

## ANN ARBOR HISTORIC DISTRICT COMMISSION

### Staff Report

**ADDRESS:** 521 Fifth Street, Application Number HDC16-283

**DISTRICT:** Old West Side Historic District

**REPORT DATE:** December 8, 2016

**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator

**REVIEW COMMITTEE DATE:** December 5, 2016

#### OWNER

**Name:** Richard Cooke  
**Address:** 521 Fifth Street  
 Ann Arbor, MI 48103  
**Phone:** (734) 646-3609

#### APPLICANT

Rueter Associates Architects  
 515 Fifth Street  
 Ann Arbor, MI 48103  
 (734) 769-0070

**BACKGROUND:** This 1 ¾ story gable-fronter features two over two windows, wide board eave trim, a cut stone foundation, and a small Queen Anne style entry porch. It appears in the 1894 Polk City Directory as the home of laborer G. Frederick Mack at number 33. That address does not appear in the 1891-2 directory.

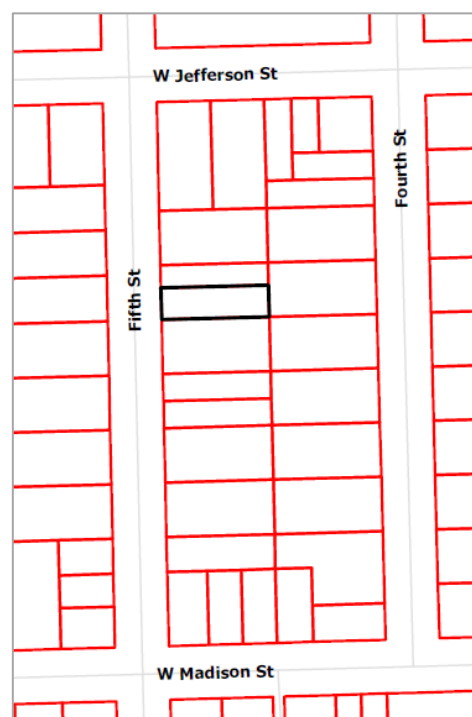
**LOCATION:** The site is located on the east side of Fifth Street, south of West Jefferson and north of West Madison Streets.

**APPLICATION:** The applicant seeks HDC approval to remove a modern garage and replace it with a new garage with a carport in front.

#### APPLICABLE REGULATIONS:

##### From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

**Building Site**

Recommended: Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Retaining the historic relationship between buildings, landscape features, and open space.

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the building site so that, as a result, the character is diminished.

**District or Neighborhood Setting**

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

**From the Ann Arbor Historic District Design Guidelines (other Guidelines may apply):**

**Residential Accessory Structures**

Not Appropriate: Introducing new structures or site features that are out of scale with the property or the district or are otherwise inappropriate.

**STAFF FINDINGS:**

1. The existing garage was constructed in 1956, per City Assessor records. It is 14'4" wide and 20'5" deep.
2. The proposed stacked carport/garage would be pushed back ten feet from the front of the current garage. The carport in front of the garage would be 12'2" wide and 20'2" deep. Behind it, the one-car garage would be the same width and 24'2" deep, with a 6' side storage bump out on half of the north side. The driveway extension and area under the carport would be permeable pavers, to facilitate water flow to a 36" walnut tree that the project is designed around.
3. The carport has a privacy lattice on the south side. Materials include 5" exposure

cementitious siding, wood fascia and rake boards, asphalt (pitched) and membrane (flat) roofing, clad wood windows, two steel person doors, and a wood roll-up four-panel door. The carport structure and rear stair to the second floor would also be wood.

4. There is a neighboring garage with a separate driveway immediately to the south. Removing the existing garage and replacing it with the proposed carport/garage will have less impact on the neighbors to the south while providing storage and a multi-functional patio space. The narrow design suits the narrow, deep lot, and pains taken to preserve the 36" walnut tree are appreciated.
5. Staff recommends approval of the application. The existing garage is not a contributing structure. The proposed garage is well suited to the lot, and the design, materials, and location are compatible with the historic home and do not distract from it or neighboring historic resources.

## MOTION

I move that the Commission issue a certificate of appropriateness for the application at 521 Fifth Street, a contributing property in the Old West Side Historic District, to demolish a non-contributing garage and construct a carport/garage. The work as conditioned is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9, and 10 and the guidelines for building site and neighborhood, as well as the *Ann Arbor Historic District Design Guidelines*, particularly as they pertain to residential accessory structures.

## MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at \_\_\_\_\_ in the \_\_\_\_\_ Historic District

\_\_\_\_ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

### ATTACHMENTS:

application, letter, survey, drawings

521 Fifth Street (2007 Survey Photo)





**City of Ann Arbor  
PLANNING & DEVELOPMENT SERVICES — PLANNING  
SERVICES**

301 E. Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647  
p. 734.794.6265 | f. 734.994.8312 | [planning@a2gov.org](mailto:planning@a2gov.org)

**ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION**

<b>Section 1: Property Being Reviewed and Ownership Information</b>	
Address of Property:	<u>521 Fifth Street</u>
Historic District:	<u>Old West Side</u>
Name of Property Owner (If different than the applicant):	<u>Richard Cooke</u>
Address of Property Owner:	<u>521 Fifth Street</u>
Daytime Phone and E-mail of Property Owner:	<u>734-646-3609 rgcooke@mac.com</u>
Signature of Property Owner:	<u>[Signature]</u> Date: <u>11/15/16</u>
<b>Section 2: Applicant Information</b>	
Name of Applicant:	<u>Rueter Associates Architects</u>
Address of Applicant:	<u>515 Fifth Street, Ann Arbor, MI 48103</u>
Daytime Phone:	<u>(734) 769-0070</u> Fax: <u>( )</u>
E-mail:	<u>admin@rueterarchitects.com</u>
Applicant's Relationship to Property:	owner <input checked="" type="checkbox"/> architect <input type="checkbox"/> contactor <input type="checkbox"/> other <input type="checkbox"/>
Signature of applicant:	<u>[Signature]</u> Date: <u>11/15/16</u>
<b>Section 3: Building Use (check all that apply)</b>	
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Single Family <input type="checkbox"/> Multiple Family <input type="checkbox"/> Rental	
<input type="checkbox"/> Commercial <input type="checkbox"/> Institutional	
<b>Section 4: Stille-DeRossett-Hale Single State Construction Code Act</b> (This item <b>MUST BE INITIALED</b> for your application to be <b>PROCESSED</b> )	
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."	
Please initial here: <u>[Initials]</u>	

**Section 5: Description of Proposed Changes (attach additional sheets as necessary)**

1. Provide a brief summary of proposed changes. See attached,

2. Provide a description of existing conditions. See attached,

3. What are the reasons for the proposed changes? See attached,

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here. See attached,

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

**STAFF USE ONLY**

Date Submitted: \_\_\_\_\_ Application to \_\_\_\_\_ Staff or \_\_\_\_\_ HDC

Project No.: HDC 16-283 Fee Paid: 100<sup>00</sup>

Pre-filing Staff Reviewer & Date: \_\_\_\_\_ Date of Public Hearing: \_\_\_\_\_

Application Filing Date: \_\_\_\_\_ Action: \_\_\_\_\_ HDC COA \_\_\_\_\_ HDC Denial

Staff signature: \_\_\_\_\_ \_\_\_\_\_ HDC NTP \_\_\_\_\_ Staff COA

Comments:

**MEMORANDUM**

**DATE:** Nov 18, 2016  
**TO:** City of Ann Arbor Historic District Commission  
**FROM:** Marc M Rueter AIA  
**PROJECT:** 521 Fifth Street New Garage  
**CC:**

**REGARDING:** Supplement to HDC Application

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**DESCRIPTION OF EXISTING PROPERTY:**

The house is a two story vernacular possibly from the 1870's to 1880's with a Queen Anne porch. The original windows are 2 over 2 with a wide vertical center muntin. Some of the windows, mostly on the second floor, were replaced with 4 over 4 windows at an undetermined date.

The 280 square foot garage according to City Assessor records was constructed in 1956.

**DESCRIPTION OF PROPOSED CHANGES:**

The Owner wishes to demolish the 280 square foot non-contributing garage and construct a new 372 square foot garage with an attached carport for additional car and bicycle storage.

**REASON FOR PROPOSED CHANGES:**

The lot has two very tall walnut trees in the rear portion of the lot. One tree is 90 feet tall and the rear lot line tree is 97 feet tall. The existing garage is located such that the use of the rear lot is severely compromised. Additionally, falling walnuts have caused severe automobile damage in the neighborhood. The carport and garage will shelter the cars. Additionally, the carport will serve as a protected outdoor entertainment area for the family.

We have worked with a certified forester to insure that the new paving and foundations will minimize damage to the walnut tree roots. The garage and carport will not have traditional foundations which would severely cut the root systems. Instead, post frame foundations drilled at locations shown on the drawings will create minimal root disruption. The garage, carport slab and approach will be installed over a 12" rock bed with perforated pvc vents under the garage slab. The carport and approach will be surfaced with unit concrete permeable pavers installed over geotextile fabric and setting bed.

**PROVIDE ADDITIONAL INFORMATION THAT WILL FURTHER EXPLAIN OR CLARIFY THE PROPOSAL:**

See the attached photographs, site plan, floor plans and elevation drawings of the exterior.



Marc Rueter AIA  
Rueter Associates Architects

# ANN ARBOR HISTORIC DISTRICT COMMISSION

APPLICATION FOR DETERMINATION OF APPROPRIATENESS

FOR THE  
521 FIFTH STREET, ANN ARBOR, 48103



521 Fifth Street (no changes proposed to house)



1956 garage to be demolished

## LIST OF DRAWINGS

- T1. TITLE SHEET
- C1 SURVEY
- A1 SANBORN DRAWINGS
- A2 SITE PLAN - PROPOSED
- A3 FIRST FLOOR PLAN
- A4 FOOTING PLAN
- A5 WEST & SOUTH ELEVATION
- A6 EAST & NORTH ELEVATION
- A7 CROSS SECTION AT AA
- A8. PERSPECTIVE FROM WEST
- A9. SCALE COMPARISON OF HOUSE AND GARAGE

HDC SUBMISSION 11. 18.16

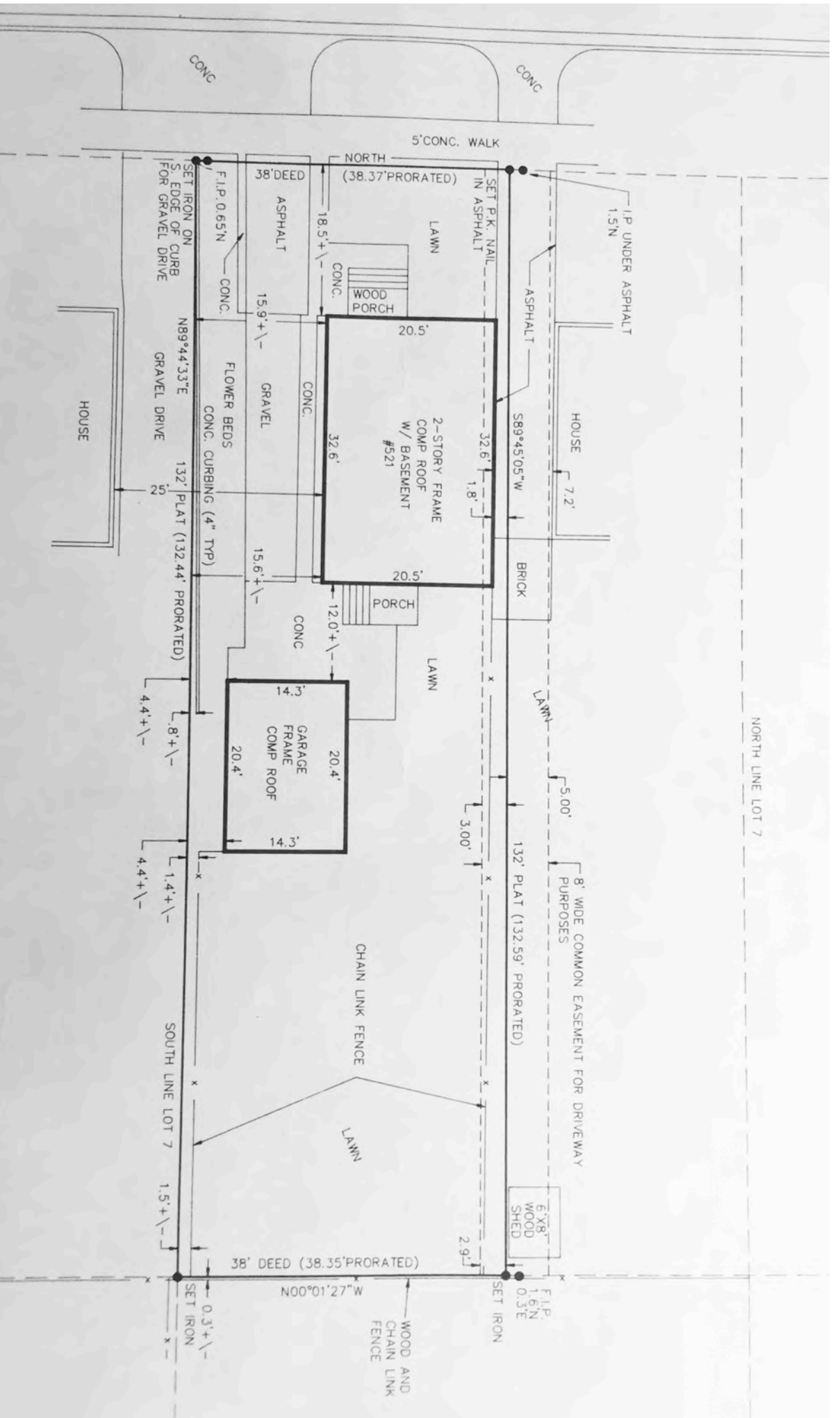
■ RUETER ASSOCIATES ■

ARCHITECTS

515 FIFTH STREET, ANN ARBOR, MICHIGAN 48103  
PHONE: (734) 769-9016  
P.O. BOX 14412 HDC 032114

COOKE RESIDENCE GARAGE T1

521 FIFTH STREET, ANN ARBOR, MI 48103



Survey  
Not to scale



HDC SUBMISSION 11. 18.16

RUETER ASSOCIATES

ARCHITECTS

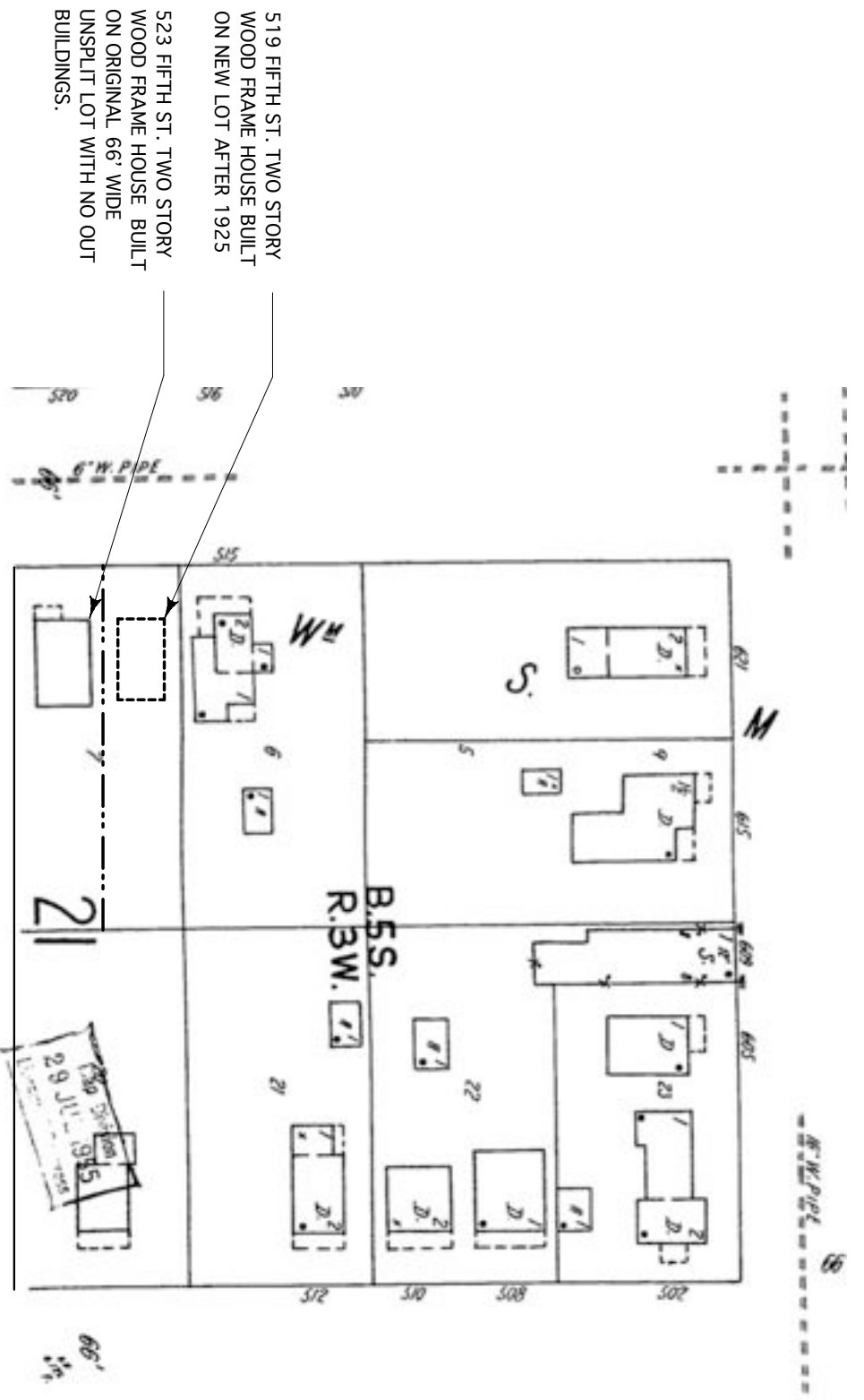
515 Fifth Street, Ann Arbor, Michigan 48103  
 Phone: (734) 961-0700, (734) 961-1671  
 FAX: 1-4012 HDC082114

COOKE RESIDENCE GARAGE

C1

521 FIFTH STREET, ANN ARBOR, MI 48103





1925 SANBORN MAP  
NO SCALE

HDC SUBMISSION 11.18.16

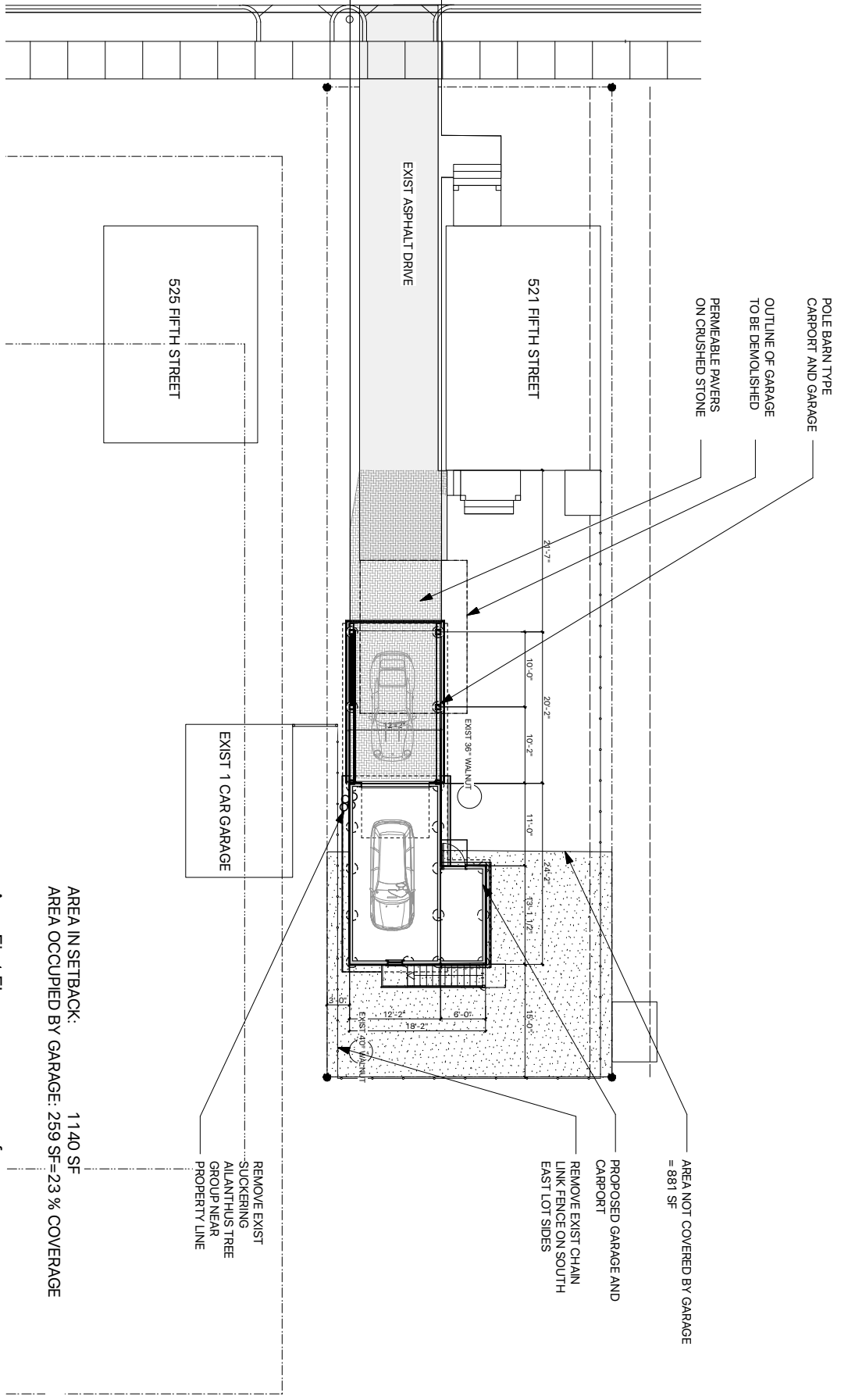
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COOKE RESIDENCE GARAGE A1

521 FIFTH STREET, ANN ARBOR, MI 48103

FIFTH STREET 66' WIDE



POLE BARN TYPE  
CARRPORT AND GARAGE  
OUTLINE OF GARAGE  
TO BE DEMOLISHED  
PERMEABLE PAVERS  
ON CRUSHED STONE

AREA NOT COVERED BY GARAGE  
= 881 SF

PROPOSED GARAGE AND  
CARRPORT  
REMOVE EXIST CHAIN  
LINK FENCE ON SOUTH  
EAST LOT SIDES

EXIST 1 CAR GARAGE

REMOVE EXIST  
SUCKERING  
ALANTHUS TREE  
GROUP NEAR  
PROPERTY LINE

AREA IN SETBACK: 1140 SF  
AREA OCCUPIED BY GARAGE: 259 SF=23 % COVERAGE

Area First Floor  
Existing garage (demo) -292 sf  
Proposed new garage: 372  
Net new garage space: 80

Proposed  
Site Plan

Scale: 1" = 20'-0" on 8 1/2" x 11"



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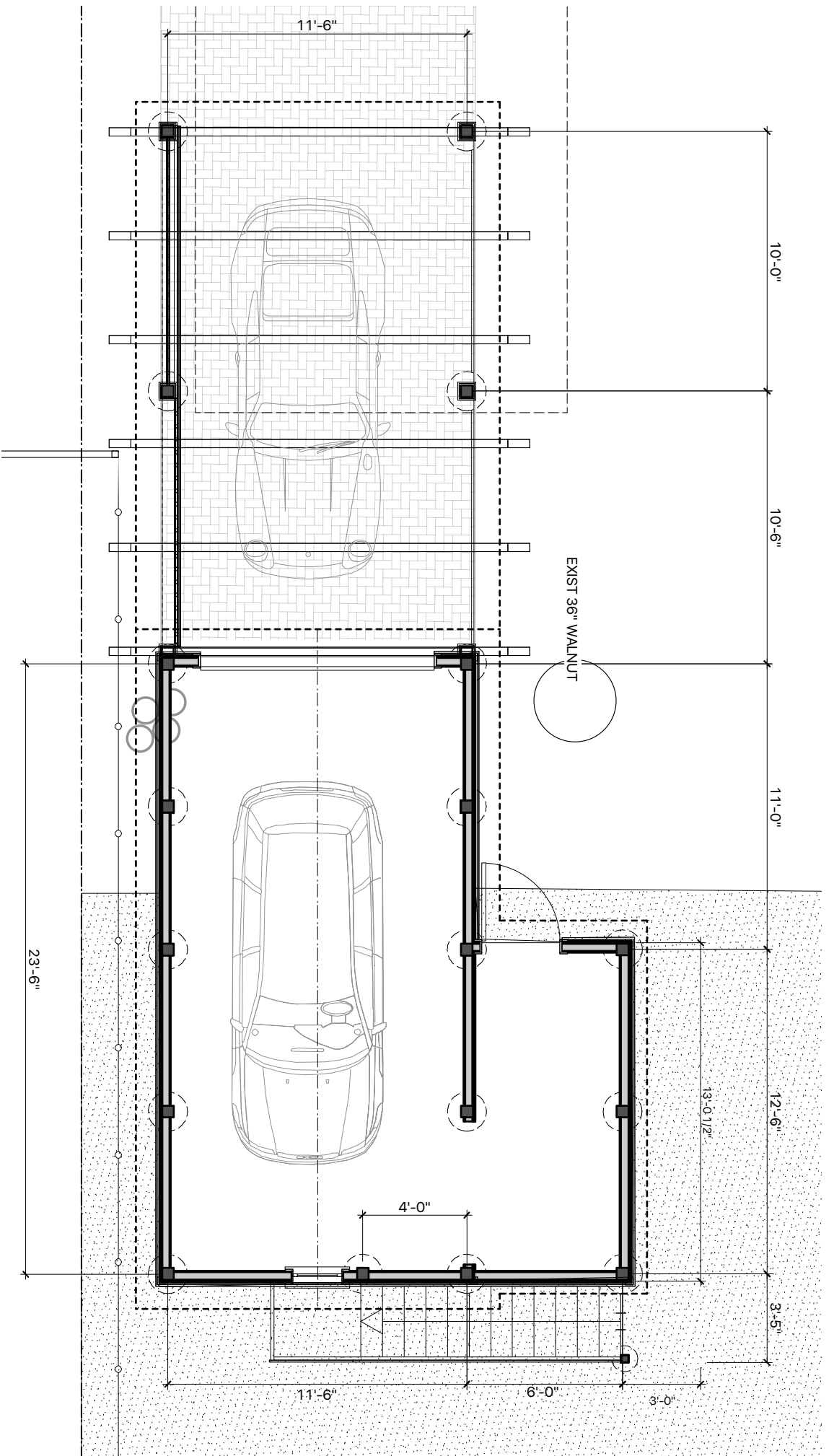
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RAA: 14-012 HDC 03/21/14

COOKE RESIDENCE GARAGE A2

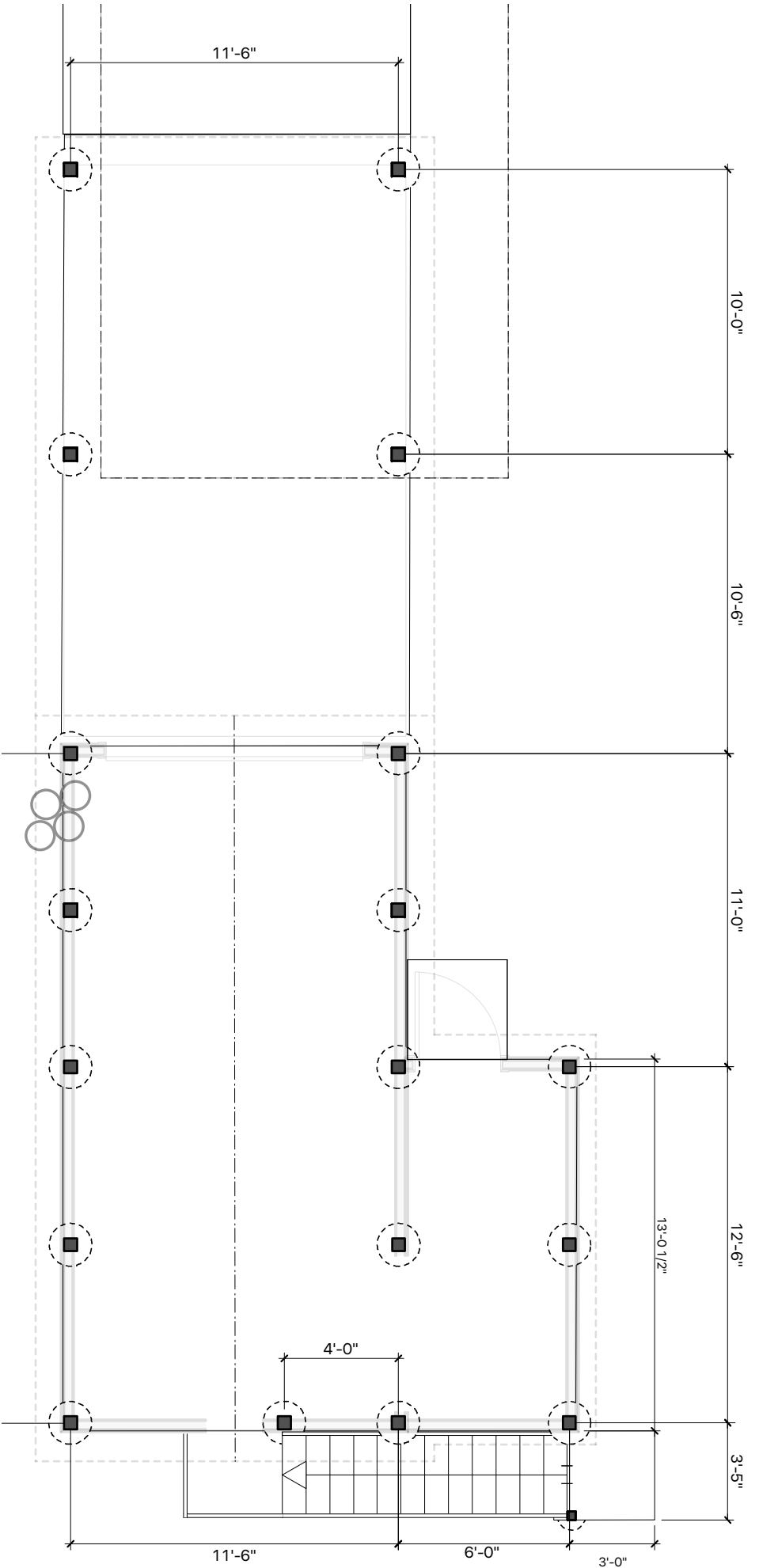
521 FIFTH STREET, ANN ARBOR, MI 48103



Proposed  
1 First Floor Plan

Scale: 3/16" = 1'-0" on 8 1/2" x 11"





Proposed  
1 Footing Plan

Scale: 3/16" = 1'-0" on 8 1/2" x 11"



**WINDOW SCHEDULE**

Mark	Type	Unit Size*	Size: Nominal	Notes
(W1)	double hung	WDH 2446	2'-0" x 3'-8"	

**WINDOW NOTES:**

Window sizes are based upon Anderson 400 series tilt-wash wood clad units. Glazing shall be double glazed. Cladding shall be white. Screens shall be supplied with all windows.

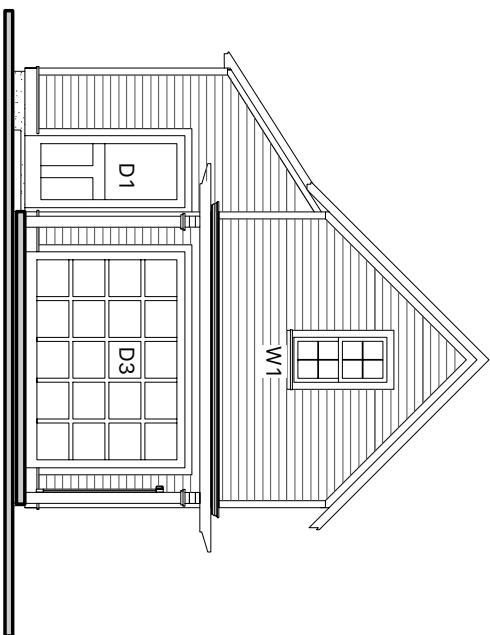
\* window size may vary (+/-2")

**DOOR SCHEDULE**

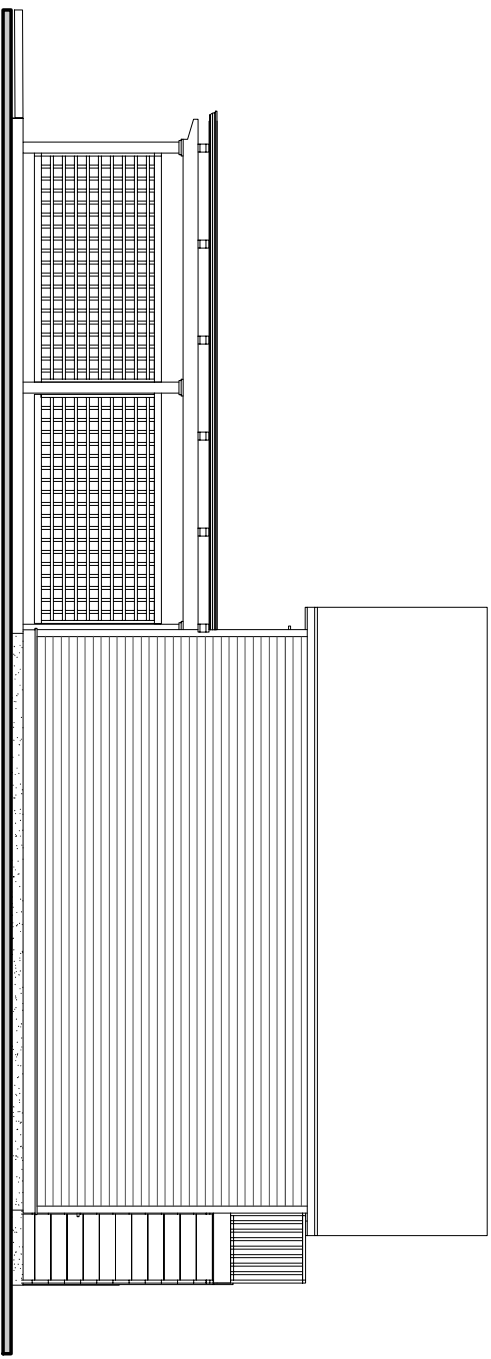
Mark	Type	Unit Size	mtg & code #	Notes
(D1)	side hinged	30 x 80	Steel (Therma True TS206)	
(D1)	side hinged	36 x 80	Steel (Therma True TS206)	
(D2)	overhead	84" x 108"	Wood 4 panel with glass top lites	

**DOOR NOTES:**

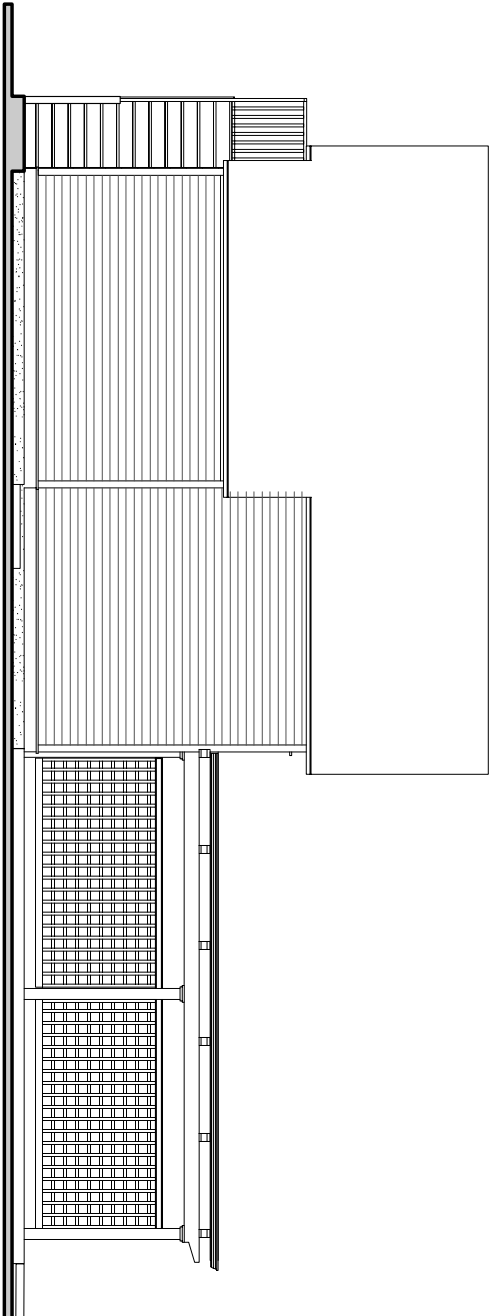
Passage doors shall be prehung, weatherstripped and have bronze alum thresholds



Proposed West Elevation  
Scale: 1/8" = 1'-0" on 8 1/2" x 11"

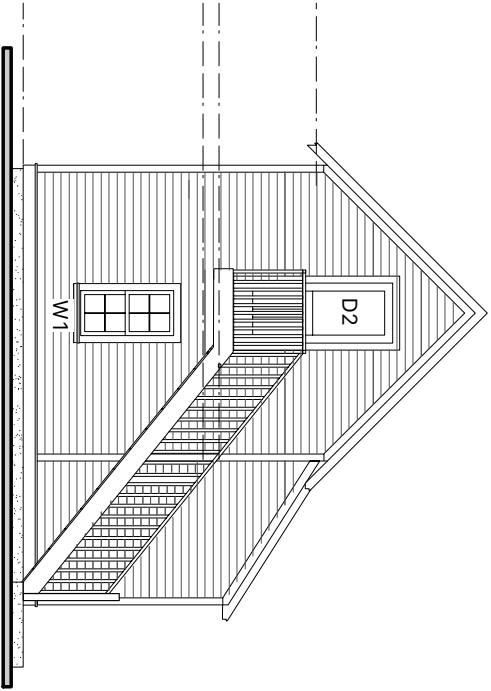


Proposed South Elevation  
Scale: 1/8" = 1'-0" on 8 1/2" x 11"



Proposed  
South Elevation

Scale: 1/8" = 1'-0" on 8 1/2" x 11"



Proposed  
East Elevation

Scale: 1/8" = 1'-0" on 8 1/2" x 11"

**NEW MATERIAL DESCRIPTION:**

- ROOF (pitched): Asphalt shingles. Match existing house in color and style
- ROOF (low-slope on carport): Membrane on 2 x 4 purlins 24" oc.
- FASCIA AND RAKE BOARDS: 1 x 6 wood
- GUTTERS: 5" K-style alum gutters
- SOFFITS: 1 x 4 v groof bats
- SILL BOARDS: 1 x 6 with 1 x 2 45degree wash
- CORNER BOARDS: 1 x 4 x 5/4 nominal
- BARGE BOARDS: 1 x 6 with bead rounding at sofflt
- SIDING: 5/16" x 6" cement board siding with 5" exposure painted pressure treated 2 x10
- FOUNDATION: painted pressure treated 2 x10
- REAR STAIRWAY: Treads shall be 2 x 6 x15" pt. wd., Risers shall be 1 x 8 pt. wd. Stringers shall be 2 x 10 pt wd. Balusters shall be 2 x 2 pt. wd. Balusters shall be 1 x 4 cedar bds. String and balcony balusters shall be clad with 1 x 10 cedar bds. Guard top shall be 2 x 4 top beveled cedar. Handrail shall be a wall mtd 1-3/8" round wd rail. All members shall be painted.
- CARPORIT: 4 x 6 Truss beams on 6 x 8 main beam on 6 x 8 posts. All wood shall be rasum cedar #2 and brt. Posts mortised into main beam with Simpson standoff base plates. roof structure shall be painted T-111 with 4" grooves layed face down over purlins with 2 x 4 rafter substructure 24" oc. and 5/8" osb sheathing. paving shall be 4" concrete slab supported on 12" deep crushed concrete track off base material.
- CARPORIT TRELLIS: 1 X 2 vertical boards spaced 6" oc. with 1 x 2 boards 6" oc. horizontal with 2 x 4 top ad bim rails. East trellis shall be mid on sliding handdoor hardware.

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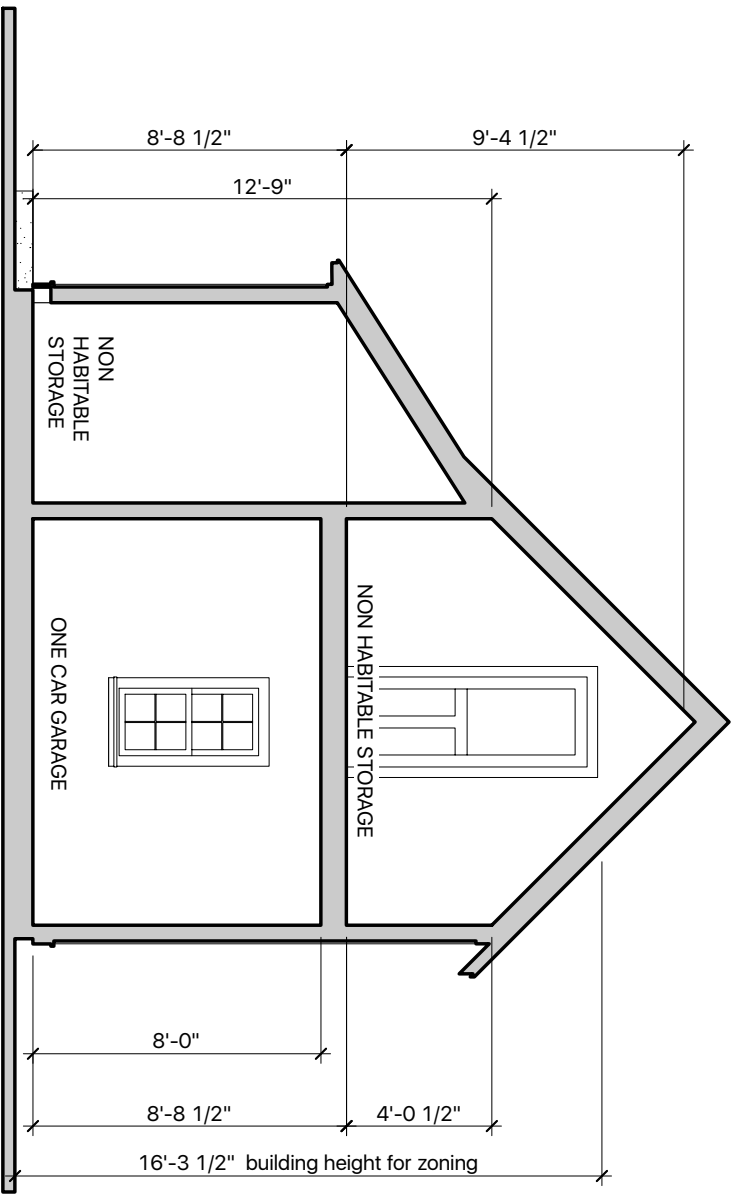
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FAA: 14-012 HDC 08.21.14

COOKE RESIDENCE GARAGE A6

521 FIFTH STREET, ANN ARBOR, MI 48103



**1 CROSS SECTION AT A-A**

Scale: 3/16" = 1'-0" on 8 1/2" x 11"

**HDC SUBMISSION 11.18.16**

**RUETER ASSOCIATES**

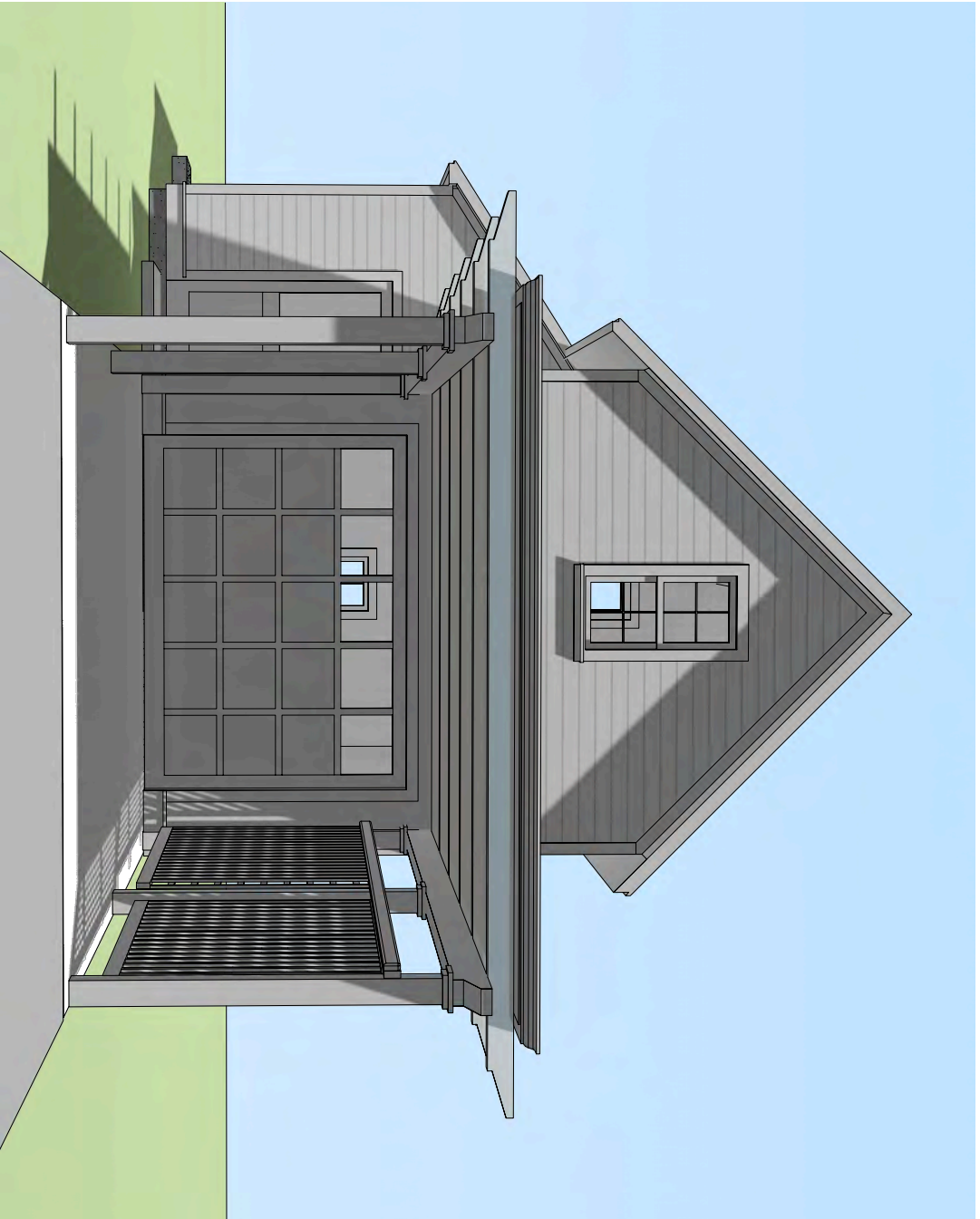
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**COOKE RESIDENCE GARAGE**

521 FIFTH STREET, ANN ARBOR, MI 48103

**A7**



**1 PERSPECTIVE FROM SOUTH**

No Scale = 1'-0" on 8 1/2" x 11"

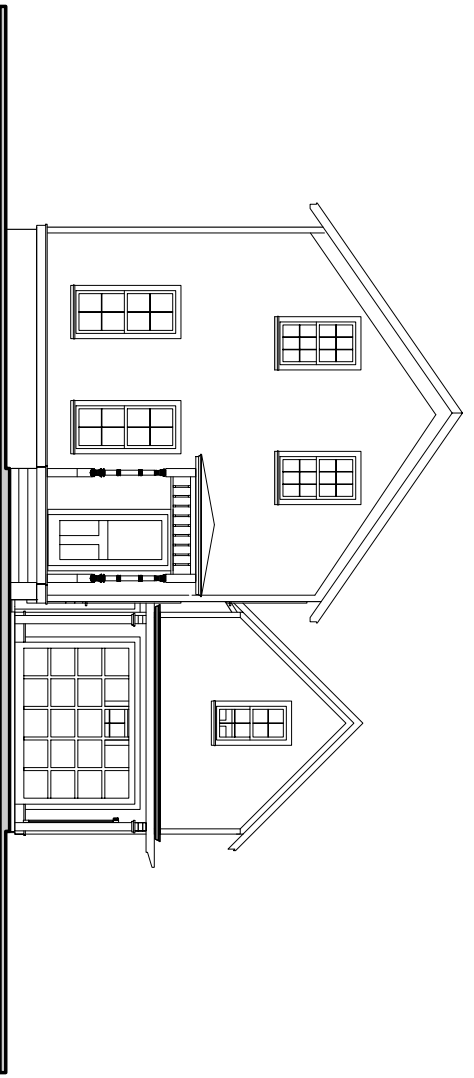
**HDC SUBMISSION 11. 18.16**

■ **RUETER ASSOCIATES** ■

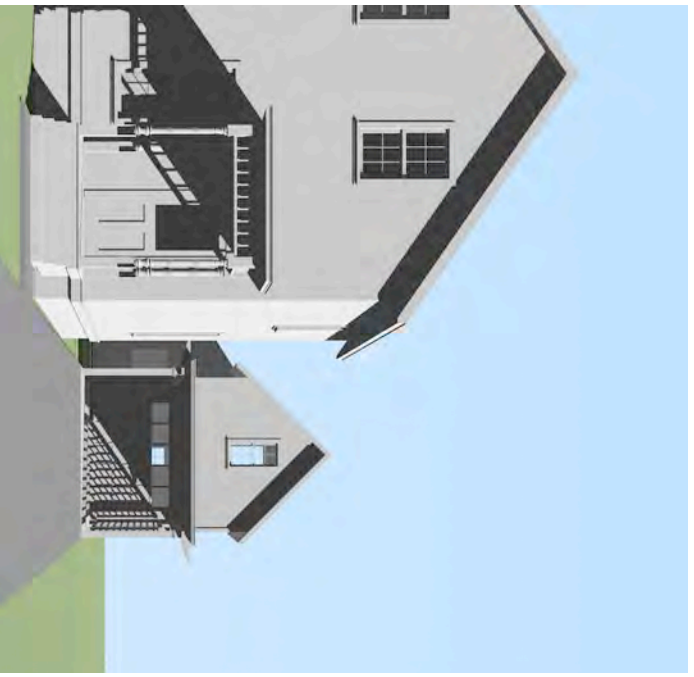
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**COOKE RESIDENCE GARAGE A8**  
521 FIFTH STREET, ANN ARBOR, MI 48103

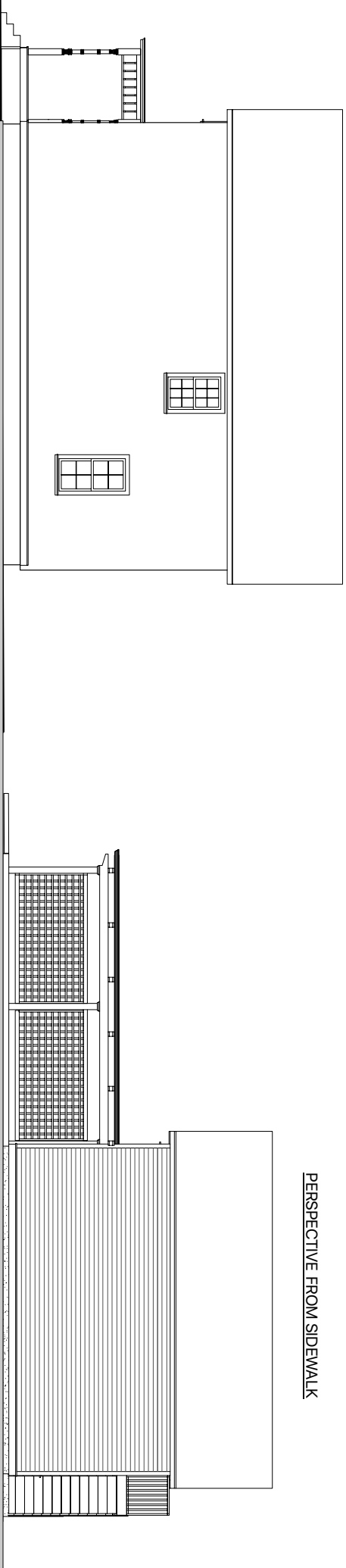




WEST ELEVATION



PERSPECTIVE FROM SIDEWALK



SOUTH ELEVATION

Scale Comparison of Existing  
 House to New Garage

Scale: 3/32" = 1'-0" on 8 1/2" x 11"

HDC SUBMISSION 11. 18.16

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COOKE RESIDENCE GARAGE A9

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