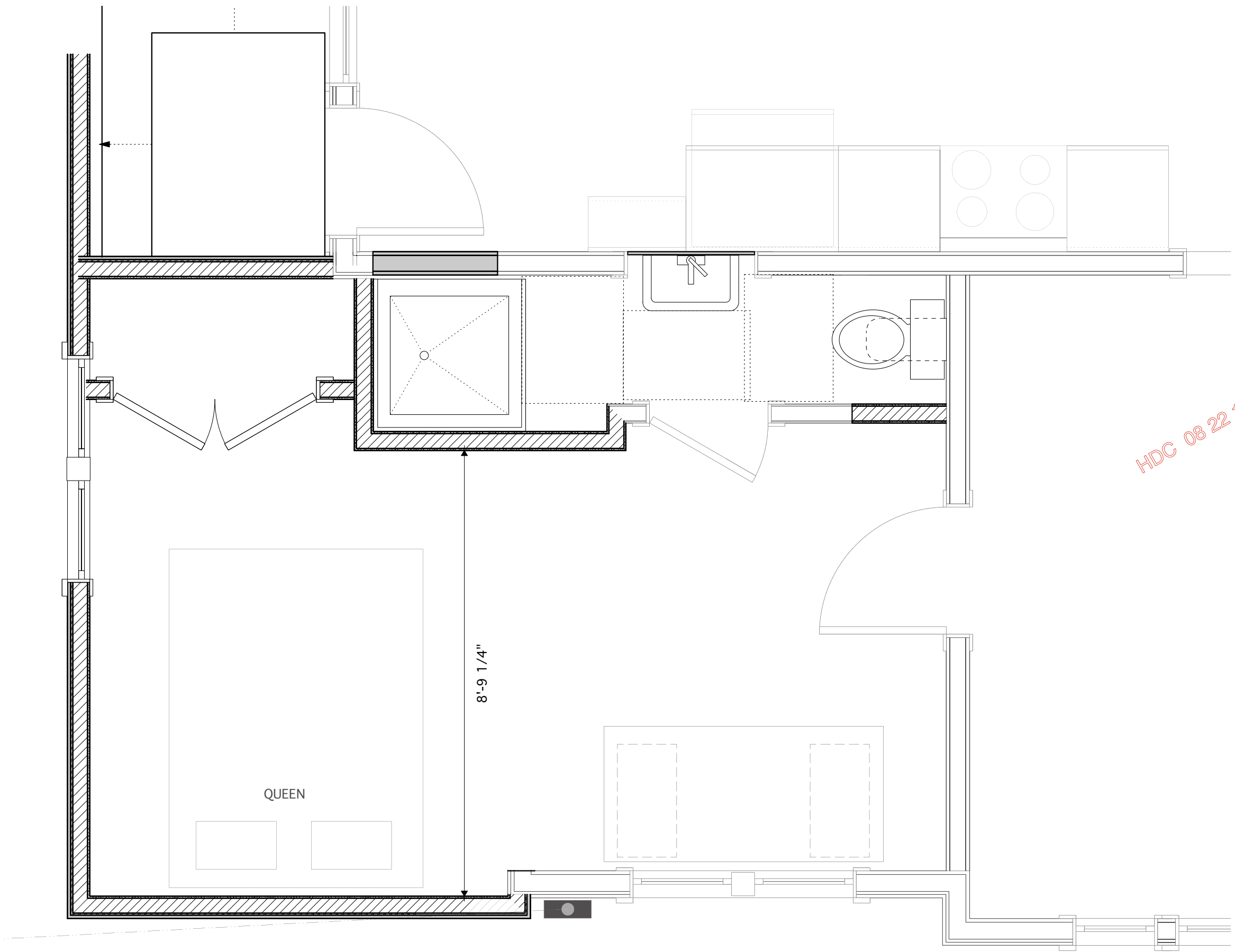
EAST ELEVATION

SOUTH ELEVATION

PROPOSED GARDEN SHED

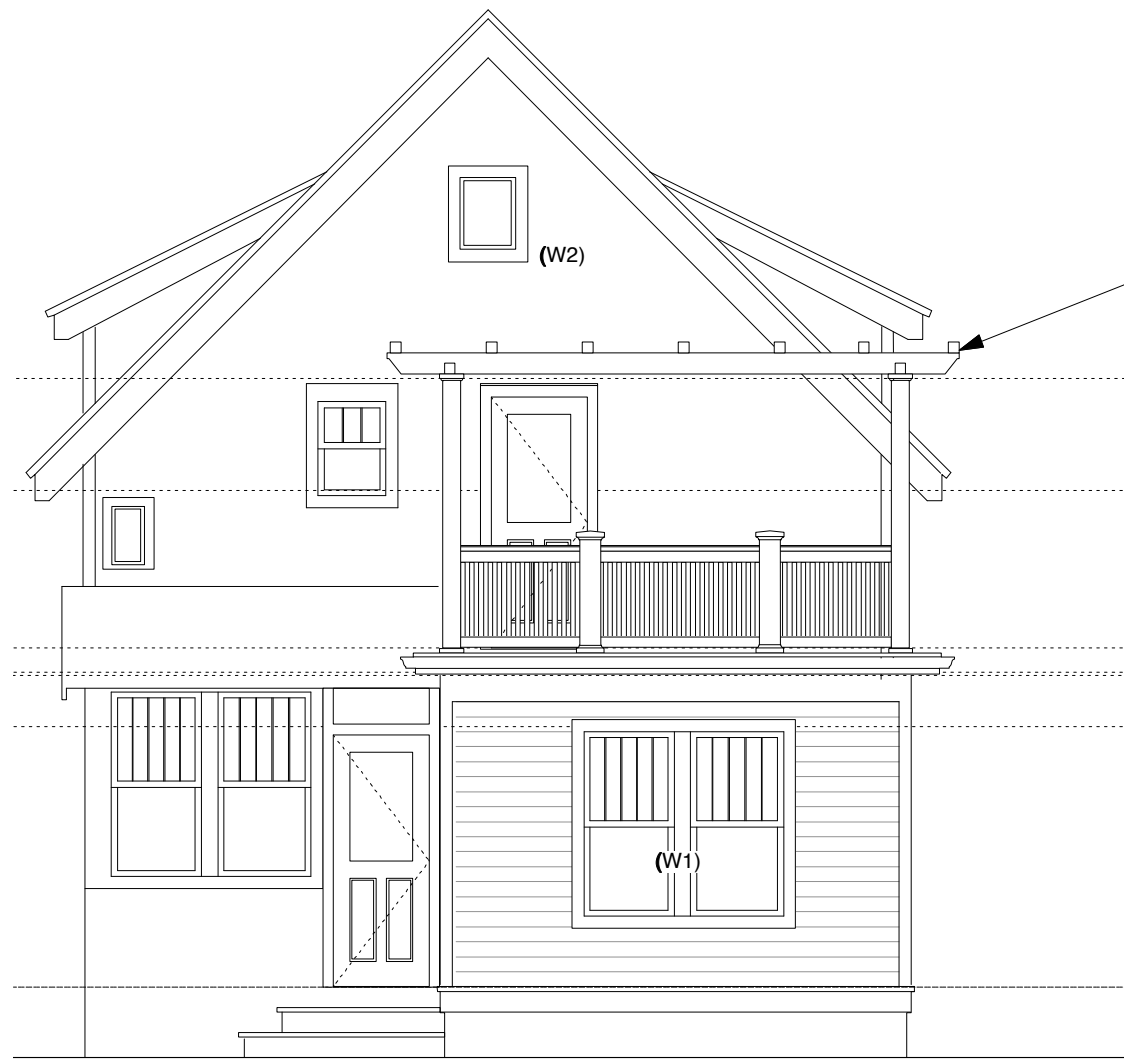
Existing First Fl	769
Existing Second Fl	465
Total	1234 (CITY ASSESSOR)

Added Area of Addition: 113 14.7 % Increase in footprint size
9.2 % increase in total area of enclosed space



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5 Proposed Partial Enlarged New First Floor Plan



Proposed West Elevation

WINDOW SCHEDULE

Mark	Type	Unit Size	RO	NOTES
(W1)	double hung	30 w x 60 h		Reuse existing window
(W2)	attic vent			Replace vent with original windows found in attic

NEW MATERIAL DESCRIPTION:

ROOF:
epdm membrane 1/4" / ft slope overlain with wood decking

FASCIA:
1" x 8" wd bd

GUTTERS:
5" K style alum gutters

SOFFITS:
perforated 5/16" cement board

SILL BOARDS:
1" x 6" wd with 1" x 3" wash

CORNER BOARDS:
5/4" x 4" wd

SIDING:
5/16"x 6" cement board siding with exposure to match exist

NEW TRELLIS 6" IN FRONT OF EXISTING GABLE RAKE

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Proposed North Elevation

UPPER PORCH
trellis columns and newels:
8" X 8" wood square ,with 1-1/2" applied capitol and base

balusters:
1 1/2" x 1-1/2" square spaced 1-1/2"

deck:
1"x 6" wood decking on adjustable pedestals

trellis:
2" x 8" joists spaced 16" o.c. with 4" x 4" cedar trellis 32" o.c.

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Proposed East Elevation



Proposed South Elevation